

REPORT TO THE REGIONAL PLANNING COMMISSION

DATE ISSUED: March 7, 2024

HEARING DATE: March 20, 2024 AGENDA ITEM: 7

PROJECT NUMBER: PRJ2021-003817-(3)

PERMIT NUMBER(S): Major Coastal Development Permit (“Major CDP”)
 RPPL2022005199

SUPERVISORIAL DISTRICT: 3

PROJECT LOCATION: Public right-of-way adjacent to 3565 Encinal Canyon
 Road (Asessor’s Parcel Number: 4472-028-033)

OWNER: County of Los Angeles

APPLICANT: Los Angeles County Department of Public Works
 (“DPW”)

CASE PLANNER: William Chen, Senior Planner
 wchen@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2021-003817-(3), Major CDP Number RPPL2022005199, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motions:

CEQA:

I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING, FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT:

I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE MAJOR COASTAL DEVELOPMENT PERMIT NUMBER RPPL2022005199 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

- Major CDP for the construction and installation of 260 linear feet of water line, a pressure reducing station, and associated grading and infrastructure within the public right-of-way (“Project”) in the R-C-10 (Rural Coastal – 10 Acre Minimum Required Lot Area) Zone within the Santa Monica Mountains Coastal Zone pursuant to County Code Section 22.44.810.

B. Project

The Encinal Canyon Road Emergency Interconnection Project would install 7,200 feet (1.36 miles) of 12-inch-diameter steel water pipeline and three pressure reducing stations within the public right-of-way (“ROW”) of Encinal Canyon Road. Construction would occur in the City of Malibu and in unincorporated Los Angeles County, approximately between 3565 and 4520 Encinal Canyon Road. The purpose of this Project is to interconnect the water systems of the City of Malibu and the Las Virgenes Municipal Water District for emergency purposes.

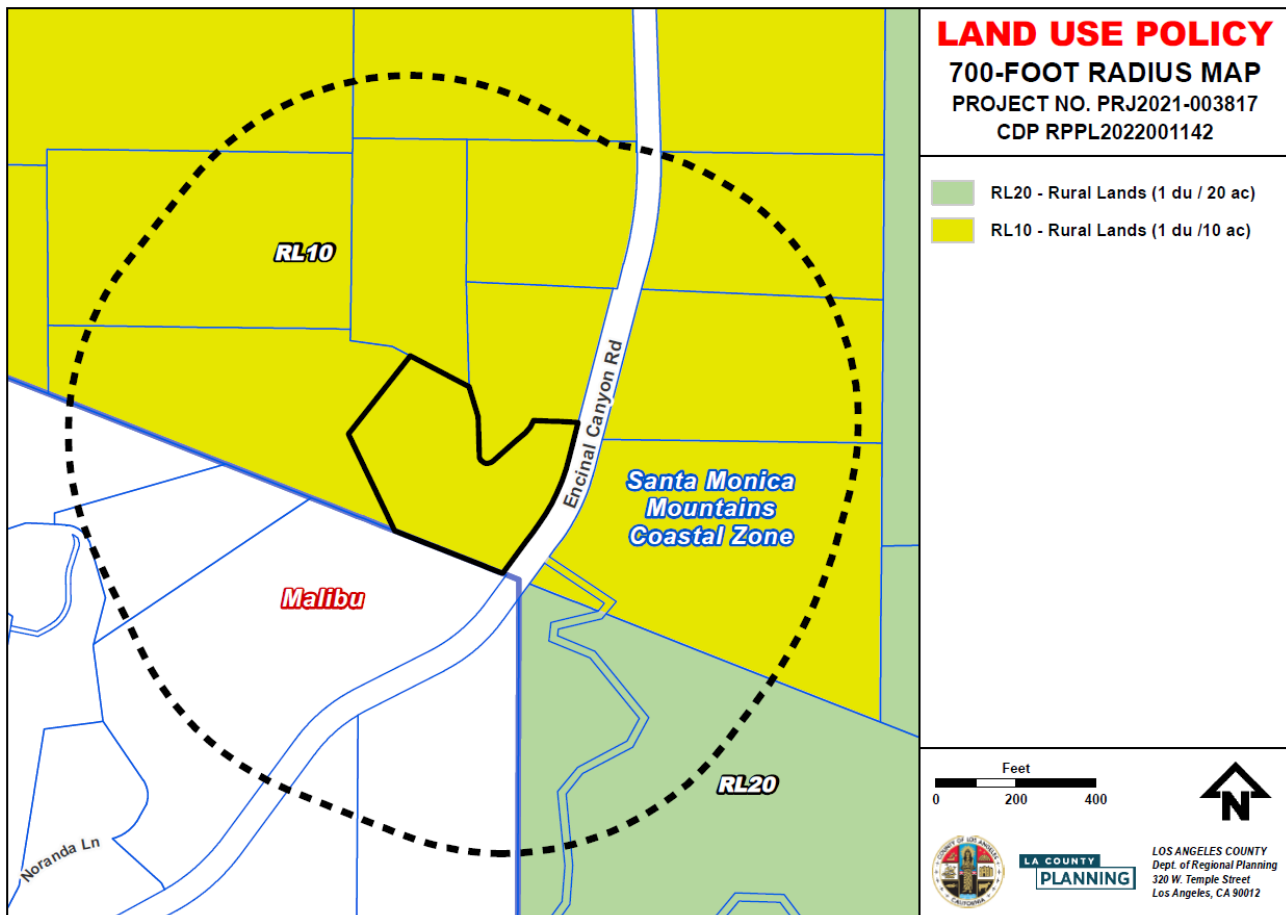
As a part of this larger undertaking, DPW requests a Major CDP to construct the portion within unincorporated Los Angeles County. This segment of pipeline is 260 linear feet and will be constructed underground within the ROW of Encinal Canyon Road. An above-ground pressure regulating station will be constructed on the road shoulder. This construction will include minor grading for a 202-square-foot (25 feet and nine inches by eight feet and two inches) concrete pad and a protective concrete masonry unit (“CMU”) wall barrier, which would measure a maximum of three feet and four inches in height. The Project will involve the excavation of a four-foot-wide trench with 22 cubic yards of grading for the installation of the 12-inch steel pipeline within the existing ROW. Per the requirements of the Santa Monica Mountains Local Implementation Program (“LIP”), installation of uses normal and appurtenant to the storage and distribution of water in the R-C Zone requires a Major CDP (County Code Section 22.44.1750 D).

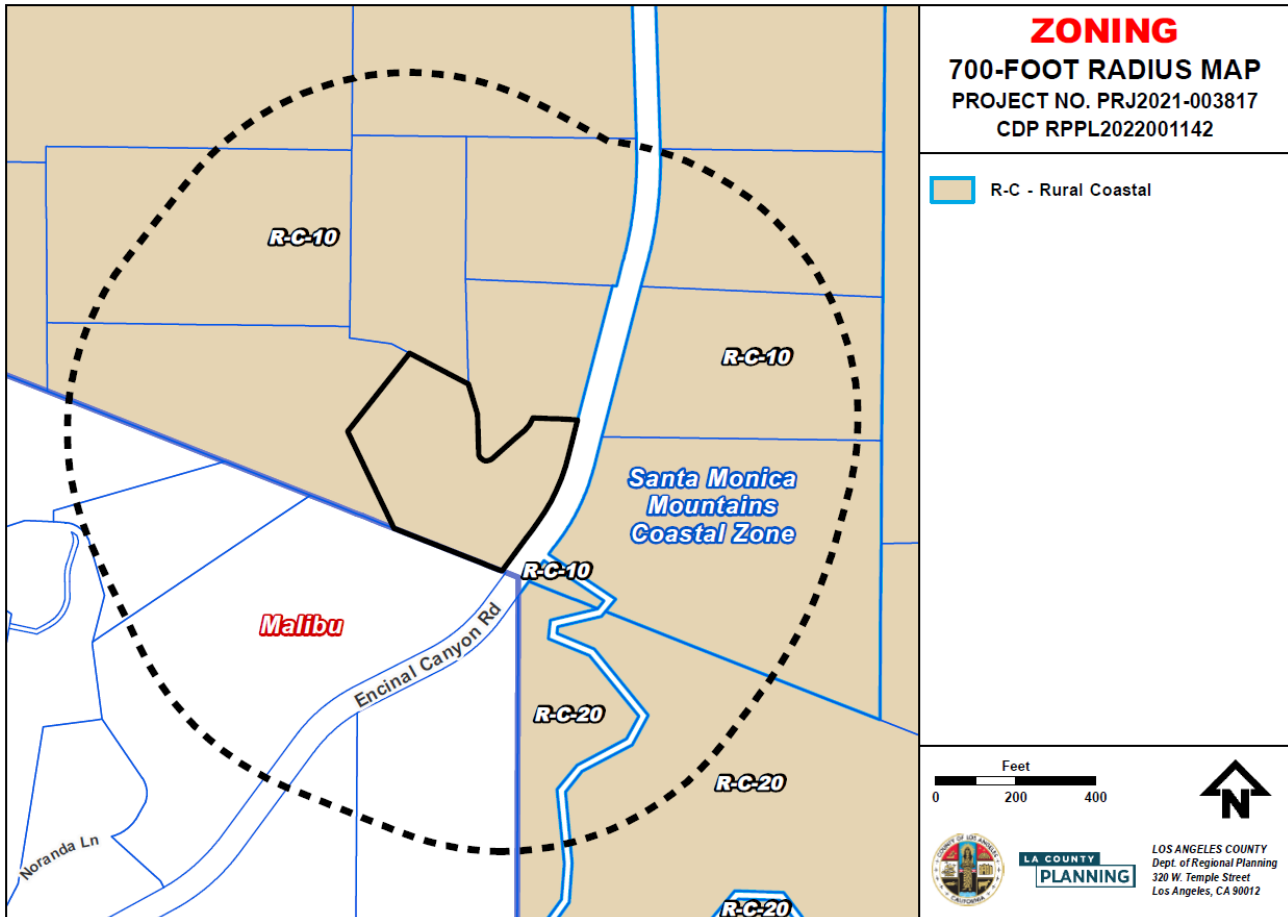
The Project Site consists of a 70-foot-wide public ROW that that is paved with gravel shoulders on either side. The Project Site is mapped as H1, H2 and H3 habitats within the Santa Monica Mountains Land Use Plan (“LUP”). The applicant’s biological inventory report concludes there will be limited impacts to H1 and H2 habitat. These impacts are permissible for DPW projects pursuant to County Code Section 22.44.1920 F (See “Neighborhood Impact” section below). Conditions will be imposed to further mitigate impacts to H1 and H2 habitats. No oak or native trees within the unincorporated Los Angeles County jurisdiction will be impacted.

SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 700-foot radius:

LOCATION	LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	None	R-C-10	Encinal Canyon Road
NORTH	RL10 (Rural Land—1 Dwelling Unit/10 Acres Maximum)	R-C-10	Vacant land
EAST	RL10	R-C-10	Vacant land
SOUTH	RL20 (Rural Land—1 Dwelling Unit/20 Acres Maximum), City of Malibu	R-C-20 (Rural Coastal—20 Acre Minimum Required Lot Area), City of Malibu	Vacant land
WEST	RL10	R-C-10	Vacant land





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
ZCO-2014055	R-C-10	October 10, 2014
8281	A-1-1 (Light Agricultural—One Acre Minimum Required Lot Area)	October 2, 1962

B. Case History

CASE NO.	REQUEST	DATE OF ACTION
CDP Exemption No. RPPL2021010618	Installation of a new 12-inch water pipeline and appurtenant pressure regulating equipment	Approved by County on November 18, 2021. Rescinded by Coastal Commission November 23, 2021.

ANALYSIS

A. Land Use Compatibility

The Project is a request to construct a water line in the Santa Monica Mountains Coastal Zone. As proposed, the Project would comply with all applicable development standards for uses normal and appurtenant to the storage and distribution of water in the Santa Monica Mountains LIP. The Project Site is presently a public road and the Project proposes no changes to the nature of this use. Upon completion, the Project will be minimally visible from the public vantage point because the development will be mostly underground, with limited above ground features in the form of a CMU block wall enclosure that does not exceed three feet and four inches in height. The public road itself will remain as such in appearance and function. Therefore, the Project would be in conformity with the certified Local Coastal Program (“LCP”), and it is not expected to negatively affect the surrounding community.

B. Neighborhood Impact

Upon conclusion of the construction activity, the Project will not create development impacts on the surrounding community. The Project Site and the surrounding properties will remain intact with limited visual or physical impacts. The Project Site is currently developed with only a paved roadway that is surrounded by undeveloped land.

All proposed development activity will remain within the public ROW; however, there will be limited impacts to H1 and H2 habitat. The proposed location remains the most appropriate site for development, as the construction activity is contained within the existing disturbed roadway and road shoulder. The Project Site is the farthest possible location from mapped H1 and H2 habitat. No fuel modification is associated with the Project.

Due to the fact that the County currently does not have a current valid Resource Conservation Program (“RCP”), these impacts cannot be mitigated through a habitat impact in-lieu fee (County Code Section 22.44.1950). Instead, a draft condition has been added requiring the impact to be mitigated through an in-lieu fee upon the adoption of a valid RCP or, alternatively, by proposing a mitigation plan to be approved by Staff at a later date. Although there is a small amount of encroachment into H1 and H2 habitat, the proposed location is the most appropriate for the Project with the fewest biological impacts. It is located on a previously cleared and graded pad and is close to the existing street.

C. Design Compatibility

The Project is visible from Encinal Canyon Road, a designated scenic highway that is designated as a Scenic Resource Area (“SRA”) per County Code Section 22.44.2000. The proposed location remains the most appropriate site for development, as the water line installed beneath the road pavement will not be visible, while the above-ground

pressure regulation station will be obscured from view by means of the CMU block wall. The tallest portion of the CMU block wall enclosure does not exceed three feet and four inches in height and will be constructed using materials, textures, veneers, and colors that are compatible with the surrounding natural landscape and in keeping with the area's rural character, thereby creating a less than significant visual impact along a scenic route. The Project will adhere to the required development standards within the SRA pursuant to County Code Section 22.44.2040.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Santa Monica Mountains LUP. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. The scope of the project falls outside of the applicability of the Inclusionary Zoning Ordinance, which became effective on December 10, 2020, because the Project is not proposing residential housing. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by County Code Section 22.44.850. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this Project qualifies for a Categorical Exemption (Class 3–New Construction or Conversion of Small Structures and Class 4–Minor Alterations to Land Exemption) under the California Environmental Quality Act (CEQA) and the County environmental guidelines.

Pursuant to Section 15303(d) of the State CEQA Guidelines, the Class 3 Categorical Exemption includes the construction of water main, sewage, electrical, gas, and other utility extensions, including street improvements of reasonable length to serve such construction. The Project qualifies for a Class 3 Exemption because the Project is a proposal to construct a water line within the public ROW.

Pursuant to Section 15304(f) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes minor trenching and backfilling where the surface is restored. The Project qualifies for a Class 4 Categorical Exemption because the Project includes trenching and backfilling to install a water line within the public ROW.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions mentioned above. Exceptions to the exemptions include project

impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also include project activities that will have a significant effect on the environment due to unusual circumstances. However, the proposed Project is not subject to an exception to the CEQA exemptions because the biological inventory and environmental assessment of the area of project disturbance indicates that the presence of sensitive biological resources that would be impacted by implementation and operation of the Project will be mitigated.

The applicant completed a biological inventory that was reviewed by the Staff Biologist. The Staff Biologist conducted a site visit and confirmed the contents of the biological inventory. The biological inventory confirms that the portion of the Project Site proposed for development does not contain any state-designated environmental resources of hazardous or critical concern; does not contain any plants or animals listed as federal, state, or locally sensitive; and is not considered a particularly sensitive environment. The area subject to development, including existing fuel modification, road right-of-way maintenance and the proposed building site area for the above-ground pressure regulating station, would not extend into H1 Habitat, which is described in the LIP as habitats with the highest biological significance. The Project, which is minimally visible from any scenic highway, trail, or parklands, is not expected to significantly impact scenic resources. It is also not likely to have a cumulative or significant effect on the environment, as it consists of utility work in an area of existing development, and no hazardous waste sites or historic resources would be affected.

At the Environmental Review Board (“ERB”) meeting held on June 26, 2023, the biological inventory was determined to be consistent with the applicable biological resource protection policies and development standards of the Santa Monica Mountains LCP after modifications to the Project recommended by the Staff Biologist and ERB. These modifications include the recommendation to install temporary fencing pre-construction and during construction to limit potential impact in H1 habitat, and to impose in-lieu fees based on impacts to H1 and H2 habitat areas, which at a maximum would be 0.08 acres and 0.03 acres, respectively.

Therefore, Staff recommends that the Regional Planning Commission determine that the Project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

1. DPW, in a consultation status dated August 2, 2022, recommended that the Project proceed to a public hearing with no conditions.
2. The Forester, in a consultation status dated February 23, 2023, recommended that the Project proceed to a public hearing with no conditions.

3. The Fire Department, in a consultation status dated August 23, 2023, recommended that the Project proceed to a public hearing with no conditions.
4. The Department of Public Health, in a consultation status dated August 31, 2023, recommended that the Project proceed to a public hearing with no conditions.
5. The Department of Parks and Recreation, in a consultation status dated August 3, 2023, recommended that the Project proceed to a public hearing with no conditions.

B. Public Comments

Staff has not received any comments at the time of report preparation.

Report Reviewed By: 
Robert Glaser, Supervising Regional Planner

Report Approved By: 
Mitch Glaser, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos

