

REPORT TO THE HEARING OFFICER

DATE ISSUED: April 3, 2025

HEARING DATE: April 15, 2025 AGENDA ITEM:

PROJECT NUMBER: PRJ2024-000982-(5)

PERMIT NUMBER(S): Oak Tree Permit No. RPPL2024003171

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: APN: 3270-004-018, Pocahantas Drive, Val Verde

OWNER: Willian and Sayra Alvarado
APPLICANT: Willian and Sayra Alvarado

PUBLIC MEETINGS HELD: N/A

INCLUSIONARY ZONING

The Project is not subject to the IZO because it does

ORDINANCE (IZO): not propose five or more dwelling units.

CASE PLANNER:

Chris La Farge, Regional Planner clafarge@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

Los Angeles County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2024-000982-(5), Oak Tree Permit ("OTP") Number RPPL2024003171, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

CEQA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT(S):

I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NUMBER RPPL2024003171 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

Oak Tree Permit ("OTP") to authorize encroachment into the protected zones of three coast live oak trees, including one heritage oak, in conjunction with the new construction of a single-family residence ("SFR") in the R-1 (Single-Family Residence) Zone pursuant to County Code Section 22.174.030 (Oak Tree Permit, Applicability).

B. Project

Mr. Paciano Diaz ("applicant") is requesting an OTP to authorize proposed encroachment into the protected zones of three coast live oak trees on an undeveloped lot. One of the three is a heritage oak tree. The encroachment is associated with the new construction of an SFR totaling 2,126 square feet, which is under concurrent review through Site Plan Review ("SPR") No. RPPL2024001451. A total grading amount of 200 cubic yards (100 cubic yards of fill and 100 cubic yards of cut) is proposed.

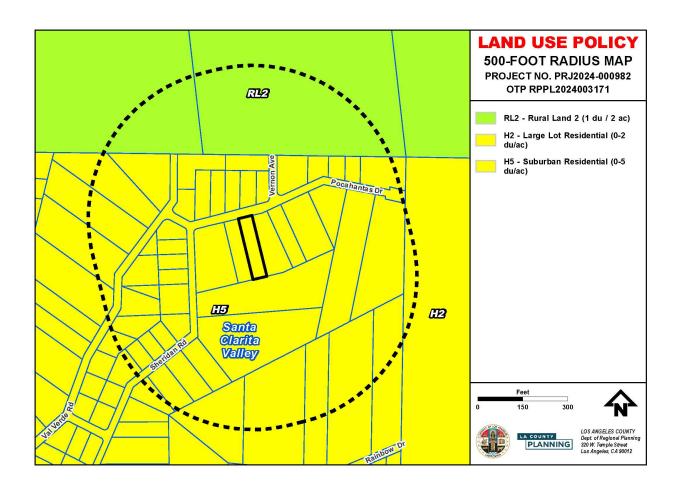
The subject property is a vacant 10,000-square foot lot located on Pocahantas Drive, Assessor's Parcel Number ("APN") 3270-004-018, within the R-1 Zone in the Newhall Zoned District and Santa Clarita Valley Planning Area ("Project Site"). The Project Site is accessible through the existing access from Pocahantas Drive, a 26-foot wide public street to the north.

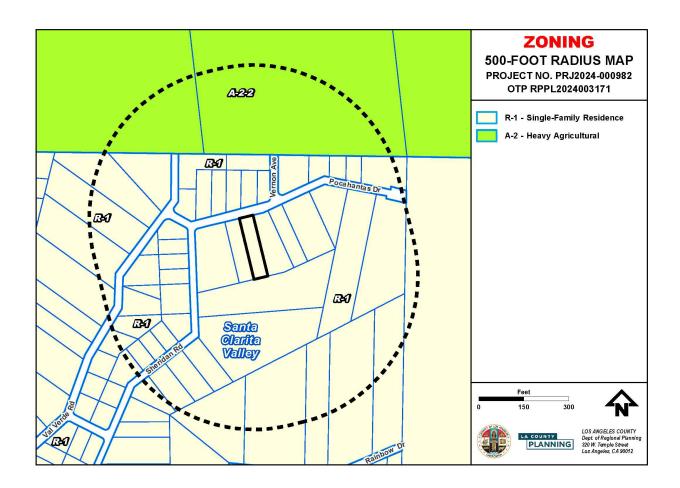
An oak tree report has been prepared for the Project. The report identifies a total of three coast live oak trees with protected zones to be encroached upon, Oak Trees No. 1, 2, and OP3. Among the three affected oaks, Oak Tree No. OP3 is a heritage tree.

SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

| LOCATION | SANTA CLARITA VALLEY AREA PLAN LAND USE POLICY | ZONING | EXISTING USES |
|---------------------|---|---|---------------|
| SUBJECT PROPERTY | H5 (Residential 5 – Five Dwelling Units per Acre) | R-1 | Vacant |
| NORTH | H5, RL2 (Rural Land 2 – One Dwelling Unit per Two Acres) | R-1, A-2-2 (Heavy Agricultural – Two Acre Minimum Required Lot Area) | Vacant, SFRs |
| EAST | H5, H2 (Residential 2 – Two Dwelling Units Per Acre) | R-1 | Vacant, SFRs |
| SOUTH | H5 | R-1 | Vacant, SFRs |
| WEST | H5 | R-1 | Vacant, SFRs |







PROPERTY HISTORY

A. Zoning History

| ORDINANCE NO. | ZONING | DATE OF ADOPTION |
|---------------|--------|------------------|
| 7486 | R-1 | 3/3/1959 |

B. Previous Cases

| CASE NO. | REQUEST | DATE OF ACTION |
|---|---------------------------|--------------------|
| Certificate of Compliance RPPL2024000510 | Certificate of Compliance | Recorded 2/22/2024 |

C. Violations

| CASE NO. | VIOLATION | CLOSED/OPEN |
|----------------|---------------------------|------------------|
| RPCE2021003014 | Unpermitted Storage, | Opened 9/7/21 |
| | Oak Tree Encroachment, | Closed 8/17/2022 |
| | Fence/Wall Height – Front | |
| | Yard, Unpermitted Use | |

ANALYSIS

A. Land Use Compatibility

The subject property is currently undeveloped. It is surrounded by vacant land and SFRs. While the request is for an OTP to authorize encroachment into three oak trees, including one heritage oak tree, the associated construction of a new SFR does not conflict with the surrounding land uses.

B. Neighborhood Impact (Need/Convenience Assessment)

The Project Site is surrounded by vacant land and SFRs to the north, south, east and west. The request is for an OTP to authorize encroachment into three oak trees, including one heritage oak tree, in order to construct a new SFR. The proposed use is compatible with the surrounding area. Because of the locations of the impacted oak trees and the proposed SFR, encroachment into the protected zones of the trees is unavoidable in order to construct the SFR. The heritage oak tree (Oak No. OP3) is located on a neighboring parcel (APN: 3270-004-018), but the protected zone of OP3 includes a portion of the Project Site where the SFR is proposed.

According to the oak tree report, Oak No. 1 (non-heritage) has suffered from drought stress and has a large cavity in the main trunk filled with decay organisms. These organisms have degraded the structural integrity of the tree. The entire tree has a possible likelihood of failure. Therefore, the encroachment associated with the proposed SFR could adversely impact Oak No. 1. The report recommends pruning of approximately 25% of Oak No.1's canopy in order to make space for the house and this should be done by a crew directly supervised by a Certified Arborist. Only the minimum amount of foliage should be removed in order to achieve the requisite clearance. The combined effects of the pruning and disturbance of this oak's root zone could significantly impact the tree's health. In the event any non-heritage oak tree dies as result of the encroachment, one of the conditions of approval requires the applicants to provide mitigation trees at the rate of two to one (2:1). These replacement trees must be located on site.

C. Design Compatibility

The proposed oak tree encroachment is associated with the construction of a proposed SFR, which is under concurrent review pursuant to SPR RPPL2024001451 and is required to meet the applicable development standards for the R-1 zone. The proposed

new SFR construction would not require any oak tree removals but encroachment is necessary due to the location of the proposed SFR. The proposed SFR location near the front of the lot is the most feasible location due to the steep slopes in the rear portion of the lot. The County Forester ("Forester") provided recommended conditions of approval that will ensure the impacted oaks are protected during construction. While the request is for an OTP to authorize encroachment into three oak trees, including one heritage oak, the surrounding SFRs have no cohesive architectural character for the area and the contemporary design of the proposed SFR at the subject property will not be in conflict with existing development in the surrounding area. The Project Site is located within the Castaic Area Community Standards District ("CSD"). Because the Project includes development within a Hillside Management Area. County Code Section 22.312.060.E (Hillsides in CSD) is applicable. The related development of the SFR will conform to the standards listed in this section. No development is proposed near a Significant Ridgeline. Compliance with these standards will be verified before the Site Plan Review is approved. None of the CSD standards apply to the oak encroachment so the Project is consistent with the applicable requirements of the CSD.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Santa Clarita Valley Area Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Section 22.174.60 (Oak Tree Permits, Findings) of the County Code. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this project qualifies for a Categorical Exemption (Class 3 Exemption, New Construction or Conversion of Small Structures and Class 4 Exemption, Minor Alterations to Land) under the California Environmental Quality Act ("CEQA") and the County environmental guidelines. The Project is exempt because the oak tree encroachment is related to new construction in the condition of private land and vegetation that does not involve the removal of healthy mature, scenic trees. No trees will be removed as part of this Project.

The County Biologist visited the Project Site on January 28, 2025, and determined the oaks constitute a moderately degraded oak woodland. The impacts to the woodland by the related

development of the SFR are not enough to be considered a significant impact and therefore do not warrant an exception to the Categorical Exemption. The County Biologist recommended that in the event any oak fails due to the impacts of construction, it be replaced by the planting of two new oaks on site. This 2:1 replacement is required in the draft conditions of approval.

The proposed construction of a new SFR would not substantially alter the general topography of the area. The combined effects of the pruning and soil disturbance within the root zone of Oak Tree No. 1 could adversely impact its health due to its current condition, as this tree has an existing cavity in the main trunk. The County Forester has reviewed the Project and recommended standard conditions such as temporary fencing around the protected zone during construction and the planting of mitigation trees in the event that one or more oak trees dies as a result of the encroachment and requirements for maintenance and monitoring of any mitigation trees. The Forester requires mitigation of trees at the rate of two to one (2:1) for any tree or ten to one (10:1) for any heritage tree. The County Biologist recommended a 2:1 rate for any tree.

No exceptions to the categorical exemptions apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a historical resource, a hazardous waste site, scenic highway, or an environmentally sensitive area. The surrounding area consists of vacant lands and a residential neighborhood. The subject property and its surrounding area are partially developed with roadways, driveways, buildings, utility poles, and other infrastructure. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

The County Fire Department, Forestry Division, in a letter dated July 24, 2024, recommended conditions of approval for the Project.

B. Public Comments

Staff has not received any comments at the time of report preparation.

Report Reviewed By:

Samuel Dea, Supervising Regional Planner

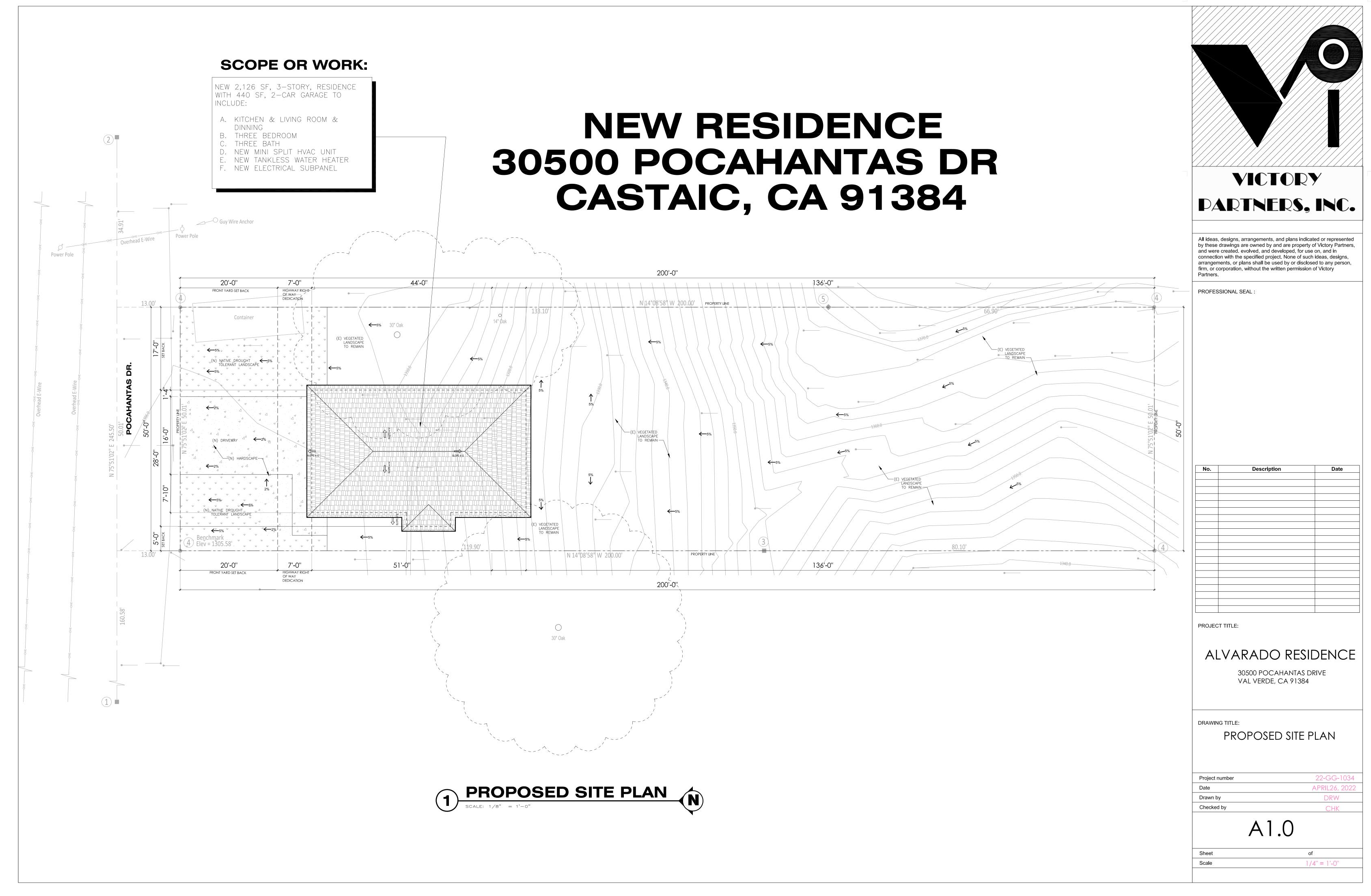
PROJECT NO. PRJ2024-000982-(5) OAK TREE PERMIT NO. RPPL2024003171

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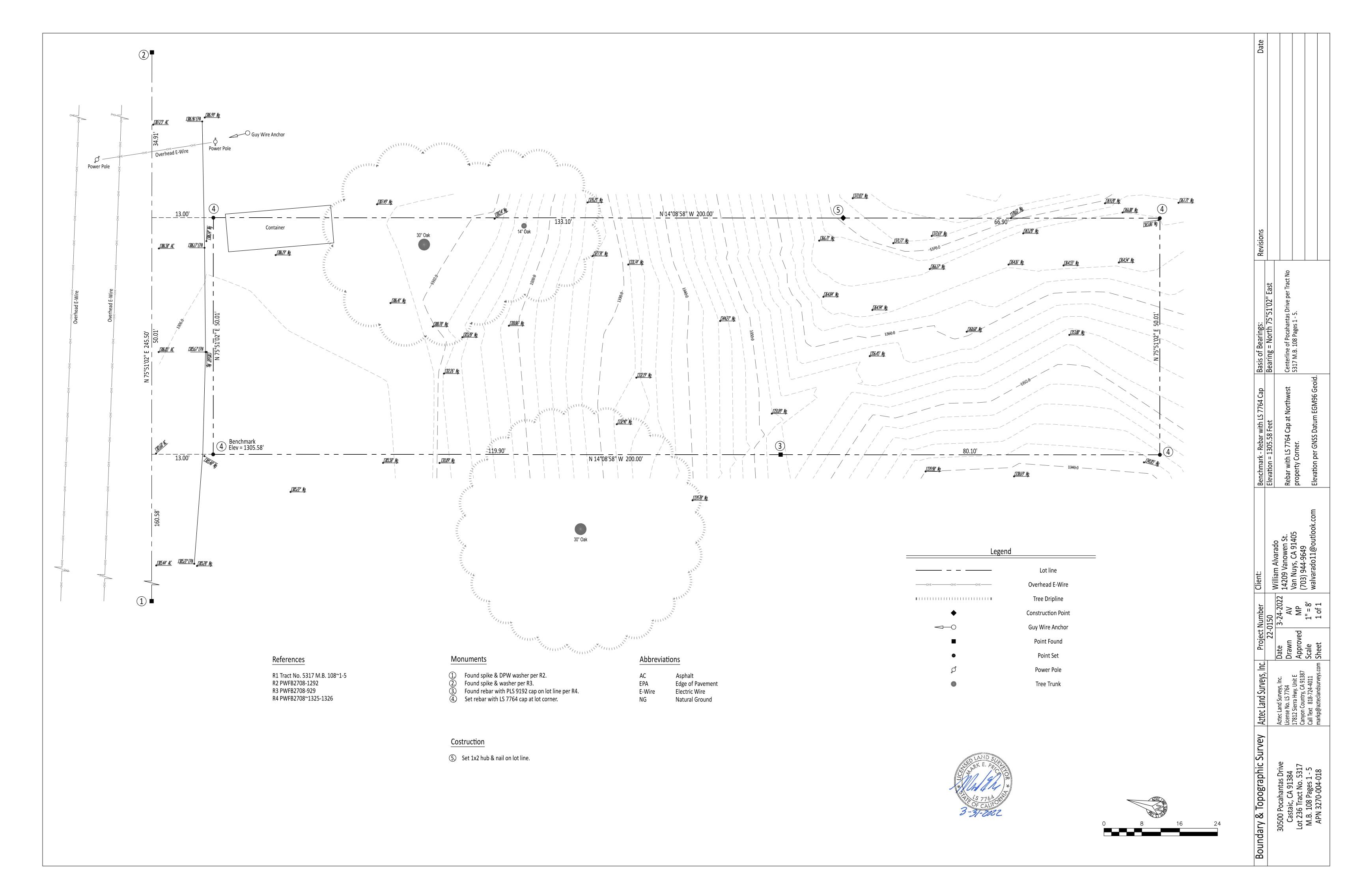
Report Approved By:

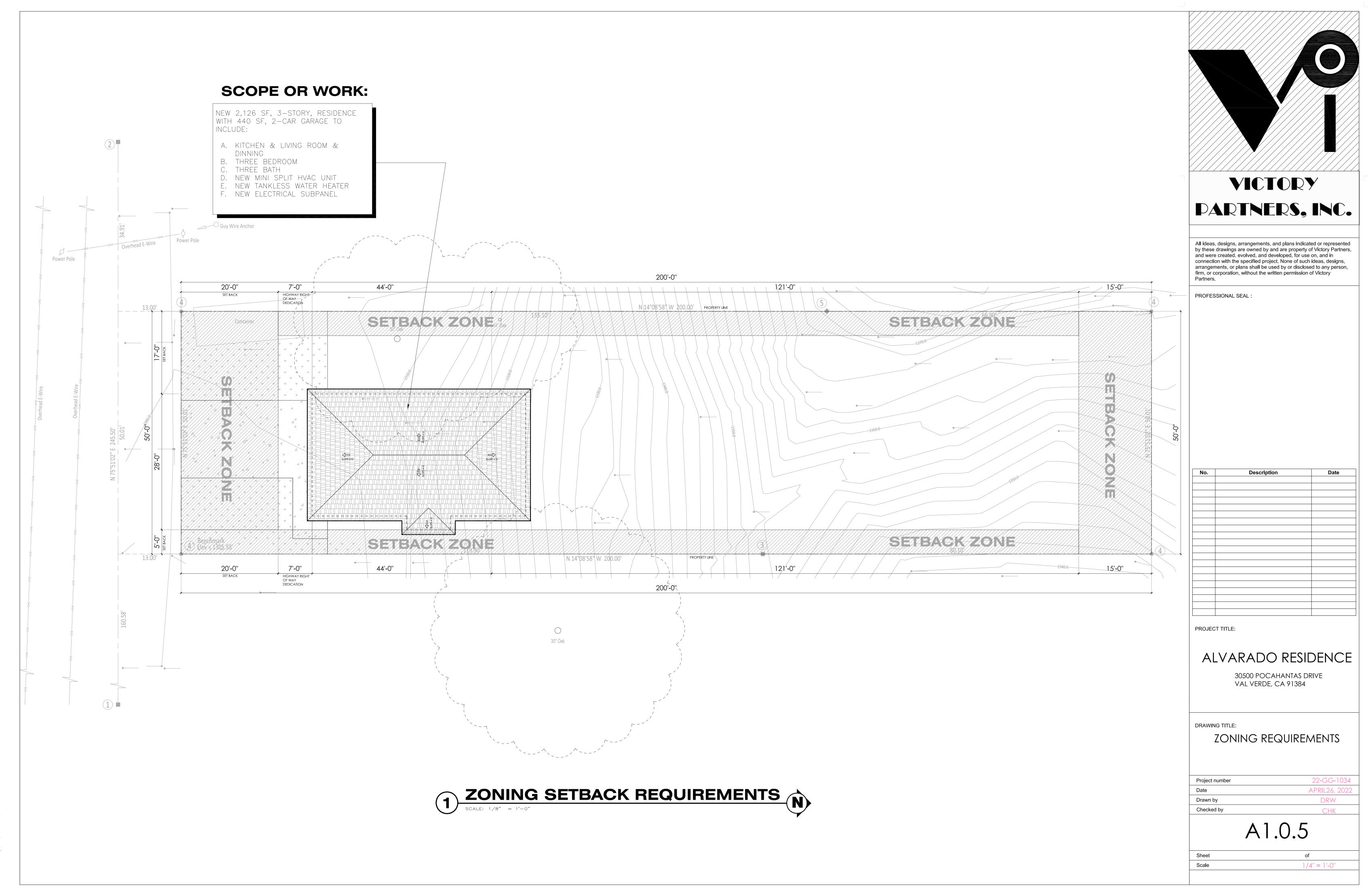
Susan Tae, Assistant Deputy Director

| LIST OF ATTACHED EXHIBITS | | | |
|---------------------------|-------------------------------|--|--|
| EXHIBIT A | Plans | | |
| EXHIBIT B | Project Summary Sheet | | |
| EXHIBIT C | Draft Findings | | |
| EXHIBIT D | Draft Conditions of Approval | | |
| EXHIBIT E | Applicant's Burden of Proof | | |
| EXHIBIT F | Environmental Determination | | |
| EXHIBIT G | Informational Maps | | |
| EXHIBIT H | Photos | | |
| EXHIBIT I | County Fire Department Letter | | |
| EXHIBIT J | Oak Tree Report | | |

