

REPORT TO THE HEARING OFFICER

DATE ISSUED: March 6, 2025

HEARING DATE: March 18, 2025 AGENDA ITEM:6

PROJECT NUMBER: PRJ2024-001760-(5)

PERMIT NUMBER: Oak Tree Permit (“OTP”) RPPL2024002836

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 1550 Homewood Drive, Altadena

OWNER: Talbot, Paul L and Regina, T

APPLICANT: Lauryn Pinsak

CASE PLANNER: Stacy Corea, Regional Planner
scorea@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2024-001760-(5), OTP RPPL2024002836, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

CEQA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT:

I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NUMBER RPPL2024002836 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement Requested

Oak Tree Permit (“OTP”) to authorize encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2) to allow for the widening of an existing paved driveway, demolition of a retaining wall, and a new garden wall in association with the construction of two new Single-Family Residences (“SFRs”) in the R-1-20,000 (Single-Family Residence – 20,000 Square Feet Minimum Required Lot Area) Zone pursuant to Los Angeles County (“County”) Code Section 22.174.030 (Applicability).

B. Project

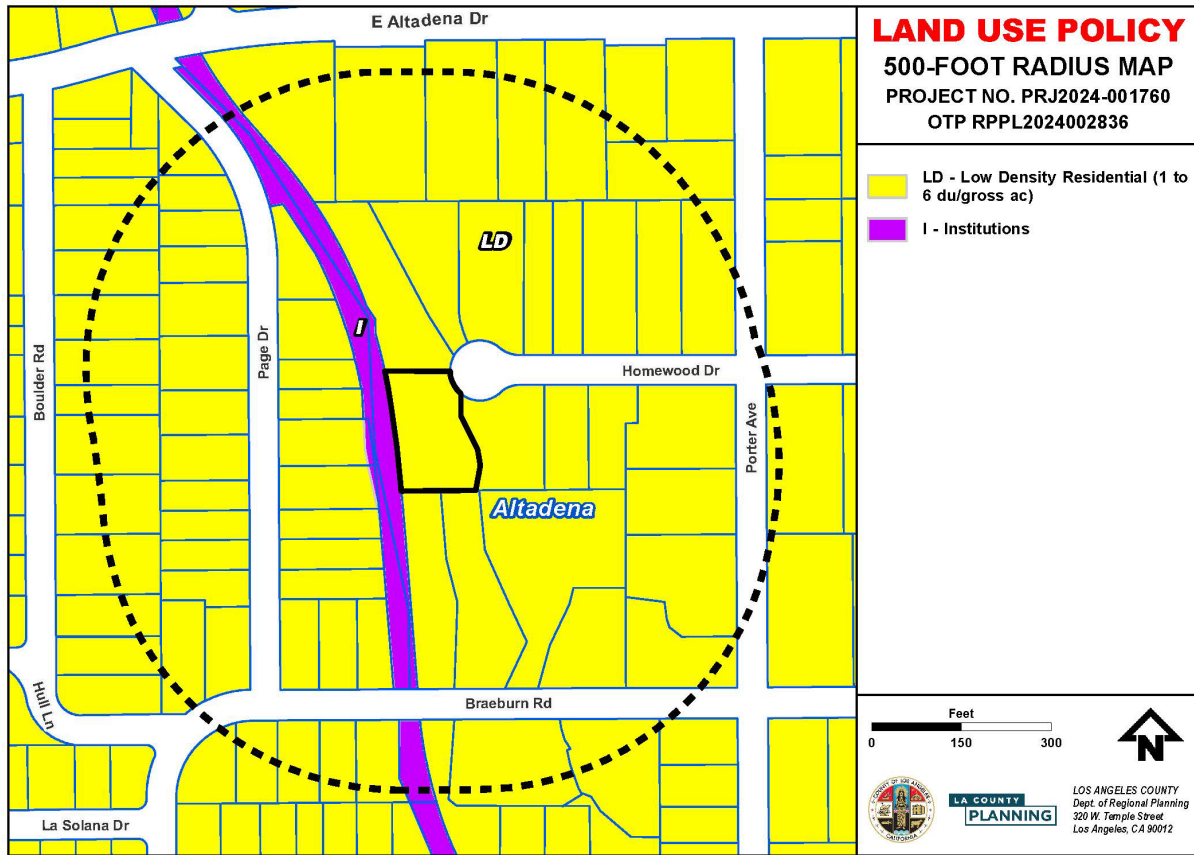
The Project is a request to encroach into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2) to allow for the widening of an existing paved driveway, demolition of a retaining wall, and a new garden wall in association with the construction of two new SFRs on a vacant lot. The SFRs will be reviewed as a Senate Bill (“SB”) 9 project under a separate ministerial Site Plan Review No. RPPL2024002829. An Oak Tree Report, prepared by Kerry Norman, dated March 28, 2024, identified four coast live oaks overhanging onto the property and one coast live oak on the property and concluded that impacts to the oak trees are not expected to cause significant negative impacts to their health or structure. On July 23, 2024, one oak tree, identified as OS4 on the site plan and Oak Tree Report, was removed by LA County Flood Control District. A total of three oak trees overhang onto the site and one oak tree remains on site. On March 5th, 2025, consulting arborist, Kerry Norman, revisited the Project site to evaluate the oak trees’ condition following the Eaton Fire. It was determined that while the oak trees were impacted, they are expected to make a full recovery.

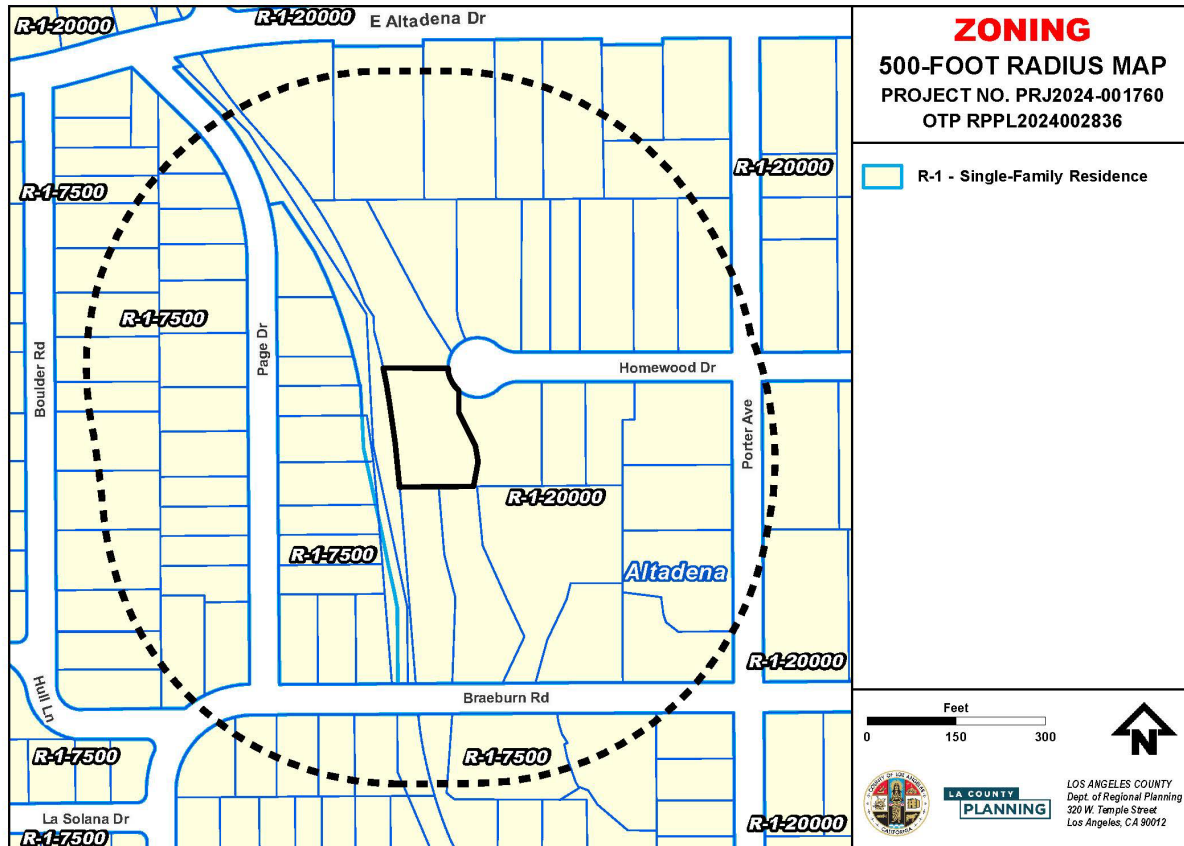
<u>Oak Tree</u>	<u>DBH (Diameter at Breast Height in inches)</u>	<u>Health</u>	<u>Encroachment into Tree Protection Zone “TPZ” and Dripline</u>
#34 (double trunk)	22/25 Non-heritage	Above Average	Encroachment of 204 sf into TPZ and 69 sf into dripline
OS1	26 Non-heritage	Above Average	137.56 sf encroachment into TPZ
OS2	24 Non-heritage	Above Average	encroachment of 69.86 sf into TPZ and 32.4 sf into dripline
OS3	20 Non-heritage	Above Average	No Encroachment
OS4	14 Non-heritage	Above Average	Removed by LA County Flood Control District on July 23, 2024

SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	ALTADENA COMMUNITY PLAN LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	LD (Low Density 1 – 6 dwelling units per gross acre)	R-1-20,000	Vacant
NORTH	LD (Low Density	R-1-20,000	SFRs
EAST	LD	R-1-20,000	SFRs
SOUTH	LD	R-1-20,000	SFRs
WEST	LD, I (Institutions)	R-1-7,500 (Single-Family Residence – 7,500 Square Feet Minimum Required Lot Area)	SFRs, Government Parcel (LA Flood Control District)





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
ZCO 42	Zone 1 – Single Family Residence	September 6, 1927
ZCO 5541	R-1-20,000	May 9, 1950

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
Site Plan Review RPPL2019005755	Construct a new SFR and accessory dwelling unit (“ADU”)	Approved January 7, 2020
Pre-Application Counseling RPPL2022002264	One-Stop Meeting to subdivide a single-family lot into 2 separate lots	Completed April 6, 2022

Site Plan Review RPPL2024002829	Construct 2 two story SFRs per SB 9	Pending
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C. Violations

Staff has not identified a history of zoning violations on the subject property.

ANALYSIS

A. Land Use Compatibility

While the OTP is for the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2), the related two proposed SFRs would be compatible with the surrounding area in terms of size and use, maintaining a residential nature in the neighborhood without removal of the existing oak trees. Surrounding land uses consist of other SFRs and accessory structures. The addition of new SFRs on the property will be consistent with the residential character of the neighborhood.

B. Neighborhood Impact (Need/Convenience Assessment)

The impacts to the three non-heritage oak trees will be minor and are not expected to cause significant effects to their health or structures, resulting in the continued benefits of the oak trees to the surrounding area. As such, minimal impact to the community is expected. The related two proposed SFRs will be located to the rear of the property and consistent with the residential character of the neighborhood. For the development of the two SFRs, expansion of the existing driveway was required to meet LA County Fire Department’s requirements of driveway widths for multiple residences on the property. Additionally, the existing retaining wall, which already ready encroached into the protection zone of oak tree, OS1, needs repair. Therefore, the encroachment of the off-site oak trees, OS1 and OS2 is unavoidable. Finally, the proposed location of House 1, is located to the rear of the property where the least amount of impact to the land and the tree would have been required for the development.

C. Design Compatibility

While the Project is for the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2), the related two proposed SFRs would be compatible with the surrounding area in terms of size and use, maintaining the existing residential character in the neighborhood. The Project Site is within the Altadena CSD where development standards such as height, maximum lot coverage, gross structural area, front yard setbacks, and hillside management apply to the development of the SFRs and related accessory structures. Based on the review of the oak tree report, no oak trees will be removed as a part of the project request and all existing oak trees will remain in place and protected from further construction impacts through the County Forester’s (“Forester’s”) recommended conditions of approval. As recommended by Staff Biologist and noted in the oak tree report, one trench for all utilities is proposed to limit the number of trench lines running under the oak trees.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Altadena Community Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Section 22.174.060 (Findings) of the County Code. The Burden of Proof with applicant’s responses is attached (Exhibit E – Applicant’s Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this project qualifies for a Categorical Exemption (Class 3 Exemption, New Construction or Conversion of Small Structures and Class 4 Exemption, Minor Alterations to Land) under the California Environmental Quality Act (“CEQA”) and the County environmental guidelines. The types of projects that typically fall within Class 3 include, but are not limited to, the construction of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Per State CEQA Guidelines section 15303, Class 3 exemptions may include the construction of up to 3 SFRs in urbanized areas. The County of Los Angeles falls under the definition of an urbanized area per CEQA Guidelines section 15387. Class 4 exemptions typically consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed. The Project involves encroachment into the protected zone of three non-heritage oak trees on private land that does not involve the removal of healthy mature, scenic trees related to the proposed SFRs. The development encroaching the oak trees is limited to repairing an existing retaining wall, expanding an existing driveway, and construction of a new garden wall. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

The County Fire Department, Forestry Division, in a letter dated December 27, 2024, recommended the Project proceed to public hearing with the required conditions of approval.

No other County departments were consulted.

B. Other Agency Comments and Recommendations

Staff has not received any comments at the time of report preparation.

C. Public Comments

Staff has not received any comments at the time of report preparation.

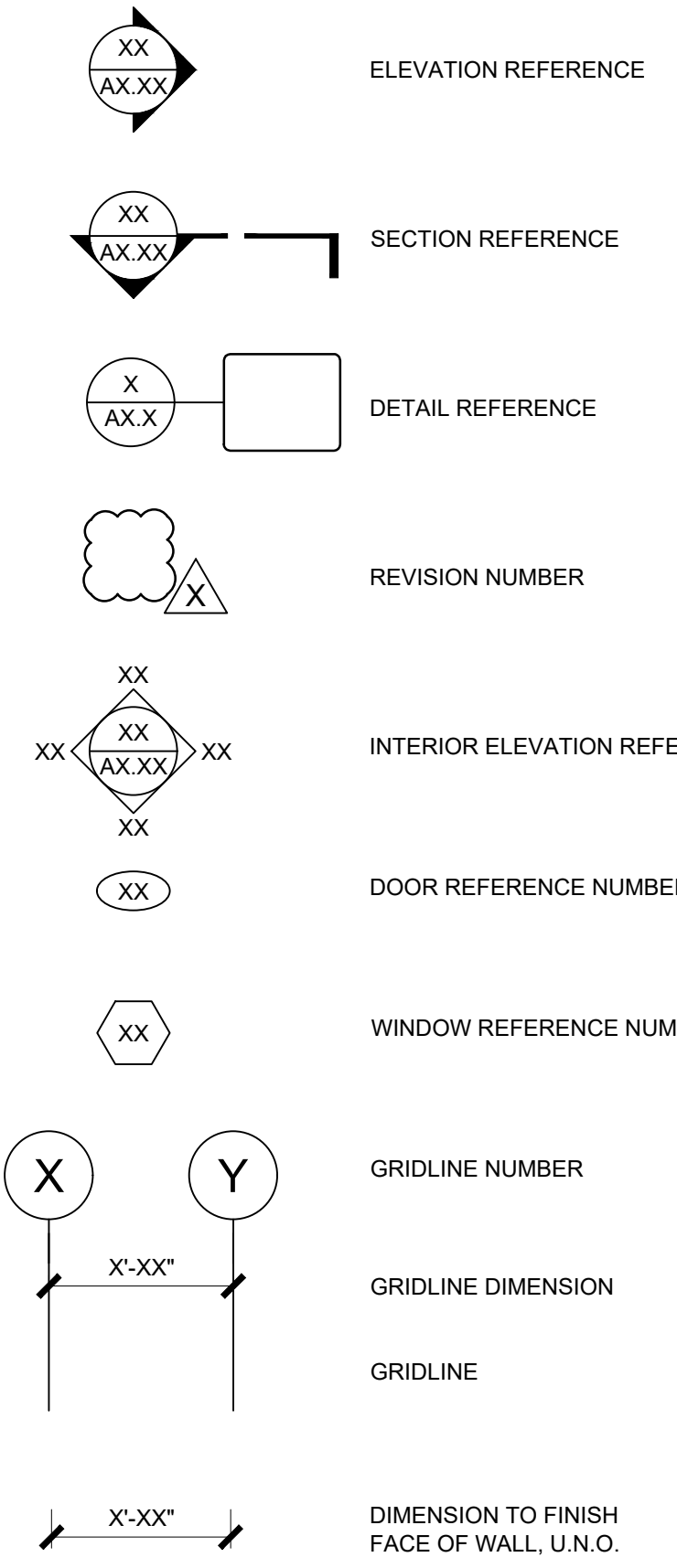
Report
Reviewed By: 
Michele R. Bush, Supervising Planner

Report
Approved By: 
Susan Tae, AICP, Assistant Deputy Director

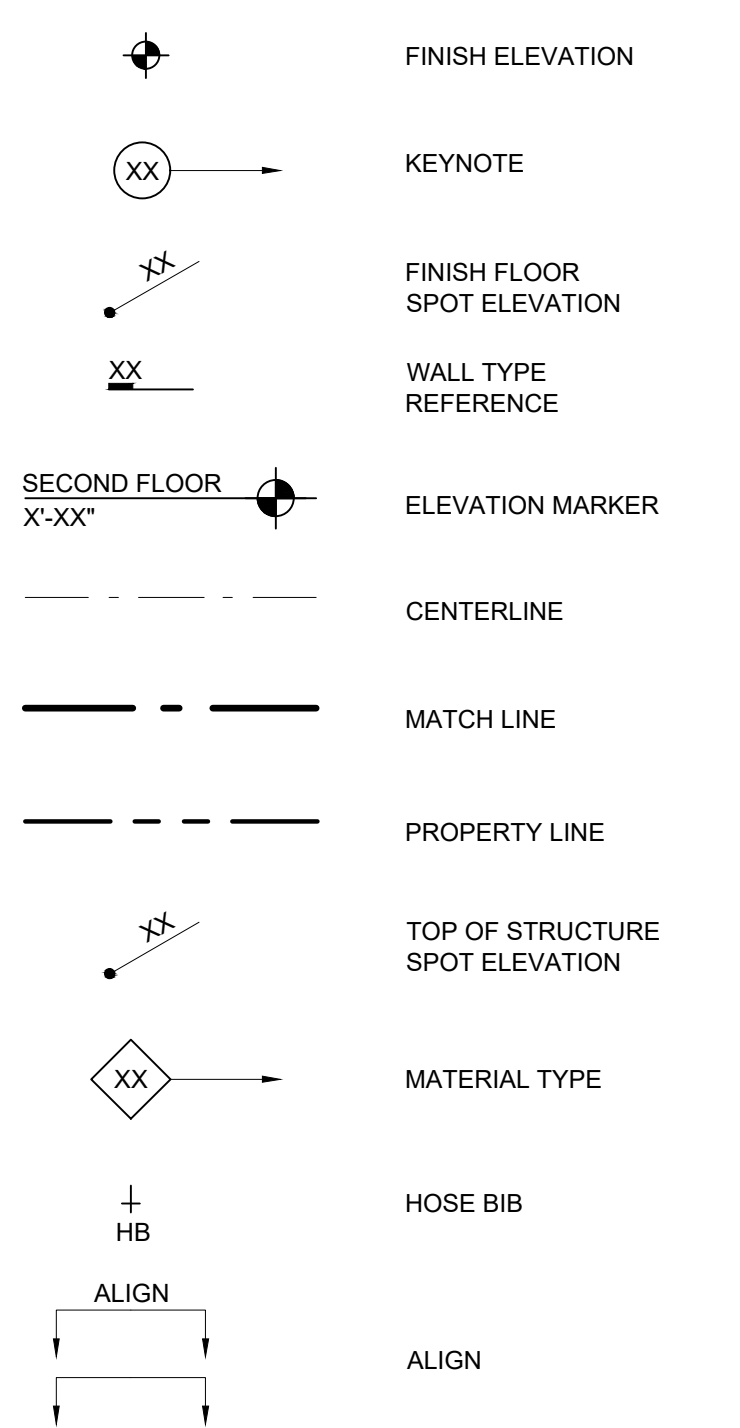
LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Draft Findings
EXHIBIT D	Draft Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Oak Tree Report

A.B. A.C. ACT ACCES. A.D. ADJ. A.F.F. A.P. APPROX. ARCHT. ALUM.	ANCHOR BOLT ASPHALTIC CONCRETE ACOUSTICAL TILES ACCESSORIES AREA DRAIN ADJACENT ABOVE FINISH FLOOR ACCESS PANEL APPROXIMATELY ARCHITECT ALUMINUM	JST. JT.	JOIST JOINT
BD. BLDG. BLK. BLKG. BLKT. BM. B.N. B.O. B.O.S. B.S. BRDG. BRKT. B.T.U. BUR	BOARD BUILDING BLOCK BLOCKING BLANKET BEAM BOUNDARY NAIL BOTTOM OF BOTTOM OF STRUCTURE BOTH SIDES BRIDGING BRACKET BRITISH THERMAL UNIT BUILT-UP ROOFING	PLYWD. PLG P.S.F. PT. P.T. PTD.	PLYWOOD POLYGL POUNDS PER S.F. POINT POST TENSIONED PAINTED
CAB. C.B. CBC C.G. C.J. C.L. CLG. CLO. CLR. C.M.U. C.O. COL. CONC. CONST. CONT. COORD CPT. CRN CS C.T. CTR. C.W.	CABINET CATCH BASIN CALIFORNIA BUILDING CODE CORNER GUARD CONSTRUCTION JOINT CENTER LINE CEILING CLOSET CLEAR CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS COORDINATE CORNER COUNTER SUNK CERAMIC TILE CENTER COLD WATER	Q.T. R.A. R.A.H. RECS R.D. REF REG. REGULAR	QUARRY TILE RETURN AIR ROOF ACCESS HATCH RECOMMENDATIONS ROOF DRAIN REFERENCE / REFRIGERATOR REGISTER, REGULATION OR
DBL. DEPT. D.F. DIM. DN DR. D.S.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DIMENSION DOWN DOOR DOWN SPOUT	S S.A. S.A.W.M.	SOUTH SUPPLY AIR SELF-ADHEARING WATERPROOF MEMBRANE
E. E.F. E.J. EL. ELAST. COAT'G ELEC. ELEV. EQ. EQPT. EX. EXIST'G or (E) EXP. EXT.	EAST EACH FACE EXPANSION JOINT ELEVATION, VERTICAL ELASTOMETRIC COATING ELECTRICAL ELEVATOR EQUAL SPACE EQUIPMENT CUT FROM, PREVIOUSLY EXISTING EXPOSED EXTERIOR	SCHED. SCUP. S.F. S.FL SGL. SHT. SIM. S.C.D. S.E.D. S.L.D. S.L.C.D.	SCHEDULE SCUPPER SQUARE FEET SUB FLOOR SINGLE SHEET SIMILAR (NOT IDENTICAL) SEE CIVIL DRAWINGS SEE ELECTRICAL DRAWINGS SEE LANDSCAPE DRAWINGS SEE LIGHTING CONSULTANT'S DRAWINGS SLIDER SEE MECHANICAL DRAWINGS SLAB ON GRADE STANDPIPE SEE PLUMBING DRAWINGS SPECIFICATIONS SQUARE SEE STRUCTURAL DRAWINGS SELECT STRUCTURAL OR STAINLESS STEEL
F.C. F.D. F.D.C. F.E. F.F. F.H. FIN. FIX. F.L. FLSHNG FLR, FLRG F.O.S. F.O.W. FTG.	FINISH CEILING FLOOR DRAIN FLOOR DRAIN CONNECTION FIRE EXTINGUISHER FINISH FLOOR FIRE HOSE CABINET FINISH FIXED FLOW LINE FLASHING FLOOR(ING) FACE OF STUD FACE OF WALL FOOTING	STD. STL STOR. STRUCTL	STANDARD STEEL STORAGE STRUCTURAL
GALV. G.B. GEN. G.C. G.R. G.S. G.S.M. GYP. BD. GWB	GALVANIZED GRAB BAR GENERAL GENERAL CONTRACTOR GUARDRAIL GRAVEL STOP GALVANIZED SHEET METAL GYPSUM BOARD GYPSUM WALL BOARD	U.B.C. U.L. U.N.O. US	UNIFORM BUILDING CODE OR APPLICABLE LOCAL BLDG. CODE UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE UNDERSIDE
H.B. H.C. H.D.F. H.D.G. HDR HDWR HT. H.M. HORIZ. H.P. H.R. HTG. H.W.	HOSE BIB HANDICAP / HOLLOW CORE HIGH DENSITY FIBERBOARD HOP DIPPED GALVANIZED HEADER HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT HAND RAIL HEATING HOT WATER	V. V.B. V.C.T. V.G.D.F. VENT. VERT. V.I.F. VOL.	VOID VAPOR BARRIER VINYL COMPOSITE TILE VERTICAL GRAIN DOUGLAS FIR VENTILATION VERTICAL VERIFY IN FIELD VOLUME
I.D. INCL. I.E. INFO. INSUL INT. INSTAL INSTRU	INSIDE DIAMETER INCLUDED -ING INVERT ELEVATION INFORMATION INSULATION INTERIOR INSTALL(ATI)ON INSTRUCTION	W. W. WD. W.F. W.GL. W.H.	WEST OR WIDE FLANGE WITH WOOD WALL FURNACE WIRE GLASS WATER HEATER OR WEEP HOLE
		W/O WP. WT. W.W.F. WK.PT.	WITHOUT WATERPROOF(ING) WATERPROOF MEMBRANE WEIGHT WELDED WIRE FABRIC WORK POINT

ABBREVIATIONS 06



ROOM NAME



ALIGN

GRAPHIC SYMBOLS LEGEND 05

HOMEWOOD SB9 RESIDENCES

THIS PROJECT SHALL COMPLY WITH TITLE 24, 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ENERGY CODE (CENC), AND LOCAL AMENDMENTS TO ALL OF THE ABOVE CODES.