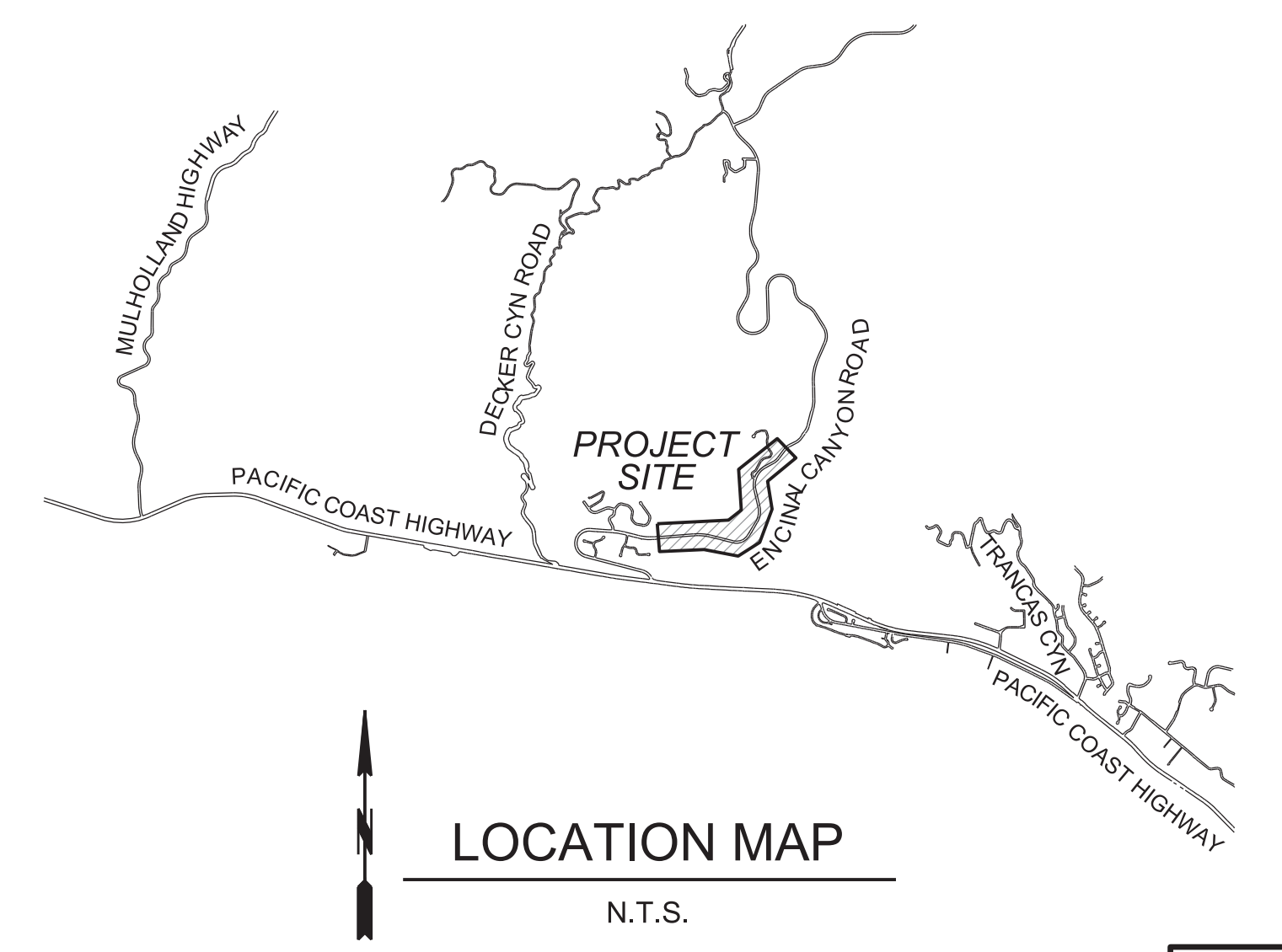
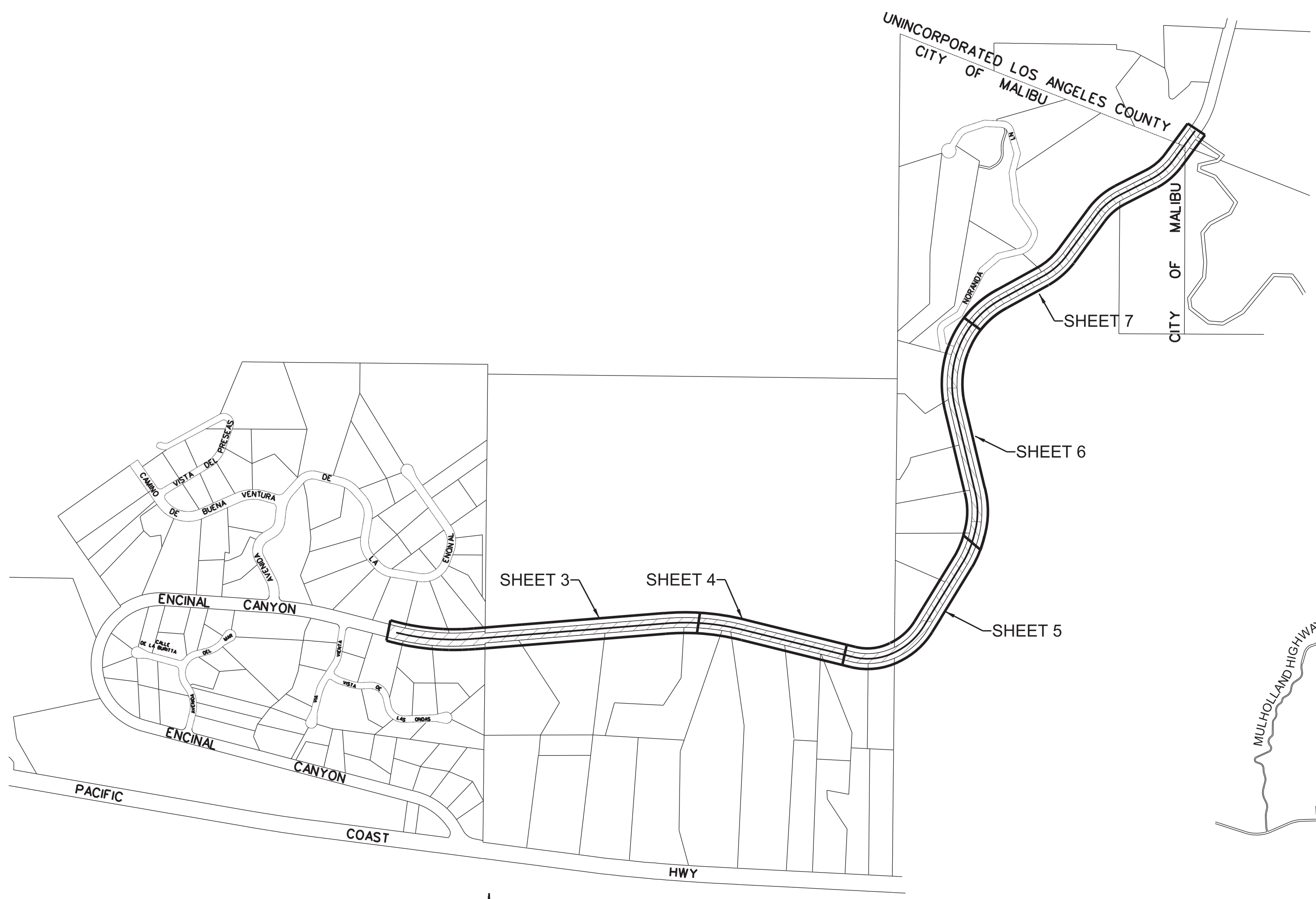
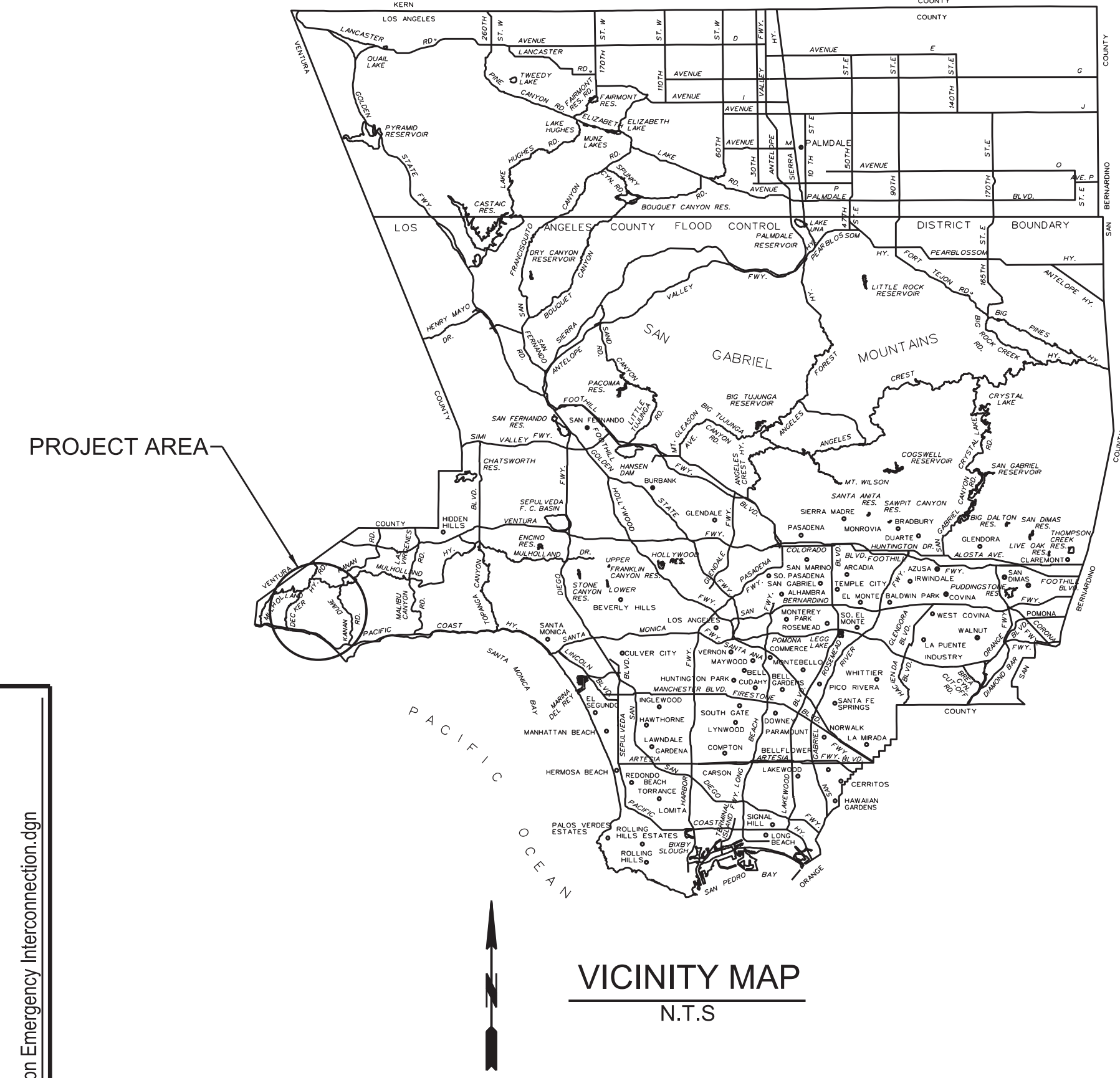
LOS ANGELES COUNTY PUBLIC WORKS ENCINAL CANYON ROAD EMERGENCY INTERCONNECTION

WATERWORKS DISTRICT NO. 29, MALIBU

STATISTICS	
LENGTH OF 12" WATERMAIN	7,096 FT
MAX STATIC PRESSURE	340 PSI
PRESSURE ZONE	825
DISTRIBUTION MAP SHEET NO.	HZ-37, HZ-38 IZ-38

REFERENCES	
WATER MAIN SPECIFICATIONS 29-632 (PC)	SURVEY REFERENCES PWFB 1202 PAGE 160 PWFB 1202 PAGE 161 PWFB 1202 PAGE 162 PWFB 1302 PAGE 457 PWFB 1302 PAGE 460 PWFB 1302 PAGE 461

SHEET INDEX	
SHT NO.	DESCRIPTION
1	TITLE SHEET, LEGEND, VICINITY, LOCATION, AND INDEX MAPS
2	GENERAL NOTES, MATERIAL LISTS, AND UTILITY CROSSING DETAILS
3	PLAN STA. 10+00 TO STA. 24+50
4	PLAN STA. 24+50 TO STA. 36+00
5	PLAN STA. 36+00 TO STA. 48+00
6	PLAN STA. 48+00 TO STA. 62+00
7	PLAN STA. 62+00 TO STA. 80+90
8	CROSS SECTION AND DETAILS



LEGEND	
PROPOSED WATER MAIN	
EXISTING WATER MAIN	
EXISTING SEWER AND MANHOLE	
EXISTING CABLE LINE	
EXISTING GAS LINE	
EXISTING TELEPHONE LINE	
EXISTING ELECTRICAL UNDERGROUND	
STREET CENTER LINE	
PROPERTY LINE	
RIGHT OF WAY LINE	
EXISTING A.C. PAVING	
EXISTING CHAIN LINK FENCE	
GATE VALVE	
TEE, BELLED	
ELBOW, FLANGED	
CONNECTIONS: FLANGE, BELL, MJ, FLEX. ADAPTOR	
SERVICE CONNECTION	
INTERCONNECTION	
FIRE HYDRANT 6" x 4" x 2 1/2"	
Vault VENT	
CPS STATION	
PUMP WELL	
FLUSH OUT ASSEMBLY	
COMBINATION AIR RELEASE AND VACUUM VALVE ASSEMBLY	
LIGHT POLE	
POWER POLE	
BORING	

FILE NAME: WWD2900082 Encinal Canyon Emergency Interconnection.dgn
 DATE LAST SAVED: 01/06/2021
 CHECKER: R. HARTOONIAN
 DESIGNER: R. NADERI
 DRAFTER: S. MAJLAWI

90% PLANS

NOT FOR CONSTRUCTION

 Know what's below. Call before you dig.	 LOS ANGELES COUNTY WATERWORKS DISTRICTS LOS ANGELES COUNTY PUBLIC WORKS	APPROVED BY _____ DATE _____ ASSISTANT DEPUTY DIRECTOR				LOS ANGELES COUNTY PUBLIC WORKS WATERWORKS DISTRICT NO. 29, MALIBU ENCINAL CANYON RD EMERGENCY INTERCONNECTION TITLE SHEET, VICINITY MAP, LOCATION AND SHEET INDEX MAP,															
		RECOMMENDED BY _____ DATE _____	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">DATE</th> <th style="width: 10%;">NO.</th> <th style="width: 10%;">INITIALS</th> <th style="width: 70%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	DATE	NO.	INITIALS	DESCRIPTION													PROJECT ENGINEER: _____ DATE _____	PROJ ID: WWD2900082 PCA: Y5292334 SPEC: WWD 29-803 SHEET 1 OF 8
DATE	NO.	INITIALS	DESCRIPTION																		