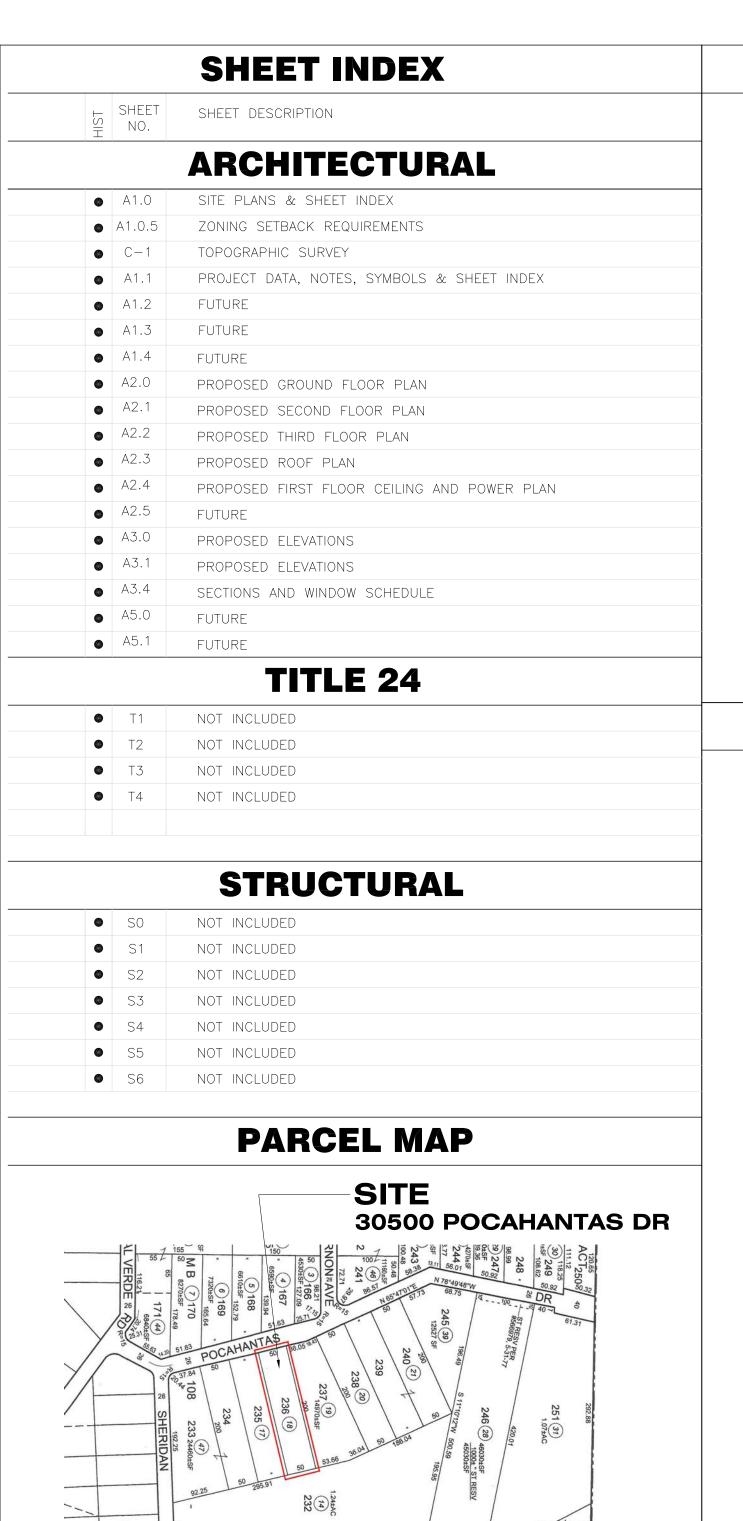


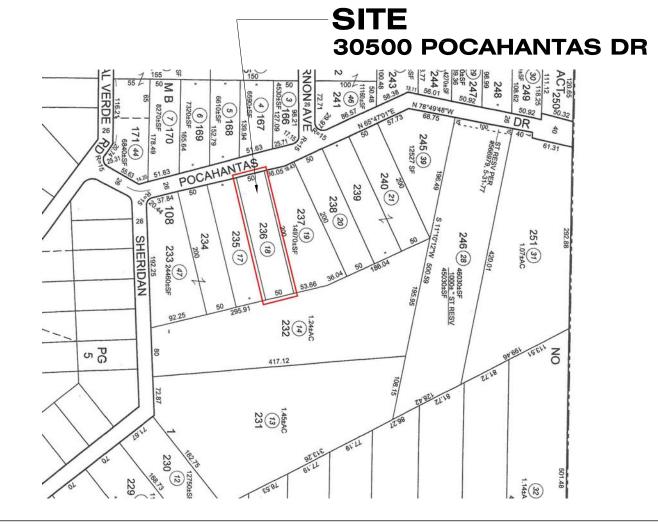
Friday, April 23, 2024

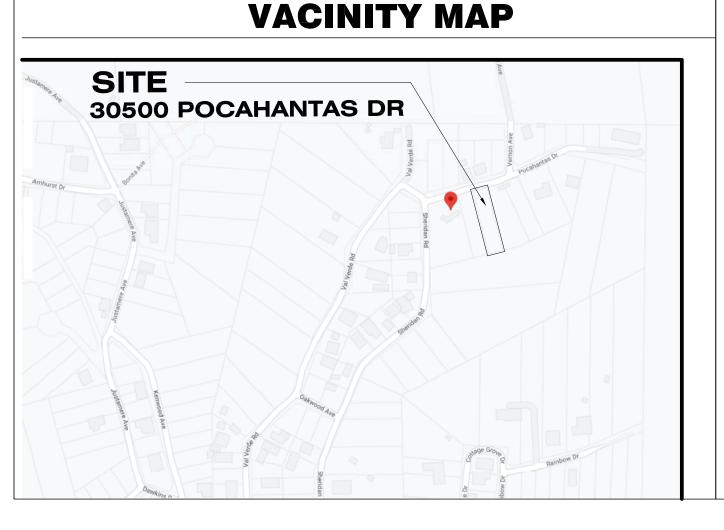




Friday, April 23, 2024







SYBMBOLS LEGEND

ELEVATION NUMBER — SHEET NUMBER - SECTION DESIGNATION SHEET NUMBER AREA OF SECTION DETAIL - AREA OF DETAIL DETAIL NUMBER ---- SHEET NUMBER NORTH ARROW

(1) — WALL TYPE

1 — KEY NOTE

DET

DWG(S)

DWR

EΑ

EM

DETAIL

DRAWER EXISTING

EAST

EACH

EL/ELEV ELEVATION

DISHWASHER

DOUGLAS FIR

ELECTRIC METER

DRAWING / DRAWINGS

→ DATUM POINT

ROOM TAG

ALIGN SURFACES

🔍 🙆 REVISION NUMBER

○ — WINDOW PER SCHEDULE ——— COLUMN GRID LINE ENTER LINE T--- PROPERTY LINE — WALL FINISH TYPE — BASE FINISH TYPE — FLOOR FINISH TYPE — EQUIPMENT NUMBER

× — WINDOW PER SCHEDULE

INTERIOR ELEVATION DESIGNATION — SHEET NUMBER INTERIOR ELEVATION NUMBER(S)

ABBREVIATIONS

A.B. ANCHOR BOLT ENCL ENCLOSURE PNL PANEL ABOVE FINISH FLOOR ENGR ENGINEER PREFAB PREFABRICATED ADD ADDITION EQUIP EQUIPMENT PNT PAINT ADJACENT EXTERIOR PT PRESSURE TREATED ALT ALTERNATE FLOOR DRAIN FD ALUMINUM F.O.S FACE OF STUD ROOF DRAIN ALUM ANGL ANGLE FINISH FLOOR RO ROUGH OPENING FF APPRX APPOXIMATELY FIN FINISH /FINISHED ROW RIGHT OF WAY ARCH ARCHITECT/ARCHITECTURE FIX FIXTURE / FIXED REC RECESS ATTACH ATTACHMENT FLR FLOOR REF REFRIGERATOR FND REINF REINFORCED AUTO AUTOMATIC FOUNDATION AVG AVERAGE FEET/FOOT REM REMOVE REQ'D REQUIRED AUTO AUTOMATIC FURR FURRED / FURRING AVERAGE RET RETAINING REV REVISED / REVISIO GM GAS METER BOARD GΑ GAUGE RM ROOM BLDG BUILDING SUPPLY AIR GALV GALVANIZED SA BLOCK GLASS SS SANITARY SEWER BKG BLOCKIG GND GROUND SC SOLIC CORE ВМ BEAM GYP BD GYPSUM WALLBOARD SCHED SCHEDULE BOT BOTTOM SF SQUARE FEET HB HOSE BIB BRK BRICK SHWR SHOWER BRONZE HOLLOW CORE SHT SHEET BASEMENT HARDWOOD BTW BETWEEN HORIZ HORIZONTAL SHTG SHEATHING CABINET HEIGHT SIM SIMILAR CENTERLINE HDR HEADER SPKLR SPRINKLER HTR HEATER CEILING JOIST SQ SQUARE CO CLEAN OUT ST STL STAINLESS STEEL CP CEMENT PLASTER STD STANDARD СТ CERAMIC TILE HW HOT WATER STO STORAGE CLO CLOSET INCH / INCHES STRUCT STRUCTURAL CLG CEILING INFORMATION SURF SURFACE CLR CLEAR INSULATION CNTR COUNTER INT INTERIOR SW SWITCH JOINT COL COLUMN SYS SYSTEM CONC CONCRETE JST JOIST CONNECT/CONNECTION CONN T&B TOP AND BOTTOM LAMINATE CONT CONTNUOUS LAUN LAUNDRY CP CEMENT PLASTER T&G TONGUE & GROOV LBS POUNDS CPT CARPET LEVEL T.O. TOP OF LVL CERAMIC TILE LOC LOCATION COLD WATER CW T.O.C. TOP OF CONCRET LT LIGHT CLO CLOSET LTWT LIGHTWEIGH T.O.W. TOP OF WALL DBL DOUBLE LOCATION LOC CLG CEILING T.O.R TOP OF ROOF LIGHT DEG DEGREE LTWT LIGHTWEIGHT TEMP TEMPERED CLR CLEAR MEDICINE CABINET THICK/THICKNESS DIA DIAMETER MAINT MAINTENANCE CNTR COUNTER MAT/MATLMATERIAL TANKLESS WATER & HEATER DIM DIMENSION MAXIMUM TYP TYP COL COLUMN MECHANICAL DR DOOR MEMBRANE MEM U.N.O. UNLESS NOTED OTHERWISE CONC CONCRETE MFR MANUFACTURER DET DETAIL MIN MINIMUM VERIFY INFIELD CONNECT/CONNECTION MIR CONN VERT VERTICAL DISHWASHER MISCELLANEOUS VENT THRU ROOF MLDG MOULDING CONTNUOUS CONT MTD DOUGLAS FIR MOUNTED WATER CLOSET CPT CARPET MTL METALLIC WO WINDOW OPENING DWG WITH DRAWING MULLION W/ MULL CW COLD WATER (N) NEW W/O WITHOUT DWR DRAWER WOOD NORTH WATER HEATER NIC NOT IN CONTRACT DBL DOUBLE WM WATER METER NTS NOT TO SCALE DEG DEGREE WIC WALK-IN-CLOSE NAT NATURAL WINDOW WDW DIAMETER NOM NOMINAL WATERPROOF DIM DIMENSION O.C. ON CENTER DR DOOR 0/ OVER

OWNER FURNISHED CONTRACTOR INSTALLED

OVERHEAD

PART BD PARTICLE BOARD

PARKINO

PLATE

OPNG OPENING

OPP OPPOSITE

PC PRECAST

PLAS PLASTER

ОН

PKG

PL

GENERAL NOTES

- 1. THESE DRAWINGS ARE INTENDED TO CONVEY AN OVERALL DESCRIPTION OF THE PROJECT IN SUFFICIENT DETAIL FOR IT'S COMPLETE CONSTRUCTION. SOME CONDITIONS, WHICH ARE COMMONLY ENCOUNTERED IN CONSTRUCTION OF THIS TYPE MAY NOT BE SPECIFICALLY DETAILED IN THESE PLANS. ALL CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED PER THE CURRENT STANDARDS OF THE APPROPRIATE INDUSTRY AND IN COMPLIANCE WITH THE CURRENTLY ADOPTED CODES, ORDINANCES, REGULATIONS,
- 2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION, OR RECONSTRUCTION BE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES, ORDINANCES, REGULATIONS, ETC. SHOULD ANY EXISTING CONDITION SUCH AS DETERIORATION OR NON COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND A CHANGE ORDER, OR SEPARATE SET OF PLANS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
- 3. NOTHING IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION THAT COULD BE IN VIOLATION OF THE CURRENTLY ADOPTED CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH
- THE APPLICABLE ADOPTED CODES, ORDINANCES, REGULATIONS, ETC. 4. MISPLACEMENT, ADDITION, OR OMISSION OF ANY WORD, LETTER, FIGURE, OR PUNCTUATION MARK, ETC. SHALL IN NO WAY CHANGE OR ALTER THE INTENT, SPIRIT, OR
- MEANING OF THE DRAWINGS. 5. ALL DRAWINGS SHALL BE USED IN CONCERT WITH EACH OTHER. THE CONTRACTOR SHALL STUDY AND COMPARE ALL DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR INCONSISTENCIES TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK IN THAT AREA.
- 6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ORDERING, FABRICATING, OR INSTALLING ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL REQUEST IN WRITING A CLARIFICATION FORM THE
- ARCHITECT/ ENGINEER PRIOR TO COMMENCEMENT OF ANY ASSOCIATED WORK. 7. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT/ENGINEER MUST BE NOTIFIED OF ANY
- VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. 8. CUTTING, NOTCHING, OR BORING THROUGH NEW OR EXISTING STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED IN THE DRAWINGS.
- 9. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS.
- 10. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK
- PROGRESSES. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK PROVIDED BY OTHERS UNDER SEPARATE CONTRACT.
- 12. THE CONTRACTOR SHALL INSTALL WALL BACKINGS, BLOCKING, OR MISCELLANEOUS STEEL AS REQUIRED FOR ALL PARTITIONS, LIGHT FIXTURES, FIXED SHELVES, AND
- 13. THE CONTRACTOR SHALL INSTALL BRACING AND TEMPORARY SUPPORTS AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE AND SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION.
- 14. DETAILS OR SECTIONS NOTED AS "TYP" (TYPICAL) OR "SIM" (SIMILAR) SHALL APPLY IN ALL CASES WHETHER OR NOT SPECIFICALLY REFERENCED.
- 15. WHERE INSTALLATIONS INCLUDE MANUFACTURED PRODUCTS, COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
- 16. ALL ELECTRICAL AND PLUMBING SHALL CONFORM WITH THE LATEST ADOPTED CODE AND ALL OTHER APPLICABLE CODE REGULATIONS AS REQUIRED BY THE CITY OR
- 17. ANY REQUIRED INTERRUPTION OF OR REMOVAL OF ANY UTILITY SERVICE SERVING THE EXISTING DWELLING SHALL NOT BE PERFORMED UNTIL A MINIMUM OF A 24-HOUR PRIOR NOTICE IS GIVEN TO THE OWNER BY THE CONTRACTOR. SUCH WORK SHALL BE COORDINATED WITH THE OWNER AND THE APPLICABLE UTILITY COMPANY. AS MAY BE NECESSARY. THE REMOVAL OR RELOCATING OF ANY EXISTING OR NEW UTILITY(S) (SEWER, PLUMBING, PHONE LINES, GAS LINE, ETC.) SHALL BE DONE BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- 18. ALL WORK SHALL BE PERFORMED IN A WORK MAN LIKE MANNER, USING ACCEPTED
- 19. CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS &
- 20. EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER &ARCHITECT/ENGINEER DO NOT GUARANTEE EXISTING CONDITIONS AS SHOWN ON THESE DOCUMENTS.
- 21. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTUCTION DELAYS AND/OR
- 22. AN APPROVED SEISMIC GAS SHUT-OFF VALVE OR EXCESS FLOW HUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE OF THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF TEH BUILDING STRUCTURE CONTAINING THE FUELD GAS PIPING. (PER ORDINANCE 170,158 AND 180,670). SEPARATE PLUBMING PERMIT IS REQUIRED.
- 23. AN APPROVED SEISMIC GAS SHUT-OFF VALVE OR EXCESS FLOW HUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE OF THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF TEH BUILDING STRUCTURE CONTAINING THE FUELD GAS PIPING. (PER ORDINANCE 170,158 AND 180,670). SEPARATE PLUBMING PERMIT IS REQUIRED.

PROJECT DATA

ASSESSOR ID: 3270-004-018 PROPERTY TYPE: SINGLE FAMILY-RESIDENTIAL TRACT # : 5317 / LOT 236 REGION / CLUSTER B1/01144 CASTAIC/HILLCREST

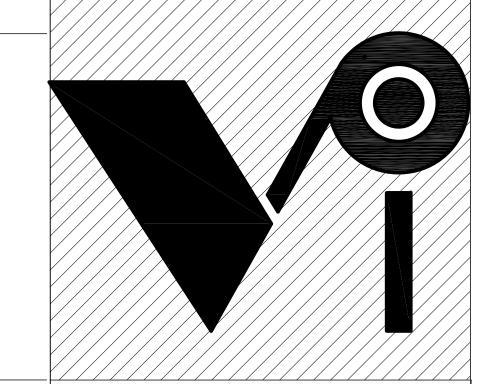
> FIRE SPRINKLERS : BEDROOMS/BATHROOMS 3/3 UNITS:

MAX PROPOSED BUILDING HEIGHT:

ZONING: R-1 SINGLE FAMILY RESIDENTIAL OCCUPANCY: R-3

CONSTRUCTION TYPE: TYPE V-B NUMBER OF STORIES:

ADDRESS: 30500 POCAHANTAS DRIVE CASTAIC, CA 91384



PROJECT DIRECTORY

31'-0"

BURBANK, CA 91506

NOT APPLICABLE

OWNER: WILLIAM ALVARADO 30500 POCAHANTAS DRIVE CASTAIC, CA 91384

DESIGNER: VICTORY PARTNERS, INC. 348 N. LINCOLN STREET

ENGINEER:

TITLE 24:

SURVEYOR: AZTEC LAND SURVEYS, INC. 17812 SIERRA HIGHWAY, UNIT E CANYON COUNGTRY, CA 91387

TBD

NOT APPLICABLE CONSULTANT:

TOTAL AREA

AREA SUMMARY

RFA ALLOWANCE

| | SQ. FI. | NEW/ADDITION | EXEMPT | TOTAL |
|----------------|---------------|---------------|------------|--------------|
| N) LOWER LEVEL | 994 SQ. FT. | 994 SQ. FT. | | 994 SQ. FT |
| N) UPPER LEVEL | 1,132 SQ. FT. | 1,132 SQ. FT. | | 1,132 SQ. FT |
| N) GARAGE | 440 SQ. FT. | 440 SQ. FT. | 200 SQ. FT | 240 SQ. FT |

2,126 SQ. FT LOT SIZE 50 FT X 200 FT 10,000 SQ. FT 10,000 SQ. FT X.45 4,5000 SQ. FT RFA ALLOWED RFA-PROJECT 2,126/10,000 SQ. FT 21%

LOT COVERAGE

| | SQ. F | -т. | EXEMPT | TOTAL |
|--|---|--|--------|--|
| (N) LOWER LEVEL (N) UPPER LEVEL (N) GARAGE | 994 SQ. FT. 1,132 SQ. FT. 440 SQ. FT. | 994 SQ. FT. 1,132 SQ. FT 440 SQ. FT. | | 994 SQ. FT 1,132 SQ. FT 240 SQ. FT |

TOTAL AREA LOT SIZE (50 FT. X 200 FT) LOT COVERAGE ALLOWED

LOT COVERAGE-PROJECT

2,366 SQ. FT. 10,000 SQ. FT. 50%

23.6%

VICTORY DARTNERS, INC.