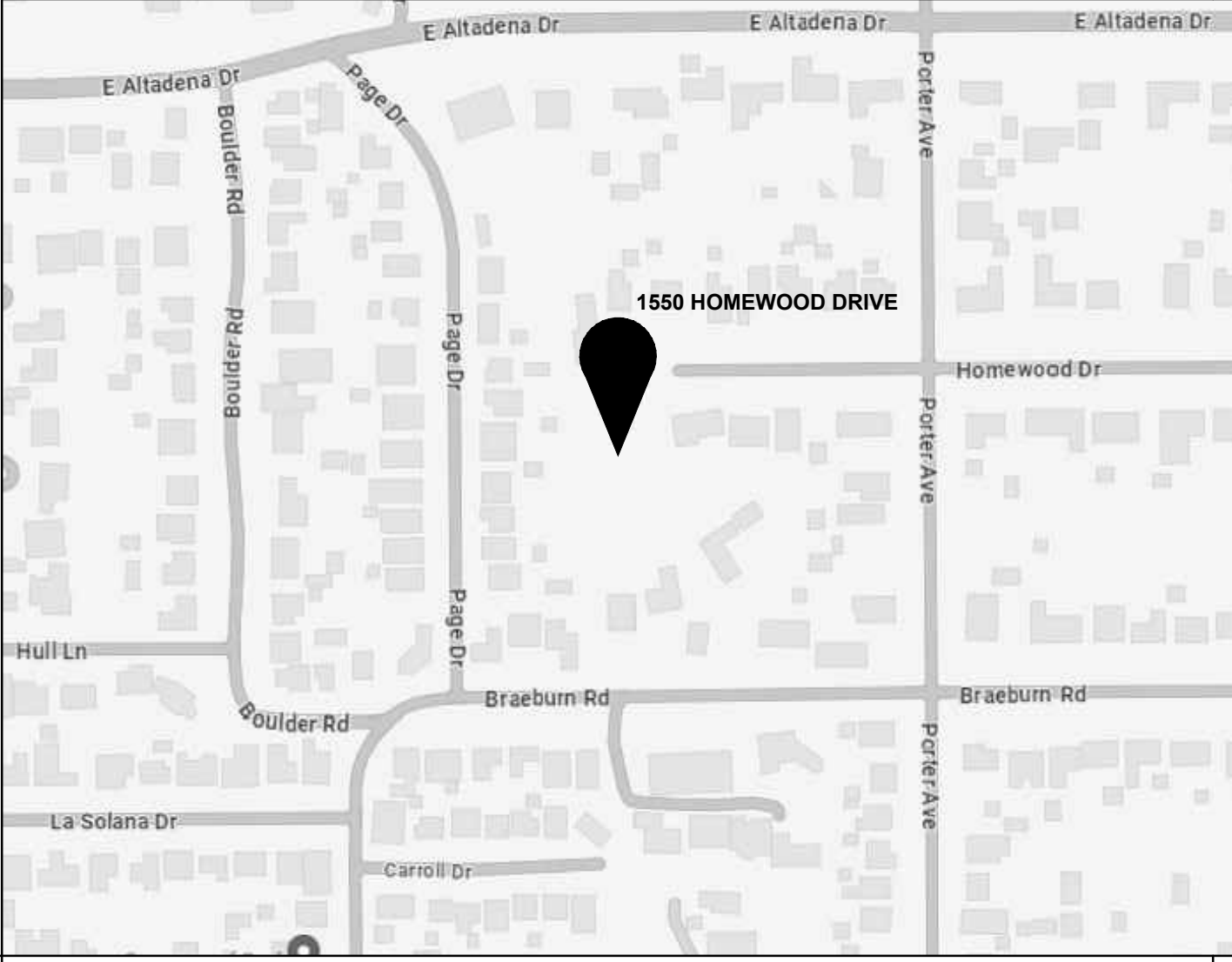
PROJECT DESCRIPTION	TWO SINGLE FAMILY RESIDENCES ON A 25,321SF LOT THROUGH SB9. BOTH ARE TWO STORIES WITH ATTACHED SINGLE CAR GARAGES. SITE IMPROVEMENTS INCLUDE (N) RETAINING WALL TO CREATE 20' DRIVEWAY AS REQUIRED BY THE FIRE DEPT & (N) SEPTIC SYSTEM.
PROJECT ADDRESS	1550 HOMEWOOD DRIVE, ALTADENA, CA 91001
APN NUMBER	5846-020-019
LEGAL DESCRIPTION	TRACT: TR 2945 BLOCK: - LOT: 19
ZONE	RE-20
CONSTRUCTION TYPE	TYPE V-B
LOT AREA	25,321 SF
BUILDING HEIGHT:	SEE ELEVATIONS
LOT COVERAGE:	SEE A1.00
BUILDING AREAS:	SEE A1.00
PARKING:	SEE A1.00

A0.00	TITLE SHEET
A0.10	SITE SURVEY (FOR REF ONLY)
A0.20	SITE PHOTOS
A0.30	HOUSE 1 & 2 3D VIEWS
A1.00	SITE & ZONING ANALYSIS PLAN
A2.01A	FIRST FLOOR PLAN - RESIDENCE A
A2.02A	SECOND FLOOR PLAN - RESIDENCE A
A2.01B	FIRST FLOOR PLAN - RESIDENCE B
A2.02B	SECOND FLOOR PLAN - RESIDENCE B
A3.00A	EXTERIOR ELEVATIONS - RESIDENCE A
A3.01A	EXTERIOR ELEVATIONS - RESIDENCE A
A3.00B	EXTERIOR ELEVATIONS - RESIDENCE B
A3.01B	EXTERIOR ELEVATIONS - RESIDENCE B
A3.02	RETAINING WALL ELEVATIONS

PROJECT INFORMATION 04

OWNER	PAUL TALBOT 315 S. PRIMROSE AVE, MONROVIA, CA 91016 CONTACT: PAUL TALBOT (626) 641-3058 PAULTALBOT24@GMAIL.COM
ARCHITECT	OONAGH RYAN ARCHITECTS, INC. (ORA) 923 EAST 3RD ST, UNIT 105, LOS ANGELES, CA 90013 CONTACT: OONAGH RYAN (323) 908-0700 X1 ORYAN@ORA.LA
SURVEYOR	TRITECH ENGINEERING ASSOCIATES 135 N. SAN GABRIEL BLVD, SAN GABRIEL, CA 91775 (626) 570-1918 INFO@TRITECHENGINEER.COM
STRUCTURAL	IDG STRUCTURAL ENGINEERING 10866 WIMER COUNTRY ROAD, LOS ANGELES, CA 91040 CONTACT: FARSHID BEHSHID, S.E. (323) 257-8854 FARSHID@IDGENG.COM

SHEET INDEX 02



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STAMP

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CONSULTANT		

DRAWING ISSUE

01	PLANNING SUBMISSION	12.22.2023
02	PLANNING RESUBMISSION	08.07.2024

OWNER / CLIENT

PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

HOMEWOOD SB9 RESIDENCES

1550 HOMEWOOD DRIVE
ALTADENA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

TITLE SHEET

SHEET NO.

A0.00

ISSUE	DATE
PLANNING RESUBMISSION	08.07.2024

PROJECT CONTACTS 03

PROJECT LOCATION 01

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DRAWING TITLE

SITE SURVEY (FOR REF ONLY)

SHEET NO.

A0.10

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024

TOPOGRAPHIC MAP

PARCEL 1
P.M. NO. 25405,
P.M.B. 334-53-54

SCALE: 1"=10'

ABBREVIATIONS:

- AC Asphalt Concrete
- CONC. Concrete
- BLCK WALL Block Wall
- BW Bottom of Wall Elevation
- D/A Driveway Apron
- D/WY Driveway
- EP Existing Pavement
- EX Existing
- FF Finish Floor Elevation
- FH Fire Hydrant
- FL Flow Line Elevation
- FP Power Pole
- PW Rant Wall
- RW Retaining Wall
- TC Top of Curb Elevation
- TW Top of Wall Elevation
- W.I.F. Wrought Iron Fence
- WM Water Meter
- WW Walk Way

LEGEND:

- (100.25) Existing Elevation
- 101--- Ex. Ground Contour Line
- Chain Link Fence
- Wrought Iron Fence
- Ex. Structure
- Street Light
- Ex. Tree, Diameter
- Palm Tree
- Retaining Wall
- Fire Hydrant
- Center Line
- Wood Fence

BASIS OF BEARINGS

THE BEARING EAST OF THE CENTERLINE OF HOMEWOOD DRIVE, AS SHOWN IN PARCEL MAP NO. 25405, P.M.B. 334-53-54, RECORDS OF LOS ANGELES COUNTY.

EASEMENT NOTES:

E1 AN IMPLIED 12 FEET WIDE PAVED ACCESS EASEMENT FROM HOMEWOOD DRIVE TO HOUSE IN FAVOR OF LOS ANGELES FIRE DEPARTMENT BY COVENANT AND AGREEMENT DOCUMENT RECORDED 12-26-2007 AS DOCUMENT NO. 2007-263-017, OFFICIAL RECORDS.

E2 THE COUNTY OF LOS ANGELES IS HEREBY GRANTED EASEMENT RIGHTS TO INSPECT THE NON-CONVENTIONAL ON-SITE WASTEWATER TREATMENT SYSTEM, WITH REASONABLE NOTICE TO OWNER, ABSENT AN EMERGENCY, TO INSURE COMPLIANCE WITH THE COVENANT AND AGREEMENT PER DOCUMENT RECORDED 12-19-2019 AS DOCUMENT NO. 2019-1420761, OFFICIAL RECORDS.

REVISION DATE: 07/17/24 ADJUST PLANTER WALL ON NORTH EAST CORNER.

REVISION DATE: 04/30/24 SPOT ELEVATION, OAK TREE CANOPY, POWER POLE UPDATE

REVISION DATE: 02/04/21 EASEMENT NOTES ADDED.

TOPOGRAPHIC MAP

SCALE: 1"=10' APN# : 5846-020-019 DRAWN BY: R. Chan

DATE: 07/17/24 REVISED: Eric

1550 HOMEWOOD DRIVE, ALTADENA, CA 91001

SHEET 1 OF 1 JOB NO. 190915

CURVE DATA TABLE

NUMBER	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH
C1	45°50'55"	21.15'	50.00'	40.01'
C2	01°03'43"	37.26'	4020.00'	74.51'
C3	03°50'13"	27.47'	820.00'	54.91'

NOTE:

- BOUNDARIES SHOWN PER FILED RECORD DATA OF PARCEL MAP NO. 25405, P.M.B. 334-53-54.
- TRI TECH IS NOT RESPONSIBLE FOR ANY ITEMS THAT MAY BE OMITTED FROM THIS MAP DUE TO DENSE BRUSH, PARKED AUTOMOBILES, OR OTHER OBSTRUCTIONS AT TIME OF SURVEY. HARDSCAPE WITH SURVEY DATA IS APPROXIMATELY SHOWN.

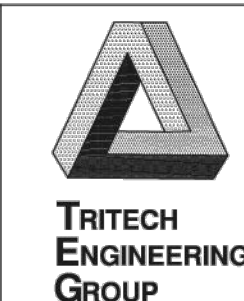


LEGAL DESCRIPTION:

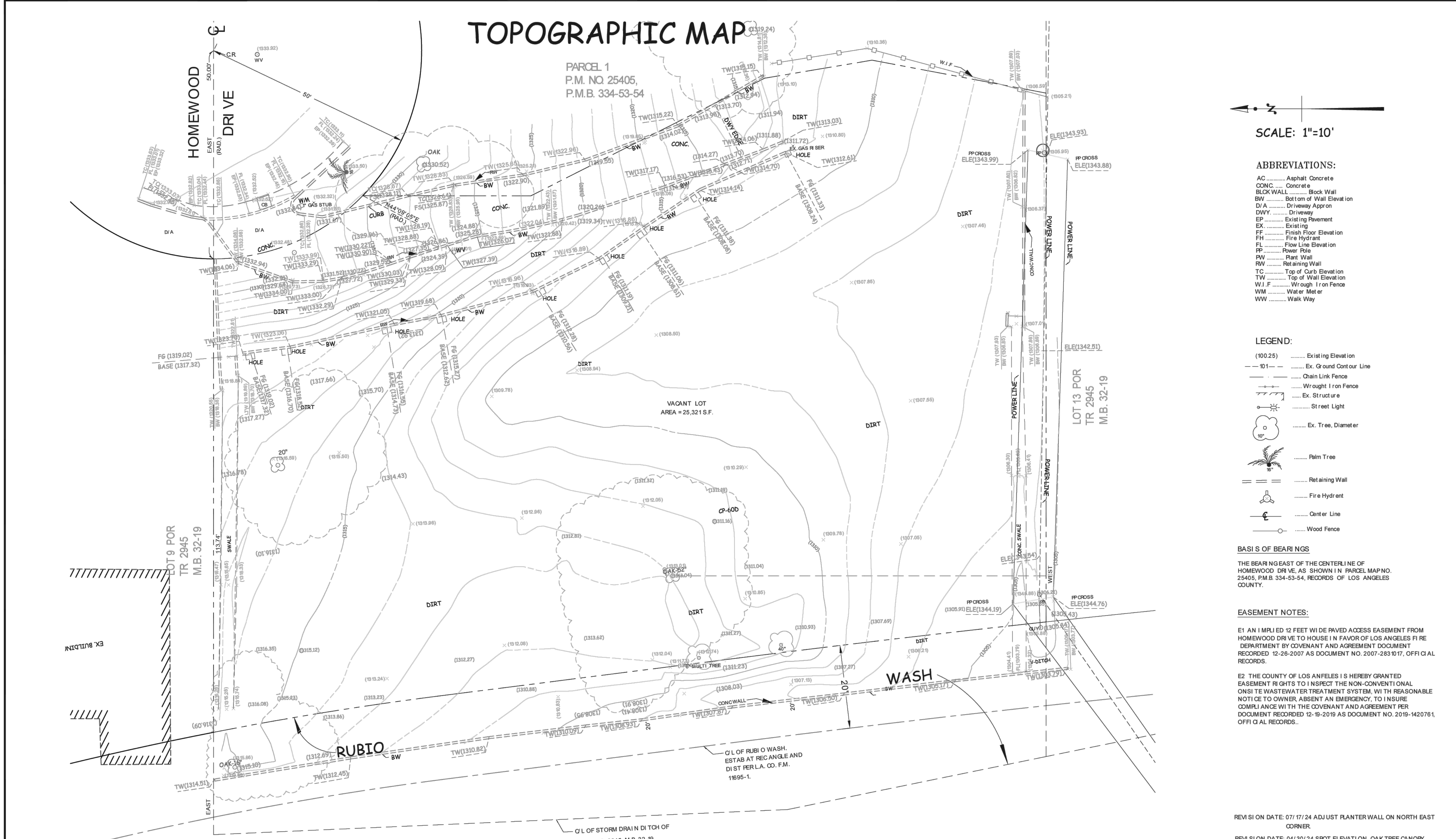
BEING A SURVEY OF PARCEL 2 OF PARCEL MAP NO. 25405, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 334, PAGES 53 AND 54 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

COUNTY OF LOS ANGELES BENCHMARK

B.M. REFERENCE HY9476
ELEVATION 1388.410
DESCRPTION RDBM TAG IN ECB 1FT N/O BCR @ NE COR ALTADENA DR & PORTER AVE



SUBDIVISION LAND SURVEY CIVIL ENGINEERING & DESIGN
135 N. SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
TEL: (626) 570-1918
EMAIL: info@tritechengineer.com





F



D



B



E



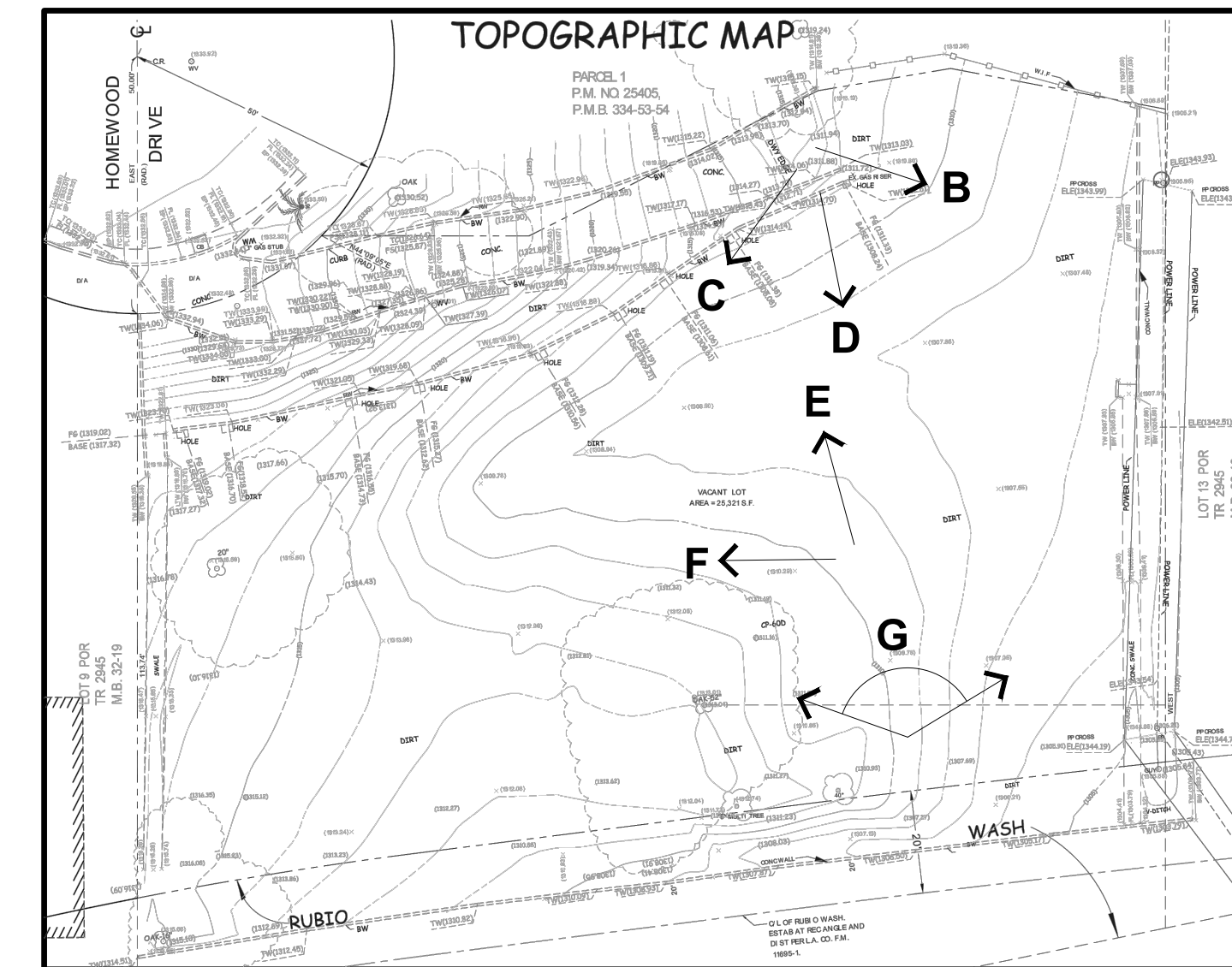
C



A



G



ARCHITECT

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HOMEWOOD SB9 RESIDENCES

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PROJECT NO. **23-03**

DRAWING TITLE

**SITE PHOTOS W/
KEY MAP**

SHEET NO.

A0.20

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024



HOUSE 2 02



HOUSE 1 01

ARCHITECT

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STAMP

CONSULTANT

DRAWING ISSUE

01	PLANNING SUBMISSION	12.22.2023
02	PLANNING RESUBMISSION	08.07.2024

OWNER / CLIENT

PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

**HOMEWOOD SB9
RESIDENCES**

1550 HOMEWOOD DRIVE
ALTADENA, CA 91001

PROJECT NO. **23-03**

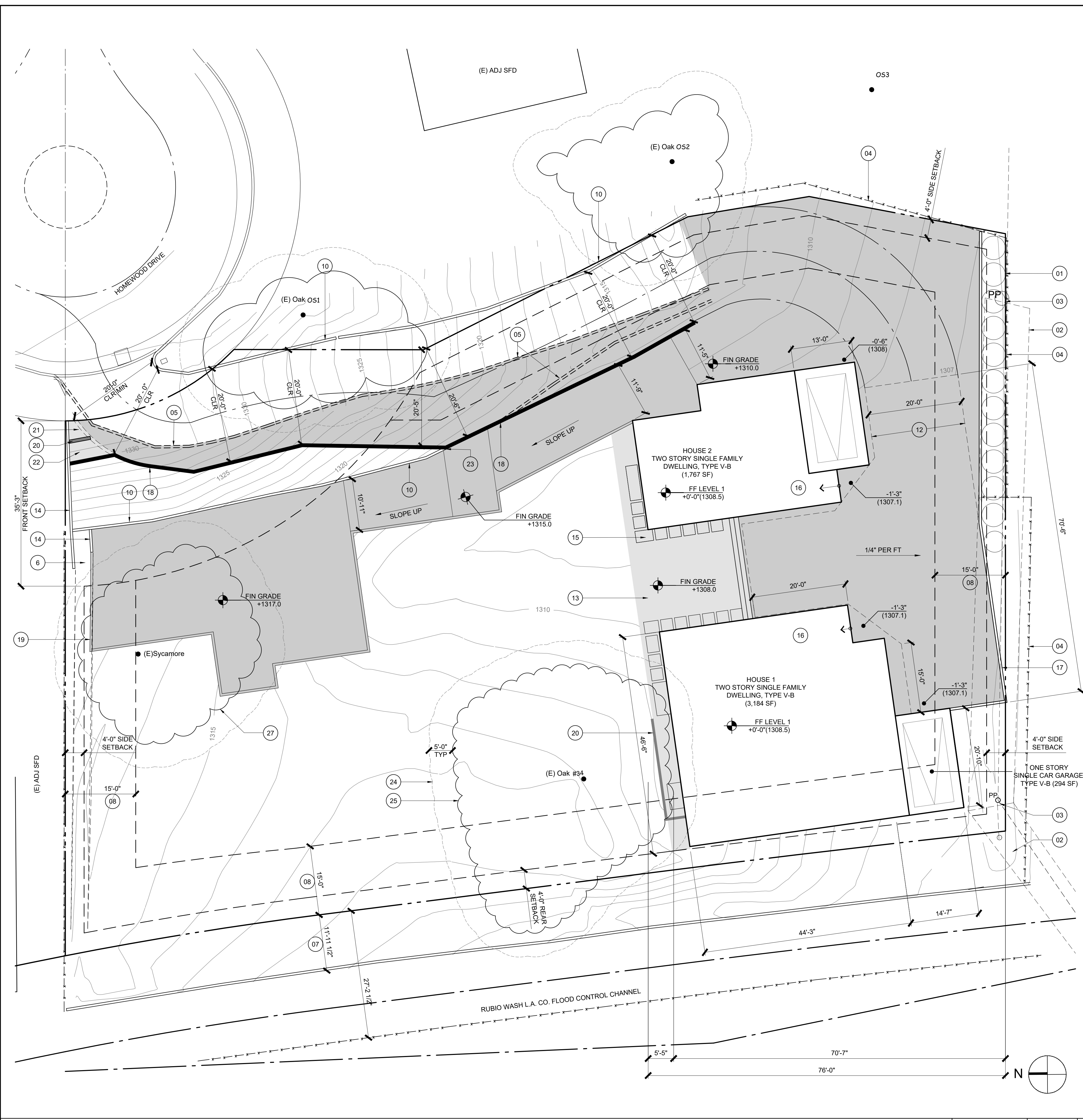
DRAWING TITLE

**HOUSE 1 & 2
3D VIEWS**

SHEET NO.