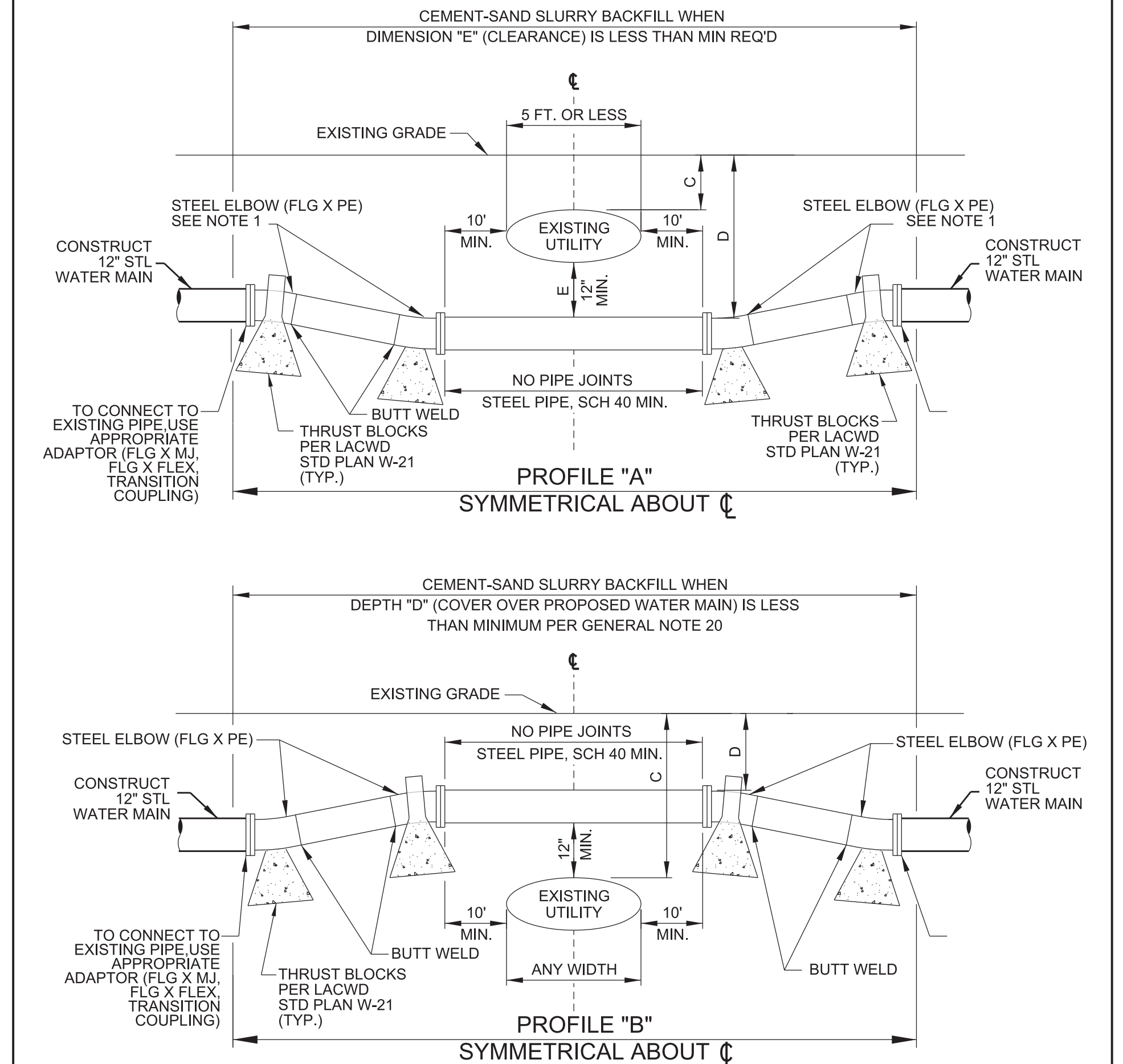
GENERAL CONSTRUCTION NOTES

- ELEVATIONS SHOWN ARE IN FEET ABOVE THE N.A.V.D 1988 DATUM. MALIBU 2008 ADJ.
- ALL FIELD BOOK REFERENCES ARE TO LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS FIELD BOOKS, UNLESS OTHERWISE NOTED.
- STATIONING IS IN FEET ALONG CENTERLINE OF 12" DIAMETER WATER MAIN.
- ALL NEW WORK SHALL BE TESTED AT 200 PSI FOR FOUR HOURS ALONG 12" WATER MAINS IN 825 FT PRESSURE ZONE. CONTRACTOR SHALL DESIGN, FURNISH, AND INSTALL ANY NECESSARY THRUST BLOCKS IN ACCORDANCE WITH LACWD STANDARD PLAN W-21, UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ON THE PLANS WERE CALCULATED ON A HORIZONTAL OFFSET. PIPE LENGTH ADJUSTMENTS FOR JOGS, SLOPES, VALVES, AND FITTINGS HAVE NOT BEEN MADE.
- BEFORE BACKFILLING THE TRENCH, ALL UNDERGROUND STEEL SURFACES SHALL BE FIELD COATED WITH A MINIMUM 2" THICKNESS OR AS INDICATED IN SECTION W OF THE SPECIAL PROVISIONS OF 1,000 LB. CEMENT MORTAR (THREE (3) PARTS SAND TO ONE (1) PART PORTLAND CEMENT), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY THE SIZE, TYPE, CLASS, PROTECTIVE LINING AND COATING, AND DEPTH OF THE EXISTING WATER MAIN AND SHALL BE RESPONSIBLE FOR MAKING THE PROPER CONNECTIONS.
- THE PIPE SHALL BE CONSTRUCTED SO AS TO PROVIDE THE FOLLOWING MINIMUM CLEARANCES TO EXISTING OR OTHER PROPOSED UNDERGROUND CONDUITS OR STRUCTURES PURSUANT TO CALIFORNIA ADMINISTRATIVE CODE SECTION 64572:
 - HORIZONTAL: 24-INCHES OUTSIDE-TO-OUTSIDE (48-INCHES OUTSIDE-TO-OUTSIDE FOR STORM DRAINS)
 - VERTICAL: 12-INCHES OUTSIDE-TO-OUTSIDE
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT PLANS OF THE WATER SYSTEM FOR THIS PROJECT AT THE COMPLETION OF THE WORK.
- EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE BASED ON RECORDS FURNISHED BY UTILITY COMPANIES. UTILITY SERVICE CONNECTIONS ARE APPROXIMATE. CONTRACTOR SHALL ASSUME THAT SERVICE FACILITIES (INCLUDING, BUT NOT LIMITED TO, WATER, TELEPHONE, ELECTRICAL, CABLE TV, AND GAS) EXTEND FROM EACH UTILITY FACILITY TO EACH PARCEL OR LOT WHETHER OR NOT SERVICE FACILITIES ARE SHOWN. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PIPE AND FITTINGS REQUIRED TO AVOID ALL UTILITIES INCLUDING ALL SERVICE FACILITIES. ALL AT NO ADDITIONAL COST TO AGENCY.
- CONTRACTOR SHALL ADJUST WATER MAIN ALIGNMENTS AS REQUIRED TO MAINTAIN MINIMUM CLEARANCE BETWEEN PROPOSED WATER MAIN AND EXISTING UTILITIES, VAULTS, MANHOLES, STRUCTURES, AND ANY OTHER SUBSURFACE FACILITIES. PIPELINE CONSTRUCTION IN THE VICINITY OF SANITARY SEWERS SHALL, AT A MINIMUM, CONFORM TO LACWD STANDARD PLAN W-50.
- DISINFECTION: CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO ASSURE SANITARY INSTALLATION. THE CONTRACTOR SHALL ENDEAVOR TO KEEP ALL DIRT, RODENTS, INSECTS, ETC. AWAY FROM WATERWAY SURFACES. ISOLATION VALVES SHALL BE KEPT CLOSED (EXCEPT DURING FILLING AND FLUSHING, WHEN VALVES SHALL BE OPERATED SO AS TO ASSURE FLOW TOWARD NEW DISCHARGE) AND LEFT CLOSED AT ALL OTHER TIMES UNTIL AFTER PRESSURE TEST, DISINFECTION, FLUSHING AND BACTERIAL TEST HAS BEEN PASSED. CONTRACTOR SHALL NOTIFY AGENCY AT LEAST 24 HOURS IN ADVANCE OF ANY OPERATION OF ISOLATION VALVES WHICH SHALL BE OPERATED ONLY BY AGENCY PERSONNEL. AGENCY WILL ARRANGE FOR BACTERIOLOGICAL TEST SAMPLING OF NEW WATER MAINS UPON A MINIMUM 48 HOUR NOTIFICATION BY CONTRACTOR. AGENCY WILL ALSO ARRANGE FOR CONCURRENT BACTERIOLOGICAL TEST SAMPLING OF SUPPLY. PROCESS FOR BACTERIOLOGICAL TESTING TO BEGIN ON A MONDAY.
- IF THE CONTRACTOR DESIRES TEMPORARY WATER SERVICE FOR CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR INSTALLATION, BY THE AGENCY, OF TEMPORARY CONSTRUCTION METER(S) OFF FIRE HYDRANTS OR FLUSHOUTS. THE ISSUANCE OF TEMPORARY CONSTRUCTION METER(S) DURING THE SUMMER MONTHS MAY BE RESTRICTED BASED ON AVAILABLE WATER SUPPLY.
- THE CONTRACTOR SHALL NOTIFY LACWD MALIBU OFFICE SUPERINTENDENT AT (626) 456-6770, AT LEAST 48 HOURS BEFORE STARTING ANY WORK ON THIS PROJECT.
- JOINT DEFLECTIONS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
- INTERCONNECTIONS:
 - CONTRACTOR SHALL COMPLETELY INSTALL AND TEST NEW WATER MAIN IN ACCORDANCE WITH THE SECTION W OF THE SPECIAL PROVISIONS PRIOR TO MAKING THE INTERCONNECTION.
 - CONTRACTOR SHALL REMOVE INTERFERING PORTIONS OF EXISTING WATER MAINS, VALVES, FITTINGS, PLUGS, BLIND FLANGES, THRUST BLOCKS, AND APPURTENANCES IN THE PRESENCE OF THE ENGINEER.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING, TWO WORKING DAYS IN ADVANCE, THAT THEY ARE PREPARED WITH ALL LABOR, MATERIAL, EQUIPMENT, AND NECESSARY PRELIMINARY WORK TO MAKE THE CONNECTION. AGENCY PERSONNEL WILL CLOSE EXISTING VALVES AS NEEDED.
 - CONTRACTOR SHALL NOTIFY ALL AFFECTED AGENCY CUSTOMERS AND THE FIRE DEPARTMENT NO LESS THAN 24 HOURS PRIOR TO THE LOSS OF SERVICE. MAXIMUM SHUTDOWN SHALL NOT EXCEED 3 HOURS.
- CONTRACTOR SHALL POSSESS A VALID "A" OR "C-34" CONTRACTORS LICENSE.
- THE CONTRACTOR SHALL NOT RESTRICT THE USE OF PUBLIC RIGHT-OF-WAY OR ACCESS TO ADJACENT PREMISES.
- WATER TRANSMISSION MAIN TRENCH SHALL BE IN ACCORDANCE DETAIL 1, SHEET 8, UNLESS OTHERWISE NOTED.
- ALL 4" AND 6" DIAMETER PIPE SHALL HAVE A MINIMUM COVER OF 36"; 8" AND 10" DIAMETER PIPE SHALL HAVE A MINIMUM COVER OF 42"; 12"-24" DIAMETER PIPE SHALL HAVE A MINIMUM COVER OF 48"; WATER MAINS SHALL BE CONSTRUCTED WITH THE MINIMUM REQUIRED COVER MEASURED FROM THE PROPOSED ADJACENT FLOW LINES.
- ALL RUBBER MATERIALS IN CONTACT WITH POTABLE WATER SHALL BE "PEROXIDE CURED EPDM" FOR RESILIENT SEAT GATE VALVES, BUTTERFLY VALVES, FLEXIBLE EXPANSION JOINTS, FLANGE COUPLING ADAPTER JOINTS, SLEEVE COUPLING, PUSH-ON PIPE JOINTS, FITTING JOINTS, AND FLANGE GASKET JOINTS.
- THE CONTRACTOR SHALL TRANSPORT AND LEGALLY DISPOSE OF ALL REMOVED MATERIALS.
- EXISTING UTILITIES SHALL BE MAINTAINED IN PLACE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED, AND ALL UTILITIES CROSSING THE TRENCH SHALL BE TEMPORARILY SUPPORTED TO THE SATISFACTION OF THE AGENCY.
- THE WATER MAIN TO BE ABANDONED SHALL BE COMPLETELY DRAINED, APPROXIMATELY EVERY 250 FEET MORE OR LESS, A SHORT SECTION OF WATER MAIN IS TO BE REMOVED AND EACH END OF THE WATER MAIN TO BE PLUGGED AS INDICATED ON THE PLANS AND THRUST BLOCKS SHALL BE PROVIDED.
- ASBESTOS CEMENT PIPE SHALL NOT BE CUT, A WHOLE SECTION LENGTH OF ACP SHALL BE REMOVED BY BREAKING THE JOINTS WHEN REQUIRED. THE REMOVED PIPE SHALL BE JOINED TO THE EXISTING ACP WITH COUPLINGS.
- WATER MAINS, VALVES, AND FITTINGS TO BE ABANDONED:
 - THE CONTRACTOR SHALL FURNISH ALL MATERIAL NEEDED FOR COMPLETE ABANDONMENT OF EXISTING WATER MAINS.
 - WHERE VALVES OR FITTINGS ARE REQUIRED TO BE REMOVED, THE EXISTING WATER MAIN OR FITTING TO REMAIN IN SERVICE SHALL BE BLIND FLANGED OR PLUGGED AS INDICATED ON THE PLANS AND THRUST BLOCKS SHALL BE PROVIDED.
 - ALL VALVES AND VALVE BOX CAPS SHALL BE REMOVED AND SALVAGED. THE VALVE BOX TOP SLEEVE AND BOTTOM SLEEVE SHALL BE FILLED WITH TYPE "A" BASE (OR AS REQUIRED BY THE PERMIT). IF THE VOID IS WITHIN THE PAVED STREET AREA THE VOID SHALL BE COMPACTED AND RESURFACED WITH AC PAVEMENT. IN SIDEWALK AREAS, THE CONCRETE SIDEWALK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER.