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and are property of Victory Partners, and were created, evolved, and developed, for use on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation, without the written permission of Victory

PROFESSIONAL SEAL

Description

Date

PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

| PART | 1: | 2022 | CALIFORNIA | ADMINISTRATIVE CODE |
|------|------|------|------------|------------------------|
| PART | 2: | 2022 | CALIFORNIA | BUILDING CODE |
| PART | 2.5: | 2022 | CALIFORNIA | RESIDENTIAL CODE |
| PART | 3: | 2022 | CALIFORNIA | ELECTRICAL CODE |
| PART | 4: | 2022 | CALIFORNIA | MECHANICAL CODE |
| PART | 5: | 2022 | CALIFORNIA | PLUMBING CODE |
| PART | 6: | 2022 | CALIFORNIA | ENERGY CODE |
| PART | 9: | 2022 | CALIFORNIA | FIRE CODE |
| PART | 10: | 2022 | CALIFORNIA | EXISTING BUILDING CODE |
| PART | 11: | 2022 | CALIFORNIA | GREEN BUILDING CODE |
| | | | | |

2022 CALIFORNIA REFERENCE STANDARDS CODE

DRAWING TITLE:

PROJECT DATA &NOTES & SYMBOLS

| Project number | 22-GG-1034 |
|----------------|---------------|
| Date | APRIL26, 2022 |
| Drawn by | DRW |
| Checked by | CHK |
| | |

A1.1

1/4" = 1'-0"

APPLICABLE CODES

ORD:186488 LA CITY AMMENDMENTS

FLOOR PLAN NOTES) WASHER SPACE- PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER RECESSED IN WALL) 2) DRYER SPACE- PROVIDE VENT TO OUTSIDE AIR. 3) DRYER VENT- 4" DIAMETER VENT, MAX. 14'-0" LONG WITH TWO ELBOWS. 4) SQUARE FOOTAGE— REFER TO SHEET A1.0 5) REFER TO ELECTRICAL PLAN FOR LOCATION OF ALL SWITCHES LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC 6) SMOKE DETECTORS SHALL BE PERMENTLY WIRED AND SHALL BE EQUIPPED WITH A BATTERY BACKUP 7) ALL BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE. ESCAPE OR RESCUE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT WITH A MINIMUM CLEAR HEIGHT OF 24", A MINIMUM CLEAR WIDTH OF 20" AND A MINIMUM SILL HEIGHT OF 44 ABOVE FINISH FLOOR 8) BEDROOM BRANCH CIRCUITS WILL BE ARC FAULT PROTECTED PER NEC ART. 9) ALL SHOWERS AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTOL VALVES OF PRESSURE PROPERTY LINE BALACE TYPE PER C.P.C. 10) ALL EXTERIOR WALLS SHALL BE 2x6 STUD WALLS AND ALL INTERIOR WALL 2x4 STUD WALLS, UNLESS OTHERWISE NOTED. VALVES OF PRESSURE BALACE TYPE PER C.P.C. 11) HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPPED PLANE ADJOINING THE TREAD NOSING OR FINISHED SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. HANDRAIL ADJACENT TO A WALL SHALL HAVE A SPACE OF AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL (R311.7.8.1 AND R311.7.8.2) 21'-6" 12) ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE FRONT YARD SET BACK HIGHWAY RIGHT ILLUMINATED. EXTERIOR STAIRWAY ILLUMINATION SHALL OF WAY 19'-6" BE CONTROLLED FROM INSIDE OF DWELLING (R303.7) DEDICATION 18'-0" ĸ-----100 11" MIN. 4'-5" 1ST FL PROJECTION PROPOSED GROUND FLOOR PLAN

CODE REQUIREMENTS

Water Conserving Plumbing Fixtures [California Civil Code 1101.4(a)]

The California Civil Code requires that all existing non-compliant plumbing fixtures (based on water efficiency) throughout the house be upgraded whenever a building permit is issued for remodeling improvements even if the fixtures are not within the scope of work. Residential building constructed after January 1, 1994 are exempt from this requirement. The following table shows the fixtures that are

onsidered to be non-complaint and the type of water-conserving plumbing fixture that should be installed:

| Type of Fixture | Non-Compliant Plumbing Fixture | Required Water-Conserving Plumbing Fixture (max. rate) [CalGreen 4.303] |
|-----------------------|-----------------------------------|---|
| Water Closet (Toilet) | More than 1.6 gallons/flush | 1.28 gallons/flush |
| Urinal | More than 1.0 gallon/flush | 0.125 gallons/flush for wall mount; 0.50 for others |
| Showerhead | More than 2.5 gallons/minute | 2.0 gallons/minute at 80 psi |
| Faucet - Bathroom | More than 2.2 gallons/minute | 1.2 gallons/minute at 60 psi |
| Faucet - Kitchen | More than 2.2 gallons/minute | 1.8 gallons/minute at 60 psi |

Plumbing

- Toilet and/or Bidet require a total minimum 30" clear space (15" from centerline to each side) and a
 minimum of 24" clear space in front of the fixture. Urinals require a total minimum 24" clear space (12"
 from centerline to each side). [CPC 402.5]
- When additional toilets (water closets) are installed, a maximum of three (3) toilets are allowed on a 3" waste line. [Table 703.2, Footnote 4]
- Provide safety glazing (tempered) glass for tub/shower enclosures & doors. [CRC R308.4.5]

 Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type conforming to ASSE 1016 or ASME A112.18.1/CSA B125.1. Handle positions shall be adjusted to deliver a maximum mixed water setting of 120° F. [CPC 408.3]
- The hot water valve shall be installed on the left side where two separate handles control are provided.

 [417.5]

 A minimum 12"x12" access panel is required when a slip joint p-trap waste & overflow is provided for
- A minimum 12"x12" access panel is required when a slip joint p-trap waste & overflow is provided for inspection & repair. [402.10]
- Bidets.
 The water supply to the bidet shall be protected by an air gap or vacuum breaker. [410.2, 603.3.2,
- 603.3.5, 603.3.6]
 The maximum hot water temperature discharging from the bidet shall be limited to 110° F by a device that is in accordance with ASSE 1070 or CSA B125.3. Water heater thermostats shall not
- be considered a control for meeting this provision. [410.3]

 Showers.
- Shower stalls shall have a minimum interior finished area of 1,024 sq.-in. and be able to encompass a 30" diameter circle. [408.6]
- Stall shower door to open out with a minimum 22" wide opening. [408.5]
 Site built shower stalls shall be installed in accordance to Section 408.7
- Bathtubs & Whirlpool (Spa) Tubs.

 Tubs shall have a readily accessible access panel of size to permit the removal and replacement of
- the circulation pump. [409.6]
- The circulation pump shall be located above the crown weir of the trap.
 The pump and circulation pipping shall be self-draining to minimize water retention. Such fittings
- shall be listed in accordance with ASME A112.19.7/CSA B45.10.

 The maximum hot water temperature discharging from the tub shall be limited to 120° F by a
- The maximum hot water temperature discharging from the tub shall be limited to 120° F by a device that is in accordance with ASSE 1070 or CSA B125.3. Water heater thermostats shall not be considered a control for meeting this provision. [409.4]

Electrical

- Provide a 20-amp GFCI protected receptacle within 36" of the outside edge of the each bathroom sink basin. [CEC 210.52(D)]
 Receptacle shall be located on a wall or partition that is adjacent to the basin, on the countertop, or installed on the side or face of the basin cabinet not more than 12" below the top of the basin.
 All receptacles shall be tamper-resistant (TR). [406.12]
- A minimum of one 120-V/20-amp branch circuit is required for bathroom receptacle(s). Such circuit shall
 have no other receptacles. [210.11(C)(3)]
- All 125-V, single-phase, 15- and 20-amp receptacles installed in bathrooms shall have GFCI protection.
 The GFCI shall be installed in a readily accessible location. [210.8]
- Receptacles shall not be installed within or directly over a bathtub or shower stall and within 5-ft of the perimeter of bathtubs or shower stalls. [406.9(C)]

Bathroom Lighting Requirements [CEnC 150.0(k)]

- All installed luminaire (lighting) shall be high efficacy in accordance with Table 150.0-A. A minimum of
 one high efficacy luminaire shall be controlled by a vacancy sensor.
- Switches shall not be installed within tubs or shower spaces unless installed as part of a listed tub or shower assembly and within 5-ft of the perimeter of bathtubs or shower stalls. [CEC 404.4(C)]
- All recessed lighting shall be "IC Rated and Airtight Certified". [CEnC 150.0(k)C]
 No pendant lighting shall be located within a zone measured 3-ft horizontally and 8-ft vertically from the
- top of a bathtub rim or shower stall threshold. [CEC 410.10(D)]

 Luminaires located within the actual outside dimensions of the bathtub or shower to a height of 8-ft
- vertically from the top of the tub rim and shower threshold shall be of enclosed & gasketed type listed for damp or wet locations and be GFCI protected. [550.14(D), 551.53(B)]
- For occupancies with a horizontal (floor/ceiling assembly) fire-rated separation, the recessed fixtures shall be protected to the same rating of the separation (1-hour) OR be listed for the required fire protection. This generally applies to residential condominium construction where units are above or below other units. [CBC 714.4.2]

Bathroom Exhaust

- Local exhaust system shall be installed in a bathroom containing a tub, shower, spa, or some other similar source of moisture and vented to the outdoors with a minimum exhaust rate of 50 cfm (20 cfm if continuous operation). A maximum of 3 sone rating (1 for continuous) is required for the (ENERGY STAR) exhaust fan. Fans must be controlled by a humidistat which shall be readily accessible and capable of adjustment between a relative humidity range of 50% to 80%. [CEnC 150(o), ASHRAE std. 62.2, CalGreen 4.506.1]
- Bathrooms that only have a toilet and sink do not require local exhaust if there is an (min. 3-sq-ft) operable window. [CRC R303.3]
- Exhaust ducts shall terminate outside the building and equipped with back-draft dampers. Dampers are
 not required when the exhaust fan operate continuously. Termination shall not be less than 3-ft from a
 property line, 10-ft from a forced air inlet, and 3-ft from openings into the building. Ducts shall not
 discharge onto a public walkway. [CMC 504.1, 502.2.1]

Smoke and Carbon Monoxide Alarms [CRC R314, R315]

- Smoke alarms shall be installed in each sleeping room, on the ceiling or wall outside each separate sleeping area in the immediate vicinity of the bedrooms, on each story of a multistory unit, in habitable attics, and in basements. [CRC R314.3]
- Smoke alarms shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of NFPA72. Alarms shall be tested and maintained in accordance with the manufacturer's instructions. Alarms that no longer function must be replaced.
- Carbon monoxide alarms are not required if there is no fuel-burning appliances or fireplace in the unit and where the garage is detached from the unit. [R315.2.1]
 Carbon monoxide alarms shall be installed on the ceiling or wall (above the door header) outside each separate sleeping area in the immediate vicinity of the bedrooms, on each story of a multistory unit, in
- basements, and in bedrooms where a fuel-burning appliance is located within the bedroom or its attached bathroom. [R315.3]
 Carbon monoxide alarms (including smoke & carbon monoxide combination alarms) shall be listed and labeled in accordance with UL 2034 (and UL217 for combo alarms) and installed & maintained in
- accordance with NFPA720 & manufacturer's instructions.
 In multi-family buildings, all required carbon monoxide alarms shall be equipped with the capability to support visible alarm notification in accordance with NFPA 720.

Energy (Title-24)

- All exterior walls exposed during construction shall be insulated with min. R-13. [CEnC 150.2(b),
- All roof/ceilings exposed during construction shall be insulated with min. R-19. [150.2(b), 150.0(a)1]
 All accessible joints, penetrations, and other openings in the building envelope about the area of work shall be caulked, gasketed, weather stripped, or otherwise sealed. [110.7]

Green Building Standards

- Adhesives, sealants, caulks, paints, & coatings shall comply with the VOC limits. [CalGreen 4.504.2.1 &
- 4.504.2.2]
 Aerosol paints & coatings shall meet the Product-Weighted MIR Limits for ROC. [4.504.2.3]
- Minimum 80% of the installed resilient flooring shall comply with one or more certified products per Section 4.504.4.
- Interior use of hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the formaldehyde limits per Table 4.504.5.
 New framing shall not be enclosed when the framing members have a moisture context exceeding 19%. [4.505.3]

PLAN GENERAL NOTES

ALSO REFER GENERAL NOTES FO MORE INFORMATION

1) THE CONTRACTOR AND SUB—CONTRACTORS SHALL
CAREFULLY., AND SPECIFICATIONS TO OBTAIN FIRST—
HAND KNOWLEDGE OF JOB CONDITIONS.

ANY DISCREPANCIES OR CONDITIONS NEEDING
CLARIFICATION SHALL BE REPORTED TO THE OWNER
PRIOR TO BEGINNING WORK. NO ALLOWANCES SHALL
GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE
OR ANY CONDITIONS THAT CAN BE DETERMINED BY
EXAMINING THE DRAWINGS, AND SPECIFICATIONS.

2) THE CONTRACTOR AND SUB-CONTRACTORS SHALL
VERIFY ALL DIMENSIONS ON DRAWINGS AND SHALL
IMMEDIATELY NOTIFY THE OWNER OF ANY DISCREPANCIES
PRIOR TO CONSTRUCITON LAYOUT. NO ALLOWANCES
CONSTUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN
TO THE CONTRACTOR OR SUB-CONTRACTOR FOR CHANGES
RESULTING FROM FAILURE TO COMPLY W/ THESE REQ'MTS.

3) DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SPECIFIED GOVERN. DIMENSIONS ARE NOMINAL AND ARE TO FACE OF OBJECTGS UNLESS OTHERWISE INDICATED.

4) EACH SUB-CONTRACTORS IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO SUBMISSION OF HIS BID OR PERFORMANCE OF THE WORK NOTIFY THE CONTRACTOR AND OWNER OF ANY WORK CALLED OUT IN DWGS OR SPECS WHICH WHICH CAN NOT BE FULLY GURANTEED ORCONSTRUCTED AS DESIGNED OR DETAILED.

5) ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC. 410.7). REFER TO PLUMBER PLAN TO VERIFY ROUGH & SHOWER VALVES SPECIFICATIONS. 2" H x 2" W x VARIES LENGHT SHOWER CURB TO BE LOCATION UNDER CLEAR TEMPERED GLASS ENCLOSURE AND DOOR WITH CHROME HARDWARE. FINISH TO BE WHITE TILE, UNLESS NOTED OTHERWISE ON PLAN. PROVIDE WATERPROOF MEMBRANE UNDER TILE. THE SHOWER'S CLEAR TEMPERED GLASS ENCLOSURE & DOOR'S REFER TO ELEVATIONS FOR DIMENSION AND SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITHES, LIGHTS, AND RECEPTACLES. WITH FLUSH—MOUNTED SWITCH PLATE: TRUFIG OR SIMILAR.

6) FINISH MATERIAL POLLUTANT CONTROL SEC.4.504.2: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5:

-ADHESIVES SEALANTS AND CAULKS PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVE RESILIENT FLOORING, AND RESILIENT COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR

7) BATHROOM EXHAUST FANS SEC. 4.506.1.
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DUCTED TO TERMINATE OUTSIDE THE BUILDING AND
CONTROLLED BY A READILY ACCESSIBLE HUMIDISTAT OR
A WHOLE HOUSE VENTILATION SYSTEM.

8) SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABOVE THE FLOOR (CRC R307.2).

9) A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1) A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6FT. AND CANNOT BE CONCEALED (CMC 504.3.1.1) DRYER EXHAUST CANNOT EXCEED 14 ft. WITH A MAX. OF TWO 90 DEG. ELBOWS (CMC 504.3.1.2).

10) G.C. TO CHECK MOISTURE CONTENT OF BUILDING MATERIALS IN WALL AND FLOOR FRAMING PRIOR TO ENCLOSURE.

11) ALL PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER 2019 CPC.

LEGEND

DEMO WALLS

NEW WALLS

NEW 1-HR RATED WALL AND STC 50

SOUND RATED

NOT IN SCOPE OF WORK

VICTORY DARTNERS, INC.

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and are property of Victory Partners, and were created. evolved, and developed, for use on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation, without the written permission of Victory

PROFESSIONAL SEAL :

Description

Date

PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN

| | Project number | 22-GG-1034 |
|------------------------|----------------|---------------|
| | Date | APRIL26, 2022 |
| FLOOR PLAN KEY NOTES | Drawn by | DRW |
| I LOOM LANTICE I NOTES | Checked by | CHK |

A2.0

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Scale 1/4" = 1'-0"

6) SMOKE DETECTORS SHALL BE PERMENTLY WIRED AND SHALL BE EQUIPPED WITH A BATTERY BACKUP 7) ALL BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR RESCUE. ESCAPE OR RESCUE WINDOW SHALL HAVE A A MINIMUM CLEAR HEIGHT OF 24", A MINIMUM ABOVE FINISH FLOOR 8) BEDROOM BRANCH CIRCUITS WILL BE ARC FAULT PROTECTED PER NEC ART. 9) ALL SHOWERS AND TUB/SHOWER COMBINATIONS ARE OR INDIVIDUAL CONTOL VALVES OF PRESSURE PROPERTY LINE BALACE TYPE PER C.P.C. 10) ALL EXTERIOR WALLS SHALL BE 2x6 STUD WALLS AND ALL INTERIOR WALL 2x4 STUD WALLS, UNLESS OTHERWISE NOTED. VALVES OF PRESSURE BALACE TYPE PER C.P.C. 11) HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPPED PLANE ADJOINING THE TREAD NOSING OR FINISHED SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. HANDRAIL ADJACENT TO A WALL SHALL HAVE A SPACE OF AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL (R311.7.8.1 AND R311.7.8.2) 12) ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE FRONT YARD SET BACK HIGHWAY RIGHT ILLUMINATED. EXTERIOR STAIRWAY ILLUMINATION SHALL OF WAY BE CONTROLLED FROM INSIDE OF DWELLING (R303.7) DEDICATION 12'−4" **(A3.**: BALCONY LIVING ROOM 201 204 202 A A3.2 10 SND LINE 205 200 19'-6" PROPERTY LINE PROPOSED SECOND FLOOR PLAN

FLOOR PLAN NOTES

- 1) WASHER SPACE- PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER RECESSED IN WALL)
- 2) DRYER SPACE- PROVIDE VENT TO OUTSIDE AIR.
- 3) DRYER VENT- 4" DIAMETER VENT, MAX. 14'-0" LÖNG WITH TWO ELBOWS.
- 4) SQUARE FOOTAGE— REFER TO SHEET A1.0
- 5) REFER TO ELECTRICAL PLAN FOR LOCATION OF ALL SWITCHES LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC
- DOOR OR OPERABLE WINDOW FOR EMERGENCY ESCAPE OR I MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT WITH | | CLEAR WIDTH OF 20" AND A MINIMUM SILL HEIGHT OF 44"|
- REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE

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NOT IN SCOPE OF WORK

FLOOR PLAN

FLOOR PLAN KEY NOTES Drawn by Checked by

1 (N) STAIRS

VICTORY DARTNERS, INC.