A0.30

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024



1550 Homewood Drive
Front Yard Setback Calculation - Altadena CSD Compliance
4 Houses on the South side of Homewood Dr. East of Porter Drive

Address	Owner	Distance from Property Line to House		
		Feet	Inches	Total Inches
1 1560 Homewood	Macdonald	35	3	423
2 1570 Homewood	Dekker	47	0	564
3 1582 Homewood	Oakes	45	0	540
4 1600 Homewood	Fisher	49	6	594

Shortest Front Yard Setback: 423
Divided by: 12
Converted to Feet: 35.25
Required Setback from Property Line (Feet & Inches): 35 3

Notes:
1 All measurements taken from curb to closest location of structure in the front yard.
2 Measurements taken using a Bosch DLR130 laser Distance Measurer
3 All lots on the South side of Homewood Drive are fronted by a 10' right of way owned by LA County.
4 Houses are numbered from 1-4 above from West (Cul-de-sac) to East (Porter Drive)

FRONT SETBACK CALCULATION 04

ALLOWABLE GROSS STRUCTURAL AREA (GSA)
= 25% LOT SIZE + 1,000 SF
= 25% (25,321 SF) + 1,000 SF = 7,330.25 SF

HOUSE 1 (EXCLUDING GARAGE)
LEVEL 1 = 1,904 SF
LEVEL 2 = 1,280 SF
TOTAL = 3,184 SF

HOUSE 2 (EXCLUDING GARAGE)
LEVEL 1 = 892 SF
LEVEL 2 = 875 SF
TOTAL = 1,767 SF

HOUSE 1 + HOUSE 2 TOTAL
= 3,184 SF + 1,767 SF = 4,951 SF < 7,330.25 SF

- 01 PROPERTY LINE
- 02 (E) OVERHEAD WIRES
- 03 (E) POWER POLE, P.I.P.
- 04 (E) FENCE, P.I.P.
- 05 DEMOLISH EXISTING RETAINING WALL TO ACCOMMODATE MIN. DRIVEWAY CLEARANCES
- 06 (E) DRAINAGE CHANNEL
- 07 RUBIO WASH EASEMENT
- 08 23' HEIGHT RESTRICTION MEASURED FROM GRADE, WITHIN 15' OF ALL PROPERTY LINES
- 09 (E) SITE AREA TO REMAIN
- 10 (E) RETAINING WALL TO REMAIN
- 11 PORTION OF DRIVEWAY WITHIN NEIGHBOR PROPERTY LINE TO REMAIN, PROTECT IN PLACE
- 12 FIRE DEPT HAMMERHEAD
- 13 MINIMAL REGRADING OF AREA
- 14 (E) DRAINAGE CHANNEL WALL
- 15 PRE-CAST PAVERS
- 16 FRONT DOOR
- 17 GARDEN WALL, 30" MAX HT
- 18 (N) RETAINING WALL
- 19 (N) CURB
- 20 (N) LOW GARDEN WALL, 30" MAX HT
- 21 (N) PLANTED AREA
- 22 (N) PAVING FOR MAIL PACKAGE DROP OFF ZONE
- 23 (N) RETAINING WALL TO CAP END OF EXISTING RETAINING WALL, ENSURE WALLS ALIGN.
- 24 TREE PROTECTION ZONE
- 25 TREE DRIP LINE
- 26 TREE NOT SURVEYED AS DRIFLINE DOES NOT ENCR OACH INTO PROPERTY
- 27 (E) SYCAMORE

GROSS STRUCTURAL AREA 08

ALLOWABLE LOT COVERAGE (CSD)
= 25% LOT SIZE + 1,000 SF
= 25% (25,321 SF) + 1,000 SF = 7,330.25 SF

HOUSE 1 COVERAGE (INCLUDING GARAGE) = 2,389 SF
HOUSE 2 COVERAGE (INCLUDING GARAGE) = 1,202 SF

2,389SF + 1,202 SF = 3,591 SF < 7,330.25 SF

LOT COVERAGE 07

SITE PLAN ATTESTATIONS:
a. THE REMOVAL OR ENCR OACHMENT OF THE SUBJECT OAK TREE WILL NOT RESULT IN SOIL EROSION THROUGH THE DIVERSION OR INCREASED FLOW OF SURFACE WATERS WHICH CANNOT BE SATISFACTORILY MITIGATED.
b. THE REMOVAL OR ENCR OACHMENT OF THE SUBJECT OAK TREE WILL NOT BE CONTRARY TO OR BE IN SUBSTANTIAL CONFLICT WITH THE INTENT AND PURPOSE OF THE OAK TREE ORDINANCE.

Paul Talbot
NAME

Owner
TITLE

SIGNATURE

Lauryn Pinsak
NAME

Agent for Owner
TITLE

SIGNATURE

SITE ATTESTATIONS 06

MAX BUILDING HEIGHT
= 35' ABOVE EXISTING GRADE FOR LOTS > 20,000 SF PER ALTADENA COMMUNITY STANDARDS. HOWEVER, NO PORTION OF ANY STRUCTURE SHALL EXCEED 23' WITHIN 15' OF PROPERTY LINE. SEE KEYNOTE 01.

FRONT SETBACK
= 35'-3" (SMALLEST FRONT YARD ON SAME SIDE OF STREET ON SAME BLOCK. SEE CHART ON 04/ -)

SIDE & REAR SETBACK = 4'-0" (SB9)

PARKING = 1 REQUIRED PER RESIDENCE, COVERED (SB9)

KEY NOTES 03

1. PROVIDE SAFEGUARDING FEATURES DURING CONST SUCH AS PROTECTION OF ADJOINING PROPERTY AS REQ'D INCLUDING SITE FENCING & BARRIERS (CBC 3306, SANITATION CBC 3305, ETC.)
2. PROVIDE PROTECTION OF ADJOINING PROPERTY WHEN EXCAVATION IS TO A GREATER DEPTH THAN THE WALLS OR FDN OF AN ADJACENT BLDG OR STRUCTURE & THE ADJACENT BLDG IS LOCATED CLOSER TO THE PL THAN THE DEPTH OF THE EXCAVATION.
3. FIN GRADE AROUND THE STRUCTURES SHALL SLOPE AWAY FROM THE FDN A MIN OF 5% FOR A MIN DISTANCE OF 10'.
4. SLOPE LANDINGS AT DR'S 2% AWAY FROM BLDG EXT.
5. HOSE BIBS SHALL BE FITTED W/ A NON-REMOVABLE BACK FLOW DEVICE.

GENERAL NOTES 02

- (N) PAVED AREA
- (N) REGRADED AREA
- PROPERTY LINE
- SETBACK
- (N) RETAINING WALL
- (N) CURB / (N) GARDEN WALL

ZONING INFO 05

LEGEND 01

ARCHITECT

ORA

923 East 3rd Street, Suite 105
Los Angeles, CA 90013

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OWNER / CLIENT

PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

HOMWOOD SB9 RESIDENCES

1550 HOMEWOOD DRIVE
ALTADENA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

SITE & ZONING ANALYSIS PLAN

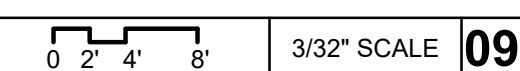
SHEET NO.

A1.00

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024

SITE PLAN 09

3/32" SCALE

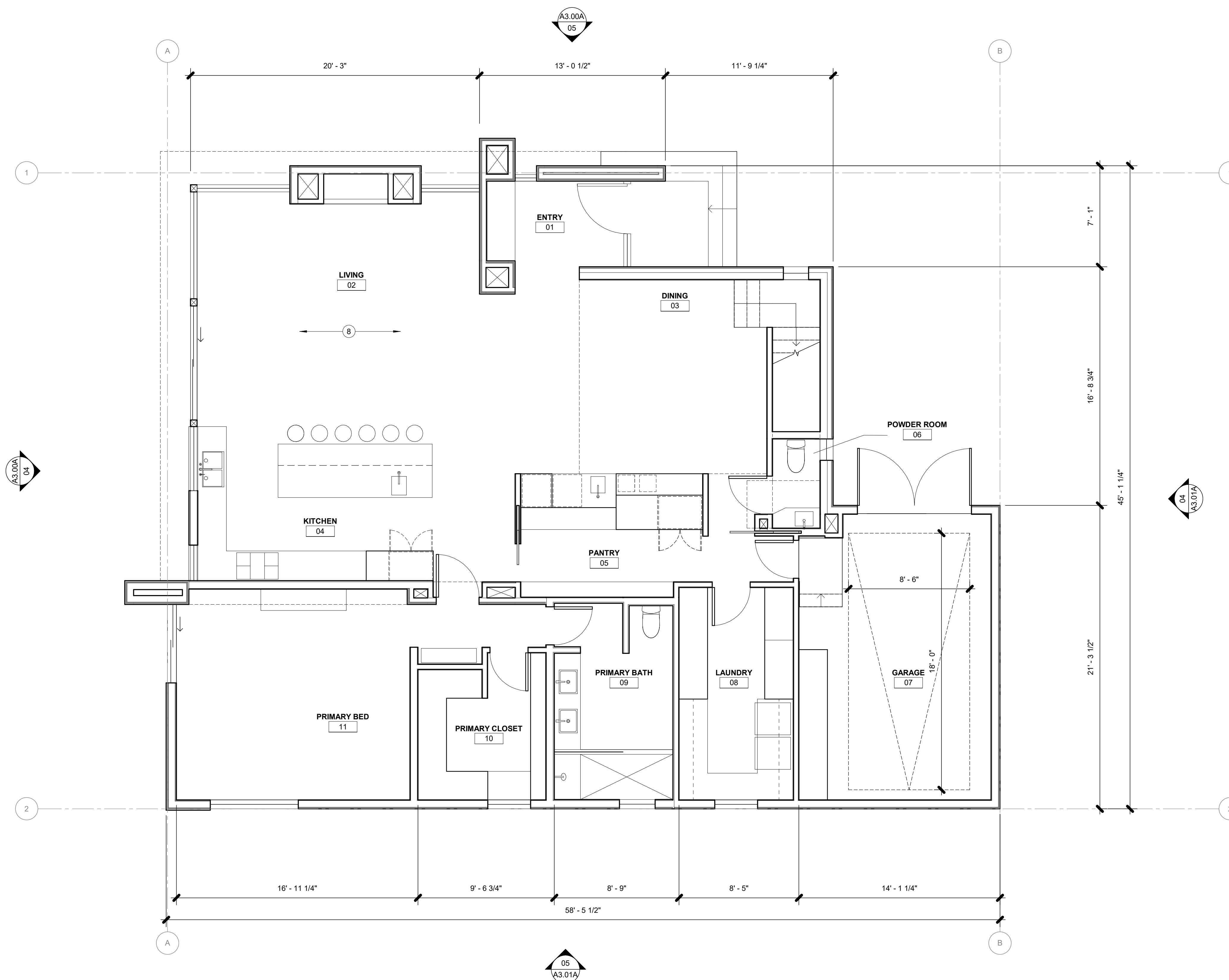


ZONING INFO 05

LEGEND 01

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STAMP



5 LINE OF FLR ABV
8 SLAB ON GRADE
9 LINE OF TRELIS ABV

KEY NOTES 03

1. ALL DIMENSIONS ARE TO FO STRUCTURE UNO
2. GRID LINES ARE DIMENSIONED TO FO STRUCTURE UNO
3. PROVIDE SMOKE ALARMS AS REQ'D PER SECTION R314.6 & R315.2.
4. ALL EXTERIOR WALLS ARE SI UNO, ALL INTERIOR WALLS ARE GI UNO
10. SEE A8.00 FOR DR & WIN SCHEDULE & SEE A8.10 FOR FF & E SCHEDULES
11. SEE A9.30 FOR WALL TYPES, SEE STRUCT DWGS FOR WALL STUD SIZING
12. SEE A6.00-A6.02 FOR INT ELEVS
13. SEE A2.11 FOR FIRST FLR RCP & SEE E2.01 FOR FIRST FLR ELEC PLAN
14. SEE ELEVATIONS FOR WNDW SILL HT'S, PROVIDE GUARDRAILS @ OPERABLE WNDWS WHOSE SILL HT IS 30" OR MORE ABV GRADE & LESS THAN 36" ABV FF
15. SLOPE GRADE 5% AWAY FROM FDN FOR 10' MIN
16. EXT WALL ASSEMBLIES TO PROVIDE THE BLDG W/A WEATHER RESISTANT ENVELOPE, INCL FLASH SYSTEMS PER 1405.3 & 1403.2
17. JOINTS & OTHER OPNG'S IN THE BLDG ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION & EXFILTRATION
18. SEE A0.30 CODE ANALYSIS FOR PARKING CLEARANCE REQ'S AND POWDER ROOM, BATHROOM, AND CIRCULATION CLEARANCE REQ'S
19. THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS & SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. 4.211.4 ENERGY CODE 110.10, LAFD REQUIREMENT NO.96
20. BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
(A) FANS SHALL BE ENERGY STAY COMPLAINT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. (B) FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL. (4.506.1)

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REVISIONS

OWNER / CLIENT

PAUL TALBOT

315 S. PRIMROSE AVE
MONROVIA, CA 90106

PROJECT

**1550
HOMWOOD
RESIDENCES**

1550 HOMWOOD DRIVE
ALTADENTA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**FIRST FLOOR PLAN
RESIDENCE A**

SHEET NO.

A2.01A

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024

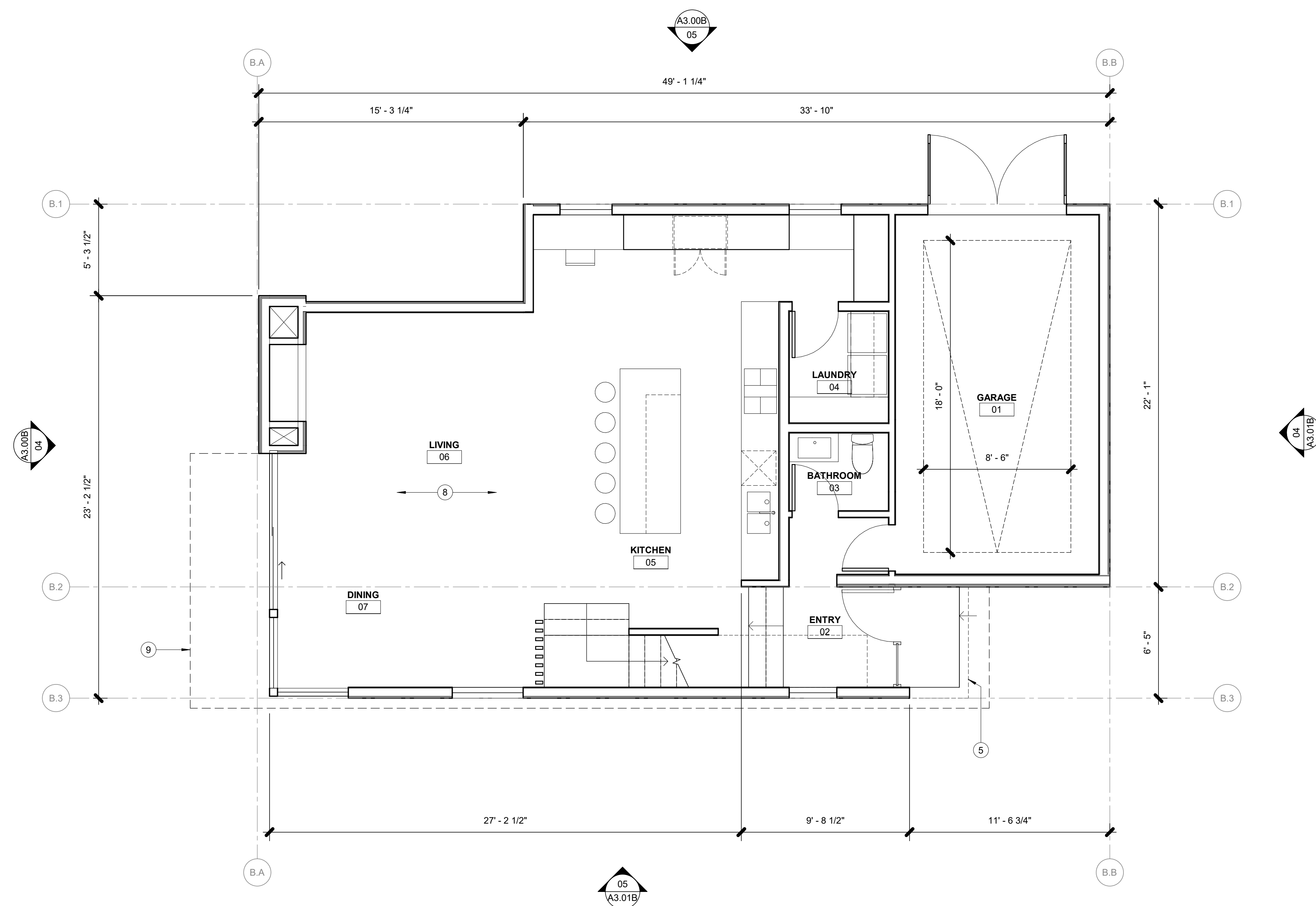
GENERAL NOTES 02

FIRST FLOOR - A 1/4" = 1'-0" 04

LEGEND 01

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REVISIONS

OWNER / CLIENT

PAUL TALBOT

315 S. PRIMROSE AVE
MONROVIA, CA 90106

PROJECT

**1550
HOMWOOD
RESIDENCES**

1550 HOMWOOD DRIVE
ALTADENTA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**FIRST FLOOR PLAN
RESIDENCE B**

SHEET NO.

A2.01B

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024

GENERAL NOTES 02

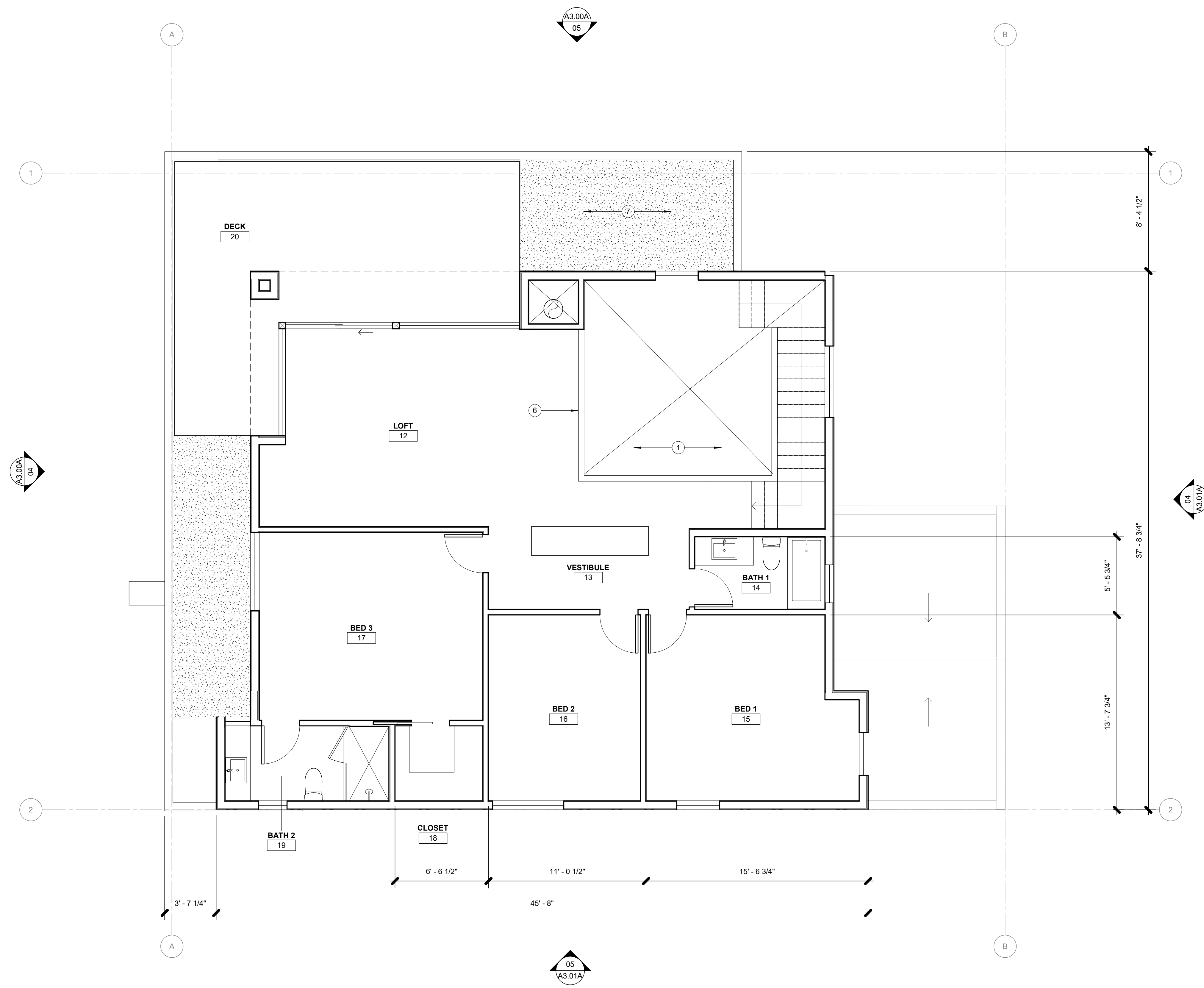
FIRST FLOOR - B 1/4" = 1'-0" 04

LEGEND 01



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STAMP



- 1 OPEN TO BLW
- 2 LINE OF RF BLW
- 3 LINE OF TRELIS BLW
- 6 GUARDRAIL
- 7 UNOCCUPIED ROOF

KEY NOTES 03

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REVISIONS

OWNER / CLIENT

PAUL TALBOT

315 S. PRIMROSE AVE
MONROVIA, CA 90106

PROJECT

**1550
HOMWOOD
RESIDENCES**

1550 HOMWOOD DRIVE
ALTADENTA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**SECOND FLOOR PLAN
RESIDENCE A**

SHEET NO.

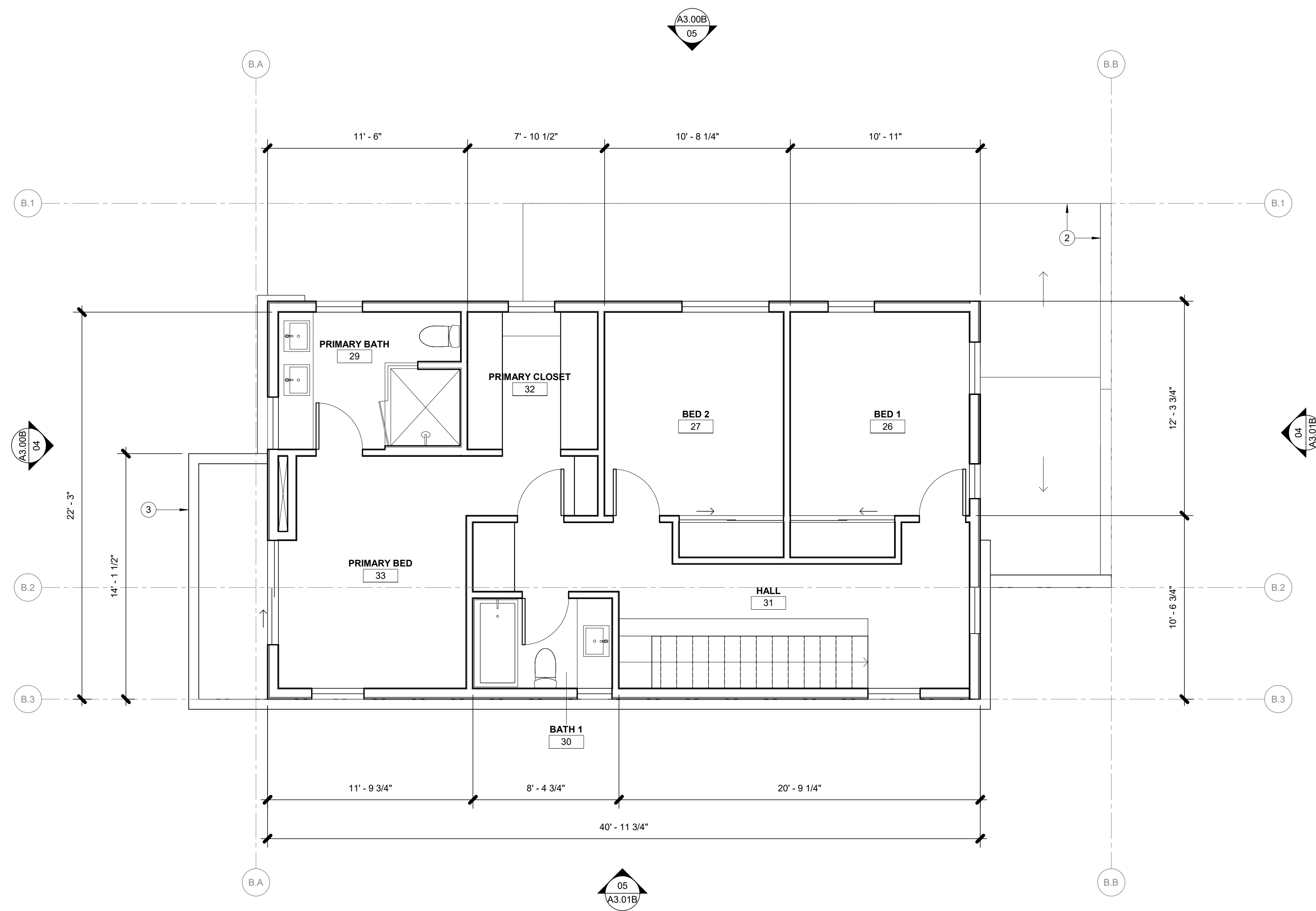
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KEY NOTES 03