MATERIALS LIST/WORK ACTIVITIES

NO.	DESCRIPTION
1	12" STEEL PIPE, 0.25" THICK, CML & CMC, WELDED
2	12" STEEL SLIP-ON WELD FLANGE, CL 300, CMC
3	12" X 12" FLG'D STEEL TEE, CL 300 FLG, STD WT, CML & CMC
4	12" FLG'D GATE VALVE, 350 PSI WWP, CL 300 FLG, NRS, W/ ADJUSTABLE VALVE BOX PER LACWD STD PLAN W-15
5	12" FLG'D 90° STEEL ELBOW, CL 300 FLG, STD WT, CML & CMC
6	12" STEEL BLIND FLANGE, CL 300, CMC
7	12" X 10" FLG'D STEEL REDUCER, STD WT, CL 300 FLG, CML & CMC
8	12" FLG'D 90° STEEL ELBOW, CL 300 FLG, STD WT, CML & EPOXY COATED
9	12" X 8" FLG'D STEEL REDUCER, CL 300 FLG, STD WT, CML & EPOXY COATED
10	12" X 4" FLG'D STEEL TEE, CL 300 FLG, STD WT, CML & CMC
11	8" PRESSURE REDUCING VALVE, CLA-VAL MODEL 90G-01BCSYKCBX D/S, CL 300
12	8" FLG'D GATE VALVE W/ HANDWHEEL, 350 PSI WWP, CL 300 FLG, NRS
13	8" X 4" FLG'D STEEL TEE, CL 300 FLG, STD WT, CML & EPOXY COATED
14	8" FLOW METER PER LVMWD STD.
15	8" STEEL PIPE, SCH 20, CML & EPOXY COATED
16	8" STEEL SLIP-ON WELD FLANGE, CL 300, CMC
17	8" GROOVED COUPLING
18	PIPE SUPPORT PER STD. W-17, OMIT ANCHORS
19	THRUST BLOCK PER LACWD STD PLAN W-21
20	CUT & PLUG EXISTING WATERMAIN PER LACWD STD. PLAN W-22
21	RECONNECT EXISTING WATER SERVICE PER DETAIL 2, SHEET 8 (METER AND BOX TO REMAIN)
22	INSTALL SAMPLING STATION PER DETAIL 3, SHEET 8
23	CATHODIC PROTECTION - SHALLOW Mg ANODE AND TEST STATION PER LACWD STD PLAN W-39
24	REMOVE EXISTING AND INSTALL NEW FLUSH OUT LATERAL ONLY PER LACWD STD. PLAN W-33
25	REMOVE EXISTING AND INSTALL NEW AIR-RELEASE LATERAL ONLY PER LACWD STD. PLAN W-16
26	PRESSURE GAUGE PER DETAIL 4 ON SHEET 8
27	4" FLG'D GATE VALVE W/ HANDWHEEL, 350 PSI WWP, CL 300 FLG, NRS
28	4" FLG'D GATE VALVE, 350 PSI WWP, CL 300 FLG, W/ ADJUSTABLE VALVE BOX PER LVMWD STD.
29	4" X 4" FLG'D STEEL TEE, CL 300 FLG, STD WT, CML & EPOXY COATED
30	2" PRESSURE REDUCING VALVE, CLA-VAL MODEL 90G-01BCSYKCBX D/S, CL 300
31	4" FLG'D 90° STEEL ELBOW, CL 300 FLG, STD WT, CML & EPOXY COATED
32	4" STEEL PIPE, SCH 20, CML & EPOXY COATED
33	2" PRESSURE RELIEF & SUSTAINING VALVE, CLA-VAL MODEL 50G-01BPKCBX DS, CL 300
34	4" STEEL SLIP-ON WELD FLANGE, CL 300
35	4" GROOVED COUPLING
36	2" 180° WELD ELBOW, STEEL, SCH 40, FLG'D CLASS 300, CML & EPOXY COATED
37	CHAIN LINK FENCING PER LACWD STD W-23 WITHOUT BARRIER WIRE
38	6" MIN. THICK CONCRETE SLAB, SLOPE TO DRAIN TO STREET
39	6" PUMP WELL, STYLE A, PER LACWD STD PLAN W-53
40	MASONRY RETAINING WALL PER SSPWC 618-3, TYPE AND HEIGHT PER PLAN
41	2" AIR RELEASE AND VACUUM VALVE ASSEMBLY PER LACWD STD PLAN W-16
42	4" X 2" FLG'D STEEL REDUCER, CL 300 FLG, STD WT, CML & EPOXY COATED
43	2" STEEL SLIP-ON WELD FLANGE, CL 300
44	2" PRESSURE REDUCING VALVE, CLA-VAL MODEL 49G-03MODGABCSYPKCBX D/S, CL 300
45	8" PRESSURE REDUCING VALVE, CLA-VAL MODEL 49G-03MODGABCSYPKCBX D/S, CL 300
46	2" FLG'D 90° STEEL ELBOW, CL 300 FLG, STD WT, CML & EPOXY COATED

UTILITY CROSSING DETAILS



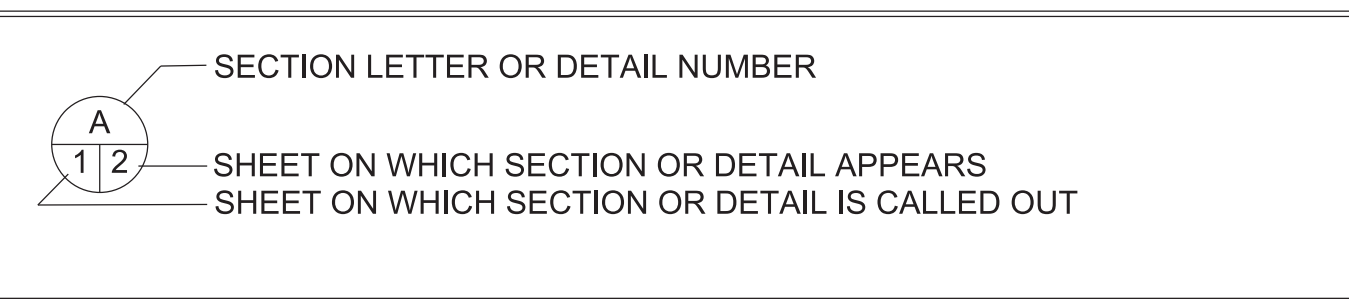
UTILITY CROSSING DETAILS

- 45° ELBOWS SHALL BE USED WHERE THE BOTTOM OF THE EXISTING UTILITY BEING UNDERCROSSED IS 4 FEET DEEP OR MORE. 22.5° ELBOWS MAY BE USED WHERE THE BOTTOM OF THE EXISTING UTILITY TO BE UNDERCROSSED IS LESS THAN 4 FEET DEEP.
- IN LIEU OF USING STEEL PIPE WITH STEEL ELBOWS AS SHOWN IN PROFILES "A" OR "B," CONTRACTOR MAY DEFLECT JOINTS PER MANUFACTURER'S RECOMMENDATIONS WHEN ALL THE FOLLOWING CONDITIONS ARE MET:
 - THERE IS NOT ADEQUATE CLEARANCE FOR THRUST BLOCKS.
 - THE CROSSING IS NOT BENEATH A CREEK BED, DRAINAGE COURSE, OR OTHERWISE UNSTABLE AREA.
 - THE WATER MAIN HAS LESS THAN 6' OF COVER AT ITS DEEPEST POINT.
- JOINT DEFLECTIONS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
- WHEN DEPTH "C" (COVER OVER EXISTING UTILITY) IS GREATER THAN 7 FEET, USE PROFILE "B."
- WALL THICKNESS OF STEEL PIPE AND ELBOWS SHALL BE SCH 40 MINIMUM.