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and are property of Victory Partners. and were created, evolved, and developed, for use on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation, without the written permission of Victory

PROFESSIONAL SEAL:

Description

PROJECT TITLE:

ALVARADO RESIDENCE 30500 POCAHANTAS DRIVE

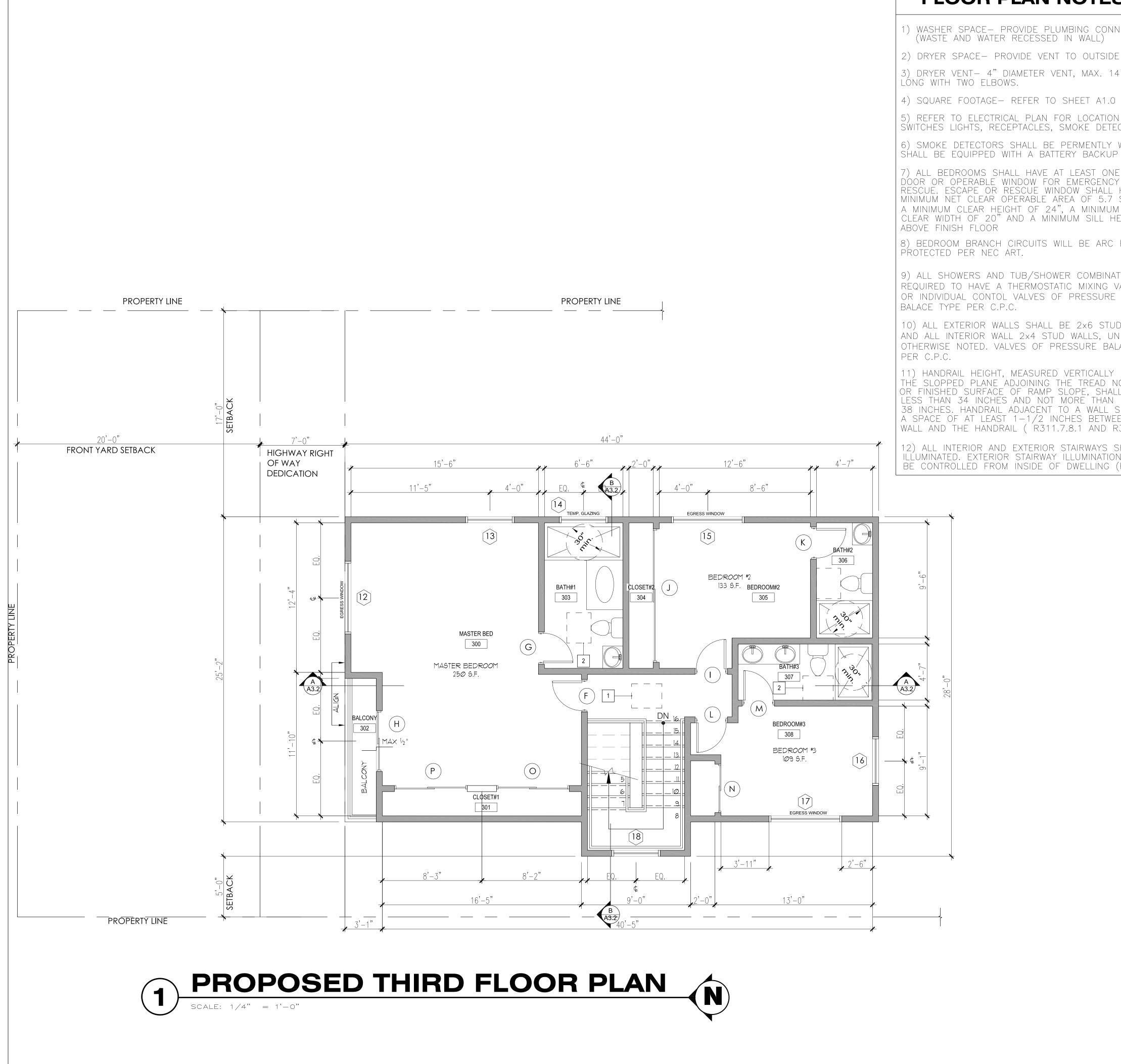
VAL VERDE, CA 91384

DRAWING TITLE: PROPOSED SECOND

22-GG-1034 Project number APRIL26, 2022 DRW CHK

A2.1

1/4" = 1'-0"



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6) FINISH MATERIAL POLLUTANT CONTROL SEC.4.504.2: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5:

-ADHESIVES SEALANTS AND CAULKS PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVE RESILIENT FLOORING, AND RESILIENT COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR

7) BATHROOM EXHAUST FANS SEC. 4.506.1. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL BE ENERGY STAR COMPLIANT DUCTED TO TERMINATE OUTSIDE THE BUILDING AND CONTROLLED BY A READILY ACCESSIBLE HUMIDISTAT OR A WHOLE HOUSE VENTILATION SYSTEM.

8) SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABOVE THE FLOOR (CRC R307.2).

9) A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1) A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6FT. AND CANNOT BE CONCEALED (CMC 504.3.1.1) DRYER EXHAUST CANNOT EXCEED 14 ft. WITH A MAX. OF TWO 90 DEG. ELBOWS (CMC 504.3.1.2).

10) G.C. TO CHECK MOISTURE CONTENT OF BUILDING MATERIALS IN WALL AND FLOOR FRAMING PRIOR TO ENCLOSURE.

11) ALL PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER 2022 CPC.

12) A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)

VICTORY DARTNERS, INC.

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PROJECT TITLE:

DRAWING TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

LEGEND

DEMO WALLS

NEW WALLS NEW 1-HR RATED WALL AND STC 50

SOUND RATED

NOT IN SCOPE OF WORK

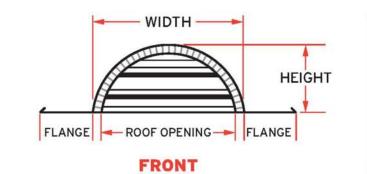
PROPOSED THIRD FLOOR PLAN

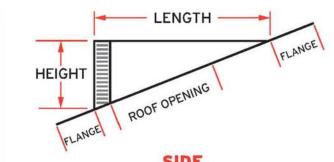
22-GG-1034 Project number APRIL26, 2022 Drawn by DRW Checked by CHK

FLOOR PLAN KEY NOTES

1 (N) ATTIC ACCESS 2 (N) 24" X 30" CLEAR SPACE A2.2

Scale 1/4" = 1'-0"







DORMER VENTS

| СМІ# | Description | Height | Width | Rough Opening | N.F.V. |
|----------------|---|--------|--------|-----------------|-------------|
| STDG1412 | 14 x 12 Galvanized Rectangular | 14 in. | 12 in. | 14 in. x 14 in. | 63 sq. in. |
| STDH18GB | 9 x 18 Galvanized | 9 in. | 18 in. | 12 in. x 9 in. | 75 sq. in. |
| STDS18-3B | 9 x 18 Soft Aluminum | 9 in. | 18 in. | 12 in. x 9 in. | 75 sq. in. |
| BH24 | 12 x 24 Square Tail | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| BH24C | 12 x 24 Square Tail, Copper | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| BH24-LTK | 12 x 24 Long Tail, 26 Ga. | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDH24GB | 12 x 24 Galvanized | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDH24G-26NH | 12 x 24 No Hem, 24 Ga. | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDH24G-26NHLT | 12 x 24 No Hem, Long Tail, 26 Ga. | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDS24-ITILE | 12 x 24 Alum. 1 side, Tile Kick 2 sides | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDS24-2B | 12 x 24 Alum. Flange 2 sides | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |
| STDS24-3B | 12 x 24 Alum. Flange 3 sides | 12 in. | 24 in. | 12 in. x 9 in. | 100 sq. in. |



BH24



STDS24-2B

SUB BASES

| СМІ# | Description | Length | Width | Rough Opening | N.F.V. |
|---------|------------------|----------|----------|---------------------|-------------|
| STD18SJ | 18 inch Sub-Base | 16.5 in. | 16.5 in. | 10.5 in. x 10.5 in. | 110 sq. in. |
| STD24SJ | 24 inch Sub-Base | 22 in. | 22 in. | 14 in. x 14 in. | 196 sq. in. |

STANDARD MATERIALS

.025 x .025 hot dipped galvanized 23GA wire bird screen.

ASTM A653/A653M - G90 hot dipped galvanized steel, 28GA and 26GA. ASTM B370 - Sheet copper, 16 oz and 20 oz. ASTM D9092 - mill phosphatized coating for painting.

.017 in. x 0.25 in. x 0.50 in. bird screen, copper or galvanized steel.

Conforms to Federal Spec. QQ-5775A, Type 1, Class 4 ASTM A-527. Meets FHA codes.

INSTALLATION GUIDELINES

Before installation, ensure that the substrate is uniform and even. Do not install venting products on uneven substrate. Installation shall be made in accordance with recognized sheet metal practices. SMACNA Architectural Sheet Metal Manual 6th Edition specifications shall be used as a guide and basis for detail whenever applicable. Construction Metals Inc. ventilation products can be nailed or riveted using conventional hand or power tools. Flashings shall be properly fastened to the substrate by means of wood or metal screws. When fastening dissimilar metals the use of stainless steel is recommended. Use of neoprene washers or similar gasketing material is acceptable

NOTE: Recommended use of this product is for exhaust of warm dry or slightly moist air only. This product is not intended for venting or exhaust grease or liquid.

| Stee | :h-210he Koo | illig Flouuci | s - Radiative | Properties | , | |
|-------------------------|---------------------------|---------------------------------|---------------------------------|----------------------------------|---|-----------------------|
| Product | CRRC Product ID Number | CRRC Rated SR Initial / Aged | CRRC Rated TE Initial / Aged | CRRC Rated SRI Initial / Agad | Can be used to comply with Cal Title 24 part 6 ? | Energy Star Rated? |
| LAI I | | | | | | |
| Moire Black | 0668-0129 | 0.19 / pending | 0.91 / pending | 18 / pending | YES | NO |
| Crystal Gray | 0668-0058 | 0.27 / 0.26 | 0.92 / 0.90 | 29 / 27 | YES | YES |
| Georgetown Gray | 0668-0116 | 0.20 / pending | 0.91 / pending | 19 / pending | YES | NO |
| Heather Blend | 0668-0117 | 0.20 / pending | 0.91 / pending | 19 / pending | YES | NO |
| Resawn Shake | 0668-0118 | 0.19 / pending | 0.92 / pending | 19 / pending | YES | NO |
| Weathered Wood | (B II | ni by (C) | 0.91 / pending | 19 / pending | 6 | 1 1 |
| Mist White | 0668-0071 | 0.26 / 0.28 | 0.92 / 0.90 | 28 / 29 | YES | YES |
| Silver Birch | 0668-0072 | 0.26 / 0.27 | 0.90 / 0.89 | 27 / 28 | YES | YES |
| Birchwood | 0668-0084 | 0.21 / pending | 0.92 / pending | 21 / pending | YES | NO |
| Mojave Tan | 0668-0115 | 0.19 / pending | 0.88 / pending | 17 / pending | YES | NO |
| TANDWARK SOLVEISE DIVEN | IIIM | | | | | |
| Coastai Vaii | 0668-0079 | 0.40 / 0.36 | 0.91 / 0.90 | 45 / 40 | YES | YES |
| Santa Fe Blend | 0658-0080 | 0.40 / 0.35 | 0.90 / 0.91 | 45 / 39 | YES | YES |
| Sierra Buff | 0668-0078 | 0.41 / 0.37 | 0.92 / 0.90 | 47 / 41 | YES | YES |
| LANDMARK® PRO SOLARIS | | | | | | |
| Silver Birch | 0568-0072 | 0.26 / 0.27 | 0.90 / 0.89 | 27 / 28 | YE\$ | YE\$ |
| Max Def Moire Black | 0668-0130 | 0.19 / pending | 0.91 / pending | 18 / pending | YES | NO |
| Max Def Georgetown Gray | (B D | [] pd it | 0.94 / pending | 21 / pending | Б | 1 1 |
| Max Def Heather Blend | 0668-0123 | 0.19 / pending | 0.93 / pending | 19 / pending | YES | NO |
| Max Def Resawn Shake | 0668-0124 | 0.19 / pending | 0.93 / pending | 19 / pending | YES | NO |
| Max Def Weathered Wood | 0668-0125 | 0.21 / pending | 0.94 / pending | 22 / pending | YES | NO |

44'-0" 3 SLOPE 4:12 SLOPE 4:12 A3.2

PROPOSED ROOF PLAN

ROOF PLAN KEY NOTES

1 (N) DORMRE VENTS

(N) ROOFING CLASS "A" ASPHALT SHINGLES CERTAIN TEED CRCC PRODUCT ID# 0668-0072 COLOR SILVER BIRCH OVER 15 (ICC-ES-ESR-3537 OR APPROVED EQUAL) INSTALL PER MANUFACTURERS SPECIFICATIONS OUTLINE OF BUILDING BELOW

3 BUILDING BELOW

VENTILATION

NEW ATTIC VENTILATION CALCULATIONS:

PROPOSED NEW ADU ATTIC AREA: 1133 S.F REQUIRED NEW ATTIC VENTALATION:

(1133 S.F. X 144 S.I./ S.F.)/ 150= 1,088 S.I.

12"x24" HALF ROUND DORMER VENTS= 900 S.I. (100 S.I./PC)

RIDGE COIL VENT

14.1 S.I./ L.ft X 15 L.ft RIDGE LEGHT=211 S.I. 900 + 211 = 1,111 S.I.

PROPOSED NEW ATTIC VENTILATION TOTAL = 1,111 S.I.

PLAN GENERAL NOTES

ALSO REFER GENERAL NOTES FO MORE INFORMATION 1) THE CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY., AND SPECIFICATIONS TO OBTAIN FIRST-HAND KNOWLEDGE OF JOB CONDITIONS. ANY DISCREPANCIES OR CONDITIONS NEEDING

CLARIFICATION SHALL BE REPORTED TO THE OWNER PRIOR TO BEGINNING WORK. NO ALLOWANCES SHALL GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE OR ANY CONDITIONS THAT CAN BE DETERMINED BY EXAMINING THE DRAWINGS, AND SPECIFICATIONS.

2) THE CONTRACTOR AND SUB-CONTRACTORS SHALL VÉRIFY ALL DIMENSIONS ON DRAWINGS AND SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCITON LAYOUT. NO ALLOWANCES CONSTUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN TO THE CONTRACTOR OR SUB-CONTRACTOR FOR CHANGE RESULTING FROM FAILURE TO COMPLY W/ THESE REQ'MT\$

3) DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SPECIFIED GOVERN. DIMENSIONS ARE NOMINAL AND ARE TO FACE OF OBJECTGS UNLESS OTHERWISE INDICATED.

4) EACH SUB-CONTRACTORS IS CONSIDERED A SPECIAL IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO SUBMISSION OF HIS BID OR PERFORMANCE OF THE WORL NOTIFY THE CONTRACTOR AND OWNER OF ANY WORK CALLED OUT IN DWGS OR SPECS WHICH WHICH CAN N BE FULLY GURANTEED ORCONSTRUCTED AS DESIGNED C DETAILED.

5) ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE RÉQUIRED TO HAVE A THÉRMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC. 410.7). REFER TO PLUMBER PLAN TO VERIFY ROUGH & SHOWER VALVES SPECIFICATIONS. 2" H x 2" W x VARIES LENGHT SHOWER CURB TO BE LOCATION UNDER CLEAR TEMPERED GLASS ENCLOSURE AND DOOR WITH CHROME HARDWARE. FINISH TO BE WHITE TILE, UNLESS NOTED OTHERWISE ON PLAN. PROVIDE WATERPROOF MEMBRANE UNDER TILE. THE

SHOWER'S CLEAR TEMPERED GLASS ENCLOSURE & DOOR'

SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR

REFER TO ELEVATIONS FOR DIMENSION AND

6) FINISH MATERIAL POLLUTANT CONTROL SEC.4.504.2: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5:

LOCATIONS OF ALL SWITHES, LIGHTS, AND RECEPTACLES WITH FLUSH-MOUNTED SWITCH PLATE: TRUFIG OR SIMILA

-ADHESIVES SEALANTS AND CAULKS PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVE RESILIENT FLOORING, AND RESILIENT COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR

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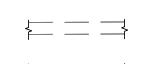
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10) G.C. TO CHECK MOISTURE CONTENT OF BUILDING MATERIALS IN WALL AND FLOOR FRAMING PRIOR TO ENCLOSURE.

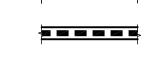
11) ALL PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER 2019 CPC.

LEGEND



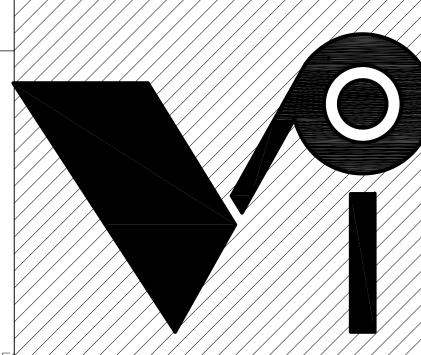
DEMO WALLS

NEW WALLS



NEW 1-HR RATED WALL AND STC 50 SOUND RATED





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PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

DRAWING TITLE:

PROPOSED ROOF PLAN

| Project number | 22-GG-1034 |
|----------------|---------------|
| Date | APRIL26, 2022 |
| Drawn by | DRW |
| Checked by | CHK |
| | |

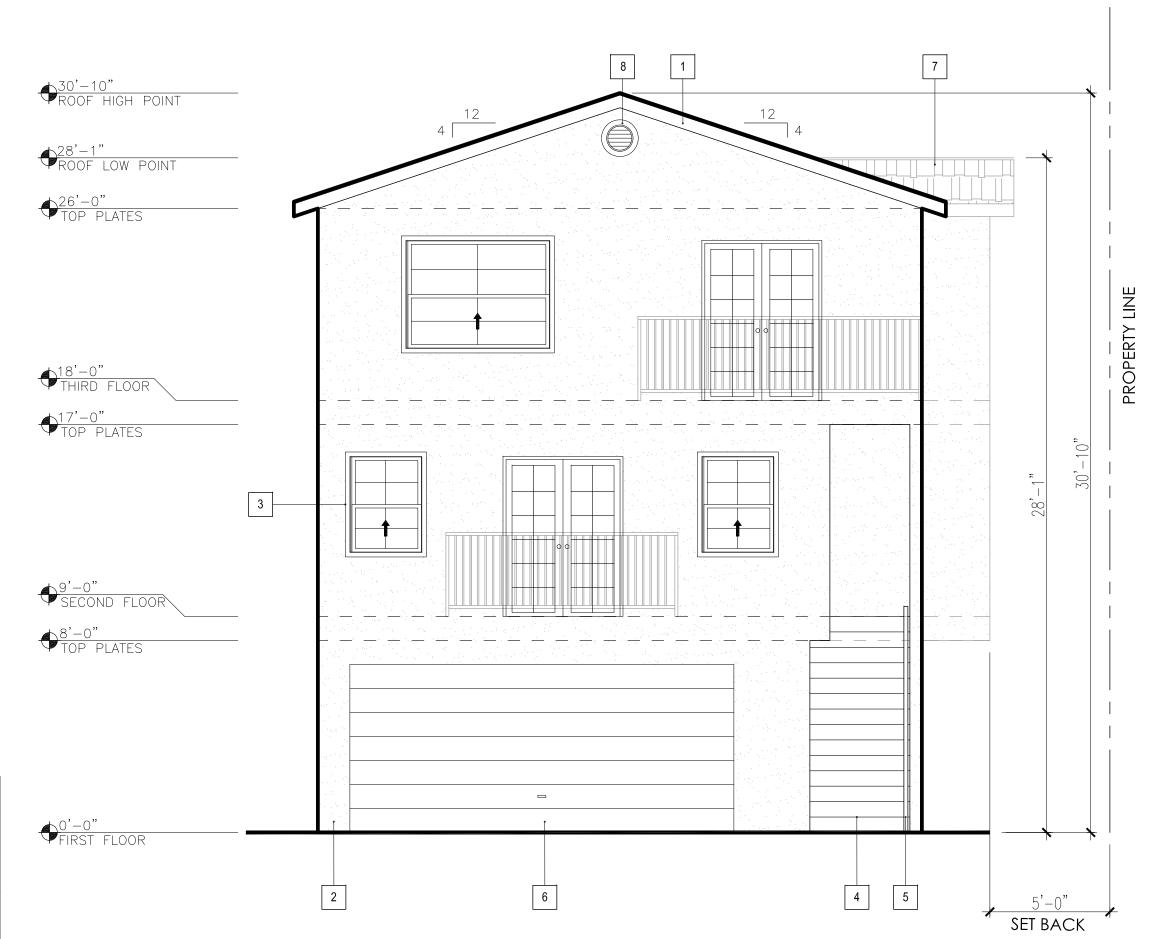
A2.3

Scale 1/4" = 1'-0"