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REVISIONS

OWNER / CLIENT

PAUL TALBOT

315 S. PRIMROSE AVE
MONROVIA, CA 90106

PROJECT

**1550
HOMWOOD
RESIDENCES**

1550 HOMWOOD DRIVE
ALTADENTA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**SECOND FLOOR PLAN
RESIDENCE B**

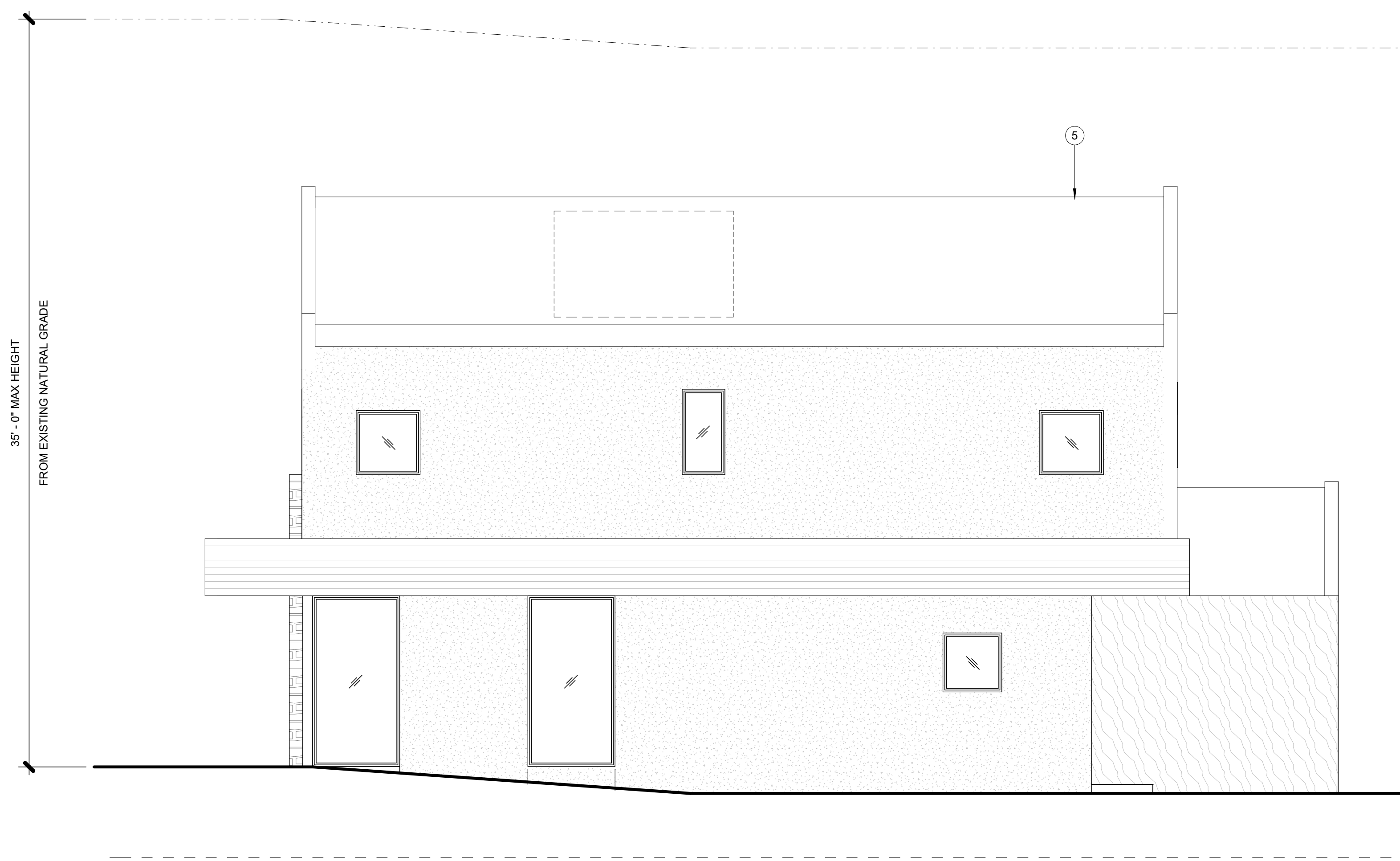
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A2.02B

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STAMP



WEST ELEVATION - RESIDENCE B 1/4" = 1'-0" 05

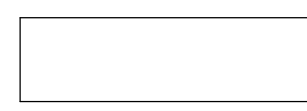
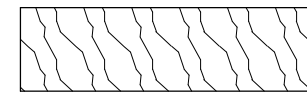


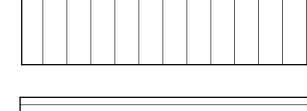
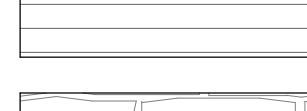
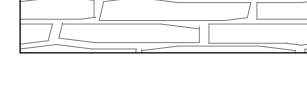
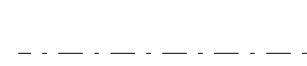

- 1 LOW-E WD CLAD WINDOWS
- 2 WOOD PIVOT ENTRY DOOR
- 3 GARAGE DOOR
- 4 GUARDRAIL @ DECK
- 5 LINE OF PITCHED ROOF BYND
- 7 STUCCO CONTROL JOINT
- 9 LINE OF GRADE RESULTING FROM CUT
- 10 MAX HEIGHT TO BE 23' ABOVE PREVIOUSLY EXISTING GRADE
- 11 MAX HEIGHT TO BE 23' ABOVE NEW GRADE AFTER CUT
- 12 LINE OF (E) GRADE BYND, WHERE MAIN HOUSE SITS RELATIVE TO 23FT MAX HEIGHT.

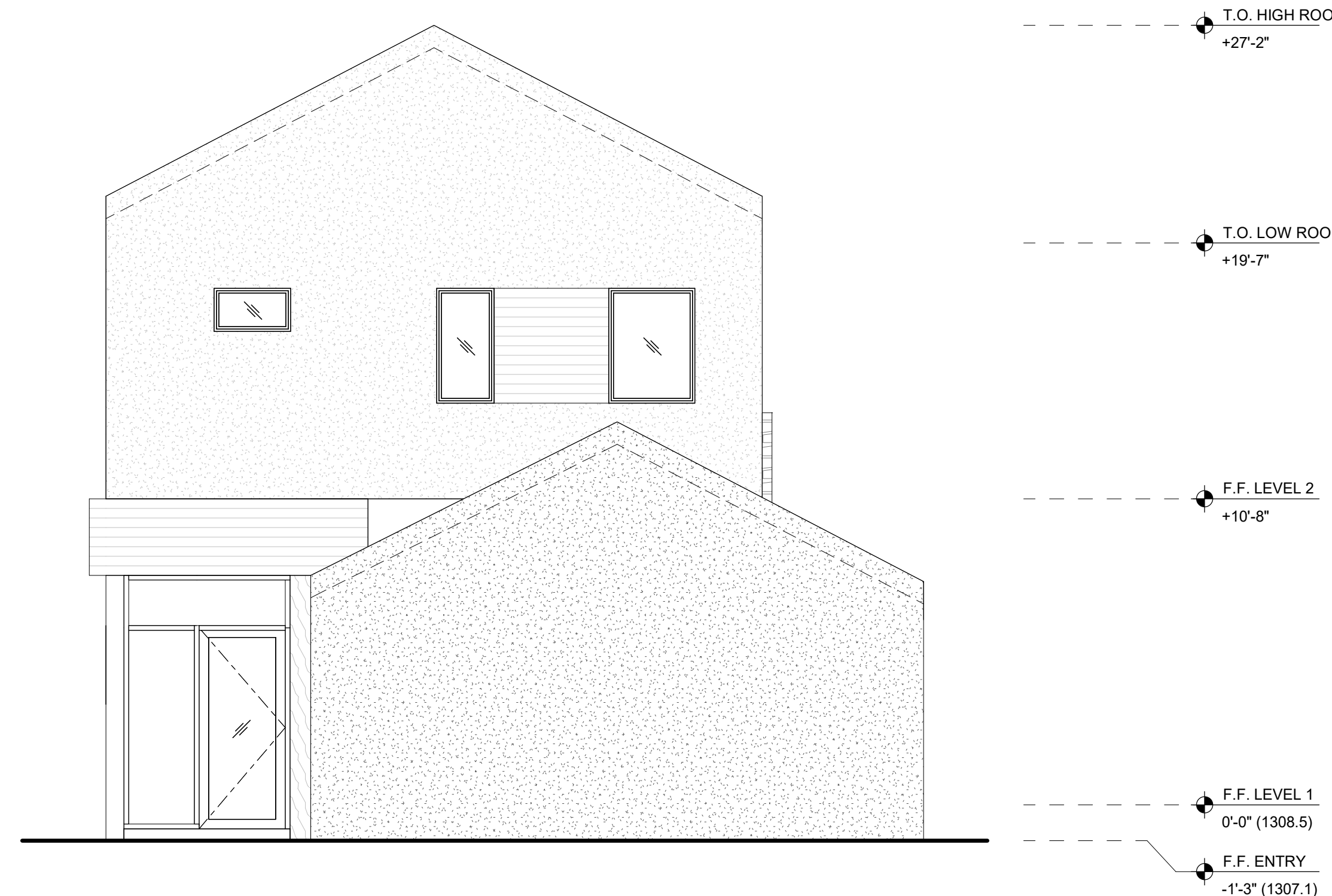
KEY NOTES 03

1. (N) PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT, OR AS ALLOWED TO PROJECT PER MUNICIPAL CODE.
2. ALL DIMENSIONS ARE TO FO STRUCTURE UNO
3. GRID LINES ARE DIMENSIONED TO FO STRUCTURE UNO
4. PROVIDE FLASHING AT WNDW, DR, & WALL PENETRATIONS AS REQD FOR A PROPER INSTALLATION.
5. PROVIDE (2) LAYERS OF BLDG PAPER BEHIND ALL STUCCO & BUILDING SKIN PATCHES.
6. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
7. SEE ELEVATION 03/A3.01 FOR MAXIMUM BUILDING HEIGHT & SETBACK REQUIREMENTS
8. SEE A 8.00 FOR DOOR & WINDOW SCHEDULE
9. COORD ALL SHT MTL TRANSITIONS W/ ARCH IN FIELD PRIOR TO INSTALLATION. PROVIDE MOCK-UPS IF REQUESTED
10. NO VISIBLE RIVETS OR SOLDER JOINTS ON ANY EXPOSED SHT MTL

GENERAL NOTES 02

MATERIALS LEGEND

-  (E) TILT UP CONCRETE, PAINTED
-  (N) WOOD - SIDING - CLEAR SOLID CEDAR PANEL
-  CEMENT PLASTER TYPE 1
-  CEMENT PLASTER TYPE 2
-  SHINGLE COOL ROOF
-  CEMENT BOARD SIDING
-  NATURAL STONE
-  PROPERTY LINE
-  SETBACK



SOUTH ELEVATION - RESIDENCE B 1/4" = 1'-0" 04

LEGEND 01

#	ISSUE DESCRIPTION	DATE
2	PLANNING RESUBMISSION	08.07.24
1	PLANNING SUBMISSION	12.22.23

#	ISSUE DESCRIPTION	DATE
2	PLANNING RESUBMISSION	08.07.24
1	PLANNING SUBMISSION	12.22.23

REVISIONS

OWNER / CLIENT

PAUL TALBOT

315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

**1550
HOMWOOD
RESIDENCES**

1550 HOMWOOD DRIVE
ALTADENTA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**EXTERIOR
ELEVATIONS
RESIDENCE B**

SHEET NO.

A3.01B

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024

- 01 WALL INTERSECTION WITH FRONT SETBACK, (N) RETAINING WALLS TO THE LEFT OF THIS INTERSECTION WITHIN SITE SETBACKS ARE REQD TO BE LESS THAN 6'-0" MAX HT.
- 02 LINE OF DRIVEWAY BEYOND
- 03 LINE OF FOUNDATION BEYOND
- 04 LINE OF (E) GRADE
- 05 (N) GUARD RAIL, 42" MIN AFG

ARCHITECT



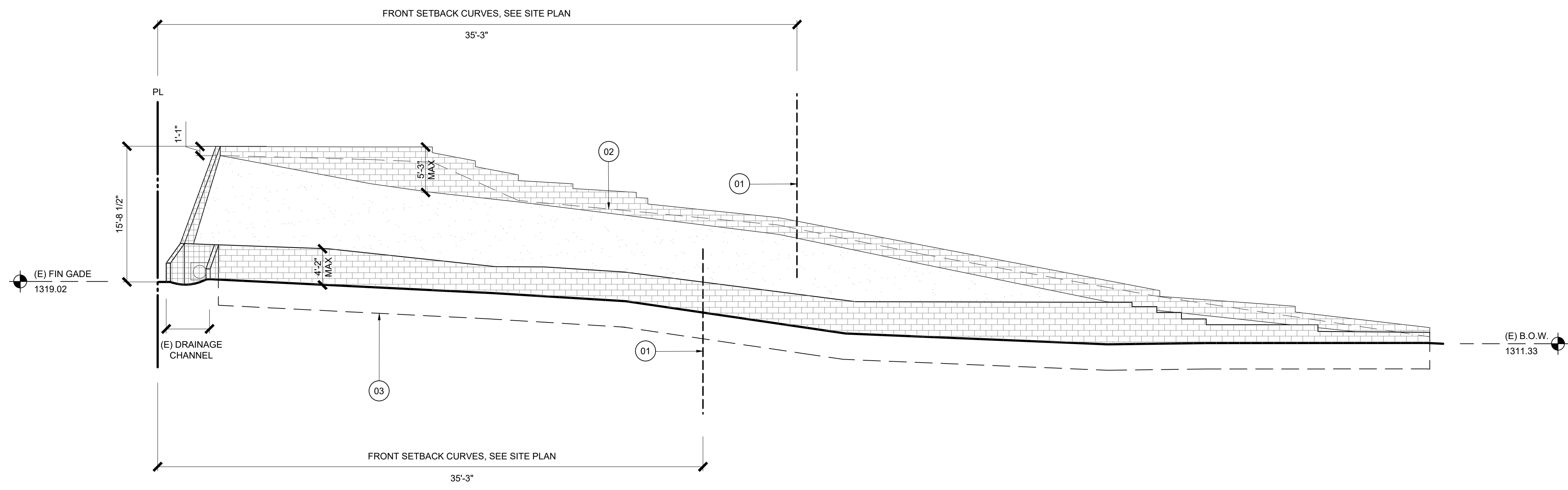
923 East 3rd Street, Suite 105
Los Angeles, CA 90013

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w | www.ora.la

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STAMP

CONSULTANT



EXISTING RETAINING WALL 1/8" SCALE 05

KEY NOTES 03

1. NOT USED

DRAWING ISSUE	
01	PLANNING SUBMISSION 12.22.2023
02	PLANNING RESUBMISSION 08.07.2024

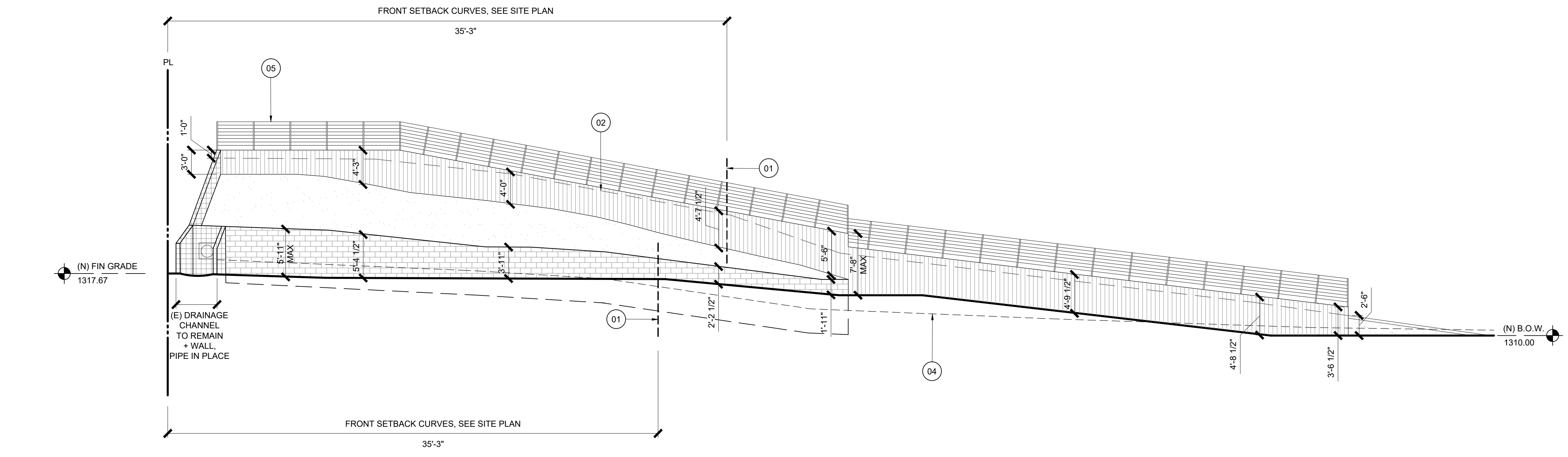
OWNER / CLIENT
PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT
HOMWOOD SB9 RESIDENCES
1550 HOMWOOD DRIVE
ALTADENA, CA 91001
PROJECT NO. **23-03**

DRAWING TITLE
RETAINING WALL ELEVATIONS

SHEET NO.
A3.02

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024



NEW RETAINING WALL 1/8" SCALE 04

LEGEND 01

GENERAL NOTES 02	
	(E) WALL
	(N) WALL
	(E) DRAINAGE CHANNEL
	(E) GRADE



PROJECT NUMBER PRJ2024-001760-(5)
HEARING DATE March 18, 2025
REQUESTED ENTITLEMENT(S)
 Oak Tree Permit ("OTP") No. RPPL2024002836

PROJECT SUMMARY

OWNER / APPLICANT

Talbot, Paul and Regina T./Lauryn Pinsak

MAP/EXHIBIT DATE

August 07, 2024

PROJECT OVERVIEW

A request to authorize encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2 on the Oak Tree Report) to allow for the widening of an existing paved driveway, demolition of a retaining wall, and a new garden wall in association with the construction of two new Single-Family Residences ("SFRs") on a vacant property in the unincorporated community of Altadena. All oak trees are identified as non-heritage coast live oaks in an arborist report prepared by Kerry Norman dated March 28, 2024. No removal of any oak tree is proposed. The County Forester has reviewed the Project’s arborist report and has issued a clearance letter with recommended conditions. The SFRs will be reviewed as a Senate Bill (“SB”) 9 project under separate Site Plan Review No. RPPL2024002829.

LOCATION

1550 Homewood Drive Altadena, CA 91001

ACCESS

Homewood Drive

ASSESSORS PARCEL NUMBER(S)

5846-020-019

SITE AREA

0.56 Acres (24,601 square feet)

GENERAL PLAN / LOCAL PLAN

Altadena Community Plan (“Community Plan”)

ZONED DISTRICT

Altadena

PLANNING AREA

West San Gabriel Valley

LAND USE DESIGNATION

LD (Low Density Residential – 1 to 6 dwelling units per gross acre)

ZONE

R-1-20,000 (Single-Family Residence – 20,000 Square Feet Minimum Required Lot Area)

PROPOSED UNITS

2

MAX DENSITY/UNITS

6 dwelling units per acre

COMMUNITY STANDARDS DISTRICT

Altadena

ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures
 Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the Los Angeles County General Plan and Community Plan
- Satisfaction of the following portions of Title 22 of the County Code:
 - Chapter 22.174 (Oak Tree Permits)
 - Chapter 22.306 (Altadena Community Standards District)
 - Section 22.140.640 (Accessory Dwelling Units and Junior Accessory Dwelling Units)
 - Section 22.18.040 (Development Standards for Residential Zones)

CASE PLANNER:

Stacy Corea

PHONE NUMBER:

(213) 893 - 7042

E-MAIL ADDRESS:

scorea@planning.lacounty.gov

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
DRAFT FINDINGS OF THE HEARING OFFICER
AND ORDER
PROJECT NO. PRJ2024-001760-(5)
OAK TREE PERMIT NO. RPPL2024002836**

RECITALS

1. **HEARING DATE.** The Los Angeles County (“County”) Hearing Officer conducted a duly noticed public hearing in the matter of Oak Tree Permit (“OTP”) No. **RPPL2024002836** on March 18, 2025.
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT REQUESTED.** The permittee, Lauryn Pinsak ("permittee"), requests the OTP to authorize the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2) associated with the construction of two SFRs and accessory structures (“Project”) on a property located at 1550 Homewood Drive in the unincorporated community of Altadena ("Project Site") in the R-1-20,000 (Single-Family Residence - 20,000 Square Feet Minimum Required Lot Area) Zone pursuant to County Code Section 22.174.030 (Applicability).
4. **RELATED PERMIT.** The two SFRs and related accessory structures are being proposed and reviewed as a Senate Bill (“SB”) 9 project under ministerial Site Plan Review (“SPR”) No. RPPL2024002829.
5. **ENCROACHMENTS.** The encroached-upon oaks range in size from 22 inches in diameter at breast height (“DBH”) to 26 inches DBH. All trees are identified as non-heritage coast live oak trees in an oak tree report prepared by Kerry Norman, dated March 28, 2024. The report concluded that impacts to the oak trees are not expected to cause significant negative impacts to tree health or structure.

Oak Tree	DBH (Diameter at Breast Height in inches)	Health	Encroachment into Tree Protection Zone (“TPZ”) and Dripline
#34 (double trunk)	22/25	Above Average	Encroachment of 204 sf into TPZ and 69 sf into dripline
OS1	26	Above Average	137.56 sf encroachment into TPZ
OS2	24	Above Average	encroachment of 69.86 sf into TPZ and 32.4 sf into dripline

OS3	20	Above Average	No Encroachment
OS4	14	Above Average	Removed by County Flood Control District on July 23, 2024

6. **LOCATION.** The Project Site is located within the Altadena Community Standards District (“CSD”) and West San Gabriel Valley Planning Area.
7. **LAND USE DESIGNATION.** The Project Site is located within the LD (Low Density Residential - One to Six Dwelling Units per Gross Acre) land use category of the Altadena Community Plan (“Community Plan”) Land Use Policy Map, a component of the General Plan.
8. **ZONING.** The Project Site is located in the Altadena Zoned District and is currently zoned R-1-20,000. Pursuant to County Code Section 22.174.030 (Applicability), an OTP is required for encroachments into protected zones of oak trees.

9. **SURROUNDING LAND USES AND ZONING**

LOCATION	COMMUNITY PLAN LAND USE POLICY	ZONING	EXISTING USES
NORTH	LD (Low Density)	R-1-20,000	SFRs
EAST	LD	R-1-20,000	SFRs
SOUTH	LD, I (Institutions)	R-1-20,000	SFRs, Government Parcel (LA Flood Control)
WEST	LD	R-1-7,500 (Single-Family Residence - 7,500 Square Feet Minimum Required Lot Area)	SFRs

10. **PROJECT AND SITE PLAN DESCRIPTION.**

A. Existing Site Conditions

The Project Site is 0.56 acres (24,601 square feet) in size and consists of one legal lot. The Project Site is rectangular in shape with hillside management areas located at the northeastern portion of the Project Site. The development of a new retaining wall and an expanded driveway are partially located in the Hillside Management area. Pursuant to County Code Section 22.306.060.B.2.ii (Permits Required), new accessory structures in a Hillside Management area are exempt from a Minor Conditional Use Permit. The new

retaining wall and paved areas are accessory to the related two new SFRs, all which are proposed outside of the Hillside Management area. The lot is currently undeveloped and vacant. One non-heritage oak tree is located on the Project Site. It is noted to be healthy and free from any noticeable pest problems. The two non-heritage oak trees overhanging onto the property also appear to be in stable condition with no signs of pests or disease. On March 5th, 2025, consulting arborist, Kerry Norman, revisited the Project site to evaluate the oak trees' condition following the Eaton Fire. It was determined that while the oak trees were impacted, they are expected to make a full recovery.

B. Site Access

The Project Site is accessible via Homewood Drive, a 50-foot-wide public street, to the east. Primary access to the Project Site is via an entrance/exit on Homewood Drive.

C. Site Plan

The site plan depicts the proposed two SFRs, each with an attached one-car garage, a widened driveway, new retaining wall, new garden wall and the three subject oak trees. The driveway, retaining wall are shown encroaching into the protected zone of the two off-site oak trees. The garden wall is shown encroaching the protected zone of the on-site oak tree, Oak #34. The site plan also depicts the location of the oak tree located on the neighboring property to the east, which will not be encroached upon or impacted.

11. **CEQA DETERMINATION.** Prior to the Hearing Officer's public hearing on the Project, LA County Planning staff determined that the Project qualified for a Class 3, New Construction or Conversion of Small Structures, and Class 4, Minor Alterations in Land categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County because the Project involved the encroachment into the protected zone of three oak trees to allow the widening of an existing driveway in association with two new SFRs. The types of projects that typically fall within Class 3, include but are not limited to, the construction of limited numbers of new small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 4 exemptions consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed. The encroachment into the protected zone of oak trees is a case of a minor alteration in the condition of land and where no trees will be removed.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject

property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. While the three non-heritage oak trees (OS1, OS2, and Oak #34) do make up a small oak woodland. The proposed development will not result in significant impact as no removals or changes to the understory are proposed. Therefore, no significant effect due to unusual circumstances and no cumulative impacts are anticipated.