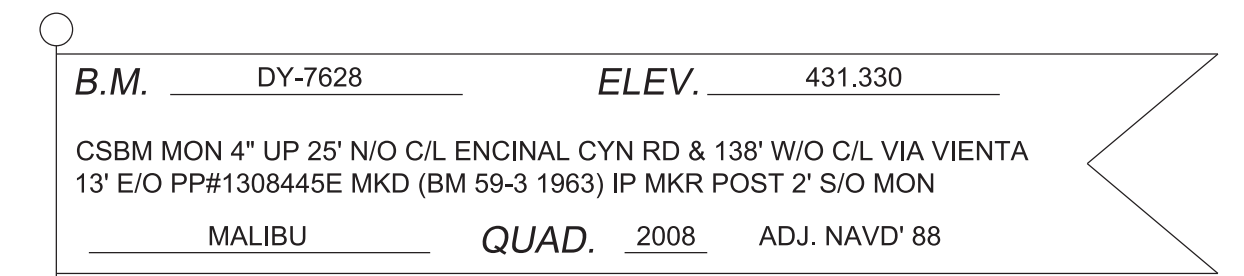
90% PLANS

NOT FOR CONSTRUCTION

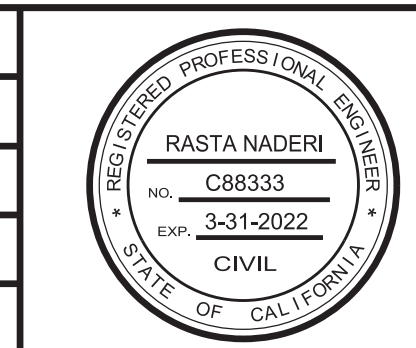
SECTION AND DETAIL IDENTIFICATION SYSTEM



BENCHMARK



DATE	INITIALS	DESCRIPTION
REVISIONS		



LOS ANGELES COUNTY PUBLIC WORKS
WATERWORKS DISTRICT NO. 29, MALIBU

ENCINAL CANYON RD EMERGENCY INTERCONNECTION

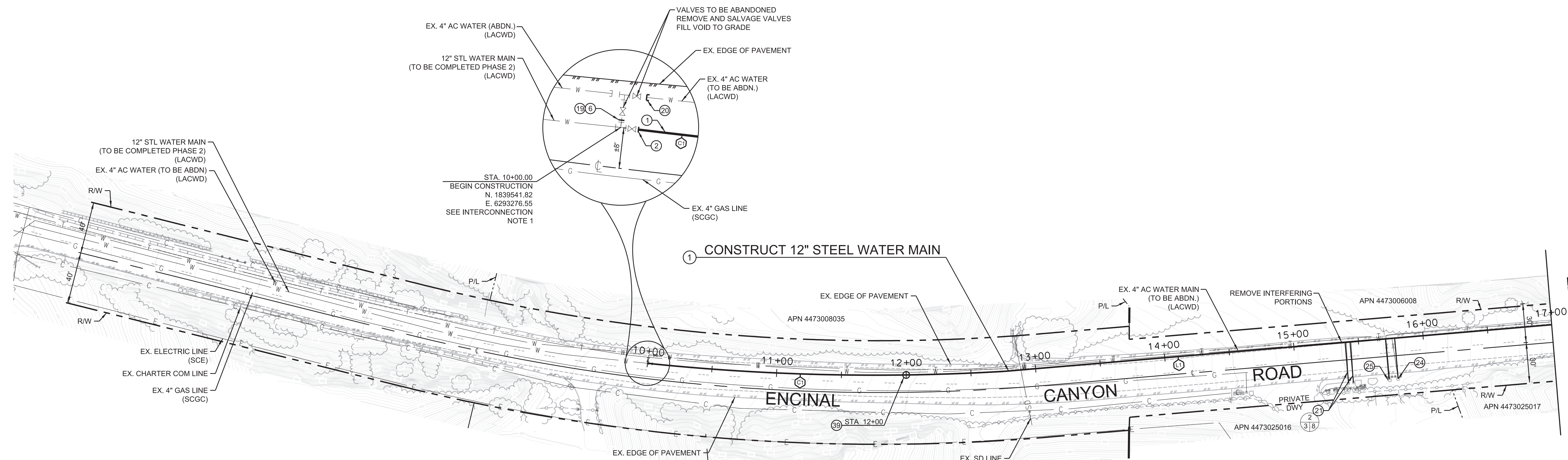
GENERAL NOTES, MATERIAL LIST, AND
UTILITY CROSSING DETAILS

PROJECT ENGINEER: RASTA NADERI
DATE: 01/06/2021

PROJ ID: WWD290082 | PCA: Y5292334 | SPEC: WWD 29-803 | SHEET 2 OF 8

FILE NAME: WWD290082_Enchinal Canyon_Emergency Interconnection.dgn
 DATE LAST SAVED: 01/06/2021
 CHECKER: R. HARTOONIAN
 DESIGNER: R. NADERI
 DRAFTER: S. MAOULAWI

FILE NAME: WWD2900082 Encinal Canyon_Emergency Interconnection.dgn
 DATE LAST SAVED: 01/06/2021
 CHECKER: R. HARTOONIAN
 DESIGNER: R. NADERI
 DRAFTER: S. MAOULAWI

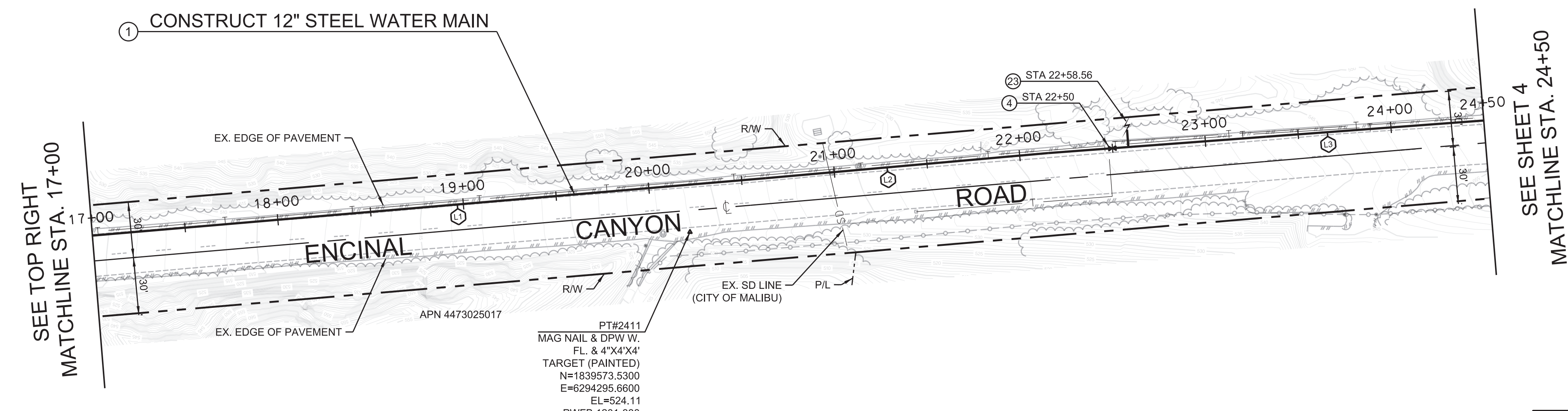


CURVE DATA FOR 12" STEEL WATERMAIN

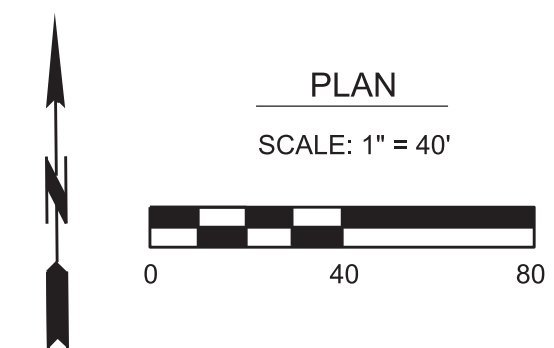
NO	Δ	R (FT)	L (FT)	T (FT)	START	END
C1	9°25'22"	1680.88	276.44	138.53	N 1839541.82 FT E 6293276.55 FT	N 1839535.87 FT E 6293252.80 FT

LINE DATA FOR 12" STEEL WATERMAIN

NO	LENGTH (FT)	START	END	BEARING
L1	796.50'	N 1839535.87 FT E 6293352.80 FT	N 1839602.46 FT E 6294336.36 FT	N80°07'44"E
L2	152.24'	N 1839602.46 FT E 6294336.36 FT	N 1839615.95 FT E 6294448.00 FT	N84°54'54"E
L3	281.13'	N 1839615.95 FT E 6294448.00 FT	N 1839626.08 FT E 6294738.43 FT	N85°43'29"E



INTERCONNECTION NOTE 1:
 AFTER COMPLETION OF THE WATER MAIN INSTALLATION, SATISFACTORILY COMPLETING BACTERIOLOGICAL AND PRESSURE TESTS IN ACCORDANCE WITH SECTION W OF THE SPECIAL PROVISIONS, AND AFTER APPROPRIATE VALVES HAVE BEEN CLOSED BY AGENCY PERSONNEL, THE CONTRACTOR, UNDER AGENCY SUPERVISION, SHALL REMOVE EXISTING THRUST BLOCK AND 12" BLIND FLANGE AND COMPLETE THE INTERCONNECTION AS SHOWN ON THE PLANS, SEE GENERAL NOTE 16 ON SHEET 2. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED AGENCY CUSTOMERS AND THE FIRE DEPARTMENT NO LESS THAN 48 HOURS PRIOR TO LOSS OF SERVICE. SHUTDOWN TIME SHALL NOT EXCEED 3 HOURS.