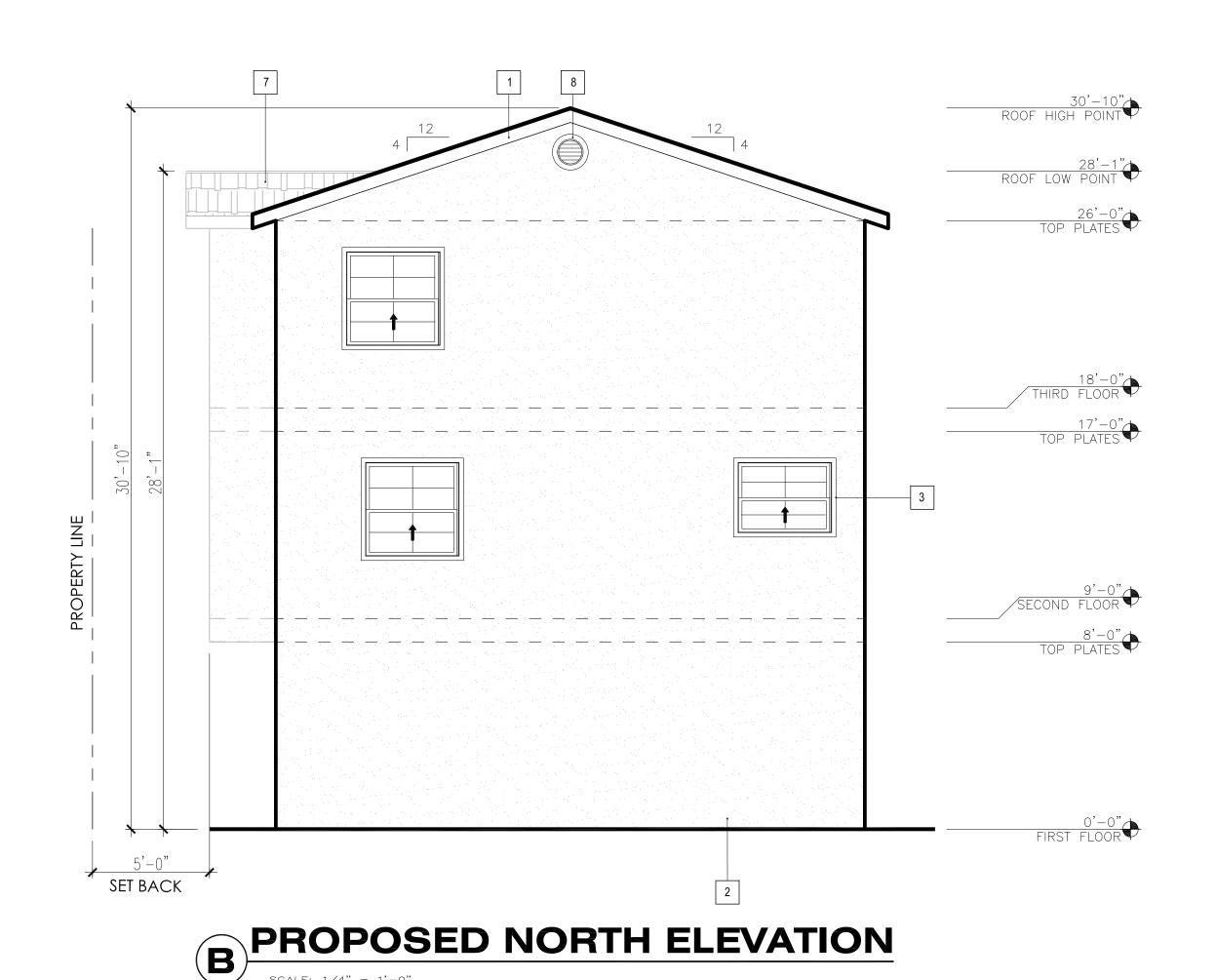
| | DOOR SCHEDULE | | | | | | | |
|------|---------------|--------|--------------|----------|-------------|--------|--|--|
| CODE | QUANT. | STATUS | SIZE | MATERIAL | CORE | | | |
| A | 1 | NEW | 2'-8"X6'-8" | WOOD | GARAGE DOOR | | | |
| В | 1 | NEW | 16'-0"X7'-0" | WOOD | GARAGE DOOR | | | |
| C | 1 | NEW | 3'-0"X6'-8" | WOOD | HOLLOW CORE | | | |
| D | 1 | NEW | 5'-0"X6'-8" | WOOD | HOLLOW CORE | | | |
| E | 1 | NEW | 3'-0"X6'-8" | WOOD | SOLID | EGRESS | | |
| F | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| G | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| H | 1 | NEW | 5'-0"X6'-8" | WOOD | SLIDERS | | | |
| | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| J | 1 | NEW | 11'-0"X6'-8" | WOOD | SLIDERS | | | |
| K | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| L | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| M | 1 | NEW | 2'-8"X6'-8" | WOOD | HOLLOW CORE | | | |
| N | 1 | NEW | 4'-0"X6'-8" | WOOD | SLIDERS | | | |
| 0 | 1 | NEW | 6'-0"X6'-8" | WOOD | SLIDERS | | | |
| P | 1 | NEW | 6'-0"X6'-8" | WOOD | SLIDERS | | | |

| | | | WINI | O W | SCHEDU | LE | | |
|------|--------|--------|-------------|----------|--------------------------------|------------------------------|-------------------|--------|
| CODE | QUANT. | STATUS | SIZE | MATERIAL | SOLAR HEAT GAIN COEFFICIENT | HEAT TRANSFER COEFFICIENT | GLAZING | NOTES |
| 1 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |
| 2 | 1 | NEW | 3'-0"X4'-0" | VINLY | | | CLEAR | |
| 3 | 1 | NEW | 5'-0"X4'-0" | VINLY | | | CLEAR | |
| 4 | 1 | NEW | 3'-0"X4'-0" | VINLY | | | CLEAR | |
| 5 | 1 | NEW | 3'-0"X4'-0" | VINLY | | | CLEAR | |
| 6 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |
| 7 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |
| 8 | 1 | NEW | 4'-6"X3'-0" | VINLY | | | CLEAR | |
| 9 | 1 | NEW | 4'-0"X3'-0" | VINLY | | | CLEAR | |
| 10 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |
| 11 | 1 | NEW | 5'-0"X4'-0" | VINLY | | | CLEAR | |
| 12 | 1 | NEW | 6'-0"X4'-6" | VINLY | | | CLEAR | EGRESS |
| 13 | 1 | NEW | 4'-0"X4'-6" | VINLY | | | CLEAR | |
| 14 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR TEMPERED | EGRESS |
| 15 | 1 | NEW | 6'-0"X4'-6" | VINLY | | | CLEAR | EGRESS |
| 16 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |
| 17 | 1 | NEW | 6'-0"X4'-6" | VINLY | | | CLEAR | EGRESS |
| 18 | 1 | NEW | 4'-0"X4'-0" | VINLY | | | CLEAR | |

DOOR AND WINDOW SCHEDULES SCALE: 1/4" = 1'-0"



A PROPOSED SOUTH ELEVATION



ELEVATION NOTES

1. EXTERIOR MATERIALS AND CONSTRUCTION METHODS WILL COMPLY WITH 707A.—I 707A.5

707A.I SCOPE. THE PROVISION OF THIS SECTION SHALL GOVERN THE MATERIAL AND CONSTRUCTION METHODS USED TO RESIST BUILDING IGNITION AND/OR SAFEGUARD AGAINST THE INTRUSION OF FLAMES RESULTING FROM SMALL EMBERS AND SHORT—TERM DIRECT FLAME CONTACT EXPOSURE.

707A.2 GERERAL. THE FOLLOWING EXTERIOR COVERING MATERIAL AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION:

- EXTERIOR WALL COVERING MATERIAL
 EXTERIOR WALL ASSEMBLY
- 3. EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE OVERHANGS
 4. EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE SOFFITS
- 2. 707A.3 EXTERIOR WALLS. THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ON OF THE FOLLOWING REQUIREMENTS:
- NONCOMBUSTIBLE MATERIAL
 IGNITION—RESISTANT MATERIAL
- 3. 707A.4 OPEN ROOF EAVES. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL
- 2. IGNITION—RESISTANT MATERIAL
 3. ONE LAYER OF 5/8—INCH TYPE X GYPSUM SHEATING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK
- 4. 707A.5 ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED—IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTERS TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDEFSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
- NONCOMBUSTIBLE MATERIAL
 IGNITION—RESISTANT MATERIAL
- 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF RAFTER TAILS OR SOFFI INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL 5. BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PREFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3
- 5. 708A.2.1 GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

 1. BE COSTRUCTED OF MULTIPANEL GLAZING WITH A MINIMUM OF ONE TEMPERED PANEL MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND HAVE A FIRE RESISTANCE RATING OF NO LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- 6. VENTILATION OPENINGS WILL COMPLY WITH A706A.I A706A.3

706A.I GENERAL. WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTIC, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO UNDERSIDE OF ROOF RAFTERS, AND UNDER FLOOR VENTILATION SHALL BE ACCORDANCE WITH SECTION I 203 AND SECTION 70A.I THROUGH 706A.3 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAMES THROUGH THE VENTILATION OPENINGS.

7. 706A.2 REQUIREMENTS. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RATHER SPACES WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDER FLOOR VENTILATION OPENING SHALL BE BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS.

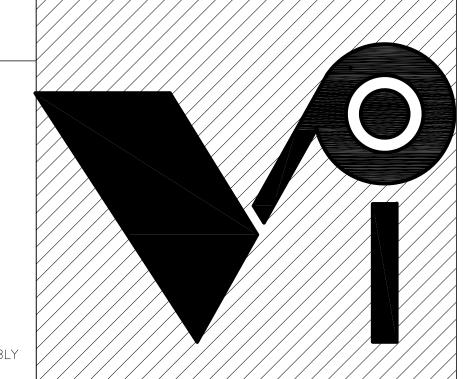
THE DIMENSIONS OF THE OPENING THERE SHALL BE IN A MINIMUM OF 1/16-INCH (1.6mm) AND SHALL NOT EXCEED 1/8-INCH (3.2mm). THE MATERIAL USED SHALL BE NONCOMBUSTIBLE.

EXCEPTION: VENTS LOCATED UNDER THE ROOF COVERING, ALONG THE RIDGE OF ROOF, EXPOSED SURFACE OF THE VENT COVERED BY NONCOMBUSTIBLE WIRE MESH, MAYBE OF COMBUSTIBLE MATERIALS. THE MATERIALS USED SHALL CORROSION RESISTANT

8. RAIN GUTTERS VERIFY LOCATION WITH HOME OWNER

ELEVATION KEYNOTES

- 1 (N) FASCIA
- 2 (N) STUCCO EXTERIOR FINISH, U.N.O.
 OVER PAPER BACKED METAL LATH
 (PER SECTION 2508.2001 CBC)
 WITH TEXTURE AND COLOR MATCH
 IMMEDIATELY ADJACENT
- 3 WINDOW PER SCHEDULE, TYP.
- 4 STAIRS REFER TO SHEET A5.1
- 5 HANDRAIL
- 6 DOOR PER SCHEDULE, TYP.
- 7 (N) ROOFING CLASS "A" ASPHALT SHINGLES
 CERTAIN TEED CRCC PRODUCT ID# 0668-0072
 COLOR SILVER BIRCH OVER 15
 (ICC-ES-ESR-3537 OR APPROVED EQUAL)
 INSTALL PER MANUFACTURERS SPECIFICATIONS
- 8 (N) VENT



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PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

RESIDENCE PROPOSED

ELEVATIONS & DOOR
AND WINDOW SCHEDULE

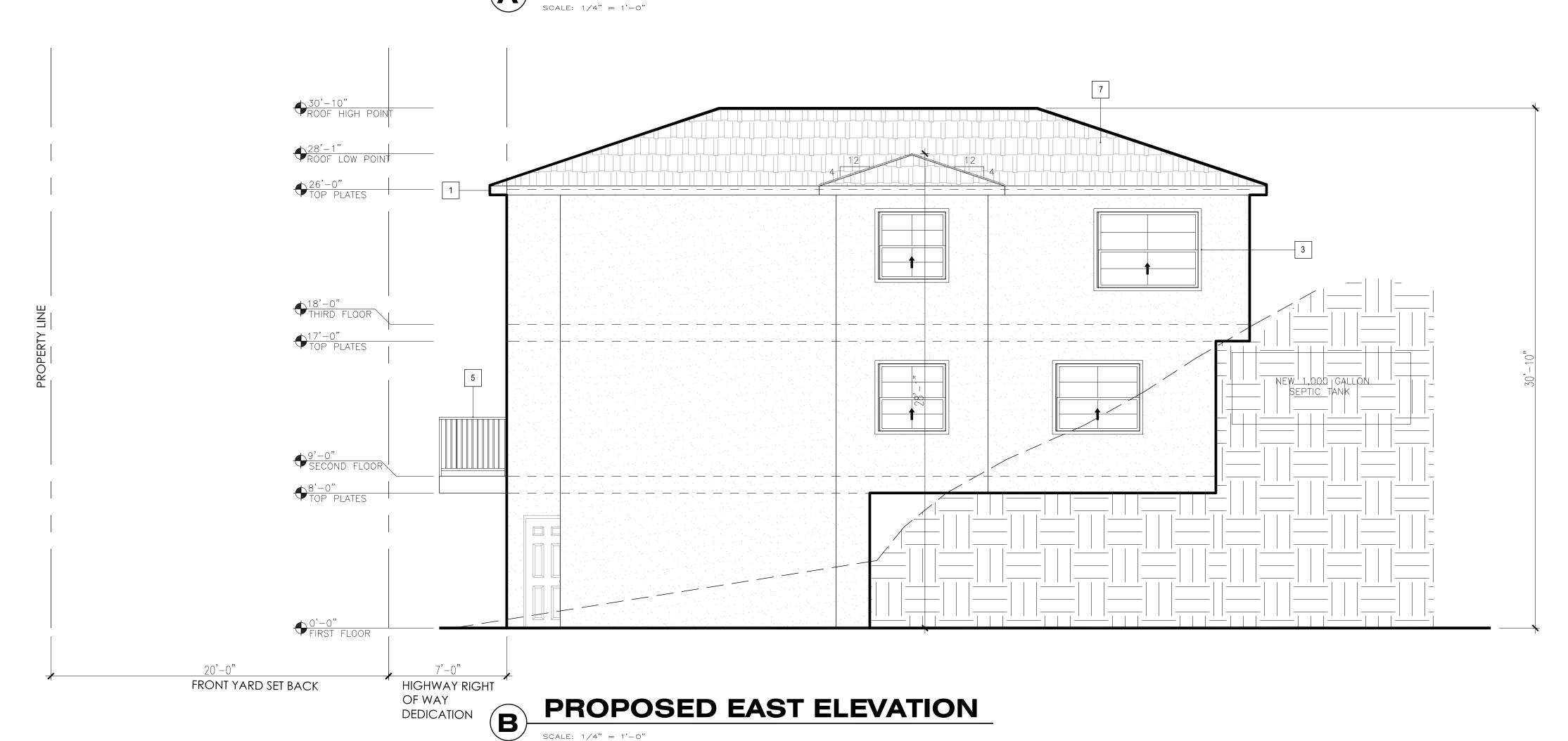
| Project number | 22-GG-1034 |
|----------------|---------------|
| Date | APRIL26, 2022 |
| Drawn by | DRW |
| Checked by | CHK |
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A3.0

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 of

 Scale
 1/4" = 1'-0"





ELEVATION NOTES

1. EXTERIOR MATERIALS AND CONSTRUCTION METHODS WILL COMPLY WITH 707A.—I 707A.5

707A.I SCOPE. THE PROVISION OF THIS SECTION SHALL GOVERN THE MATERIAL AND CONSTRUCTION METHODS USED TO RESIST BUILDING IGNITION AND/OR SAFEGUARD AGAINST THE INTRUSION OF FLAMES RESULTING FROM SMALL EMBERS AND SHORT—TERM DIRECT FLAME CONTACT EXPOSURE.

707A.2 GERERAL. THE FOLLOWING EXTERIOR COVERING MATERIAL AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION:

- EXTERIOR WALL COVERING MATERIAL
 EXTERIOR WALL ASSEMBLY
- 3. EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE OVERHANGS4. EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE SOFFITS
- 2. 707A.3 EXTERIOR WALLS. THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ON OF THE FOLLOWING REQUIREMENTS:
- NONCOMBUSTIBLE MATERIAL
 IGNITION—RESISTANT MATERIAL
- 3. 707A.4 OPEN ROOF EAVES. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE FOLLOWING:

 1. NONCOMBUSTIBLE MATERIAL
- IGNITION—RESISTANT MATERIAL
 ONE LAYER OF 5/8—INCH TYPE X GYPSUM SHEATING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK
- 4. 707A.5 ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED—IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTERS TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDEFSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
- NONCOMBUSTIBLE MATERIAL IGNITION—RESISTANT MATERIAL
- 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF RAFTER TAILS OR SOFFI INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
- 5. BOXED—IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PREFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12—7A—3
- REQUIREMENTS:

 1. BE COSTRUCTED OF MULTIPANEL GLAZING WITH A MINIMUM OF ONE TEMPERED PANEL MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND HAVE A FIRE RESISTANCE RATING OF NO LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2

5. 708A.2.1 GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH THE FOLLOWING

6. VENTILATION OPENINGS WILL COMPLY WITH A706A.I — A706A.3

706A.I GENERAL. WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTIC, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO UNDERSIDE OF ROOF RAFTERS, AND UNDER FLOOR VENTILATION SHALL BE ACCORDANCE WITH SECTION I 203 AND SECTION 70A.I THROUGH 706A.3 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAMES THROUGH THE VENTILATION OPENINGS.

7. 706A.2 REQUIREMENTS. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RATHER SPACES WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDER FLOOR VENTILATION OPENING SHALL BE BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS.

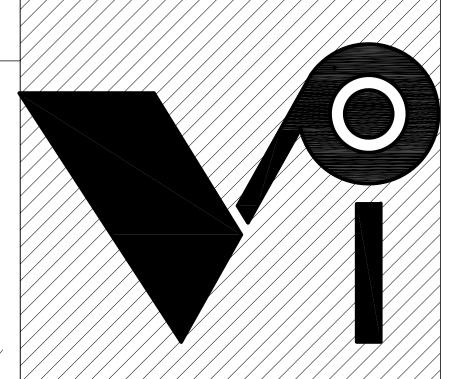
THE DIMENSIONS OF THE OPENING THERE SHALL BE IN A MINIMUM OF 1/16-INCH (1.6mm) AND SHALL NOT EXCEED 1/8-INCH (3.2mm). THE MATERIAL USED SHALL BE NONCOMBUSTIBLE.

EXCEPTION: VENTS LOCATED UNDER THE ROOF COVERING, ALONG THE RIDGE OF ROOF, EXPOSED SURFACE OF THE VENT COVERED BY NONCOMBUSTIBLE WIRE MESH, MAYBE OF COMBUSTIBLE MATERIALS. THE MATERIALS USED SHALL CORROSION RESISTANT

8. RAIN GUTTERS VERIFY LOCATION WITH HOME OWNER

ELEVATION KEYNOTES

- 1 (N) FASCIA
- 2 (N) STUCCO EXTERIOR FINISH, U.N.O.
 OVER PAPER BACKED METAL LATH
 (PER SECTION 2508.2001 CBC)
 WITH TEXTURE AND COLOR MATCH
 IMMEDIATELY ADJACENT
- 3 WINDOW PER SCHEDULE, TYP.
- STAIRS REFER TO SHEET A5.1
- 5 HANDRAIL
- 6 DOOR PER SCHEDULE, TYP.
- 7 (N) ROOFING CLASS "A" ASPHALT SHINGLES
 CERTAIN TEED CRCC PRODUCT ID# 0668-0072
 COLOR SILVER BIRCH OVER 15
 (ICC-ES-ESR-3537 OR APPROVED EQUAL)
 INSTALL PER MANUFACTURERS SPECIFICATIONS



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PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

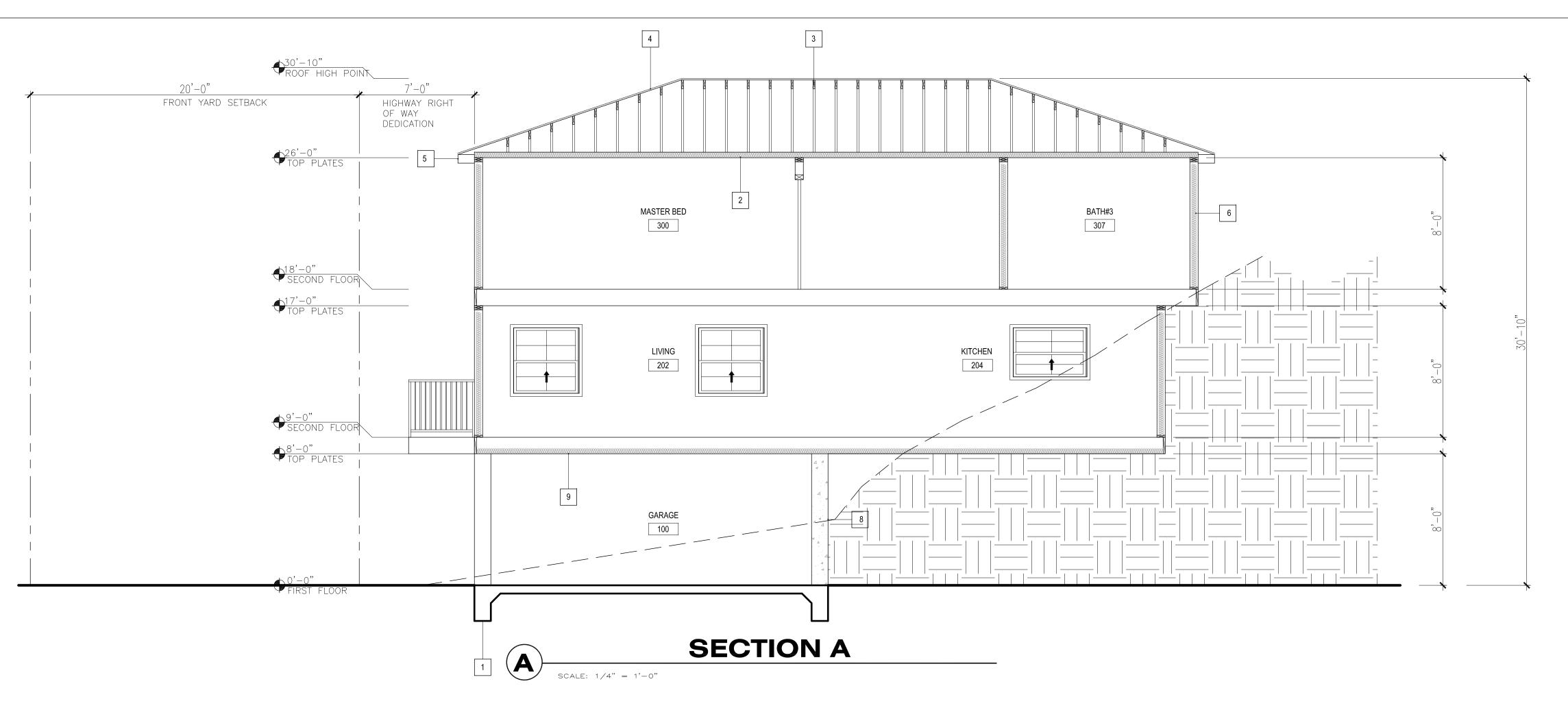
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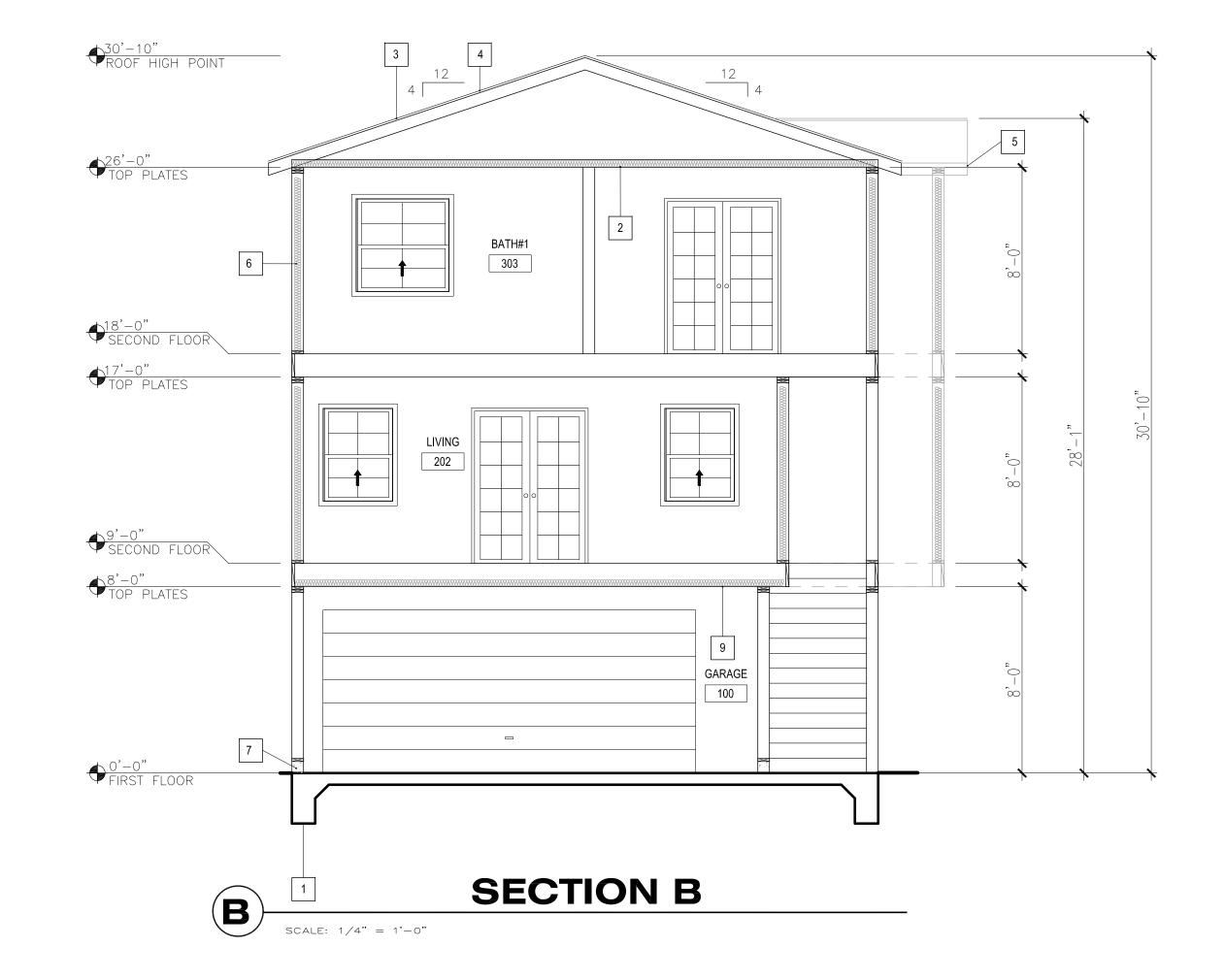
RESIDENCE PROPOSED ELEVATIONS

| Project number | 22-GG-1034 |
|----------------|---------------|
| Date | APRIL26, 2022 |
| Drawn by | DRW |
| Checked by | CHK |
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A3.1