12. The Forester has reviewed the Project for the requested encroachments. The Forester will require proper temporary fencing to secure the protected zones during construction and the use of hand tools or hand-held power tools if trenching or clearance of vegetation is needed within the protected zones to reduce negative impacts on the roots. The arborist's tree protection measures and tree care instructions during construction will also be required. The two future inspections by the Forester will ensure that the trees survive, or if they do not survive that they are replaced. If an oak tree should die from the construction impacts, the applicant will be required to replace each such oak tree at a 2:1 ratio (10:1 for heritage oaks) on the property and follow-up monitoring will continue to be required to ensure survival. These recommended conditions of approval by the Forester and the recommendations provided in the oak tree report are incorporated by reference in the OTP. They have been determined by the Forester to be sufficient to recover any potential losses to trees and woodland values.
13. **PUBLIC COMMENTS.** Staff has not received any comments at the time of report preparation.
14. **AGENCY RECOMMENDATIONS.** County Fire Department (Forestry Division): Recommended clearance to public hearing with conditions in a letter dated December 27, 2024.
15. **LEGAL NOTIFICATION.** Pursuant to Section 22.174.040.E.1.b (Public Hearing Procedure) of the County Code, the community was properly notified of the public hearing by newspaper (*Pasadena Star News*). Additionally, the Project was noticed, and case materials were available on LA County Planning's website. On January 30, 2025, a total of Notices of 14 Public Hearing were mailed on the courtesy mailing list for the Altadena Zoned District and OTP courtesy lists, and any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

16. **LAND USE POLICY.** The Hearing Officer finds that the Project (a request to encroach into the protected zone of three oak trees identified as tree numbers 34, OS1, and O2), is consistent with the goals and policies of the Altadena Community Plan because the LD designation is intended for single-family residential development and associated accessory uses, a category into which this Project falls. The Hearing Officer further finds that the Project promotes the continued single-family residential use and character of the surrounding area.

17. **GOALS AND POLICIES.** The Hearing Officer finds the Project is consistent with the following goals and policies of the Community Plan:

- Land Use, Policy 4.3, Page 4-2: *Preserve existing residential neighborhoods, commercial districts, community facilities, institutions, and environmental amenities.*
- Land Use, Goal 4-2, Page 4-1: *Maintain and enhance a living environment for Altadena residents which provide for their needs: health, physical safety, and high quality of life.*

While the Project is a request to encroach into the protected zone of three oak trees, associated development will develop two separate SFRs and accessory structures on the Project Site, which is consistent with single-family neighborhood while providing additional housing units and therefore, is consistent with the permitted uses of the underlying land use category. This development will contribute to additional housing opportunities in the community. The related proposed SFRs and accessory structures are consistent with the intended by-right use in the R-1-20,000 Zone and LD land use designation.

- Environmental Resources, Policy No. 4, Page 10-1: *Provide that new development must be compatible with adjacent land uses and environmental resources.*

The subject property is vacant and will be developed with two SFRs and accessory structures after Project implementation. While the Project is for the encroachment of three non-heritage oak trees, the related construction of new SFRs will not impact on the residential nature of the neighborhood. The placement of the SFRs and accessory structures such as the retaining wall, will avoid the removal of the impacted oak trees. Additionally, the preservation of the non-heritage oaks during construction will be ensured through the recommended conditions of approval for the OTP.

- Land Use, Policy No. 9, Page 4-3: *Permit developers to utilize innovative residential construction and siting techniques, provided that they maintain physical safety and health and are compatible with existing land use and the environmental setting.*

The Hearing Officer further finds that while the Project is for the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2), the associated residential development is consistent with the following policies of the General Plan:

- Goal LU 7: *Compatible land uses that complement neighborhood character and the natural environment.*

- Land Use Element, Policy 4.1: *Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.*
- Land Use Element, Policy 5.1: *Encourage a mix of residential land use designations and development regulations that accommodate various densities, building types, and styles.*

The two proposed SFRs and accessory structures, will ensure that the Project Site will continue to be compatible with the residential character of the neighborhood. By maintaining the oak trees, they will continue to contribute to the surrounding natural environment. While the OTP is for the encroachment into the protected zone of three non-heritage oak trees, the addition of two new SFRs and accessory structures would not conflict with the above goal and policies. The improvements would provide greater amenities and convenience to the Project Site residents. The location of the proposed SFRs and accessory structures is sited in such a way to avoid major impacts to the encroached-upon oak trees.

ZONING CODE CONSISTENCY FINDINGS

18. **PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the R-1-20,000 zoning classification as the encroachment into the protected zone of three oak trees, to facilitate the construction of two SFRs, is permitted in such zone per SB 9 and subject to an OTP pursuant to County Code Section 22.174.030 (Applicability). Per SB 9, Section 65852.21 was added to the Government Code to require a ministerial review process for eligible development of up to two principal dwelling units on a parcel in a single-family residential zone, allowing the development of the two related proposed SFRs and accessory structures on the Project Site.
19. **COMMUNITY STANDARDS DISTRICT.** The Hearing Officer finds that while the Project is a request for encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2), the related proposed SFRs and accessory structures on the Project Site are consistent with the standards identified in County Code Section 22.306.070.A (Zone Specific Development Standards), including required setbacks, height, and maximum lot coverage and floor area. Prior to the issuance of any building permits, compliance with Title 22 will be reviewed under SPR No. RPPL2024002829.
- Required Yards. As depicted on the Site Plan, the proposed SFRs have a proposed front yard depth greater than 35 feet and 3 inches, which is the shortest front yard depth on the same block, on the same side of the property.
 - Height. The proposed SFRs do not exceed the maximum height limit of 35 feet for lots exceeding a size of 20,000 square feet.

- Maximum Lot Coverage and Gross Structural Area (“GSA”). The maximum Lot Coverage and GSA for the lot is 7,330.25 square feet ($[25,321 * 0.25] + 1,000 = 7,330.25$ square feet). The proposed GSA is 4,951 square feet and the proposed Lot Coverage is 3,591 square feet.

20. **PARKING.** The Hearing Officer finds that while the Project is a request for encroachment into the protected zone of three non-heritage oak trees, the associated residential development is consistent with the standard identified in Section 65852.21 of the Government Code for SFRs. Under Section 65852.21 of the Government Code, a local agency may only require up to one off street parking space for each principal unit established under SB 9. Therefore, one uncovered parking space is required for each SFR, and both are provided in the proposed attached one-car garages. Prior to the issuance of any building permits, compliance will be verified under SPR No. RPPL2024002829.

OAK TREE PERMIT FINDINGS

21. **The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property.** All three non-heritage oak trees (identified as tree numbers 34, OS1, and O2), on and overhanging onto the subject property will be encroached upon with the accessory uses consisting of a driveway, retaining wall and small garden wall associated with the two proposed SFRs. No oak trees are proposed for removal. No adverse impact on any oak tree is anticipated. Conditions of approval have been required by the Forester, requiring the permittee to provide mitigation trees should any tree specified die as a result of the approved encroachments, at a ratio of 2:1 for Trees 34, OS1, and OS2.
22. **The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.** The request is to authorize the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2) associated with the related construction of two SFRs and accessory structures. No removal or relocation of any oak tree is proposed, and the proposed encroachments will not result in soil erosion.
23. **The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that (i) Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or (ii) Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.** No removal of or relocation of any oak tree is proposed; the Project requests the encroachment into the protected zone of three non-heritage Coast Live Oaks. Given the location of such trees on and overhanging onto the

property, together with the location of the proposed SFRs and accessory structures, the selected area for the residences was the most reasonable and efficient location that avoided more significant impacts, including visual impacts from the public right-of-way.

24. **The Hearing Officer finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.** The request is to authorize the encroachment into the protected zone of three non-heritage oak trees (identified as tree numbers 34, OS1, and O2) associated with the construction of two SFRs and accessory structures. No oak trees will be removed as part of the proposed Project.

ENVIRONMENTAL FINDINGS

25. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15303 and 15304 (Class 3, New Construction or Conversion of Small Structures and Class 4 Minor Alterations to Land categorical exemptions). Los Angeles County (“County”) completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (“CEQA”). The project qualifies as a Class 3 (New Construction or Conversion of Small Structures) and Class 4 (Minor Alterations to Land) under the Los Angeles County Environmental Reporting Guidelines and the State CEQA Guidelines Sections 15303 and 15304 because the request to encroach into the protected zone of oak trees is related to minor alterations in the condition of private land and vegetation that do not involve the removal of healthy mature, scenic trees associated with the development of two new SFRs and other accessory structures. The related driveway, retaining wall, and garden wall are accessory structures or appurtenances that will not alter the proposed primary use of the property as a residence.

Per section 15303 of the CEQA Statute and Guidelines, Class 3 is intended for the construction of small structures and facilities such as two SFRs. The surrounding properties have been altered from their natural conditions. The Project Site is currently vacant. The three affected oak trees make up a small oak woodland, but considering its present condition, the proposed development would not result in any significant impacts given that no removals or changes to the understory are proposed. Therefore, there are no significant impacts that are an exception to the Class 3 categorical exemption.

Per section 15304 of the CEQA Statute and Guidelines, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, among other activities. The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. Furthermore, the County Forester and Fire Warden (“Forester”) has reviewed the

Project for the requested encroachments. The Project's conditions have been determined by the Forester to be sufficient to recover any losses to trees and woodland values.

ADMINISTRATIVE FINDINGS

26. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property.
- B. There will be no removal or relocation of oak trees proposed that will result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.
- C. There will be no removal or relocation of oak trees proposed that is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that (i) Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or (ii) Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.
- D. There will be no removal of oak trees proposed that will be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

THEREFORE, THE HEARING OFFICER:

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 and 15304 (Class 3, New Construction or Conversion of Small Structures and Class 4, Minor Alterations to Land categorical exemptions categorical exemption); and
- 2. Approves **OAK TREE PERMIT NO. RPPL2024002836**, subject to the attached conditions.

PROJECT NO. PRJ2024-001760-(5)
OAK TREE PERMIT NO. RPPL2024002836

EXHIBIT C
FINDINGS
PAGE 10 OF 10

ACTION DATE: March 18, 2025

MRB:SC

March 18, 2025

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING**

**DRAFT CONDITIONS OF APPROVAL
PROJECT NO. PRJ2024-001760-(5)
OAK TREE PERMIT NO. RPPL2021002836**

PROJECT DESCRIPTION

The project is a request to authorize the encroachment into the protected zone of three non-heritage oak trees (OS1, OS2, and Oak Tree #34) in conjunction with the related construction of two new Single-Family Residences (SFRs) and accessory structures, subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid pursuant to the attached County Forester and Fire Warden (“Forester”) letter dated December 27, 2024. Notwithstanding the foregoing, this Condition No. 2 and Conditions No. 3, 4, and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
3. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement or any other encumbrance on the property shall exempt the permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections may be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. If inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse LA County Planning for all enforcement efforts necessary to bring the subject property into compliance. The amount charged for inspections shall be \$441.00 per inspection, or the current recovery cost established by LA County Planning at the time any inspections are required, whichever is greater. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).
9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have

been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.

10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").

PERMIT -SPECIFIC CONDITIONS

13. This grant shall authorize the encroachment into the protected zone of three non-heritage oak trees (OS1, OS2 and Oak tree #34) to accommodate the related construction of two new SFRs and accessory structures.
14. The permittee shall comply with all conditions and requirements contained in the County Fire Department Forestry Division ("Forester") letter dated December 27, 2024 (attached hereto), to the satisfaction of said Forester, except as otherwise required by the Forester and by these conditions.
15. Per the recommendations of the County Biologist, one trench line for all utilities shall be used to limit the amount of trench lines running under the oak tree.
16. In the event of the death of any oak tree as a result of the Project, the permittee shall:
 - a. Replace the non-heritage oak trees at a ratio of 2:1.
 - b. Plant one healthy acorn of the same species of oak (*Quercus* sp.) as the tree removed for each mitigation tree planted. The acorns shall be planted at the same time as and within the watering zone of each mitigation tree.
 - c. All replacement trees shall be planted on native undisturbed soil and shall be the same species of oak (*Quercus* sp.) as the removed tree. The location of the replacement tree shall be in the vicinity of other oak trees of the same species. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

- d. When replacement trees are planted on disturbed soil or are not in the vicinity of the same species of oak (*Quercus* sp.) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

Attachments:

- Exhibit D-1 Forester Letter dated December 27, 2024
- Exhibit D-2 Oak Trees: Care and Maintenance Guide



COUNTY OF LOS ANGELES FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

"Proud Protectors of Life, Property, and the Environment"

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FOURTH DISTRICT

KATHRYN BARGER
FIFTH DISTRICT

December 27, 2024

Stacey Corea, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Stacey Corea:

OAK TREE PERMIT NUMBER RPPL2024002836 1550 HOMEWOOD DR., ALTADENA

We have reviewed the "Request for Oak Tree Permit #RPPL2024002836." The project is located at 1550 Homewood Dr. in the unincorporated area of Altadena. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Kerry Norman, the consulting arborist, dated March 28, 2024.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS	CARSON	EL MONTE	INGLEWOOD	LAWNDALE	PICO RIVERA	SIGNAL HILL
ARTESIA	CERRITOS	GARDENA	IRWINDALE	LOMITA	POMONA	SOUTH EL MONTE
AZUSA	CLAREMONT	GLENDORA	LA CANADA-FLINTRIDGE	LYNWOOD	RANCHO PALOS VERDES	SOUTH GATE
BALDWIN PARK	COMMERCE	HAWAIIAN GARDENS	LA HABRA	MALIBU	ROLLING HILLS	TEMPLE CITY
BELL	COVINA	HAWTHORNE	LA MIRADA	MAYWOOD	ROLLING HILLS ESTATES	VERNON
BELL GARDENS	CUDAHY	HERMOSA BEACH	LA PUENTE	NORWALK	ROSEMEAD	WALNUT
BELLFLOWER	DIAMOND BAR	HIDDEN HILLS	LAKEWOOD	PALMDALE	SAN DIMAS	WEST HOLLYWOOD
BRADBURY	DUARTE	HUNTINGTON PARK	LANCASTER	PALOS VERDES ESTATES	SANTA CLARITA	WESTLAKE VILLAGE
CALABASAS		INDUSTRY		PARAMOUNT		WHITTIER

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

7. This grant allows encroachment within the protected zone of three (3) trees of the Oak genus identified as Tree Numbers 34, OS1 and OS2 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,



KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION
COMMUNITY RISK REDUCTION BUREAU

KT:jl

Enclosure

An illustration of several oak leaves and a branch. The leaves are detailed with veins and have a lobed, wavy edge. Some leaves are shaded in a light gray color, while others are white with black outlines. The branch is dark and textured, showing small knots and a rough surface. The entire illustration is enclosed in a thin black rectangular border.

OAK TREES: Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

The Oak Tree

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

<http://www.fire.lacounty.gov>

Or contact:

Department of Regional Planning
320 W. Temple Street, 13th floor
Los Angeles, CA 90012-3284
(213) 974-6411
TDD: (213) 617-2292
<http://planning.co.la.ca.us>

Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.



Valley Oak
QUERCUS LOBATA

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG; PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS: FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERELY BY AGRICULTURE AND URBAN DEVELOPMENT.



Coast Live Oak
QUERCUS AGRIFOLIA

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG; SPINY, ROUNDED, AND HOLLY-LIKE; BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.



Interior Live Oak
QUERCUS WISLIZENII

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

OTHER COMMON OAKS :

CALIFORNIA BLACK OAK : QUERCUS KELLOGGI
CANYON LIVE OAK : QUERCUS CHRYSOLEPIS
ENGELMANN OAK : QUERCUS ENGELMANNII

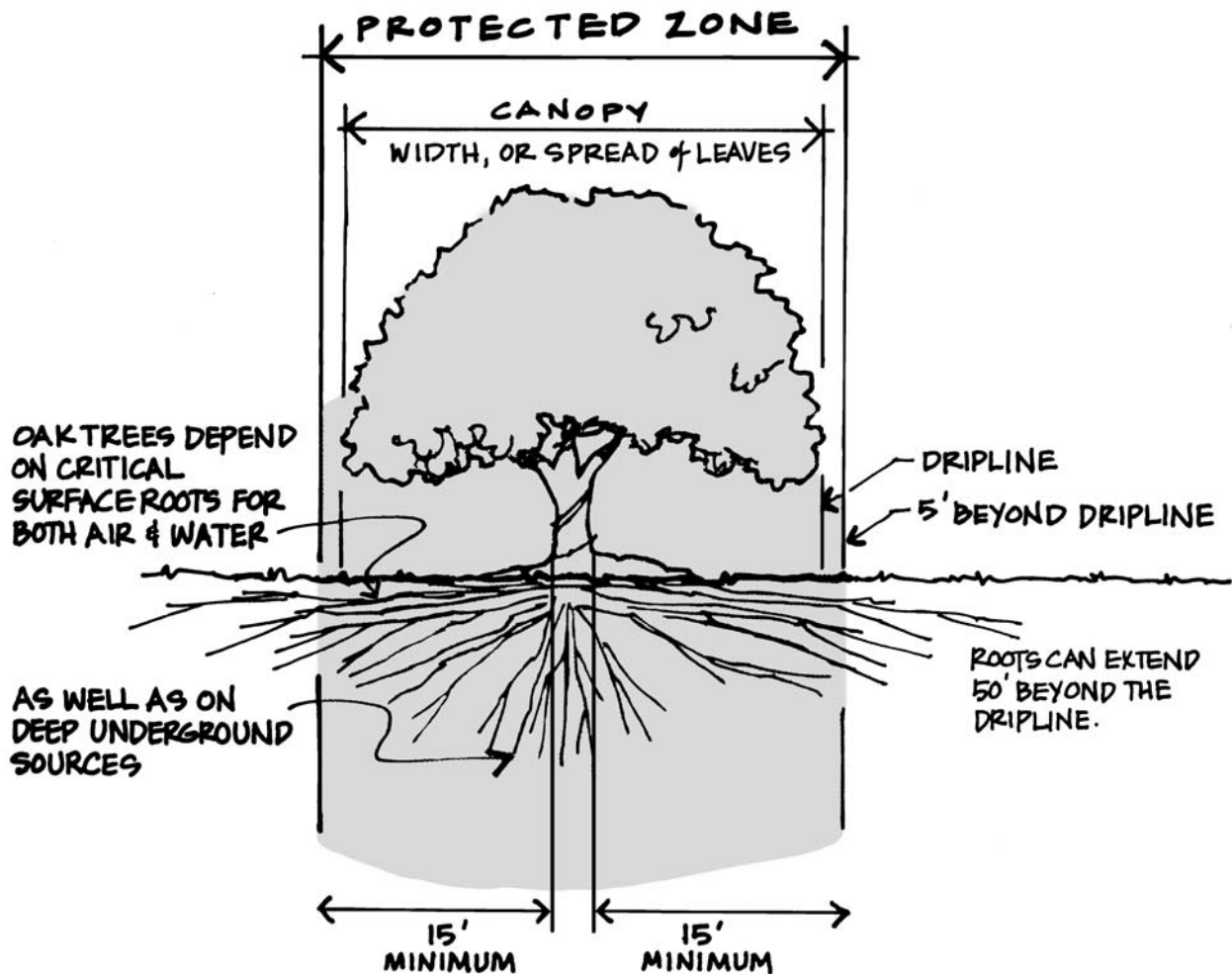
THE PROTECTED ZONE

The **protected zone** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

“The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater.”



CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should be avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

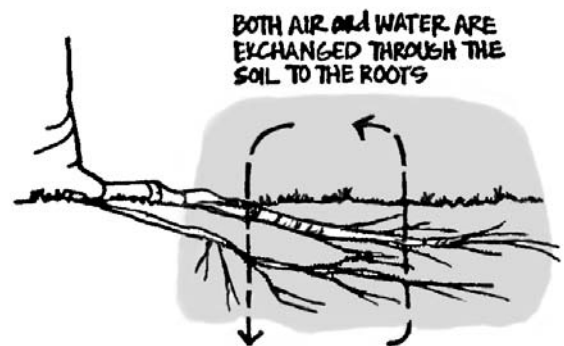
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

Soil Compaction and Paving

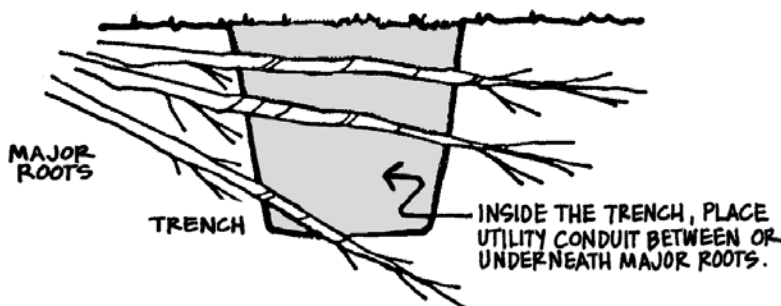
The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).

SOIL COMPACTION



TRENCHING



MAINTENANCE

Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

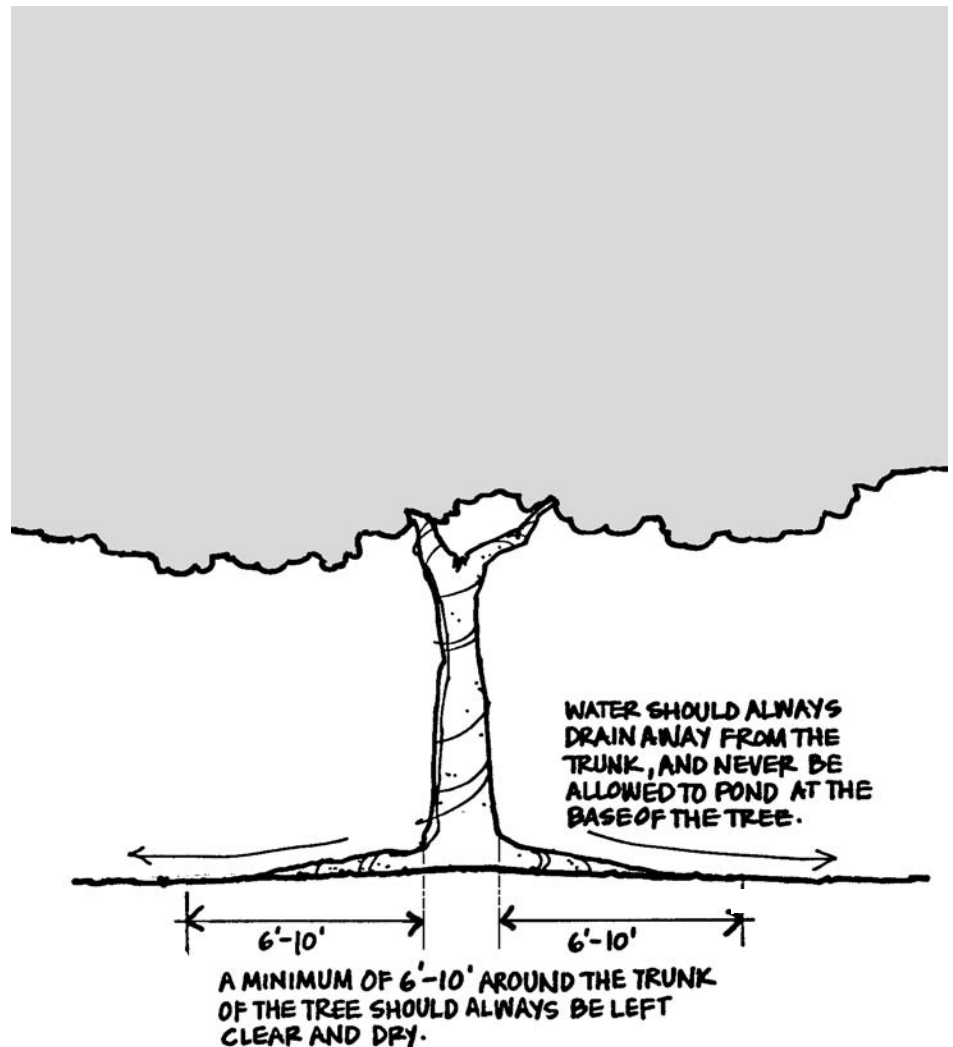
Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for “dry shade.” Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

PLANTS TO CONSIDER:

Plant Name	Description
<i>Arctostaphylos densiflora</i> 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
<i>Arctostaphylos edmundsii</i> Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
<i>Ceanothus griseus horizontalis</i> Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
<i>Heuchera spp.</i> Coral Bells	2-4' mound. Flowers on an upright stem 2-3' high and spotted with red or pink.
<i>Mahonia aquifolium compacta</i> Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
<i>Ribes viburnifolium</i> Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

NOTES:

Before deciding on plants, check a source such as the [Sunset Western Garden Book](#) to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

ADDITIONAL RESOURCES and Places to Visit

Public Agencies

County of Los Angeles Fire Department
Prevention Bureau, Forestry Division
5823 Rickenbacker Road, Rm #123
Commerce, CA 90040-3027
(323) 890-4330
<http://www.fire.lacounty.gov/forestry>

**University of California
Oak Woodland Conservation Workgroup**
http://ucanr.edu/sites/oak_range/

Private Organizations

The Theodore Payne Foundation
10459 Tuxford Street
Sun Valley, CA 91352-2126
(818) 768-1802
www.theodorepayne.org

California Native Plant Society
2707 K Street, Suite 1
Sacramento, CA 95816-5113
(916) 447-2677
www.cnps.org

California Oaks
428 13th. Street, Suite 10A
Oakland, CA 94612
(510) 763-0282
www.californiaoaks.org

Arboretums and Botanic Gardens

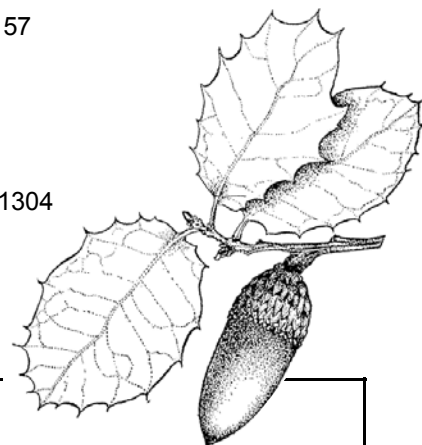
Los Angeles County Arboreta and Botanic Gardens
301 N. Baldwin Ave.
Arcadia, CA 91007-2697
(626) 821-3222
www.arboretum.org

Los Angeles County South Coast Botanic Garden
26300 Crenshaw Blvd.
Palos Verdes Peninsula, CA 90274-2515
(310) 544-1948
www.southcoastbotanicgarden.org

Los Angeles County Descanso Gardens
1418 Descanso Drive
La Canada-Flintridge, CA 91011-3102
(818) 949-4200
www.descansogardens.org

Rancho Santa Ana Botanic Garden
1500 North College
Claremont, CA 91711-3157
(909) 625-8767
www.rsabg.org

The Lummis Home
200 E. Avenue 43
Los Angeles, CA 90031-1304
(818) 243-6488



Publications

For a list of publications both free and for purchase checkout the **University of California Oak Woodland Conservation Workgroup** at http://ucanr.edu/sites/oak_range/

Goldspotted Oak Borer: Integrated Pest Management for Land Managers and Landscape Professionals
University of California Statewide Integrated Pest Management Program. January 2013.