DATE	INITIALS	DESCRIPTION



LOS ANGELES COUNTY PUBLIC WORKS
 WATERWORKS DISTRICT NO. 29, MALIBU

**ENCINAL CANYON RD
 EMERGENCY INTERCONNECTION**

PLAN STA. 10+00 TO STA. 24+50

PROJECT ENGINEER: RASTA NADERI
 PROJECT ID: WWD2900082
 PCA: Y5292334
 SPEC: WWD 29-803
 SHEET: 3 OF 8

90% PLANS

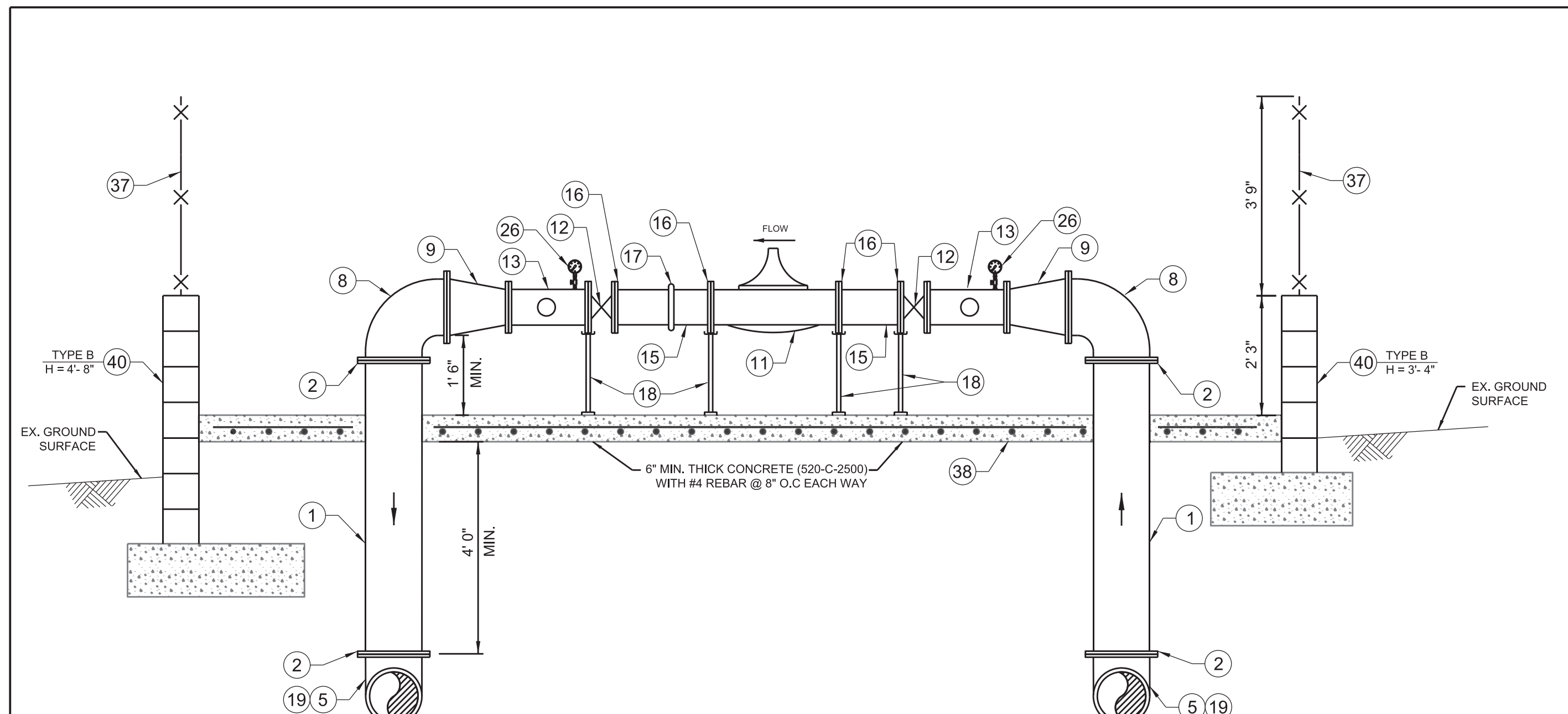
NOT FOR CONSTRUCTION

SEE BELOW LEFT
 MATCHLINE STA. 17+00

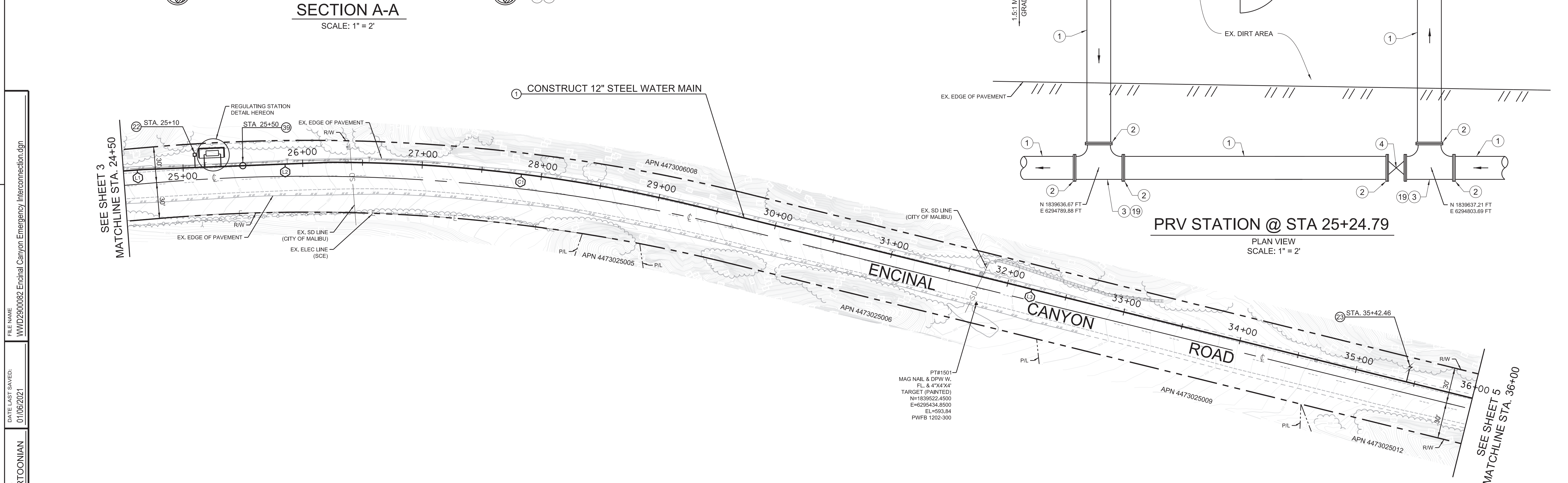
SEE TOP RIGHT
 MATCHLINE STA. 17+00

SEE SHEET 4
 MATCHLINE STA. 24+50

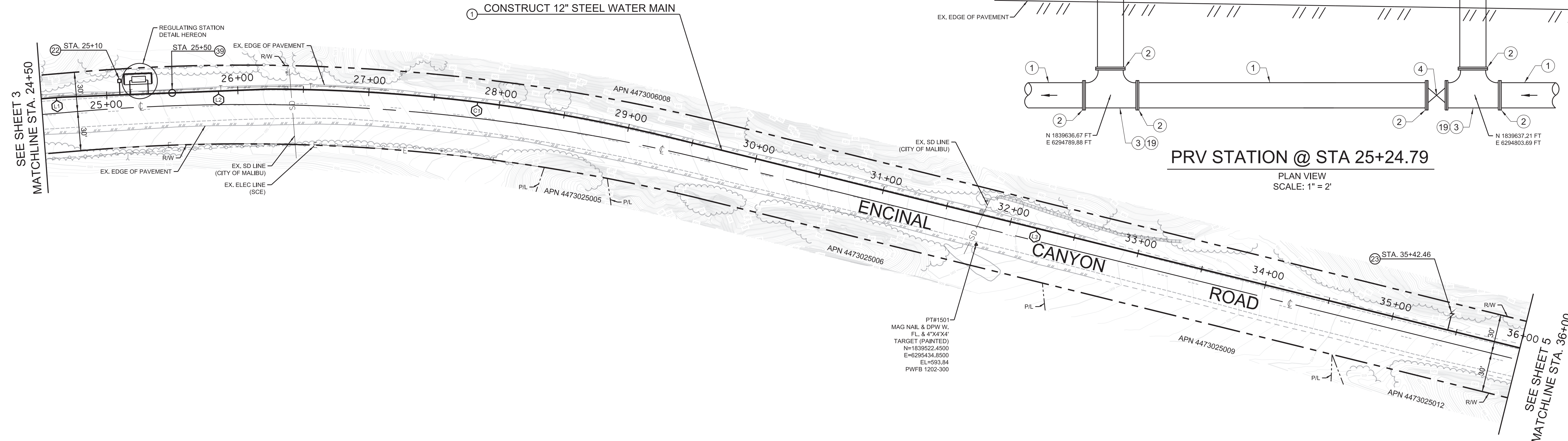
FILE NAME: WWD2900082 Encinal Canyon Emergency Interconnection.dgn
 DATE LAST SAVED: 01/06/2021
 CHECKER: R. HARTOONIAN
 DESIGNER: R. NADERI
 DRAFTER: S. MAJLAWI



SECTION A-A
SCALE: 1" = 2'



PRV STATION @ STA 25+24.79
PLAN VIEW
SCALE: 1" = 2'

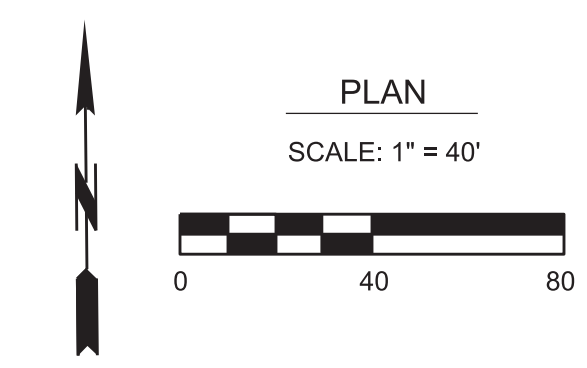


1. CONSTRUCT 12" STEEL WATER MAIN

CONSTRUCTION NOTE:
 1. TW= TOP OF WALL, FS = FINISHED SURFACE,
 EG = EXISTING GRADE, TF = TOP OF FOUNDATION

NO.	LENGTH (FT)	START	END	BEARING
L1	251.13'	N 1839615.96 FT E 6294689.00 FT	N 1839634.88 FT E 6294738.41 FT	N85°43'29"E
L2	156.24'	N 1839634.88 FT E 6294738.41 FT	N 1839640.73 FT E 6294814.51 FT	N87°40'45"E
L3	33.00'	N 1839640.73 FT E 6294814.51 FT	N 1839623.87 FT E 6295954.50 FT	S76°00'33"E

NO.	Δ	R (FT)	L (FT)	T (FT)	START	END
C1	14°22'48"	1293.76	324.89	183.20	N 1839640.73 FT E 6294814.51 FT	N 1839600.39 FT E 6295215.87 FT