1/4'' = 1'-0''





SECTION NOTES

1) WASHER FIRE BLOCKING AT SOFFITS AS REQUIRED PER 2019 CBC SECTION 708

2) PROVIDE FIRE STOPPING AT CHIMNEY, DUCT VENTS AT CEILING AND ROOF PENETRATIONS.

3) EXTERIOR LATH WALL ASSEMBLIES SHALL INCLUDE TWO LAYERS OF GRADE D PAPER WHEN APPLIED OVER WOOD BASED SHEATHING. (CBC 2506.4 & 5 AND CBC STANDARD 14-1)

SECTION KEYNOTES

1 (N) FOOTING, TYP.

2 R-30 INSULATION

3 RAFTER

4 (N) CLASS "A" OR BETTER ASPHALT SHINGLES

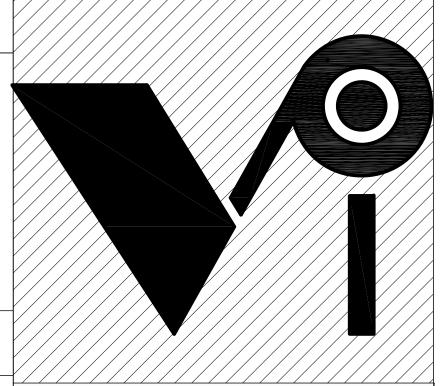
5 FASCIA

6 R-19 INSULATION

7 CONCRETE CURB

8 (N) RETAINING WALL

9 NEW 1—HR RATED WITH STC 50 SOUND RATED CEILING ASSEMBLY REFER 12/A5.1.



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PROJECT TITLE:

ALVARADO RESIDENCE

30500 POCAHANTAS DRIVE VAL VERDE, CA 91384

DRAWING TITLE:

RESIDENCE SECTIONS

| Project number | 22-GG-1034 |
|----------------|---------------|
| Date | APRIL26, 2022 |
| Drawn by | DRW |
| Checked by | CHK |

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 Scale
 1/4" = 1'-0"

Friday, April 23, 2024



PROJECT NUMBER

HEARING DATE

PRJ2024-000982-(5)

October 2, 2024

April 15, 2025

REQUESTED ENTITLEMENT(S)

Oak Tree Permit No. RPPL2024003171

PROJECT SUMMARY

Willian and Sayra Alvarado

OWNER / APPLICANT MAP/EXHIBIT DATE

PROJECT OVERVIEW

The applicant requests an Oak Tree Permit to authorize proposed encroachments into three oak trees (including one heritage oak), for the proposed construction of a new single-family residence under concurrent review through Site Plan Review No. RPPL2024001451.

| LOCATION | | ACCESS | |
|---|-------------------|-------------------------------|----------------------|
| 0 – Vacant Pocahantas Drive, Val Verde | | Pocahantas Drive | |
| ASSESSORS PARCEL NUMBER(S) | | SITE AREA | |
| 3270-004-018 | | 10,000 Square feet | |
| GENERAL PLAN / LOCAL PLAN | | ZONED DISTRICT | PLANNING AREA |
| Santa Clarita Valley Area Plan | | Newhall | Santa Clarita Valley |
| LAND USE DESIGNATION | | ZONE | |
| H5 (Residential 5 – Five Dwelling Units per Acre) | | R-1 (Single-Family Residence) | |
| PROPOSED UNITS | MAX DENSITY/UNITS | COMMUNITY STANDARDS DISTRICT | |
| 1 | 2 | Castaic Area | |

ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the Los Angeles County General Plan and Area Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.18.040 (Development Standards for Residential Zones)
 - Chapter 22.174 (Oak Tree Permits)

CASE PLANNER: PHONE NUMBER: E-MAIL ADDRESS:

Chris La Farge (213) 893-7467 clafarge@planning.lacounty.gov

LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING

DRAFT FINDINGS OF THE HEARING OFFICER AND ORDER PROJECT NO. PRJ2024-000982 OAK TREE PERMIT NO. RPPL2024003171

RECITALS

- 1. **HEARING DATE(S).** The Los Angeles County ("County") Hearing Officer conducted a duly-noticed public hearing in the matter of Oak Tree Permit ("OTP") No. **RPPL2024003171** on April 15, 2025.
- 2. **HEARING PROCEEDINGS**. Reserved
- 3. **ENTITLEMENT(S) REQUESTED.** The Permittee, Willian Alvarado ("Permittee"), requests the OTP to authorize proposed encroachments into the protected zones of three (3) oak trees (including one heritage oak) associated with the construction of a new single-family residence ("Project") on a vacant parcel, APN 3270-004-018, located on Pocahantas Drive in the unincorporated community of Val Verde ("Project Site") in the R-1 (Single Family Residence) zone pursuant to Los Angeles County Code ("County Code") Sections 22.18.030 (Land Use Regulations for Residential Zones) and 22.174.030 (Oak Tree Permits, Applicability).
- 4. **ENTITLEMENT(S) REQUIRED**. An OTP is required to authorize the encroachments into the protected zones of three oak trees for construction activities pursuant to County Code Section 22.174.030 (Oak Tree Permit, Applicability).
- 5. **RELATED ENTITLEMENT**. Site Plan Review ("SPR") No. RPPL2024001451 ("related SPR") is a related entitlement to authorize the construction of a new single-family residence ("SFR") totaling 2,126 square feet, pursuant to County Code Section 22.18.030 (Land Use Regulations for Residential Zones). The approval of the SPR is dependent on the approval of this OTP.
- 6. **PREVIOUS ENTITLEMENT(S).** Certificate of Compliance No. RPPL2024000510, recorded on February 22, 2024, certified that the subject property conforms with the Subdivision Map Act and the County Subdivision Ordinance.
- 7. **LAND USE DESIGNATION.** The Project Site is located within the H5 (Residential 5 Five Dwelling Units per Acre) land use category of the Santa Clarita Valley Area Plan ("Area Plan") Land Use Policy Map, a component of the General Plan.
- 8. **ZONING.** The Project Site is located in the Newhall Zoned District and is currently zoned R-1. Pursuant to County Code Section 22.18.030 (Land Use Regulations for Residential Zones), an SPR is required for the underlying SFR and associated work.

9. SURROUNDING LAND USES AND ZONING

| LOCATION | AREA PLAN LAND USE POLICY | ZONING | EXISTING USES |
|----------|--|---|---------------|
| NORTH | H5 (Residential 5), RL2 (Rural Land 2 – One Dwelling Unit per Two Acres), | R-1, A-2-2 (Heavy Agricultural – Two Acre Minimum Required Lot Area) | Vacant, SFRs |
| EAST | H5, H2 (Residential 2 – Two Dwelling Units per Acre) | R-1 | Vacant, SFRs |
| SOUTH | H5 | R-1 | Vacant, SFRs |
| WEST | H5 | R-1 | Vacant, SFRs |

10. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is 10,000 square feet in size and consists of one legal lot. The Project Site is rectangular in shape with a small flat area in the front with steep topography in the middle and rear and it is currently vacant. Approximately 8,100 square feet of the lot's 10,000 SF is in a Hillside Management Area. The Project Site also includes three oak trees and disturbed vegetation throughout.

Two oaks on the property have overlapping canopies. The County Biologist visited the Project Site on January 28, 2025, and determined the oak trees constitute a moderately degraded oak woodland.

B. Site Access

The Project Site is accessible via Pocahantas Drive to the north, a 26-foot-wide public street. Primary access to the Project Site will be via a 16-foot-wide driveway with an entrance/exit on Pocahantas Drive. There is no secondary access to the Project Site.

C. Site Plan

The site plan depicts a proposed 2,126 square-foot SFR with an attached 440 square-foot garage on the northern portion of the Project Site, APN 3270-004-018. Three oak trees, Oak Trees No. 1, 2 and OP3 (heritage), are located adjacent to or near the SFR. Oak Trees No. 1 and 2 are located on the Project Site along the northeasterly property line and Oak Tree No. OP3 is located on the parcel to the west, APN 3270-004-017, but its canopy overhangs onto the Project Site. The protected zones of all three oak trees are encroached upon by the proposed SFR.

D. Parking

While the request is for an OTP, an SFR is required to provide two covered parking spaces if located on a lot less than one acre in size. A two-car garage is proposed for the SFR and will be confirmed through review of the related SPR.

11. CEQA DETERMINATION.

Prior to the Hearing Officer's public hearing, County of Los Angeles Department of Regional Planning ("LA County Planning") staff ("staff") determined that the Project qualified for a Class 3 (New Construction or Conversion of Small Structures) and a Class 4 (Minor Alterations to Land) categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County. The Project is categorically exempt because the oak tree encroachments are related to minor alterations in the condition of private land and vegetation that do not involve the removal of healthy mature, scenic trees. No oak trees will be removed as part of this Project.

The existing oak trees constitute a moderately degraded oak woodland and considering its present condition, the proposed development would not result in a significant impact given that the Project will not require the removal or changing the understory. Per section 15304, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, among other activities. The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. Furthermore, the County Forester and Fire Warden ("Forester") has reviewed the Project for the requested encroachments. The Project's conditions have been determined by the Forester to be sufficient to recover any losses to trees and woodland values. The impacts from the encroachments do not justify an exception to the Categorical Exemption since the woodland is already degraded. A condition has been added to the OTP that should any oak fails due to the impacts of construction, it be replaced by the planting of two new oaks on site.

The proposed construction of a single-family residence would not substantially alter the general topography of the Project Site as the proposed grading is minor and will not cause substantial change to the site condition. Additionally, the County Forester has reviewed the Project and recommended standard conditions such as proper temporary fencing around the protected zone during construction and the use of hand tools or hand-held power tools within the protected zone. By incorporating these recommended conditions, the impacts on the oak trees and woodlands will be minimized.

No exceptions to the categorical exemptions apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a historical resource, a hazardous waste site, scenic highway, or an environmentally sensitive area. The surrounding area consists of residential neighborhoods and vacant lands. The subject property and its surrounding area are developed with roadways, driveways, SFRs, utility poles, and other infrastructure. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated. Therefore, staff recommend that the Hearing Officer determine that the project is categorically exempt from CEQA.

- 12. **PUBLIC COMMENTS**. Staff has not received any comments at the time of report preparation.
- 13. AGENCY RECOMMENDATIONS.

County Fire Department Forestry Division: Recommended approval in a letter dated July 24, 2024 with conditions.

14. **LEGAL NOTIFICATION.** Pursuant to Section 22.174.040.E (Application with a Public Hearing, Oak Tree Permits) of the County Code, the community was properly notified of the public hearing by mail and newspaper (The Santa Clarita Valley Signal.) Additionally, the Project was noticed and case materials were available on LA County Planning's website. On December 10, 2024, a total of 105 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as 26 notices to those on the courtesy mailing list for the Newhall Zoned District and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

- 15. **LAND USE POLICY.** While the Project is for three oak encroachments, the Hearing Officer finds that the related development of the SFR is consistent with the goals and policies of the Area Plan because the H5 designation is intended for SFRs.
- 16. **GOALS AND POLICIES.** The Hearing Officer finds that the Project is consistent with the following policies of the General Plan.
 - Land Use Element Policy LU 3.1: Encourage the protection and conservation of areas with natural resources, and SEAs.

The request is for an OTP to allow the new SFR to encroach on the protected zones of three oak trees, including one heritage oak. The proposed SFR will be located near the front of the lot thereby avoiding steep slopes in the rear and minimizing grading. The oak trees will remain, and grading and development within the hillside area will be minimized due to the encroachments. The Project Site is not within an environmentally sensitive area.

 Land Use Element Policy 4.LU:1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.

Val Verde is an established community with public water, publicly maintained streets and trash collection. While the Project is for three oak encroachments, including one heritage oak, the related development of the proposed SFR will provide needed housing in the Val Verde community on a vacant lot within an existing residential neighborhood that has access to public infrastructure.

The Hearing Officer finds that the Project is consistent with the following objective and policy of the Area Plan.

• Objective CO-3.2: Identify and protect areas which have exceptional biological resource value due to a specific type of vegetation, habitat, ecosystem or location.

Related SFR development is confined within a small area of the Project Site as the building footprint of the new SFR is 1,232 square feet. The Project will maintain all existing oak trees on site and maintain most of the existing topographic features. The site is in an oak woodland that is already degraded and the encroachments will not create a significant impact.

• Policy CO-3.2.2: Ensure that development is located and designed to protect oak and other significant indigenous woodlands. (Guiding Principle #9)

The Project has been designed to minimize impacts to oak trees, oak woodlands, and the hillside. No oak trees will be removed, and implementation of the OTP conditions will help protect the oaks that will be encroached by the proposed SFR.

ZONING CODE CONSISTENCY FINDINGS

- 17. **PERMITTED USE IN ZONE.** While the Project request is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the related SFR development is consistent with the R-1 zoning classification, as a SFR is permitted in such zone with a Site Plan Review pursuant to County Code Section 22.18.030 (Land Use Regulations for Residential Zones). The related SFR development will be reviewed for conformity with Title 22 by the related Site Plan Review.
- 18. **REQUIRED YARDS.** While the Project request is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the related SFR development is consistent with the standards identified in County Code Section 22.18.040 (Development Standards for Residential Zones). The R-1 zone requires a 20-foot front yard setback, five-foot interior side yard setback and 15-foot rear yard setback. The County Department of Public Works is requiring a street dedication of seven (7) feet per their letter to Mr. Diaz dated April 25, 2024. Therefore, the combined front yard setback is 27 feet. The proposed SFR meets these requirements which will be confirmed before approval under the related SPR.
- 19. **HEIGHT.** While the Project is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the related development of the SFR is consistent with the standards identified in County Code Section 22.18.040 (Development Standards for Residential Zones). Every SFR shall not exceed 35 feet above grade. The proposed SFR at the Project Site is under 35 feet in height with a maximum height of 30 feet and 10 inches above grade. This will be confirmed before approval under the related SPR.

- 20. **PARKING.** While the Project is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces) for SFRs. For an SFR, two covered standard spaces are required. A two-car garage is provided for the proposed SFR. This will be confirmed before approval under the related SPR.
- 21. **HILLSIDE MANAGEMENT AREA.** While the Project is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the Project is exempt from the requirement for a Conditional Use Permit ("CUP") for development within a Hillside Management Area ("HMA"). The majority of the Project Site is classified as HMA, and the proposed SFR is partially within the HMA. However, pursuant to County Code Section 22.104.030.A (Permit Required in HMA) because the Project proposes under 15,000 cubic yards of grading and is on a single parcel and there is no development proposed on contiguous parcels by the Permittee, the Project is exempt from the need for a CUP. The amount of proposed grading on the Project Site is 200 cubic yards (100 cubic yards of cut and 100 cubic yards of fill). This will be confirmed before approval under the related SPR.
- 22. **COMMUNITY STANDARDS DISTRICT ("CSD").** While the Project is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the Project is consistent with the applicable standards identified in County Code Chapter 22.312 (Castaic Area CSD). Because the Project includes development within an HMA, County Code Section 22.312.060.E (Hillsides in CSD) is applicable. The Project will conform to the standards listed in this section. No development is proposed near a Significant Ridgeline. This will be confirmed before approval under the related SPR.
- 23. **RURAL OUTDOOR LIGHTING DISTRICT.** While the Project is for three oak encroachments, including one heritage oak, the Hearing Officer finds that the Project is consistent with the applicable standards identified in County Code Chapter 22.80 (Rural Outdoor Lighting District). The Project Site is located within a Rural Outdoor Lighting District and is subject to the development standards for residential uses in County Code Section 22.80.050 (Rural Outdoor Lighting District General Development Standards), including a maximum height of 20 feet for any outdoor lighting fixtures, a limit of 400 lumens for any fixture above 15 feet in height, full shielding of outdoor lighting fixtures, and no unacceptable light trespass. Conformance will these standards will be confirmed with the related SPR.

OAK TREE PERMIT FINDINGS

24. The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property. The oak tree report dated September 27, 2022, identifies three ordinance-sized Coast Live Oak trees (including one heritage oak) on the Project Site and an adjacent parcel. The protected zones of all three trees will be encroached upon by the proposed

construction of the SFR. According to the oak tree report, Tree No. 1 has a large cavity in the main trunk and decaying organisms in this cavity have significantly degraded the structural integrity of the tree. The combined effects of pruning and soil disturbance within the root zone of Oak Tree No. 1 could significantly harm its health. With the implementation of the County Forester's and the arborist's recommendations, Tree No. 1 will be protected in place and preserved during construction. With the implementation of the County Forester's and the oak tree report's arborist's recommendations, the other two oak trees including one heritage oak will be protected in place and preserved during construction without compromising their health. In the event that one or more oak trees dies as a result of the encroachments, the planting of mitigation trees will be required. Any mitigation trees would need to be properly maintained and monitored.

- 25. The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. No oak tree is proposed to be removed. Two of the three oak trees, including one heritage oak tree, are anticipated to survive the ground disturbance associated with the construction of the SFR by adherence to the conditions of the OTP. Oak No. 1 which has suffered drought stress and a large cavity in its trunk has a possible likelihood of failure, and its health could be significantly harmed by the effects of pruning and soil disturbance.
- The Hearing Officer finds that in addition to the above facts, at least one of the 26. following findings apply: a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that: i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized; b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices. The three oak trees, including one heritage oak tree, will be encroached upon by the related proposed construction of the SFR but no oak tree is proposed to be removed. The proposed location of the SFR is the most suitable location on the Project Site for development due to the steep slopes over most of the Project Site and the SFR's location in the relatively flatter portion of the Project Site. Relocating the SFR outside of the oak tree protected zones would result in significantly more grading, and even if that were done, grading for the driveway may still require encroachments to the same oak trees. The proposed SFR location minimizes the amount of grading needed and overall Project impacts while preserving the oak trees. The location of the oak trees on the Project Site makes development infeasible unless oak tree encroachments are allowed. The development of an SFR

PROJECT NO. PRJ2024-000982 OAK TREE PERMIT NO. RPPL2024003171

can be accomplished without removing any oak trees with the protection provided by the OTP conditions.

27. The Hearing Officer finds the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure. The requested encroachments are consistent with the intent and purpose of the OTP procedure to allow the related construction of the SFR. These oak trees will continue to be monitored by the LA County Forrester to ensure their survival when construction is completed. The OTP conditions will help support the health of the trees. In the event any of the oak trees does not survive, the permittee will be required to plant and maintain replacement oak trees at a ratio of 2:1 (10:1 for heritage trees) on the property.