County of Los Angeles Fire Department Forestry Division

County of Los Angeles Board of Supervisors

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Janice Hahn, Fourth District
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County of Los Angeles Fire Department

Anthony C. Marrone, Fire Chief

Defensible Space Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-2375

Environmental Review Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5719

Fire Plan Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5783

Fuel Modification Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-5205

Grants/Interpretive Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5723

Malibu Forestry Unit
942 N. Las Virgenes Road
Calabasas, CA 91302
(818) 222-1108

San Dimas Forestry Unit
1910 N. Sycamore Canyon Road
San Dimas, CA 91773
(909) 599-4615

Technical Operations Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5752

Vegetation Management Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5720

Oak Tree Permit with Public Hearing – Statement of Findings

1550 Homewood Drive

Altadena, CA 90110

B.1 The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.

The Applicant is requesting an Oak Tree Permit to allow encroachments into the Protection Zones and or Driplines of four Coast Live Oak Trees in connection with the construction of two new single-family homes, associated required widening of an existing access driveway, and the construction of a new 30-inch in height garden wall on a vacant, approximately 24,400 square foot lot, located at 1550 Homewood Drive in accordance with the provisions of SB9. No Oak Tree removal is being requested as part of this application.

According to Section 22.56.2050 – Established Purpose, “The intent of the Oak Tree Permit is to maintain and enhance the general health, safety, and welfare by assisting in counteracting air pollution and in minimizing soil erosion and other relative environmental damage. The oak tree permit is also intended to preserve and enhance property values by conserving and adding to the distinctive and unique aesthetic character of many areas of Los Angeles County in which oak trees are indigenous and that the stated objective of the Oak Tree Permit is to preserve and maintain healthy oak trees in the development process.”

The Applicant has prepared a Site and Zoning Analysis Plan to identify the locations of the two new single-family houses that minimize the disturbance of the Project Site and preserves all existing protected trees, meets all zoning and setback requirements, as well as preserves the Applicant’s property rights to construct the new much needed housing in the County of Los Angeles.

An Oak Tree Report was prepared by Arbor Essence on March 28, 2024, in connection with a site visit to inspect the Project Site and to document any and all protected Oak Trees as well as to assess potential impacts / encroachments due to the construction of the two new single-family houses and driveway including tree preservation recommendations.

According to the report, Oak Trees 34, OS1, OS2, and OS3 will be encroached upon due to the proposed development but can reasonably be preserved in place with minimal impacts.

Oak Tree No. 34 is a 35-foot high, multi-trunk, Coast Live Oak Tree with trunk diameters of 22 and 25-inches, with a “B” Condition.

According to the Report, a “B” Condition is “Above Average” and is associated with a healthy, sound and vigorous tree with minor signs of stress, disease and or pest infestation.

House No. 1 is located approximately 23-feet to the south of the trunk of Oak Tree No. 34 and will remain outside the Protection Zone and Dripline of Oak Tree No. 34.

A small 30-inch in height garden wall is proposed to be constructed within the Protection Zone of Oak Tree No. 34 by approximately 3-feet. Construction of the wall will be a reasonable distance from the trunk of the tree and can be completed with minimal impacts,

House No. 2 does not encroach into a Protection Zone or Dripline of a protected Oak Tree.

In order to construct the two single-family houses, an existing driveway with varying widths between 12-feet 3-inches and 14-feet 8-inches, currently located within the Protection Zones and Driplines of three Coast Live Oak trees (OS1, OS2 and OS3) will need to be widened to 20-feet in width to comply with LA County Fire Department requirements.

The Los Angeles County Fire Department requires that “all portions of a new single-family, two family, or townhome construction must be within 150-feet of a vehicular access roadway that is a minimum 20-feet wide, clear to the sky, paved with concrete or asphalt, and does not exceed 15 percent grade.”

The required widening of the existing driveway will add to the existing encroachments within the Protection Zones and or Driplines of three Coast Live Oak Trees located on the adjacent property to the east of the Project Site.

These trees are identified in the Report as OS 1, OS2, and OS3.

OS1 is a 40-foot-high Coast Live Oak Tree with a trunk diameter of 26-inches and a Condition of “B”. The curb modification at the top of the driveway encroaches into the Dripline of Oak Tree OS1, however the work will be limited to a few square feet and will not impact the Oak Tree. All construction equipment will travel under the tree canopy and on the existing concrete driveway and will have no impact on the Ok Tree.

OS2 is a 50-foot-high Coast Live Oak Tree with a trunk diameter of 24-inches and a Condition of “B”. OS2 is located 11.5-feet east of the existing retaining wall and well above the grade of the existing driveway. Construction equipment will travel on the existing concrete driveway under the north ½ of the tree canopy and will have no impact on the Oak Tree. The existing driveway will extend beginning at the end of the existing retaining wall for an additional approximately 60-feet and partially under the Dripline of OS2. This driveway widening work will be completed a reasonable distance from OS2 and is not expected to have any significant impact on the Oak Tree.

OS3 is a 45-foot-high Coast Live Oak Tree with a diameter of 20-inches and a Condition of “B”. OS3 is located approximately 25-feet east of the property line, and well above the grade of the proposed driveway expansion area. Although a small portion of the new driveway encroaches into the Dripline of OS3, the work can be completed with minimal to no impact on the tree.

The encroachment into the Protection Zones and or Driplines of trees OS1, OS2, and OS3 in connection with the widening of the existing driveway is essential to provide adequate Fire Department access to ensure the new single-family homes can be served and that the residents will be safe.

In order to minimize the amount of construction and additional impervious surface within the Protection Zones and or Driplines of Coast Live Oak Trees OS1 and OS2, and OS3, the Applicant has prepared a driveway plan that continues to utilize portions of the existing driveway and

retaining walls and then extends the driveway away from the Protection Zones and or Driplines of Coast Live Oak Trees OS1 and OS2, and OS3.

The Applicant is continuing to work with the LA County Fire Department and Public Works to finalize the alignment and width of the driveway including the design of the driveway apron and curb along Homewood Drive. Widening of the existing driveway will extend primarily to the west and away from the existing Oak Trees and will not substantially increase the amount of impervious surface or new improvements within the Protection Zones and or Driplines of Oak Trees OS1 and OS2, and OS3.

The Oak Tree Report dated March 28, 2024, contains Recommendations and Mitigation Measures including:

- Install protective fencing around the trees as shown on the provided plan.
- Fencing shall be installed before beginning work and maintained throughout the project.
- No branches measuring over 2-inches in diameter shall be cut from any Oak Tree.
- Any work taking place in the ground within the tree protection Zones shall be supervised and performed using hand tools only.
- Construction debris or materials shall not be stored or disposed of within the protected zone of each tree.
- No changes in soil grade shall be made within the tree Protection Zone other than in the permitted work area.

Therefore, as stated in the Oak Tree Report dated March 28, 2024, the proposed construction of the two new single-family houses and garden wall along with the associated required driveway widening, will be accomplished with minimal impacts to the Oak Trees on-site and off-site, and without endangering the health of the remaining trees subject to Title 22 regulations on the subject property.

B.2 The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

The proposed construction of the two new single-family houses, garden wall, and required associated widening of the existing driveway does not result in the removal or relocation of any Oak Trees.

The Proposed Project created encroachments within the Protection Zones and or Driplines of four Coast Live Oak trees, three of which are on the neighboring property, however none will be required to be removed.

A site grading plan will be required in connection with the new single-family houses and associated widening of the existing driveway and will include erosion control. A landscape plan will be required in connection with the construction of the new single-family houses as well as with stormwater mitigation regulations.

Therefore, since no trees are required to be removed and the encroachments into the Protection Zones and or Driplines of the four Coast Live Oak Trees in connection with the construction of the two new proposed single-family houses, a garden wall, and required associated driveway widening

will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

B.3 In addition to the above facts, at least one of the following findings apply:

a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to the extent that:

i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or

ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.

b. That the oak trees proposed for removal or relocation interferes with the utility service or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or

c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.

The Applicant is requesting an Oak Tree Permit to allow encroachments into the Protection Zones and or Driplines of four Coast Live Oak Trees in connection with the construction of two new single-family homes, garden wall, and the associated required widening of an existing access driveway on a vacant approximately 24,400 square foot lot, located at 1550 Homewood Drive, in accordance with the provisions of SB9. No Oak Tree removal is being requested as part of this application.

According to the Oak Tree Report, Oak Trees OS1, OS2, OS3 and Oak Tree No. 34 will be encroached upon due to the proposed development but can reasonably be preserved in place with minimal impacts.

Alternative development plans would enable the Applicant to achieve the same permitted density, however the cost of such alternative would be cost prohibitive.

Access to the project site has been through an existing driveway which currently encroaches into the Protection Zones and or Driplines of OS1, OS2, and OS3.

In order to minimize site grading and disturbances to unimproved portions of the project site, the Applicant is proposing to widen the existing driveway and utilize existing retaining walls to meet the LA County Fire Department requirement for a 20-foot-wide driveway.

As an alternative option, the Applicant would need to demolish the existing driveway and realign the driveway through the use of multiple large retaining walls and would require substantial grading work to move the driveway outside of the Protection Zones and Driplines of the two trees.

The alternative development plan for driveway alignment would enable the Applicant to achieve the same amount of density, however the cost of the alternative driveway alignment would be cost prohibitive.

The project site is zoned R-1-2000, which permits the construction of a single-family house. SB 9 became effective on January 1, 2022, and permits the Applicant to build two single-family homes on the Project Site. The Applicant is proposing to build two single-family homes and a garden wall on the Project Site in accordance with the provisions of SB 9, as well as to widen the existing driveway to meet the access requirements of the Los Angeles County Fire Department, which is a reasonable and efficient use of the project site.

The Applicant has prepared a Site a Zoning Analysis Plan to identify the locations of the two new single-family houses that minimize the disturbance of the Project Site and preserves all existing protected trees, meets all zoning and setback requirements, as well as preserves the Applicant's property rights to construct the new much needed housing in the County of Los Angeles.

The Oak Tree Report dated March 28, 2024, included Recommendations and Mitigation Measures to ensure the health and wellbeing of the Oak Trees is preserved and has concluded that the proposed development can be completed with minimal impacts to any of the subject Oak Trees.

Therefore, the four encroachments within the Protection Zones and or Driplines are necessary for the planned improvement and proposed use of the subject property since alternative development plans would be cost prohibitive and the denial of an Oak Tree Permit to permit the four encroachments would preclude the Applicant from a reasonable use of the property as otherwise authorized.

B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

According to Section 22.56.2050 – Established Purpose, “The intent of the oak tree permit is to maintain and enhance the general health, safety, and welfare by assisting in counteracting air pollution and in minimizing soil erosion and other relative environmental damage. The oak tree permit is also intended to preserve and enhance property values by conserving and adding to the distinctive and unique aesthetic character of many areas of Los Angeles County in which oak trees are indigenous and that the stated objective of the oak tree permit is to preserve and maintain healthy oak trees in the development process.”

The Applicant is requesting an Oak Tree Permit to allow the proposed construction of two new single-family houses and a 20-foot-wide driveway and garden wall to encroach into the Protection Zone and or Dripline of four Coast Live Oak trees.

The Applicant has prepared a Site and Zoning Analysis in addition to consulting with an Arborist to determine the location of the new single-family houses and driveway which would minimize the impacts to existing Oak Trees on the Project Site to the greatest extent feasible, which resulted in only minor encroachments that can be mitigated through the tree protection measures detailed in the Oak Tree Report dated March 28, 2024.

All existing Oak Trees will remain on-site and off-site, and no tree removal is proposed or required.

Therefore, the Proposed Project is consistent with and is not in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: March 6, 2025
PROJECT NUMBER: PRJ2024-001760-(5)
PERMIT NUMBER: Oak Tree Permit (OTP) RPPL2024002836
SUPERVISORIAL DISTRICT: 5
PROJECT LOCATION: 1550 Homewood Drive, Altadena
OWNER: Talbot, Paul L and Regina, T
APPLICANT: Lauryn Pinsak
CASE PLANNER: Stacy Corea, Regional Planner
scorea@planning.lacounty.gov

Los Angeles County (“County”) completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (“CEQA”). The project qualifies as a Class 3 (New Construction or Conversion of Small Structures) and Class 4 (Minor Alterations to Land) under the Los Angeles County Environmental Reporting Guidelines and the State CEQA Guidelines sections 15303 and 15304 because the request to encroach into the protected zone of three non-heritage oak trees is related to minor alterations in the condition of private land and vegetation that do not involve the removal of healthy mature, scenic trees, associated with the development of two new Single Family Residences (“SFRs”) and related accessory structures as an SB9 project in an urbanized area, that will not alter the residential character of the community.

Per section 15303 of the CEQA Statute and Guidelines, Class 3 is intended for the construction of small structures and facilities such as the proposed SFRs and related accessory structures in an urbanized area. The surrounding properties have been altered from their natural conditions. The project site is currently vacant. The three affected oak trees make up a small woodland, but considering its present condition, the proposed development would not result in a significant impact given that they are not proposing removal or changing the understory. Per section 15304, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, among other activities. The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. Furthermore, the County Forester and Fire Warden (“Forester”) has reviewed the Project for the requested encroachments. The Project’s conditions have been determined by the Forester to be sufficient to recover any losses to trees and woodland values.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. The Project is not on a scenic highway or a hazardous waste site, is not known to contain historic resources, and will not have a significant or cumulative environmental impact; thus, the Project does not meet any exceptions to the identified Categorical Exemption.

- a) Location: The Project Site does not contain any identified environmental resource of hazardous or critical concern as designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.
- b) Cumulative Impacts: The Project involves the encroachment into the protected zone of three non-heritage oak trees and removal of one oak tree, in order to construct two SFRs and related accessory structures.
- c) “Unusual Circumstances” or Significant Effects: The Project involves the encroachment into the protected zone of three non-heritage oak trees and removal of one oak tree, in order to construct two SFRs and related accessory structures. Adequate utilities and roadway infrastructure already exist to serve the Project Site and no environmentally sensitive areas will be impacted by any additional development as none is proposed.
- d) Scenic Highways: According to California’s Scenic Highway Program, which is administered by Caltrans, the Project Site is not located within or near an officially designated state scenic highway.
- e) Hazardous Waste Sites: The Project Site is not located on a site which is included on any list compiled pursuant to Government Code Section 65962.5. According to the California Department of Toxic Substances Control’s (“DTSC’s”) EnviroStor and State Water Resources Control Board’s GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List–Site Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts with the lists compiled by the California Department of Health Services. Finally, the Project Site is not included in any Water Board’s list of solid waste disposal sites, list of “active” orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).

- f) **Historical Resources:** The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources or included in a local register of historical resources. According to the County's Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1.

The Project is exempt because the request to encroach into the protected zone of three non-heritage oak trees is related to minor alterations in the condition of private land and vegetation, associated with the construction of two new SFRs and related accessory structures. The development footprint of the SFRs does not include any hillside management areas. The proposed driveway extension and retaining way are partially within a hillside management area and are therefore still exempt as accessory structures. Per section 15303 of the CEQA Statute and Guidelines, Class 3 is intended for the construction of small structures and facilities such as the new retaining wall, driveways, and garden walls, all of which are accessory structures. Per section 15304 of the CEQA Statute and Guidelines, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, which is the extent of the impact that will occur for the new proposed garden wall, driveway expansion, and retaining wall.

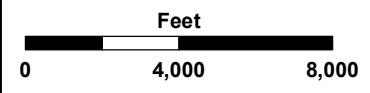
The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. Furthermore, the Forester has reviewed the Project for the requested encroachments. The Forester will require proper temporary fencing to secure the protected zones during construction and the use of hand tools or hand-held power tools if trenching or clearance of vegetation is needed within the protected zones, to reduce negative impacts on the roots. The Forester shall also require that the Permittee's consulting arborist or a similarly qualified person be responsible for maintaining all remaining Oak trees on the subject property that are within the zone of impact for the life of the OTP. Per the recommendations of the County Biologist, one trench line for all utilities shall be used to limit the amount of trench lines running under the oak tree. The future inspections by the Forester will ensure that the trees survive, or if they do not survive that they are replaced. If an oak tree should die from the construction impacts, the applicant will be required to replace a dead oak tree at a 2:1 ratio and at 10:1 for a heritage oak on the property and follow-up monitoring will continue to be required to ensure survival. These recommended conditions of approval by the Forester and the recommendations provided in the oak tree report are incorporated by reference in the OTP. They have been determined by the Forester to be sufficient to recover any losses to trees.

3-MILE RADIUS

LOCATOR MAP

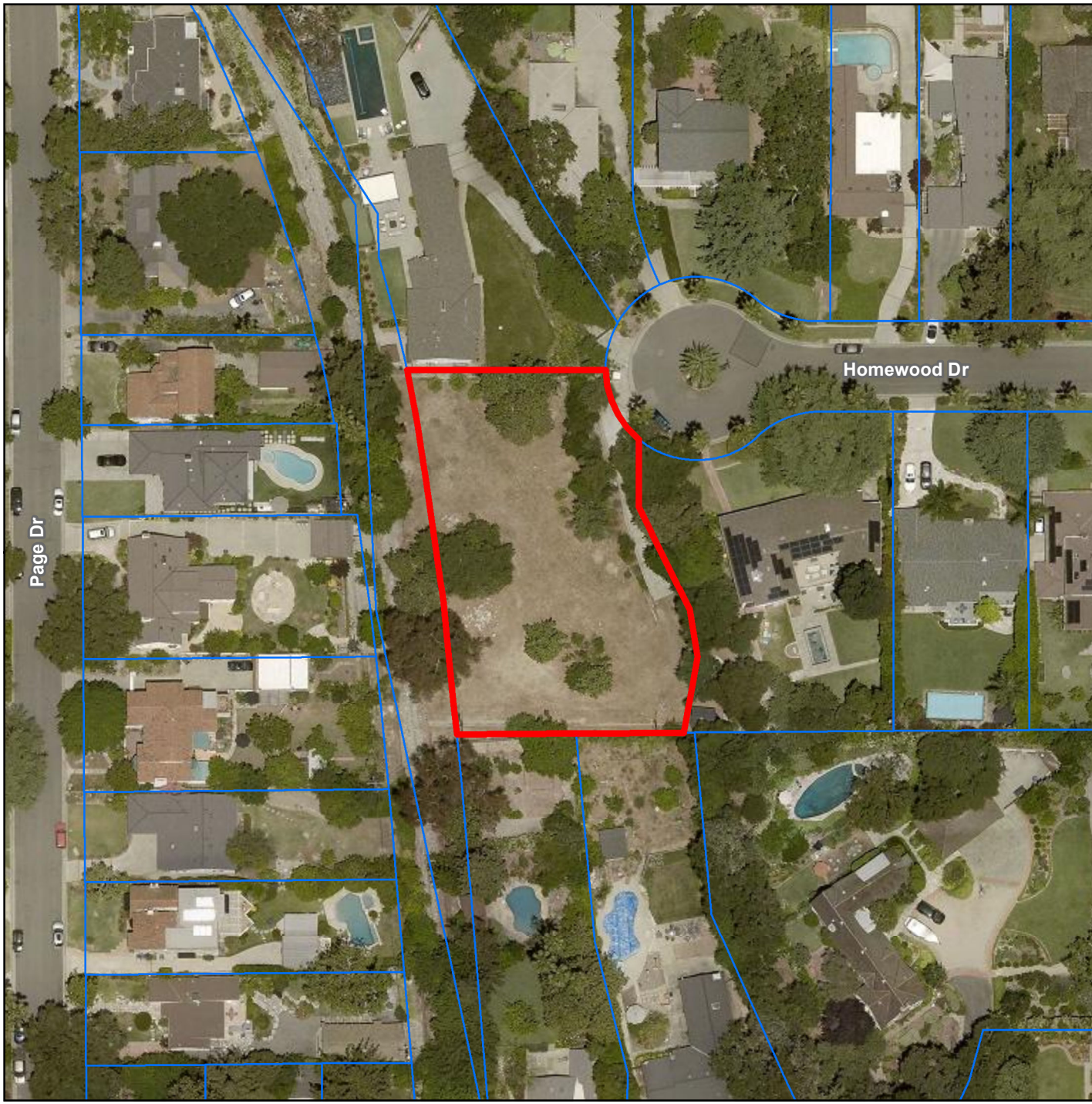
PROJECT NO. PRJ2024-001760

OTP RPPL2024002836



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LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



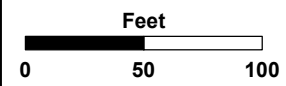
AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2024-001760

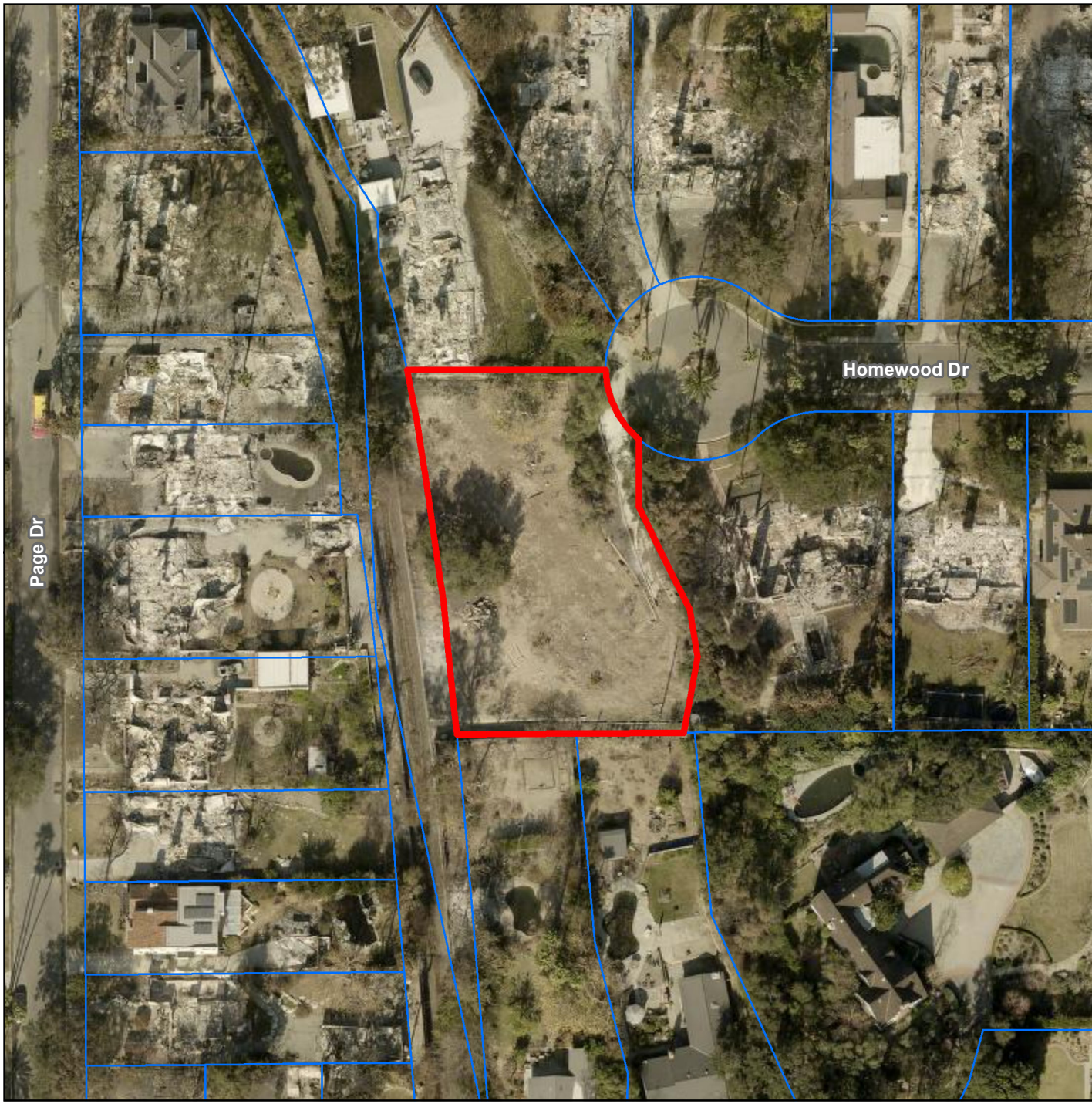
OTP RPPL2024002836

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2024



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



AERIAL IMAGERY

SITE-SPECIFIC MAP

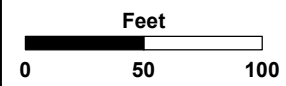
PROJECT NO. PRJ2024-001760

OTP RPPL2024002836

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2025

Homewood Dr

Page Dr



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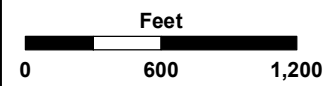
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HALF-MILE RADIUS