ENVIRONMENTAL FINDINGS

28. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15304 (Class 3, New Construction or Conversion of Small Structures and Class 4, Minor Alterations to Land). The Project is exempt because the oak tree encroachments are related to construction of a SFR and minor alterations in the condition of private land and vegetation that do not involve the removal of healthy, mature, scenic trees. No trees will be removed as part of this Project.

The proposed construction of the SFR would not substantially alter the general topography of the area. While the Project Site contains several oak trees forming a moderately degraded oak woodland, the impacts from encroachments are not a significant impact and therefore are not an exception to the Categorical Exemption.

The proposed construction may compromise the health of one existing tree, Oak No. 1. Additionally, the County Forester has reviewed the Project and recommended standard conditions such as proper temporary fencing around the protected zone during construction and the use of hand tools or hand-held power tools within the protected zone and replacement trees the impacted oaks. By incorporating these recommended conditions, the impacts on the oak trees will be minimized.

No exceptions to the categorical exemptions apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a historical resource, a hazardous waste site, scenic highway, or an environmentally sensitive area. The surrounding area consists of residential development and vacant land. The subject property is not developed and its surrounding area is partially developed with residences, roadways, driveways, buildings, utility poles, and other infrastructure and partially vacant. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated.

ADMINISTRATIVE FINDINGS

29. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the North County Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed construction and use could impact the health of one of the three oak trees. The proposed construction and use will be accomplished without endangering the health of the other two oak trees, including Tree OP3 which is a heritage oak, subject to County Code Title 22 (Planning and Zoning) regulations, if any, on and adjacent to the Project Site. The conditions of approval will ensure all the impacted trees are minimized.
- B. There is no removal or relocation of oak trees; the proposed encroachments of the oak trees will not result in soil erosion through the diversion or increased flow of surface waters, which cannot be satisfactorily mitigated.
- C. The encroachments of the oak trees is necessary as non-encroachment of the trees at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that: i) alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or ii) placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.
- D. The Hearing Officer finds the proposed encroachments of the oak trees will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

THEREFORE, THE HEARING OFFICER:

- Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 (Class 3, New Construction or Conversion of Small Structures) and 15304 (Class 4, Minor Alterations to Land); and
- 2. Approves **OAK TREE PERMIT NO. RPPL2024003171**, subject to the attached conditions.

ACTION DATE: April 15, 2025

SZD:CF

March 5, 2025

c: Hearing Officer, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL PROJECT NO. PRJ2024-000982-(5) OAK TREE PERMIT NO. RPPL2024003171

PROJECT DESCRIPTION

The project is to authorize encroachments into the protected zones of three oak trees, identified as Tree Nos. 1, 2 and OP3 (heritage), on a vacant property located on Pocahantas Drive in the unincorporated community of Val Verde subject to the following conditions of approval:

GENERAL CONDITIONS

- 1. Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
- 2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid pursuant to Condition No. 8. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4 and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
- 3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
- 4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

EXHIBIT D CONDITIONS OF APPROVAL PAGE 2 OF 4

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

- 5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
- 6. Upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
- 7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
- 8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of or any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum \$882.00, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for two (2) inspections. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$441.00 per inspection, or the current recovery cost

EXHIBIT D CONDITIONS OF APPROVAL PAGE 3 OF 4

established by LA County Planning at the time any additional inspections are required, whichever is greater.

- 9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
- 10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department ("County Fire").
- 11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
- 12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
- 13. The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
- 14. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

PERMIT-SPECIFIC CONDITIONS - OAK TREE PERMIT

15. The grant shall authorize encroachments into the protected zones of three oak trees, all three (3) of which are to be encroached by the proposed construction activities, associated with the construction of a new single-family residence. One (1) of the three trees (identified as OP3 in the applicant's Oak Tree Report) is a heritage oak tree.

- 16. In the event that any of the trees dies as a result of the encroachments, the Permittee shall provide mitigation trees of the oak genus at a rate of two to one (2:1) for any non-heritage trees and rate of ten to one (10:1) for any heritage tree. The location of the replacement trees shall be recorded with a GPS and plotted on an "As-built" plan along with their decimal degree coordinates, to be submitted to LA County Planning. Replacement trees shall be planted within the subject property to the satisfaction of the Director. The As-built plan shall serve as a reference so that replacement trees may be easily located during the condition-compliance inspection. Alternatively, contributing to the Oak Forest Special Fund to the satisfaction of County Fire is an alternative if on-site planting is not possible.
- 17. The Permittee shall comply with all conditions and requirements contained in the County Fire Forester and Fire Warden, Forestry Division ("Forester"), letter dated July 24, 2024 (attached hereto), to the satisfaction of said Division, except as otherwise required by said Division.

Attachments:

Exhibit D-1 Forester Letter dated July 24, 2024

Exhibit D-2 Oak Trees: Care and Maintenance Guide



COUNTY OF LOS ANGELES FIRE DEPARTMENT

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KATHRYN BARGER FIFTH DISTRICT

July 24, 2024

ANTHONY C. MARRONE

FORESTER & FIRE WARDEN

FIRE CHIEF

Christopher La Farge, Planner Department of Regional Planning Zoning Permits Section 320 West Temple Street Los Angeles, CA 90012

Dear Christopher La Farge:

OAK TREE PERMIT NUMBER RPPL2024003171 30500 POCAHANTAS DRIVE, CASTAIC

We have reviewed the "Request for Oak Tree Permit #RPPL2024003171." The project is located at 30500 Pocahantas Drive in the unincorporated area of Castaic. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by James Komen, the consulting arborist, dated September 27, 2022.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

- 1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
- 2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

Christopher La Farge, Planner July 24, 2024 Page 2

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

- 3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
- 4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
- 5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
- 6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

- 7. This grant allows encroachment within the protected zone of three (3) trees of the Oak genus identified as Trees Number 1, 2 an OP3 (heritage) on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
- 8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

Christopher La Farge, Planner July 24, 2024 Page 3

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

- 10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree or ten to one (10:1) for any heritage tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
- 11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
- 12. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.
- 13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
- 14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
- 15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

- 17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
- 18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
- Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
- 20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
- 21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
- 22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,

KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION

PREVENTION SERVICES BUREAU

Kien Tan

KT:jl

Enclosure



PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: April 3, 2025

PROJECT NUMBER: PRJ2024-000982-(5)

PERMIT NUMBER(S): Oak Tree Permit No. RPPL2024003171

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: Vacant Lot on Pocahantas Drive, Val Verde

OWNER: Willian and Sayra Alvarado
APPLICANT: Willian and Sayra Alvarado

CASE PLANNER: Chris La Farge, Regional Planner

clafarge@planning.lacounty.gov

Los Angeles County ("County") completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The project qualifies for a Class 3 New Construction or Conversion of Small Structures and Class 4 Minor Alterations to Land Categorical Exemptions under State CEQA Guidelines Section 15304. The Project is categorically exempt because the oak tree encroachments are related to minor alterations in the condition of private land and vegetation associated with the construction of a new single-family residence that do not involve the removal of healthy mature, scenic trees. No trees will be removed as part of this Project.

The proposed construction of the single-family residence would not substantially alter the general topography of the Project Site as the proposed grading is minor and will not cause substantial change to the site condition. The County Biologist determined the oaks form a moderately degraded oak woodland and considering its present condition, the proposed development would not result in a significant impact given that the project is not proposing removal or changing the understory. Per section 15304, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, among other activities. The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. Furthermore, the County Forester and Fire Warden ("Forester") has reviewed the Project for the requested encroachments. The Project's conditions have been determined by the Forester to be sufficient to recover any losses to trees and woodland values. The impacts from the encroachments do not justify an exception to the Categorical Exemption since the woodland is already degraded.

February 7, 2023 PAGE 2 OF 2

The proposed construction may compromise the health of Oak Tree No. 1. Additionally, the County Forester has reviewed the Project and recommended standard conditions such as proper temporary fencing around the protected zone during construction and the use of hand tools or hand-held power tools within the protected zones. By incorporating these recommended conditions, the impacts on the oak trees will be minimized. In the event any oak tree dies due to the encroachments, the Forester has also recommended the planting of mitigation trees at the rate of two to one (2:1) for any oak and ten to one (10:1) for any heritage oak.

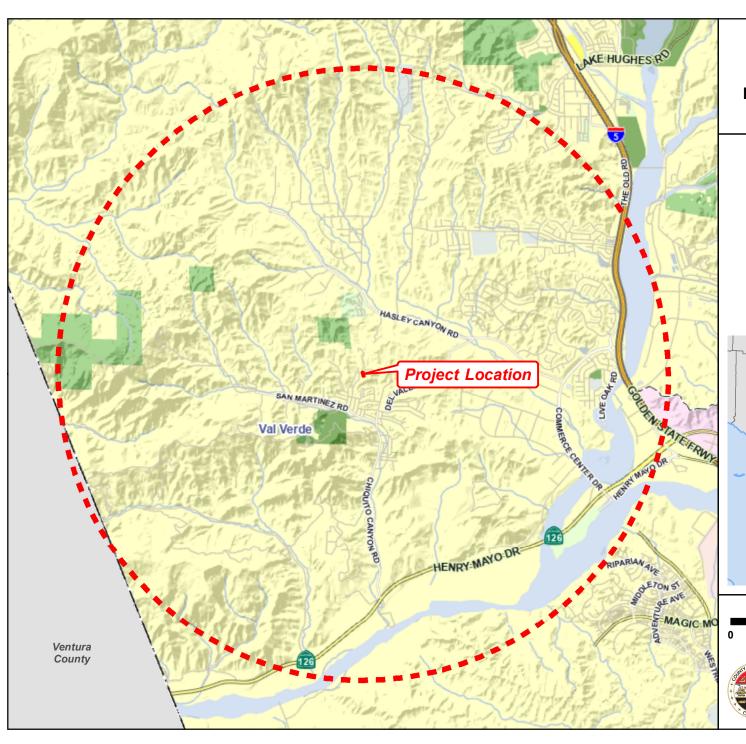
No exceptions to the categorical exemptions apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a historical resource, a hazardous waste site, scenic highway, or an environmentally sensitive area. The surrounding area consists of residential neighborhood, and vacant lands. The subject property is not developed and its surrounding area is partially developed with residences, roadways, driveways, buildings, utility poles, and other infrastructure and partially vacant. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated.



OAK TREE PERMIT WITH PUBLIC HEARING STATEMENT OF FINDINGS

| _ | | noval | nber of oak trees propo Encroachment | To Remain | Total existing oak trees |
|-----|--------------------|---|--|---|--|
| | uant to C wing: | County Co | de Section <u>22.174.060</u> | <u>)</u> : Findings, the applica | nt shall substantiate the |
| | (Do not | t repeat the | statement or provide Y | es/No responses. If nece | essary, attach additional pages.) |
| B.1 | | | | use will be accomplished gulations, if any, on the si | l without endangering the health of ubject property. |
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| B.2 | | | | s proposed will not result ters which cannot be sat | in soil erosion through the isfactorily mitigated. |
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| B.3 | a. | That the rat present property i. Alt co ii. Pla pro | emoval or relocation of t locations frustrates the consuch an extent that: ernative development past of such alternative we accement of such oak treperty for a use otherwist pak trees proposed for revays, either within or ou | e planned improvement or plans cannot achieve the sould be prohibitive, or es precludes the reasona se authorized; emoval or relocation intel | s necessary as continued existence or proposed use of the subject same permitted density or that the able and efficient use of such referes with utility services or streets erty, and no reasonable alternative |
| | C. | That the debilitating | condition of the oak tree | s proposed for removal w falling is such that it cann | vith reference to seriously ot be remedied through reasonable |
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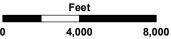
| B.4 | The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure. |
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3-MILE RADIUS

LOCATOR MAP
PROJECT NO. PRJ2024-000982
OTP RPPL2024003171

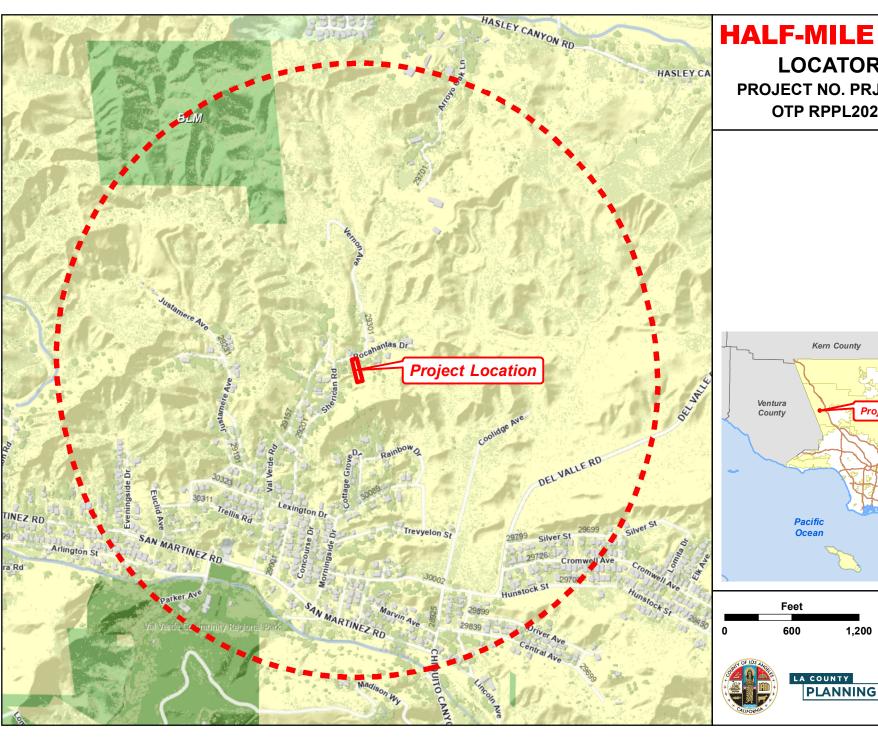








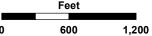
LOS ANGELES COUNTY Dept. of Regional Planning 320 W. Temple Street Los Angeles, CA 90012



HALF-MILE RADIUS

LOCATOR MAP PROJECT NO. PRJ2024-000982 OTP RPPL2024003171







LOS ANGELES COUNTY Dept. of Regional Planning 320 W. Temple Street Los Angeles, CA 90012



AERIAL IMAGERY

SITE-SPECIFIC MAP PROJECT NO. PRJ2024-000982 OTP RPPL2024003171

Digital Ortho Aerial Imagery: Los Angeles Region Imagery Acquisition Consortium (LARIAC)

Feet 0 50 10







LOS ANGELES COUNTY Dept. of Regional Planning 320 W. Temple Street Los Angeles, CA 90012



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July 24, 2024

ANTHONY C. MARRONE

FORESTER & FIRE WARDEN

FIRE CHIEF

Christopher La Farge, Planner Department of Regional Planning Zoning Permits Section 320 West Temple Street Los Angeles, CA 90012

Dear Christopher La Farge:

OAK TREE PERMIT NUMBER RPPL2024003171 30500 POCAHANTAS DRIVE, CASTAIC

We have reviewed the "Request for Oak Tree Permit #RPPL2024003171." The project is located at 30500 Pocahantas Drive in the unincorporated area of Castaic. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by James Komen, the consulting arborist, dated September 27, 2022.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

- 1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
- 2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

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incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

- 3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
- 4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
- 5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
- 6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

- 7. This grant allows encroachment within the protected zone of three (3) trees of the Oak genus identified as Trees Number 1, 2 an OP3 (heritage) on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
- 8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

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9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

- 10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree or ten to one (10:1) for any heritage tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
- 11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
- 12. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.
- 13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
- 14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
- 15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

- 17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
- 18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
- Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
- 20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
- 21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
- 22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,

KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION

PREVENTION SERVICES BUREAU

Kien Tan

KT:jl

Enclosure

30500 Pocahantas Dr. Arborist Report

Prepared for William Alvarado 14209 Vanowen Street, #208 Van Nuys, CA 91405

> Prepared by James Komen BCMA WE-9909B RCA #555

Class One Arboriculture Inc. 3763 Ramsdell Ave Glendale, CA 91214 818-495-5344 classonearboriculture@gmail.com

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Site Map attached separately

Background

I was contacted in September of 2022 by Paciano Diaz on behalf of property owner William Alvarado. Mr. Diaz asked for a proposal for a tree report for a new home construction project on a vacant lot in Val Verde. I visited the site on September 19, 2022 at 1:00pm to collect data for this report.

Project Description

A new single family residence will be built on a vacant hillside lot. There are 7 trees growing on and around the subject property that could potentially be affected by the proposed construction. Of the 7 trees in this report, 3 are protected coast live oaks. One unprotected elderberry tree is proposed for removal. No protected trees are proposed for removal.

The tree protection zones of all three protected oaks will be encroached by some amount of the proposed project. About 30% of the tree protection zone of Tree 1 will be encroached by the footprint of the proposed home. The tree protection zone of Tree 2 will be encroached by less than 10%. Tree OP3 will be encroached by less than 5% of its tree protection zone. Tree 1 may be impacted by the proposed project, but it will be retained in place. Trees 2 and OP3 will not likely be impacted by the proposed project.

A portion of the foundation of the proposed structure will be raised above the soil level within the drip line of Tree 1 to reduce the amount of root disturbance. A trench will be excavated around the perimeter of the proposed structure to build the footing. All excavation will be performed with hand tools under the supervision of the project's Arborist of Record (AOR). If significant roots larger than 1 inch in diameter are encountered, the project's arborist will evaluate whether the roots can be retained or may be severed. Roots crossing the trench will be wrapped in protective foam before the concrete footing is poured.

Tree 1 will be pruned to establish vertical clearance over the work area.

If the recommendations in this report are followed, the impact of the proposed project on Tree 1 will be significant, and the impact on Trees 2 and OP3 will be *de minimis*.

Subject Trees



Tree 1 *Quercus agrifolia* – Coast Live Oak

This tree is protected by ordinance. It will be retained in place through the proposed construction project.

The canopy is showing symptoms of heat and drought stress. Some of the leaves at the tips are smaller and curled inward, indicating the tree has been chronically drought stressed for at least the past year. Some of the lower scaffold branches were pruned with heading cuts in the past; the tree has subsequently resprouted from some of these heading cuts. Deadwood has accumulated in the canopy over the past several years.

There is a large cavity in the main trunk with openings at the root crown and approximately 6 feet up the trunk. Around the perimeter of each cavity opening is a layer of woundwood approximately 2-3 inches thick. The decay organisms in the cavity have significantly degraded the structural integrity of the tree, but the woundwood partially offsets the strength loss. The whole tree has a *possible* likelihood of failure within the next one year time frame.

The footprint of the proposed home will encroach within approximately 30% of the tree protection zone. Because of the tiered design of the building, the soil closest to the trunk will remain undisturbed. Soil disturbance will be limited to the footprint of the garage footing and the rear portion of the house where it meets natural grade. Between these two areas, the floor of the house will be suspended over the soil, thereby minimizing the potential for root disturbance.

As a consequence of encroaching upon the drip line of this tree, approximately 25% of the canopy must be pruned back to make space for the house. Pruning should be performed by a crew directly supervised by a Certified Arborist, and only the minimum amount of living foliage should be removed to achieve the requisite clearance.

Taken alone, the pruning will not be significant enough to kill the tree. The combined effects of the pruning and of the soil disturbance within the root zone of this tree will likely cause a significant impact on its health. Notwithstanding this anticipated impact, the tree will be retained in place.



Tree 2 *Quercus agrifolia* – Coast Live Oak

This tree is protected by ordinance. It will be retained in place through the proposed construction project.

The southwest side of the trunk of this tree has an area of bark loss approximately 4 feet in length, a symptom of sunburn injury. Callous wood has begun to roll in around the perimeter of the injury.

Like Tree 1, this tree's health has been inhibited by chronic drought stress. Its foliage is small and curled, indicating an ongoing inadequacy of water. I observed sections of dieback in the crown as well. I recommend pruning off the deadwood.

The footprint of the proposed home will encroach within the tree protection zone. Some amount of excavation will occur, but the excavation is unlikely to cause significant detriment to the tree. All excavation within the tree protection zone should be directly supervised by a Certified Arborist. The overall anticipated impact to this tree is minor.

This tree will also be pruned for clearance over the work area. Only prune the minimum amount of live foliage necessary to achieve the necessary clearance.

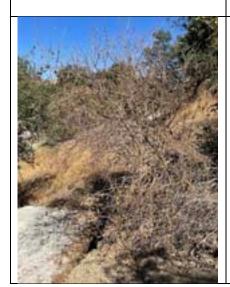


Tree OP3 *Quercus agrifolia* – Coast Live Oak

This tree is protected by ordinance. It is growing on the neighboring property to the west. It will be retained in place.

This tree is growing on a steeper section of the slope, and its branches have grown down to the ground level almost all the way around the canopy. The canopy is healthy. The tree has a co-dominant trunk form.

One of the longer scaffold branches reaches out over the subject property. This branch will be pruned back to the property line. Pruning shall be performed by a crew directly supervised by a Certified Arborist, and only the minimum amount of living foliage will be removed. The overall impact of this pruning on the tree will be *de minimis*.



Tree 4Sambucus mexicana – Mexican Elderberry

This tree is not protected by ordinance. It will be removed to abate fire hazard because it is dead.



Tree 5 *Prunus ilex* – Holly Leaf Cherry

This tree is not protected by ordinance. Although it has a similar leaf shape to the protected coast live oak, it may be distinguished by its black, fleshy fruits and the lack of hairs on the undersides of the leaves.

This tree has symptoms of heat and drought stress. It has been partially suppressed by vines that have colonized its canopy.



Tree 6 *Prunus ilex* – Holly Leaf Cherry

This tree is not protected by ordinance. Although it has a similar leaf shape to the protected coast live oak, it may be distinguished by its black, fleshy fruits and the lack of hairs on the undersides of the leaves.

This tree has symptoms of heat and drought stress.



Tree 7 *Prunus ilex* – Holly Leaf Cherry

This tree is not protected by ordinance. Although it has a similar leaf shape to the protected coast live oak, it may be distinguished by its black, fleshy fruits and the lack of hairs on the undersides of the leaves.

This tree has symptoms of heat and drought stress.

Tree Matrix

| Tree | e Tag | Species | Common Name | Circ | DBH | #Trunks | Height | #Trunks Height Condition | Treat | Rate | Rate Protect Impact | | Natural |
|------|--------|---|--------------------|-------|---------|---------|------------|------------------------------------|-----------------|------|---------------------|----------------------------|---------|
| | | | | | | | | | | | | significant: bldg | |
| | | | | | | | | large cavity, heat/drought stress, | | | | footprint encroach 30% | |
| | 1 1848 | 18 Quercus agrifolia | Coast Live Oak | 101" | 32" | 1 | 24' | 24' past heading cuts | prune clearance | C+ | Yes | into TPZ | Yes |
| | | | | | | | | | prune deadwood | | | minor: bldg footprint | |
| | 2 1849 | 19 Quercus agrifolia | Coast Live Oak | 50" | 16" | 1 | 24' | 24' deadwood, dieback, bark loss | and clearance | С | Yes | encroach <10% into TPZ Yes | Yes |
| | | | | | | | | | | | | de minimis : bldg | |
| | | | | | | | | | | | | footprint encroach <5% | |
| OF. | 3 no t | OP3 no tag Quercus agrifolia | Coast Live Oak | 119" | 38" | 1 | 31 | 31' healthy, co-dom stems | none | В | Yes | into TPZ | Yes |
| | | | | 3x9", | 3x3", | | | | | | | | |
| | 4 no t | 4 no tag Sambucus mexicana Mexican Elderberry | Mexican Elderberry | 3" | 1" | 4 | ∞ <u>.</u> | dead | none | F | No | remove | Yes |
| | | | | | | | | heat/drought, suppressed by | | | | | |
| | 5 no t | 5 no tag Prunus ilex | Holly Leaf Cherry | 2x9" | 2x3" | 2 | 15' | 15' vines | none | С | No | none | Yes |
| | | | | 3x8", | 3x2.5", | | | | | | | | |
| | 6 no t | 6 no tag Prunus ilex | Holly Leaf Cherry | 3" | 1" | 4 | 9' | 9' heat/drought stress | none | В- | No | none | Yes |
| | 7 no t | 7 no tag Prunus ilex | Holly Leaf Cherry | 7x9" | 7x3" | 7 | 10' | 10' heat/drought stress | none | В- | No | none | Yes |

Tree Canopy Matrix

| Tree | Canopy Matrix | | | | | Ca | nop | y Spi | read | | | | | Can | ору | Clea | ranc | e | |
|------|-------------------|-----------|-------------|-----|-----|-----|-----|-------|------|-----|-----|-----|-----|-----|-----|------|------|-----|-----|
| Tree | Species | Lat | Long | N | NE | Е | SE | S | sw | W | NW | N | NE | Е | SE | S | SW | W | NW |
| 1 | Quercus agrifolia | 34.452224 | -118.660093 | 20' | 18' | 18' | 18' | 13' | 15' | 18' | 16' | 5' | 10' | 5' | 8' | 3' | 6' | 8' | 8' |
| 2 | Quercus agrifolia | 34.452157 | -118.660097 | 12' | 15' | 15' | 18' | 15' | 18' | 12' | 9' | 15' | 3' | 6' | 8' | 3' | 2' | 12' | 12' |
| OP3 | Quercus agrifolia | 34.452102 | -118.660266 | 22' | 23' | 24' | 20' | 22' | 24' | 24' | 30' | 0' | 0' | 0' | 0' | 0' | 0' | 8' | 12' |

Protected Trees to be Removed

No protected trees are planned for removal.

Protected Trees to Remain on Site

| Т | ree | Tag | Species | Common Name | Circ | DBH | #Trunks | Height | Condition | Treat | Rate | Protect | Impact | Natural |
|---|-----|--------|-------------------|----------------|------|------|---------|--------|------------------------------------|-----------------|------|-------------------|------------------------|---------|
| | | | | | | | | | | | | | significant: bldg | |
| | | | | | | | | | large cavity, heat/drought stress, | | | | footprint encroach 30% | |
| | 1 | 1848 | Quercus agrifolia | Coast Live Oak | 101" | 32'' | 1 | 24' | past heading cuts | prune clearance | C+ | Yes | into TPZ | Yes |
| | | | | | | | | | | prune deadwood | | | minor: bldg footprint | |
| | 2 | 1849 | Quercus agrifolia | Coast Live Oak | 50'' | 16'' | 1 | 24' | deadwood, dieback, bark loss | and clearance | С | Yes | encroach <10% into TPZ | Yes |
| | | | | | | | | | | | | de minimis : bldg | | |
| | | | | | | | | | | | | | footprint encroach <5% | |
| | OP3 | no tag | Quercus agrifolia | Coast Live Oak | 119" | 38'' | 1 | 31' | healthy, co-dom stems | none | В | Yes | into TPZ | Yes |

Recommendations and Construction Impact Guidelines

Pre-Construction

These recommendations should be implemented prior to the start of construction:

- Erect tree protection zone (TPZ) fencing as shown in the attached site map:
 - TPZ fencing shall be 4 feet in height, flexible, free standing, and brightly colored.
 - No construction activity, heavy equipment access, or materials storage shall take place within the tree protection zone during construction without the direct supervision and approval of a Certified Arborist.

- Pruning

- Hire a crew directly supervised by a Certified Arborist on site to ensure the pruning cuts are made to branch unions and do not remove an excessive amount of foliage.
- Only prune when deemed necessary by the project arborist; as much live foliage as possible should be preserved through the construction process to give the trees the best opportunity to thrive after construction is complete.
- o Prune the dead branches from Trees 1 and 2.
- Prune Tree 1 for vertical clearance over the footprint of the proposed home. Prune the minimum amount of living foliage necessary to achieve this clearance objective.
- Prune the branch from Tree OP3 that is resting on the ground and is encroaching into the work area. A heading cut is appropriate in this limited circumstance.
- o Pruning cuts should leave the minimum cross sectional area of exposed woundwood after each final finish cut is made.
- Retain living branches unless they conflict with the infrastructure or are diseased or defective.

- Supplemental Irrigation

- Moisten the exposed soil within the drip lines of Trees 1, 2, and 5-7 to a depth of 6-12 inches once per month from July through October, or until the rainy season begins.
- Use a slow application rate to reduce the amount of runoff down the slope. Irrigation may take up to 8-12 hours at a slow application rate.
- Make sure that the soil is allowed to completely dry out before applying subsequent irrigation.

During Construction

This is the stage where mechanical injury is the most likely to occur. By following these recommendations, the likelihood of accidental damage will be reduced:

- General Recommendations
 - Inform all construction personnel of the intention to preserve the trees.
 Many times damage occurs because workers are not aware of the importance of preserving the trees on site. This includes contractors and their respective subcontractors as well.
 - o If any changes are made to the plans resulting in any excavation or equipment access within the dripline of a protected tree, the project arborist should be informed. Additional protection measures may need to be discussed.
 - O No construction activity should take place within the tree protection zone without direct supervision by the AOR. This includes construction worker access, materials storage, materials disposal, and equipment access. No construction materials should cross the tree protection fencing and lean against any protected tree or be affixed to their trunks.
 - Any excavation within the TPZ shall be supervised by the AOR, and AOR shall be given reasonable advance notice of all planned work to be supervised.
 - o If any injury should occur to a tree during construction, the project arborist should be informed within 24 hours so it may be evaluated and treated as soon as possible.
- Demolition and Excavation Phase
 - The AOR should supervise all excavation within the tree protection zones of Trees 1, 2, and OP3. If roots larger than 1 inch are encountered, the arborist will be able to determine whether to preserve or sever them. The arborist should make appropriate severing cuts to root junctions with a sharp cutting tool.
 - o Fencing shall be removed only at AOR's direction; work within a TPZ shall be with hand tools; excavations shall be performed with hand tools or an air-spade to preserve roots under the AOR direction, following best management practices:
 - Any excavation within the TPZ shall be performed with hand tools or an air spade to spare any roots of 1-in. diameter and larger.
 - Whenever possible, use the same trench for multiple utilities.

- In cases of needed cutting of large roots (1-in. diameter or larger), an arborist or qualified expert shall supervise the TPZ work for making the cuts correctly.
- When possible, piping or other installation shall be threaded around or underneath roots of 1-in. or larger.
- Exposed roots shall be covered with wet cloth or wet burlap during exposure to air.
- Trenches and holes shall be cleared of small animals that fall in and are trapped at the beginning and end of each working day and before final covering/closing of the trench or hole.
- Plywood bridges at intervals of 20-ft. shall cover an open trench or hole to provide passage for small animals over the trench between the end of the working day and the start of the next working day. Check for trapped small animals after removal of the plywood bridges at the beginning of each work day.
- There shall be a check and release of trapped small animals before covering any trench or hole.
- Fencing shall be replaced after work within the TPZ is completed for the day.

- Construction Phase

- When the footings are laid around the perimeters of the proposed additions, perform excavation using only hand tools within the critical root zones of the adjacent trees. Excavation should be directly supervised by the project arborist. If roots are encountered, the project arborist may make the determination of whether they may be severed or whether they should be encased in foam and preserved.
- o If during any part of the construction phase there is a significant amount of particulates in the air (from cutting materials or any other activity), a shop vacuum or equivalent should be used during the cutting or other activity to reduce the amount of particulates that are deposited on the foliage. If despite a good faith effort to reduce particulates, a layer is still deposited on the foliage, wash it off with a jet of water at the end of each construction day where particulates are deposited.
- O During the painting phase, if spray-application of paint is used within proximity of a protected tree, cover the windward side of the trunk and scaffold branches of the tree with plastic at the beginning of each painting day to avoid paint drifting onto the tree. Remove the plastic at the end of each day to allow for air circulation.

- Clean-Up and Landscaping Phase
 - Retain the tree protection zone fencing until construction activity has been completed or until the landscape installation phase begins. Even when landscapers are permitted near the trees, make sure they are aware of the intention to preserve the trees and the roots if any digging is performed for irrigation lines or plant installation.
 - O All irrigation line trenches within the dripline of any protected tree should be hand-dug. If significant roots measuring one inch in diameter or larger are encountered, the project arborist should be consulted. If practical, tunnel underneath the roots to preserve them.
 - Automatic irrigation sprinklers should not apply any moisture within five feet of the trunk of any protected oak tree.

Post-Construction Care

The most stressful time of year for the subject trees will be the summer immediately following construction. The following management practices are recommended:

- Retain the leaf drop around the root zone of the subject trees where practical. The best ground cover for a tree is its own leaf mulch. Leaf mulch will continue to reduce soil evaporation and mitigate soil temperature changes. If leaf drop is not practical for use, apply a layer of coarse mulch 2-4 inches thick around the bases of the trees.
- The subject trees should be monitored annually by a Certified Arborist for development of disease, decay, or other symptoms of stress due to construction activity. Deadwood may be removed as it appears, and as much live wood as possible should be retained on the trees, provided that it doesn't come into conflict with the infrastructure.

Construction Monitoring and Mitigation Trees

- The AOR shall visit the property at least once per calendar quarter during construction and then annually for seven years after construction to inspect the condition of the subject oak trees. A short summary report shall be prepared summarizing the arborist's findings.
- Reports shall have a map of all oak trees, including any planted mitigation trees, on a map to scale with a scale bar and north arrow, showing trunk location, actual canopy, and TPZ.
- Mitigation reports shall also have a table of encroached and mitigation trees, tabulating tree characteristics and conditions for all years, adding a column for the new year and report, adding a row and unique number for any replacement tree.
- In addition the mitigation plan shall provide:
 - o condition recommendations for care of oak trees during the project construction,
 - o condition recommendations for care of oak trees following construction and in perpetuity, and
 - o improvement of conditions that will support the oak woodland of the project in perpetuity.
- Reports shall go to the Los Angeles County Department of Recreation and Parks (DRP) and the applicant.
- Replacement of each encroached tree that dies requires 2 trees, monitored for 7 years following the year of planting.
- Replacement of each replacement tree that dies requires 1 tree, monitored for the term of 7 years.
- If the AOR or DRP determines that death is due to neglect, then any replacement tree will be monitored for a full 7 years after planting.

Limitations

My observations are based on a strictly visual inspection of the property, and some hidden or buried symptoms and signs may not have been observed. I did not conduct excavation, coring, or climbing inspection to make observations. I relied upon the information provided to me by the client regarding the history of the site. If any part of this information is found to be incorrect, the conclusions in this report may be invalidated.

My analysis is only based on the observations I gathered at the time of inspection. I do not guarantee the safety of the subject trees. There is no warranty or guarantee, expressed or implied, that problems or deficiencies may not arise in the future.

Arborists are tree specialists who use their knowledge, education, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fail in ways not fully understood. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, locations of surveyed landmarks, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

Site Photos



Figure 1: Tree 1

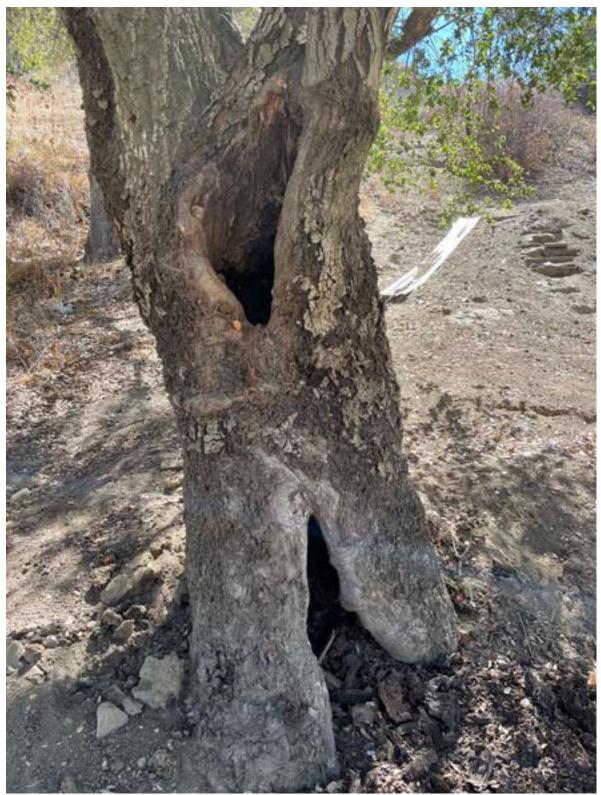


Figure 2: There is a large cavity in the trunk of Tree 1.

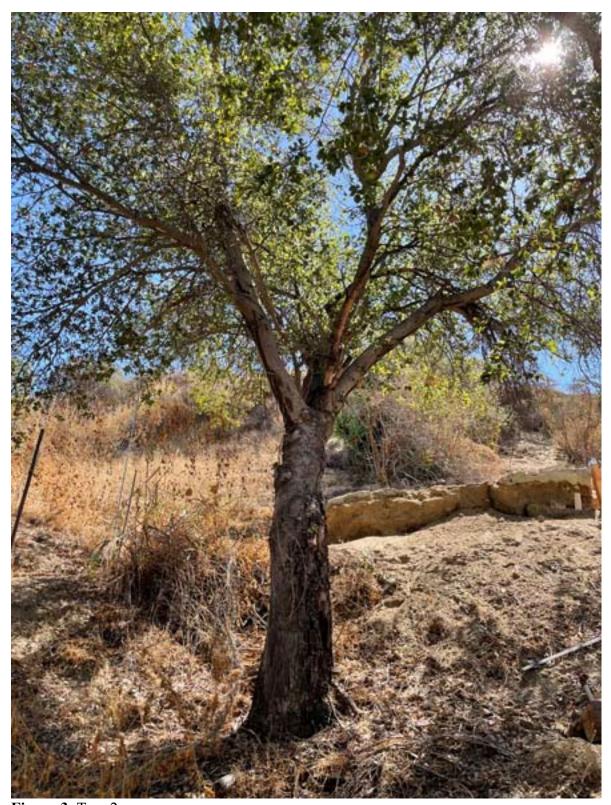


Figure 3: Tree 2



Figure 4: There is evidence of bark loss on the trunk of Tree 2.



Figure 5: Tree OP3

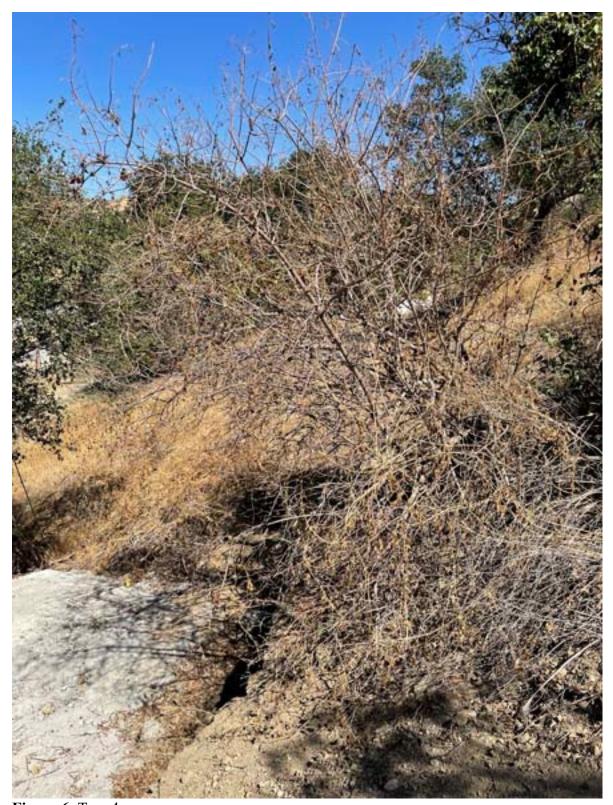


Figure 6: Tree 4

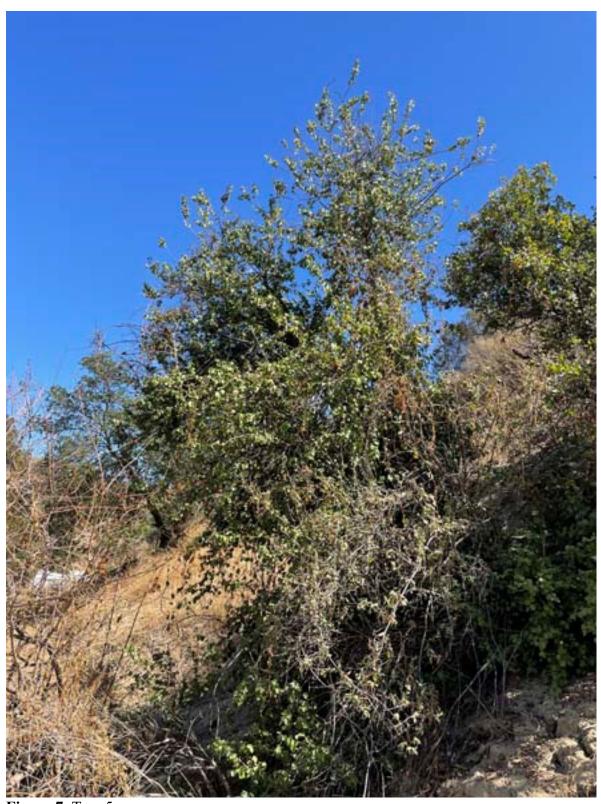


Figure 7: Tree 5



Figure 8: Tree 6

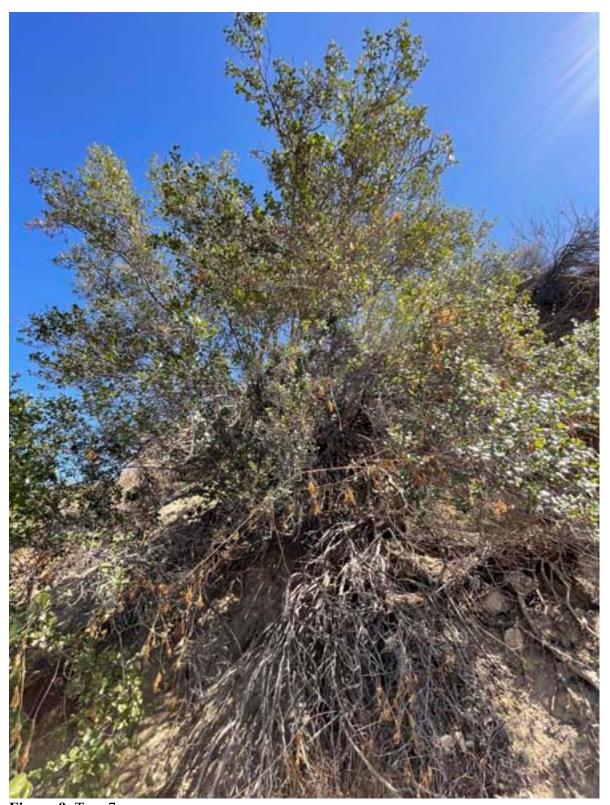


Figure 9: Tree 7