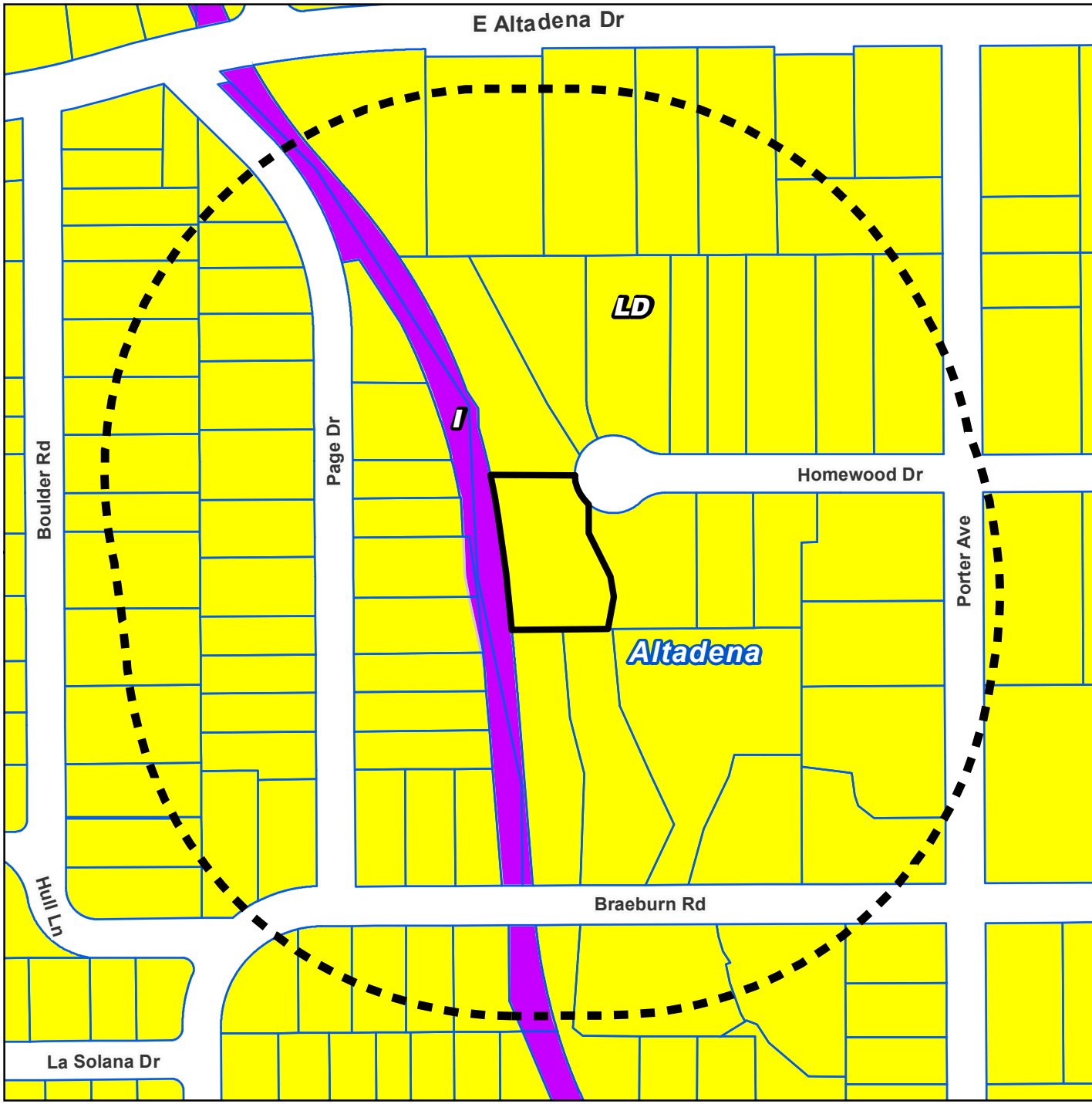
LOCATOR MAP

PROJECT NO. PRJ2024-001760

OTP RPPL2024002836



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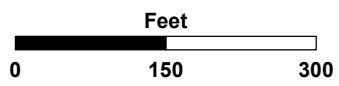
LAND USE POLICY

500-FOOT RADIUS MAP

PROJECT NO. PRJ2024-001760

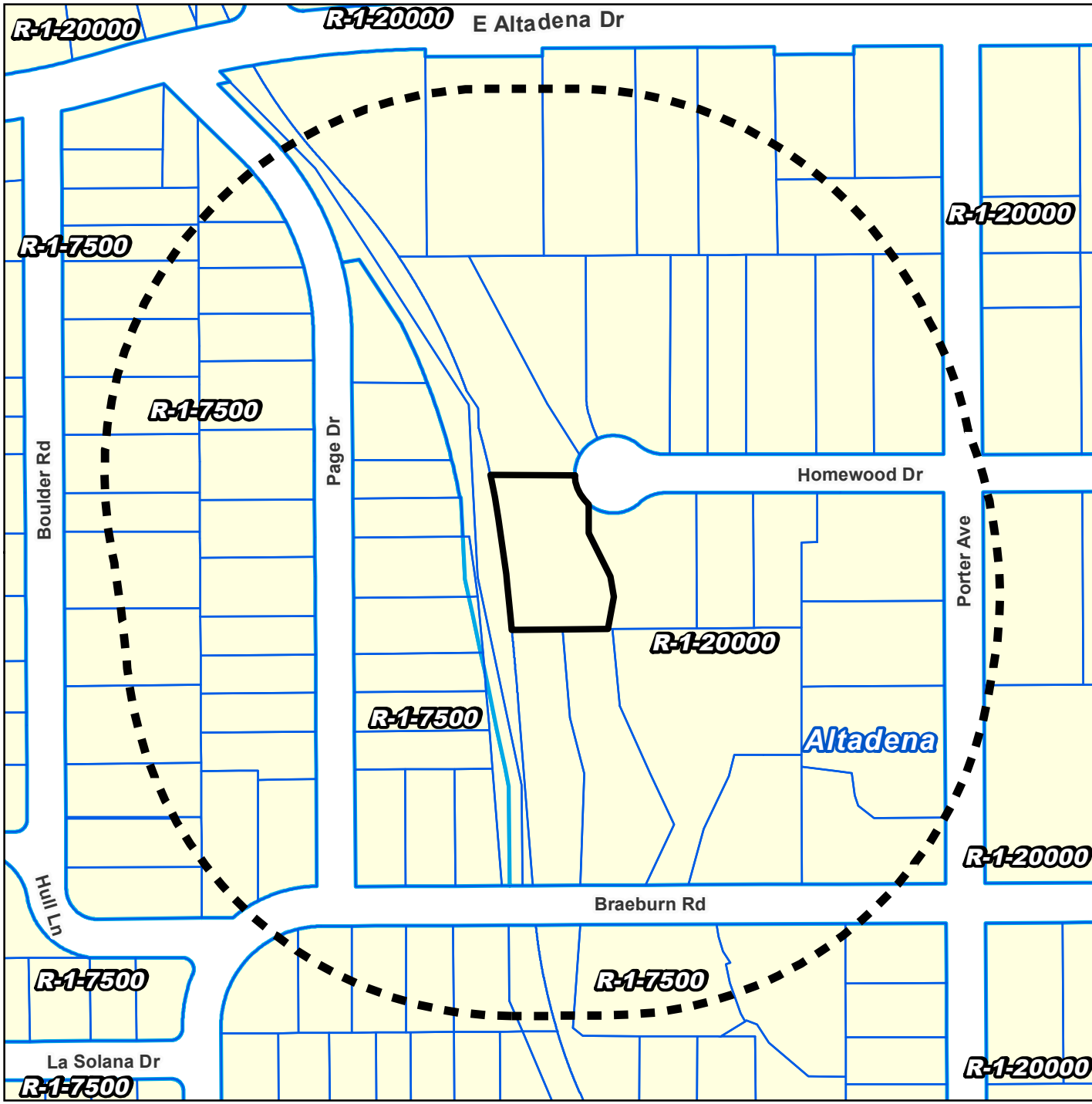
OTP RPPL2024002836

- LD - Low Density Residential (1 to 6 du/gross ac)
- I - Institutions



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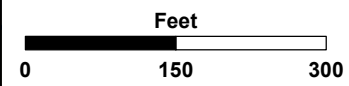
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ZONING

500-FOOT RADIUS MAP
 PROJECT NO. PRJ2024-001760
 OTP RPPL2024002836

 R-1 - Single-Family Residence



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F



D



B



E



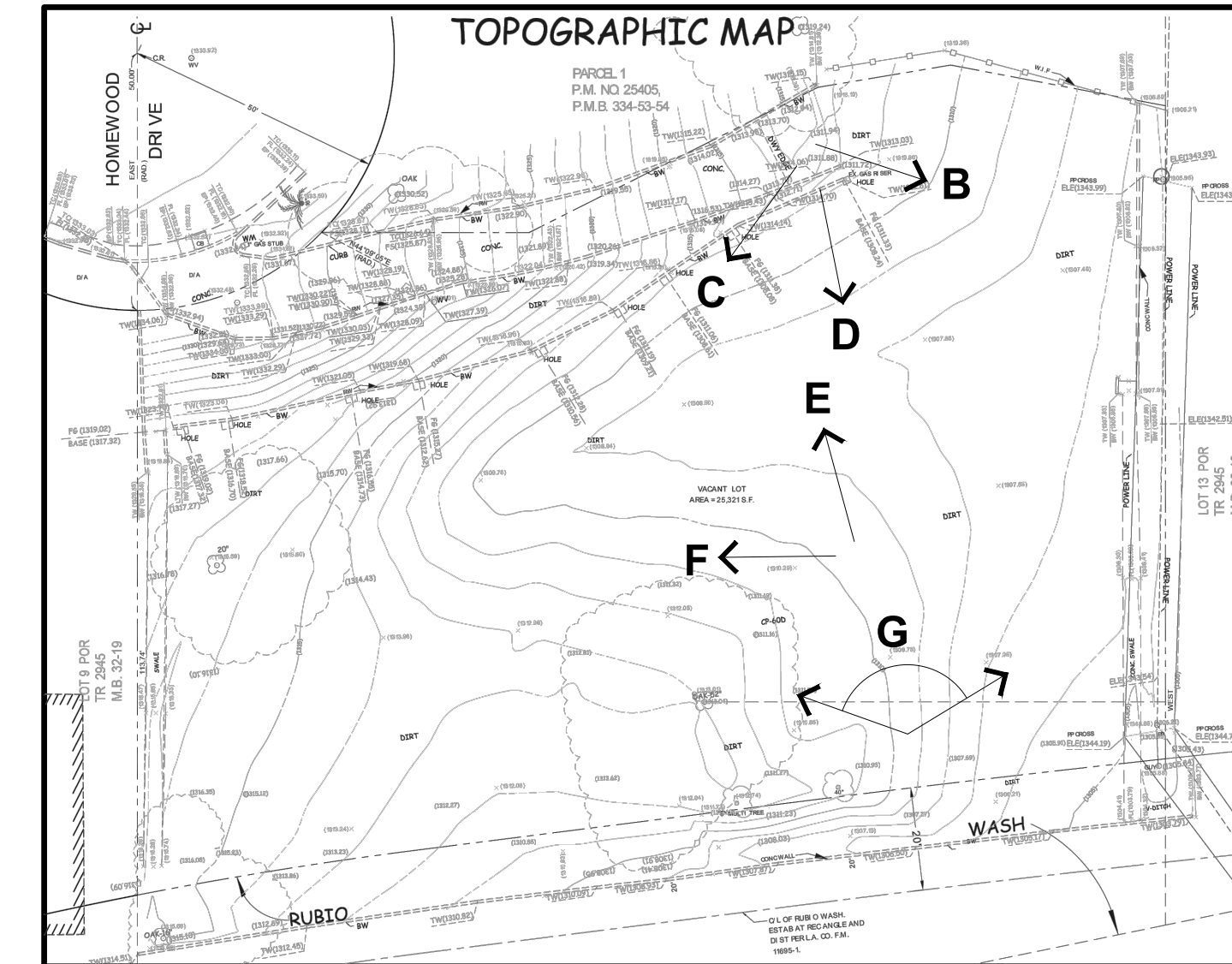
C



A



G



ARCHITECT

ORA

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STAMP

CONSULTANT

DRAWING ISSUE

01	PLANNING SUBMISSION	12.22.2023
02	PLANNING RESUBMISSION	08.07.2024

OWNER / CLIENT

PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

HOMEWOOD SB9 RESIDENCES

1550 HOMEWOOD DRIVE
ALTADENA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

**SITE PHOTOS W/
KEY MAP**

SHEET NO.

A0.20

ISSUE DATE
PLANNING RESUBMISSION 08.07.2024



COUNTY OF LOS ANGELES FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

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FIRE CHIEF
FORESTER & FIRE WARDEN

December 27, 2024

Stacey Corea, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Stacey Corea:

OAK TREE PERMIT NUMBER RPPL2024002836 1550 HOMEWOOD DR., ALTADENA

We have reviewed the "Request for Oak Tree Permit #RPPL2024002836." The project is located at 1550 Homewood Dr. in the unincorporated area of Altadena. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Kerry Norman, the consulting arborist, dated March 28, 2024.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS	CARSON	EL MONTE	INGLEWOOD	LAWNDALE	PICO RIVERA	SIGNAL HILL
ARTESIA	CERRITOS	GARDENA	IRWINDALE	LOMITA	POMONA	SOUTH EL MONTE
AZUSA	CLAREMONT	GLENDORA	LA CANADA-FLINTRIDGE	LYNWOOD	RANCHO PALOS VERDES	SOUTH GATE
BALDWIN PARK	COMMERCE	HAWAIIAN GARDENS	LA HABRA	MALIBU	ROLLING HILLS	TEMPLE CITY
BELL	COVINA	HAWTHORNE	LA MIRADA	MAYWOOD	ROLLING HILLS ESTATES	VERNON
BELL GARDENS	CUDAHY	HERMOSA BEACH	LA PUENTE	NORWALK	ROSEMEAD	WALNUT
BELLFLOWER	DIAMOND BAR	HIDDEN HILLS	LAKEWOOD	PALMDALE	SAN DIMAS	WEST HOLLYWOOD
BRADBURY	DUARTE	HUNTINGTON PARK	LANCASTER	PALOS VERDES ESTATES	SANTA CLARITA	WESTLAKE VILLAGE
CALABASAS		INDUSTRY		PARAMOUNT		WHITTIER

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

7. This grant allows encroachment within the protected zone of three (3) trees of the Oak genus identified as Tree Numbers 34, OS1 and OS2 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,



KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION
COMMUNITY RISK REDUCTION BUREAU

KT:jl

Enclosure

An illustration of several oak leaves and a branch. The leaves are detailed with veins and have a lobed, wavy edge. Some leaves are shaded in light gray, while others are white with black outlines. The branch is dark and textured, showing small knots and a rough surface.

OAK TREES: Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

The Oak Tree

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

<http://www.fire.lacounty.gov>

Or contact:

Department of Regional Planning
320 W. Temple Street, 13th floor
Los Angeles, CA 90012-3284
(213) 974-6411
TDD: (213) 617-2292
<http://planning.co.la.ca.us>

Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.



Valley Oak
QUERCUS LOBATA

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG; PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS; FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERELY BY AGRICULTURE AND URBAN DEVELOPMENT.



Coast Live Oak
QUERCUS AGRIFOLIA

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG; SPINY, ROUNDED, AND HOLLY-LIKE; BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.



Interior Live Oak
QUERCUS WISLIZENII

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

OTHER COMMON OAKS :

CALIFORNIA BLACK OAK : QUERCUS KELLOGGI
CANYON LIVE OAK : QUERCUS CHRYSOLEPIS
ENGELMANN OAK : QUERCUS ENGELMANNII

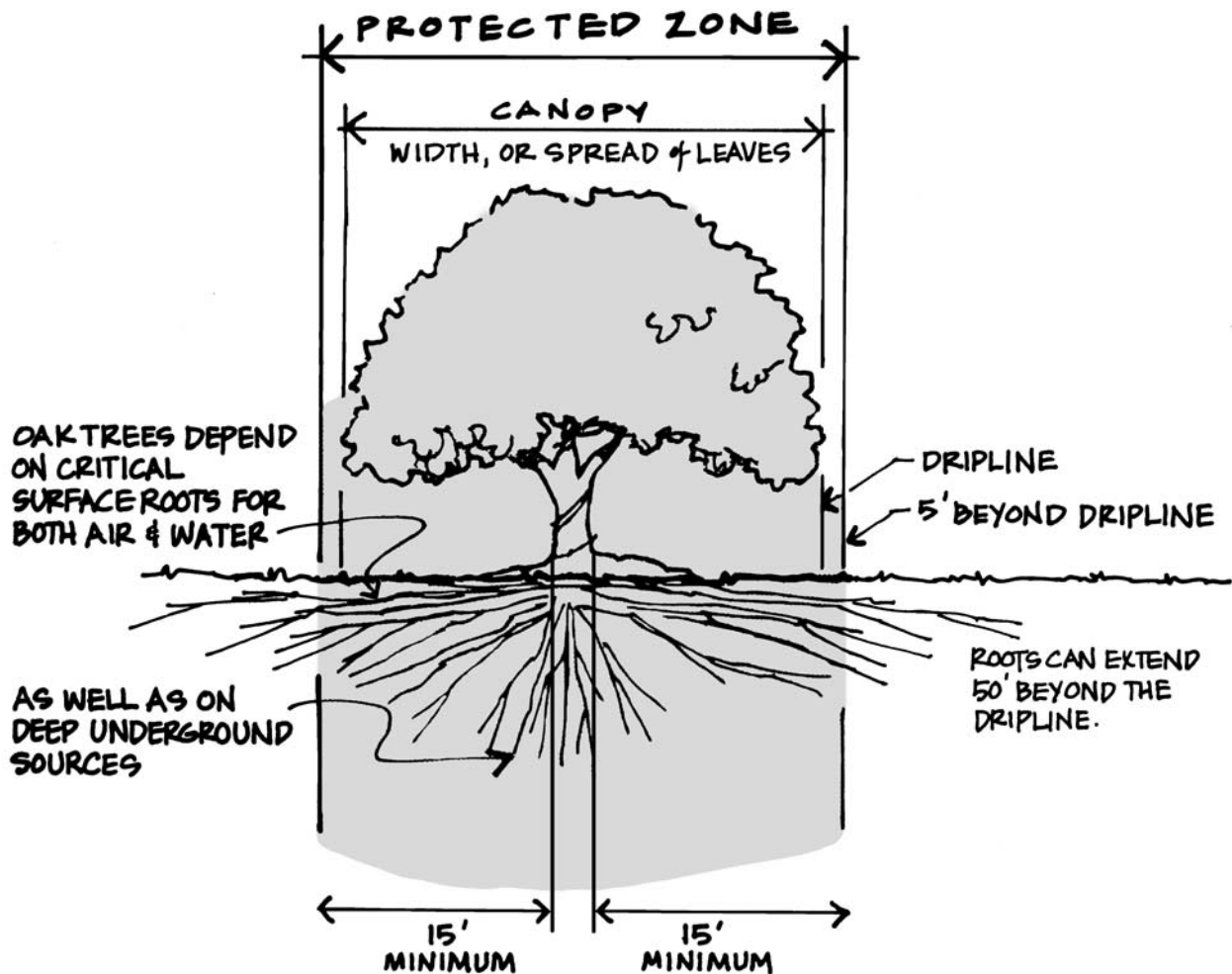
THE PROTECTED ZONE

The **protected zone** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

“The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater.”



CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should be avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

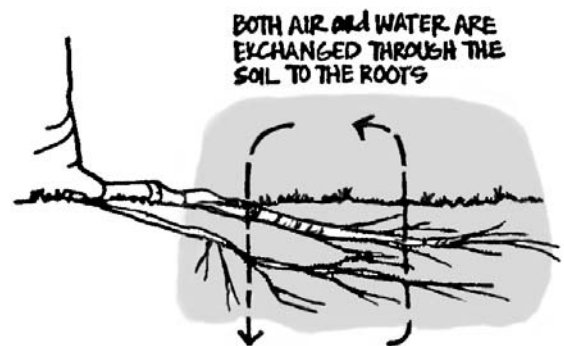
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

Soil Compaction and Paving

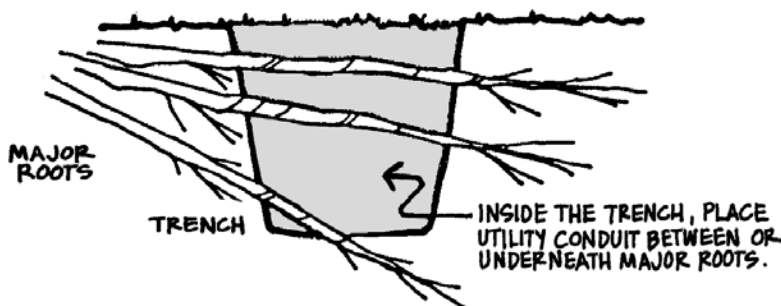
The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).

SOIL COMPACTION



TRENCHING



MAINTENANCE

Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

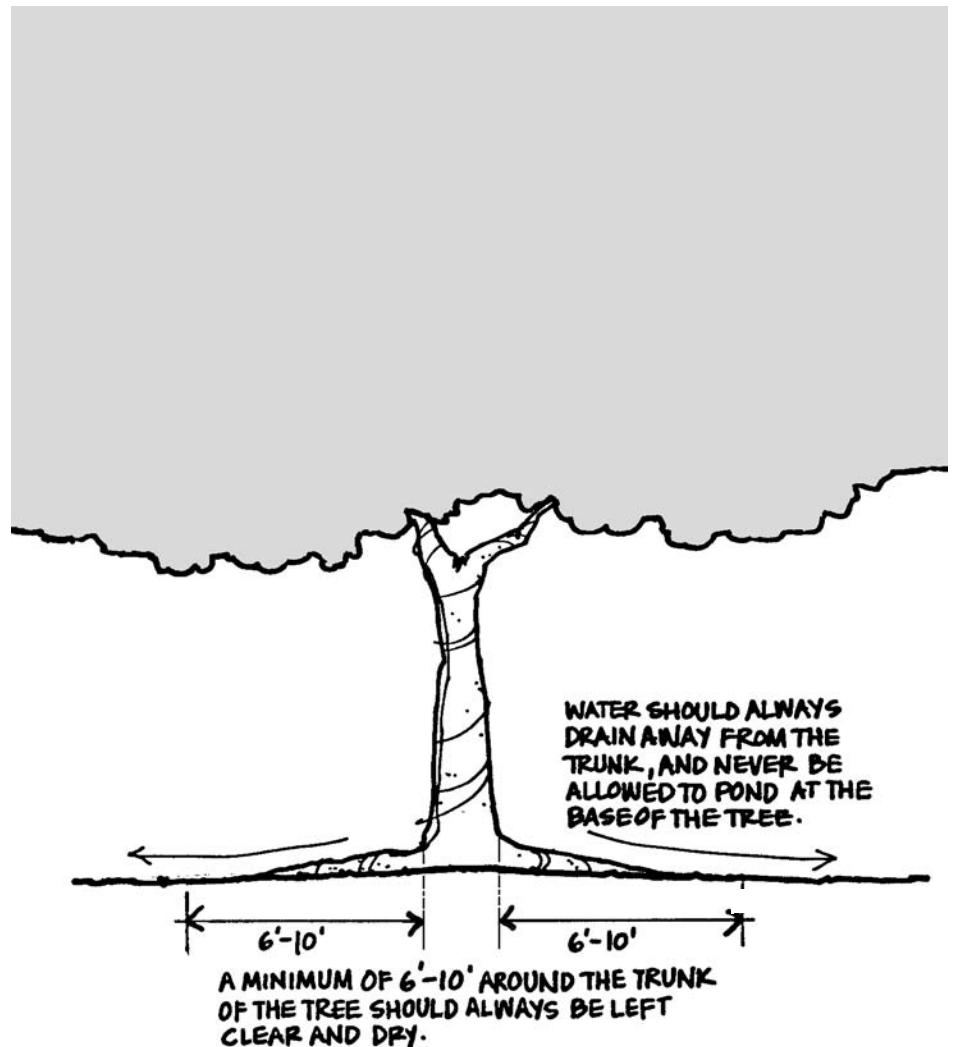
Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for “dry shade.” Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

PLANTS TO CONSIDER:

Plant Name	Description
<i>Arctostaphylos densiflora</i> 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
<i>Arctostaphylos edmundsii</i> Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
<i>Ceanothus griseus horizontalis</i> Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
<i>Heuchera spp.</i> Coral Bells	2-4' mound. Flowers on an upright stem 2-3' high and spotted with red or pink.
<i>Mahonia aquifolium compacta</i> Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
<i>Ribes viburnifolium</i> Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

NOTES:

Before deciding on plants, check a source such as the [Sunset Western Garden Book](#) to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

ADDITIONAL RESOURCES and Places to Visit

Public Agencies

County of Los Angeles Fire Department
Prevention Bureau, Forestry Division
5823 Rickenbacker Road, Rm #123
Commerce, CA 90040-3027
(323) 890-4330
<http://www.fire.lacounty.gov/forestry>

**University of California
Oak Woodland Conservation Workgroup**
http://ucanr.edu/sites/oak_range/

Private Organizations

The Theodore Payne Foundation
10459 Tuxford Street
Sun Valley, CA 91352-2126
(818) 768-1802
www.theodorepayne.org

California Native Plant Society
2707 K Street, Suite 1
Sacramento, CA 95816-5113
(916) 447-2677
www.cnps.org

California Oaks
428 13th. Street, Suite 10A
Oakland, CA 94612
(510) 763-0282
www.californiaoaks.org

Arboretums and Botanic Gardens

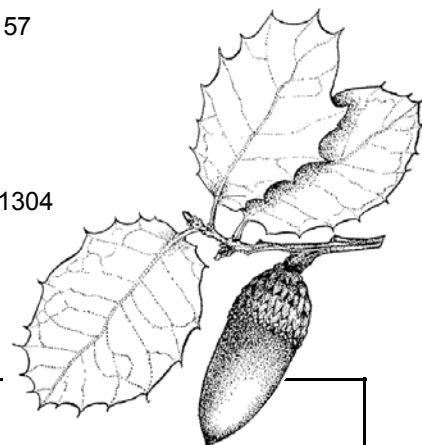
Los Angeles County Arboreta and Botanic Gardens
301 N. Baldwin Ave.
Arcadia, CA 91007-2697
(626) 821-3222
www.arboretum.org

Los Angeles County South Coast Botanic Garden
26300 Crenshaw Blvd.
Palos Verdes Peninsula, CA 90274-2515
(310) 544-1948
www.southcoastbotanicgarden.org

Los Angeles County Descanso Gardens
1418 Descanso Drive
La Canada-Flintridge, CA 91011-3102
(818) 949-4200
www.descansogardens.org

Rancho Santa Ana Botanic Garden
1500 North College
Claremont, CA 91711-3157
(909) 625-8767
www.rsabg.org

The Lummis Home
200 E. Avenue 43
Los Angeles, CA 90031-1304
(818) 243-6488



Publications

For a list of publications both free and for purchase checkout the **University of California Oak Woodland Conservation Workgroup** at http://ucanr.edu/sites/oak_range/

Goldspotted Oak Borer: Integrated Pest Management for Land Managers and Landscape Professionals
University of California Statewide Integrated Pest Management Program. January 2013.



County of Los Angeles Fire Department Forestry Division

County of Los Angeles Board of Supervisors

Hilda L. Solis, First District
Holly J. Mitchell, Second District
Lindsey P. Horvath, Third District
Janice Hahn, Fourth District
Kathryn Barger, Fifth District

County of Los Angeles Fire Department

Anthony C. Marrone, Fire Chief

Defensible Space Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-2375

Environmental Review Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5719

Fire Plan Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5783

Fuel Modification Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-5205

Grants/Interpretive Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5723

Malibu Forestry Unit
942 N. Las Virgenes Road
Calabasas, CA 91302
(818) 222-1108

San Dimas Forestry Unit
1910 N. Sycamore Canyon Road
San Dimas, CA 91773
(909) 599-4615

Technical Operations Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5752

Vegetation Management Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5720

March 28, 2024

Mr. Paul Talbot
315 S Primrose Ave.
Monrovia, CA 91016

Regarding: Oak Tree Report
1550 Homewood Dr.
Alta Dena, CA 90110

To Whom It May Concern:

At the request of the property owner I visited the above referenced site on March 25, 2024. The purpose of this visit was to inspect the site and document any and all protected oak trees; and assess potential impacts/encroachment due to proposed development including tree preservation recommendations. Report revised per county comments July 23, 2024.

Protected trees include any oak (*Quercus* species) having trunks measuring 8" and larger measured at 4.5' above the ground. Off-site oak trees that may be encroached or impacted are also included.

My inspection was visual only and performed from ground level. Trunk diameter is measured at 54 inches above soil grade, height is visually estimated. Subject oak trees are identified with a numbered metal tag attached to the north side of the trunk; off-site trees are not physically tagged. Tree location, dripline, tree protection zone, and location of protective fencing are indicated on the provided site plan. This oak tree report is limited to development as it is illustrated on the provide plans. The purpose of this report is to aid the property owner in obtaining a new oak tree permit.

Summary

A total of (5) trees are included in this study; trees are identified as #34, and off-site tree are referenced as OS1-OS4 on the plan. The trees appear to be in healthy stable condition with no signs of stress or decline, or any pest problems.

Development includes construction of two 2-story single-family homes, modification of curb at top of driveway, a small wall in front of the new home, and an additional area of concrete at the bottom of the driveway.

Oak trees OS1, OS2 & #34 will suffer encroachment due to proposed development but can reasonably be preserved in place with minimal impacts.

Observations

There is only 1 oak tree located on the proposed development site, and 4 off-site oak trees. The site is a vacant lot with a sloping driveway and fairly level house pad area. All trees appear to be in good health with no apparent pest problems.

Proposed Development and Potential Tree Impacts

Development includes construction of two 2-story single-family homes, a small wall in front of the new home, and an overall driveway widening, and extension area of concrete at the bottom of the driveway.

Coast live oak tree #34 is a double trunk tree with a condition rating of “B”.

Construction of a new 2 story single-family home is proposed on the south side of the tree approx. 23’ from the trunk. Home construction remains outside the tree dripline and protection zone (TPZ), the small 30” garden wall maintains a distance of approx. 20’ from the trunk and only encroached the TPZ by approx. 3’; tree protection zone encroachment = 204 s.f., dripline encroachment = 69.0 s.f. Considering the size of the tree and trunk diameter, and minimal encroachment of the TPZ and dripline, construction of the small garden wall is an acceptable distance from the trunk of the tree and will not have any adverse effects on tree health or stability. The small garden wall will be beneficial in preventing erosion.

Oak Tree OS1 – Widening of the west side of the driveway encroaches the TPZ by 137.56 s.f., with no encroachment of the dripline. There will be no impact to the rootzone of tree. Equipment will travel under the canopy of the tree on the existing concrete driveway and will have no impact on the tree.

Oak Tree OS2 – Oak OS2 is located growing on a west facing slope 11.5’ east of the existing retaining wall and 5’ above the grade of the existing driveway. Equipment will travel on the existing concrete driveway under the north ½ of the tree canopy and will have no impact on the tree. The existing driveway will be extended beginning at the end of the existing retaining wall for an additional 60’ plus under a very small portion of the southwest corner of the tree where work encroaches the TPZ by 69.86 s.f., and the dripline by 32.4 s.f. The small portion of work takes place a far distance from the subject oak and considering the small area that is affect will not have any significant impact on the tree.

Oak Tree OS3 – Oak OS3 is located growing on the west facing slope 25’ east of the property line. Prior to the site being surveyed this was noted, but the 7.17.24 survey eliminated the tree as it has no encroachment into the property.

Oak Tree OS4 – This tree was located on the adjacent lot and nowhere near any development. (as of July 23 county flood control has removed this trees)

Tree Condition Rating System

A – Outstanding: A healthy, sound and vigorous tree characteristic of its species and reasonably free of any visible signs of stress, structural problems, disease or pest infestation

B – Above average: A healthy, sound and vigorous tree with minor signs of stress, disease and or pest infestation

C – Average: Although healthy in overall appearance there exists an abnormal amount of stress, pest infestation or visual signs of minor structural problems.

D – Below Average/Poor: This tree is characterized by exhibiting a great degree of stress, pests or diseases, and appears to be in a rapid state of decline. The degree of decline can vary greatly and may include dieback or advanced stages of pests or diseases. There may also be visual signs of structural problems such as cavities, decay or damaged roots

F – Dead: This tree exhibits no sign of life whatsoever

Conclusion

Coast live oak trees #34, OS1, OS2 will suffer minor encroachment of the tree protection zone and or dripline. Oak tree OS4, as noted above was removed by LA county flood control 5.2.24. Considering topography, tree size, proposed construction and development, I believe that development as proposed is reasonable and can be completed with minimal impacts to any of the subject oak trees.

Recommendations and Tree Protection Plan

- Install protective fencing around the oak tree #34 as illustrated on the provided plan
- There is already existing permanent protection for oaks OS1 & OS2 in the form of the existing retaining wall and driveway, however protective fencing will be installed at the PL to prevent any work overflow onto the neighboring property
- Protective fencing for oak #34 shall be installed before beginning work and maintained throughout the project
- No branches measuring over 2” in diameter shall be cut from any oak tree
- Any work taking place in the ground within the tree protections zone of tree #34 shall be supervised and performed using hand tools only
- Construction debris or materials shall not be stored or disposed of within the protected zone of any tree.
- No changes in soil grade shall be made within the tree protection zone other than in the permitted work area

It should be noted that the study of trees is not an exact science and arboriculture does not detect or predict with any certainty. The arborist therefore is not responsible for tree defects or soil conditions that cannot be identified by a prudent and reasonable inspection.

Respectfully,
Arbor Essence



Kerry Norman
ASCA, Registered Consulting Arborist #471
ISA Board-Certified Master Arborist #WE-3643B
ISA Tree Risk Assessor Qualification



Date: March 25, 2024
 Job name: 1550 Homewood
 Alta Dena, CA

Arbor Essence Tree Survey Protected Trees

Tree #	Description	Diam.	Ht	Canopy	Condition	Comments/Impact
34	Coast live oak (<i>Quercus agrifolia</i>) 2 stems	22"/25"	35'	21'N, 16'S, 20'E, 30'W	B	Home construction south side of tree encroaches protection zone, barely encroaching dripline
OS1	Coast live oak	26"	40'	50'	B	Canopy overhangs paved driveway, no impacts
OS2	Coast live oak	24"	50'	50'	B	Canopy overhangs paved driveway, no impacts
OS3	Coast live oak	20"	45'	35'	B	No encroachment. Excluded from 7.17.24 survey because it does not encroach past the property line
OS4	Coast live oak	14"	30'	15'N, 8'S, 15'E, 0'W	B	Tree removed by L A county flood control 5.2.24

Oak Tree Report
1550 Homewood Dr.
Alta Dena, CA
March 25, 2024



Coast live oak #34



Coast live oak OS4

Oak Tree Report
1550 Homewood Dr.
Alta Dena, CA
March 25, 2024



Coast live oak OS4, removed by
L A county flood control 5.2.24

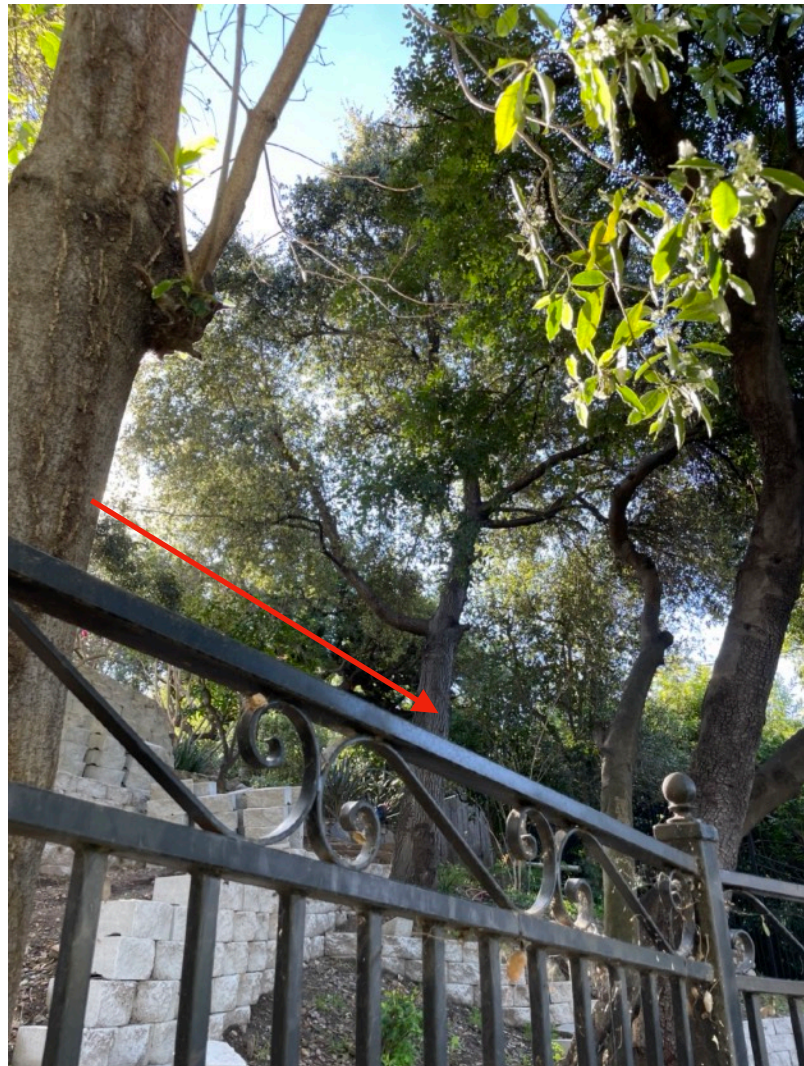


Coast live oak OS1

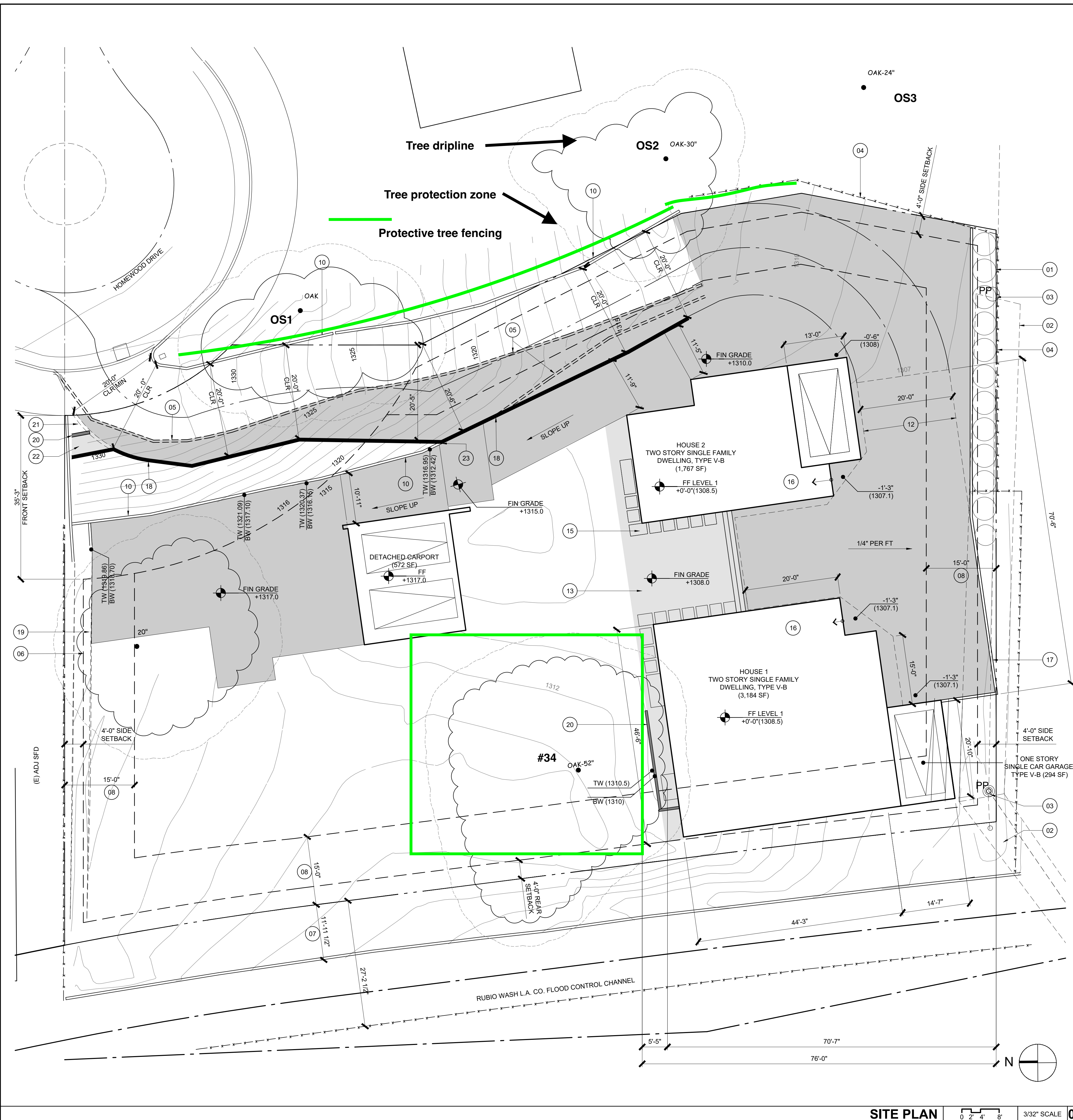
Oak Tree Report
1550 Homewood Dr.
Alta Dena, CA
March 25, 2024



Coast live oak OS2



Coast live oak OS3, removed from 7.17.24 survey as the canopy does not encroach the property



1550 Homewood Drive
Front Yard Setback Calculation - Altadena CSD Compliance
4 Houses on the South side of Homewood Dr. East of Porter Drive

Address	Owner	Distance from Property Line to House		
		Feet	Inches	Total Inches
1 1560 Homewood	Macdonald	35	3	423
2 1570 Homewood	Dekker	47	0	564
3 1582 Homewood	Oakes	45	0	540
4 1600 Homewood	Fisher	49	6	594
Shortest Front Yard Setback				423
Divided by				12
Converted to Feet				35.25
Required Setback from Property Line (Feet & Inches)		35	3	

Notes:
1 All measurements taken from curb to closest location of structure in the front yard.
2 Measurements taken using a Bosch DLR130 laser Distance Measurer
3 All lots on the South side of Homewood Drive are fronted by a 10' right of way owned by LA County.
4 Houses are numbered from 1-4 above from West (Cul-de-sac) to East (Porter Drive)

FRONT SETBACK CALCULATION 04

ALLOWABLE GROSS STRUCTURAL AREA (GSA)
= 25% LOT SIZE + 1,000 SF
= 25% (25,321 SF) + 1,000 SF = 7,330.25 SF

HOUSE 1 (EXCLUDING GARAGE)
LEVEL 1 = 1,904 SF
LEVEL 2 = 1,280 SF
TOTAL = 3,184 SF

HOUSE 2 (EXCLUDING GARAGE)
LEVEL 1 = 892 SF
LEVEL 2 = 875 SF
TOTAL = 1,767 SF

CARPORIT (NOT INCLUDED)

HOUSE 1 + HOUSE 2 TOTAL
= 3,184 SF + 1,767 SF = 4,951 SF < 7,330.25 SF

- 01 PROPERTY LINE
- 02 (E) OVERHEAD WIRES
- 03 (E) POWER POLE, P.I.P.
- 04 (E) FENCE, P.I.P.
- 05 DEMOLISH EXISTING RETAINING WALL TO ACCOMMODATE MIN. DRIVEWAY CLEARANCES
- 06 (E) CULVERT
- 07 RUBIO WASH EASEMENT
- 08 23' HEIGHT RESTRICTION MEASURED FROM GRADE, WITHIN 15' OF ALL PROPERTY LINES
- 09 (E) SITE AREA TO REMAIN
- 10 (E) RETAINING WALL TO REMAIN
- 11 PORTION OF DRIVEWAY WITHIN NEIGHBOR PROPERTY LINE TO REMAIN, PROTECT IN PLACE
- 12 FIRE DEPT HAMMERHEAD
- 13 MINIMAL REGRADING OF AREA
- 14 NOT USED
- 15 PRE-CAST PAVERS
- 16 FRONT DOOR
- 17 GARDEN WALL, 30" MAX HT
- 18 (N) RETAINING WALL
- 19 (N) CURB
- 20 (N) LOW GARDEN WALL, 30" MAX HT
- 21 (N) PLANTED AREA
- 22 (N) PAVING FOR MAIL PACKAGE DROP OFF ZONE
- 23 (N) RETAINING WALL TO CAP END OF EXISTING RETAINING WALL. ENSURE WALLS ALIGN.

GROSS STRUCTURAL AREA 08

ALLOWABLE LOT COVERAGE (CSD)
= 25% LOT SIZE + 1,000 SF
= 25% (25,321 SF) + 1,000 SF = 7,330.25 SF

HOUSE 1 COVERAGE (INCLUDING GARAGE) = 2,389 SF
HOUSE 2 COVERAGE (INCLUDING GARAGE) = 1,202 SF
CARPORIT COVERAGE = 580 SF

2,389SF + 1,202 SF + 580 SF = 4,171 SF < 7,330.25 SF

LOT COVERAGE 07

SITE PLAN ATTESTATIONS:

a. THE REMOVAL OR ENCROACHMENT OF THE SUBJECT OAK TREE WILL NOT RESULT IN SOIL EROSION THROUGH THE DIVERSION OR INCREASED FLOW OF SURFACE WATERS WHICH CANNOT BE SATISFACTORILY MITIGATED.

b. THE REMOVAL OR ENCROACHMENT OF THE SUBJECT OAK TREE WILL NOT BE CONTRARY TO OR BE IN SUBSTANTIAL CONFLICT WITH THE INTENT AND PURPOSE OF THE OAK TREE ORDINANCE.

NAME _____

TITLE _____

SIGNATURE _____

NAME _____

TITLE _____

SIGNATURE _____

SITE ATTESTATIONS 06

MAX BUILDING HEIGHT
= 35' ABOVE EXISTING GRADE FOR LOTS > 20,000 SF PER ALTADENA COMMUNITY STANDARDS. HOWEVER, NO PORTION OF ANY STRUCTURE SHALL EXCEED 23' WITHIN 15' OF PROPERTY LINE. SEE KEYNOTE 01.

FRONT SETBACK
= 35'-3" (SMALLEST FRONT YARD ON SAME SIDE OF STREET ON SAME BLOCK. SEE CHART ON 04/ -)

SIDE & REAR SETBACK = 4'-0" (SB9)

PARKING = 1 REQUIRED PER RESIDENCE, COVERED (SB9)

KEY NOTES 03

- PROVIDE SAFEGUARDING FEATURES DURING CONST SUCH AS PROTECTION OF ADJOINING PROPERTY AS REQ'D INCLUDING SITE FENCING & BARRIERS (CBC 3306, SANITATION CBC 3305, ETC.)
- PROVIDE PROTECTION OF ADJOINING PROPERTY WHEN EXCAVATION IS TO A GREATER DEPTH THAN THE WALLS OR FDN OF AN ADJACENT BLDG OR STRUCTURE & THE ADJACENT BLDG IS LOCATED CLOSER TO THE PL THAN THE DEPTH OF THE EXCAVATION.
- FIN GRADE AROUND THE STRUCTURES SHALL SLOPE AWAY FROM THE FDN A MIN OF 5% FOR A MIN DISTANCE OF 10'.
- SLOPE LANDINGS AT DR'S 2% AWAY FROM BLDG EXT.
- HOSE BIBS SHALL BE FITTED W/ A NON-REMOVABLE BACK FLOW DEVICE.

GENERAL NOTES 02

- (N) PAVED AREA
- (N) REGRADED AREA
- PROPERTY LINE
- SETBACK
- (N) RETAINING WALL
- (N) CURB / (N) GARDEN WALL

ZONING INFO 05

LEGEND 01

ARCHITECT

ORA

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STAMP

CONSULTANT

DRAWING ISSUE

NO.	DESCRIPTION	DATE
01	PLANNING SUBMISSION	12.22.2023
02	PLANNING RESUBMISSION	08.07.2024

OWNER / CLIENT

PAUL TALBOT
315 S. PRIMROSE AVE
MONROVIA, CA 91016

PROJECT

HOMWOOD SB9 RESIDENCES

1550 HOMEWOOD DRIVE
ALTADENA, CA 91001

PROJECT NO. **23-03**

DRAWING TITLE

SITE & ZONING ANALYSIS PLAN

SHEET NO.

A1.00

ISSUE DATE

PLANNING RESUBMISSION 08.07.2024