DATE	INITIALS	DESCRIPTION



LOS ANGELES COUNTY PUBLIC WORKS
 WATERWORKS DISTRICT NO. 29, MALIBU

**ENCINAL CANYON RD
 EMERGENCY INTERCONNECTION**

PLAN STA. 24+50 TO 36+00

PROJECT ENGINEER: RASTA NADERI
 PROJECT ID: WWD2900082
 PCA: Y5292334
 SPEC: WWD 29-803
 SHEET 4 OF 8

90% PLANS

NOT FOR CONSTRUCTION

FILE NAME
WWD2900082 Encinal Canyon Emergency Interconnection.dgn

DATE LAST SAVED:
01/06/2021

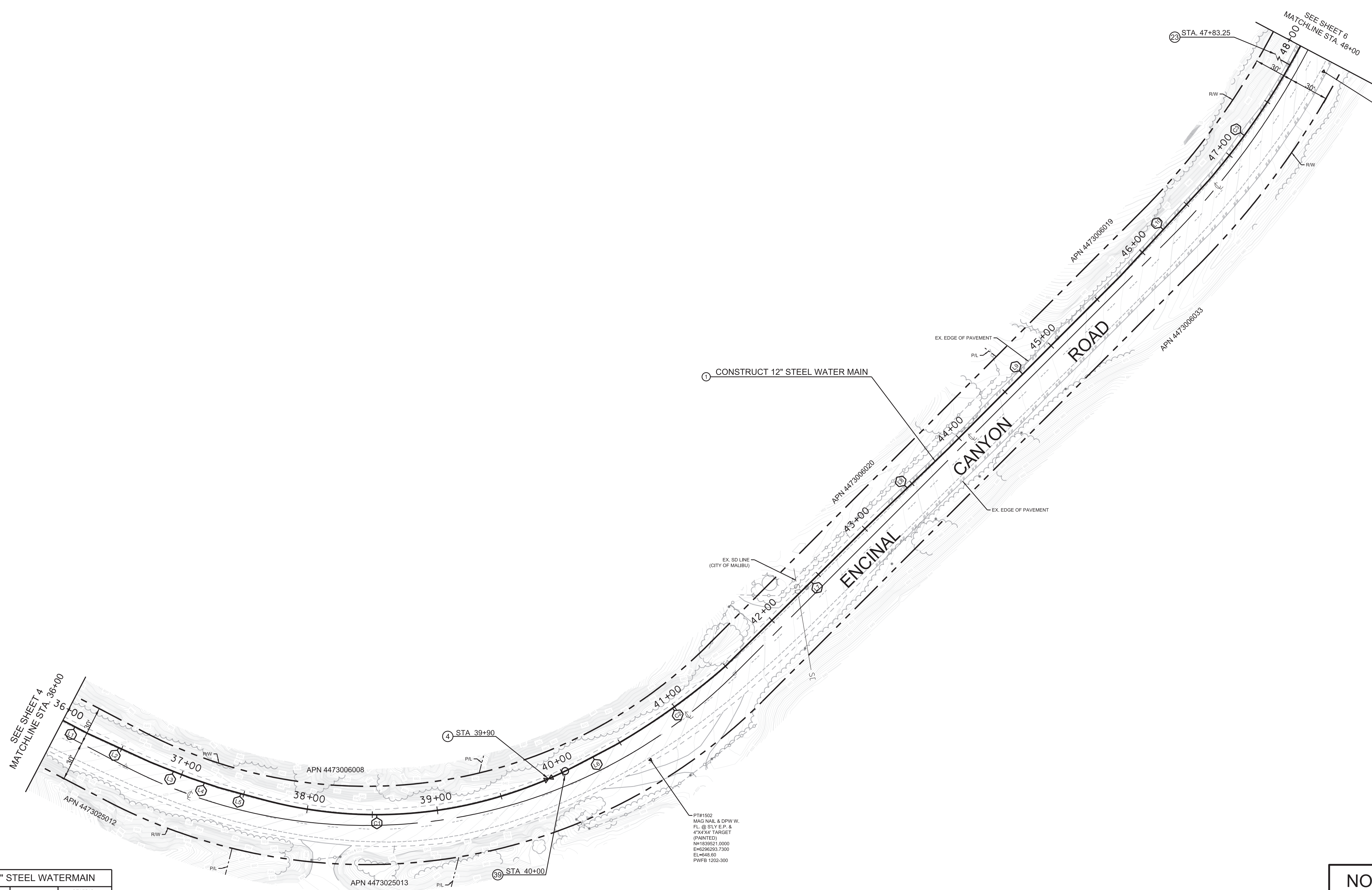
CHECKER
R. HARTOONIAN

DESIGNER
R. NADERI

DRAFTER
S. MAJULAWI

NO	LENGTH (FT)	START	END	BEARING
L1	674.29'	N 1839600.39 FT E 6296215.87 FT	N 1839438.32 FT E 6295970.40 FT	S76°05'33"E
L2	52.32'	N 1839438.32 FT E 6295970.40 FT	N 1839421.87 FT E 6295951.77 FT	S79°05'33"E
L3	33.05'	N 1839421.87 FT E 6295951.77 FT	N 1839423.87 FT E 6295954.91 FT	S82°05'33"E
L4	23.13'	N 1839423.87 FT E 6295954.91 FT	N 1839421.89 FT E 6295953.91 FT	S85°05'33"E
L5	34.77'	N 1839421.89 FT E 6295953.91 FT	N 1839421.01 FT E 6296032.31 FT	S88°32'29"E
L6	39.56'	N 1839421.01 FT E 6296032.31 FT	N 1839525.26 FT E 6296265.48 FT	N48°41'18"E
L7	151.59'	N 1839525.26 FT E 6296265.48 FT	N 1839393.39 FT E 6296412.07 FT	N31°40'28"E
L8	87.17'	N 1839393.39 FT E 6296412.07 FT	N 183906.94 FT E 6296458.98 FT	N32°27'53"E
L9	187.25'	N 183906.94 FT E 6296458.98 FT	N 183960.76 FT E 6296562.79 FT	N31°10'08"E
L10	98.94'	N 183960.76 FT E 6296562.79 FT	N 184063.73 FT E 6296603.67 FT	N28°57'24"E

NO	Δ	R (FT)	L (FT)	T (FT)	START	END
C1	41°54'22"	330.9	242.02	136.71	N 1839421.01 FT E 6296032.31 FT	N 1839498.76 FT E 6296235.48 FT
C2	11°08'25"	532.59	193.55	51.94	N 1839525.26 FT E 6296265.48 FT	N 1839604.39 FT E 6296332.47 FT
C3	39°59'00"	556.89	387.76	202.16	N 184063.73 FT E 6296603.67 FT	N 1840438.96 FT E 6296643.96 FT



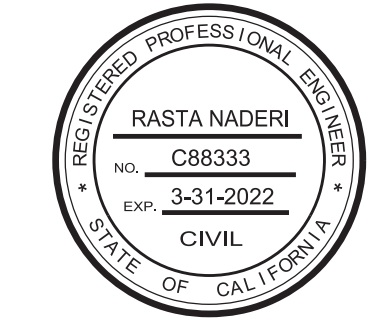
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1" DPW COPPER DISK
@ A.C. FL. @ 47X74"
TARGET (PAINTED)
N=1840155.7100
E=6296669.3700
EL=48.23
PWB# 1002-300

PT#1502
MAG NAIL & DPW W.
FL. @ S'LY E.P. &
47X74" TARGET
(PAINTED)
N=1839623.0000
E=6296263.7300
EL=48.80
PWB# 1002-300

90% PLANS

NOT FOR CONSTRUCTION

DATE	INITIALS	DESCRIPTION



LOS ANGELES COUNTY PUBLIC WORKS
WATERWORKS DISTRICT NO. 29, MALIBU

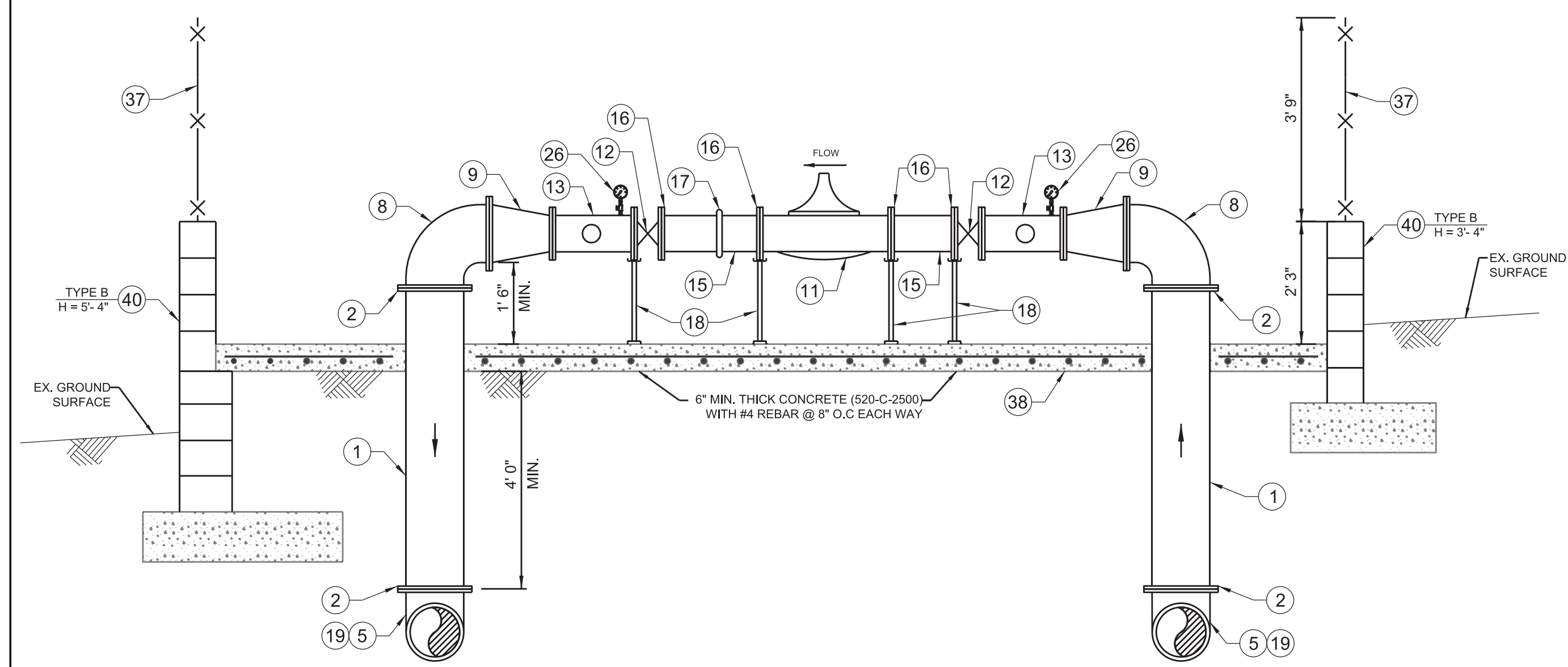
**ENCINAL CANYON RD
EMERGENCY INTERCONNECTION**

PLAN STA. 36+00 TO 48+00

PROJECT ENGINEER: RASTA NADERI
DATE: 01/06/2021

PROJ ID: WWD2900082 PCA: Y5292334 SPEC: WWD 29-803 SHEET 5 OF 8

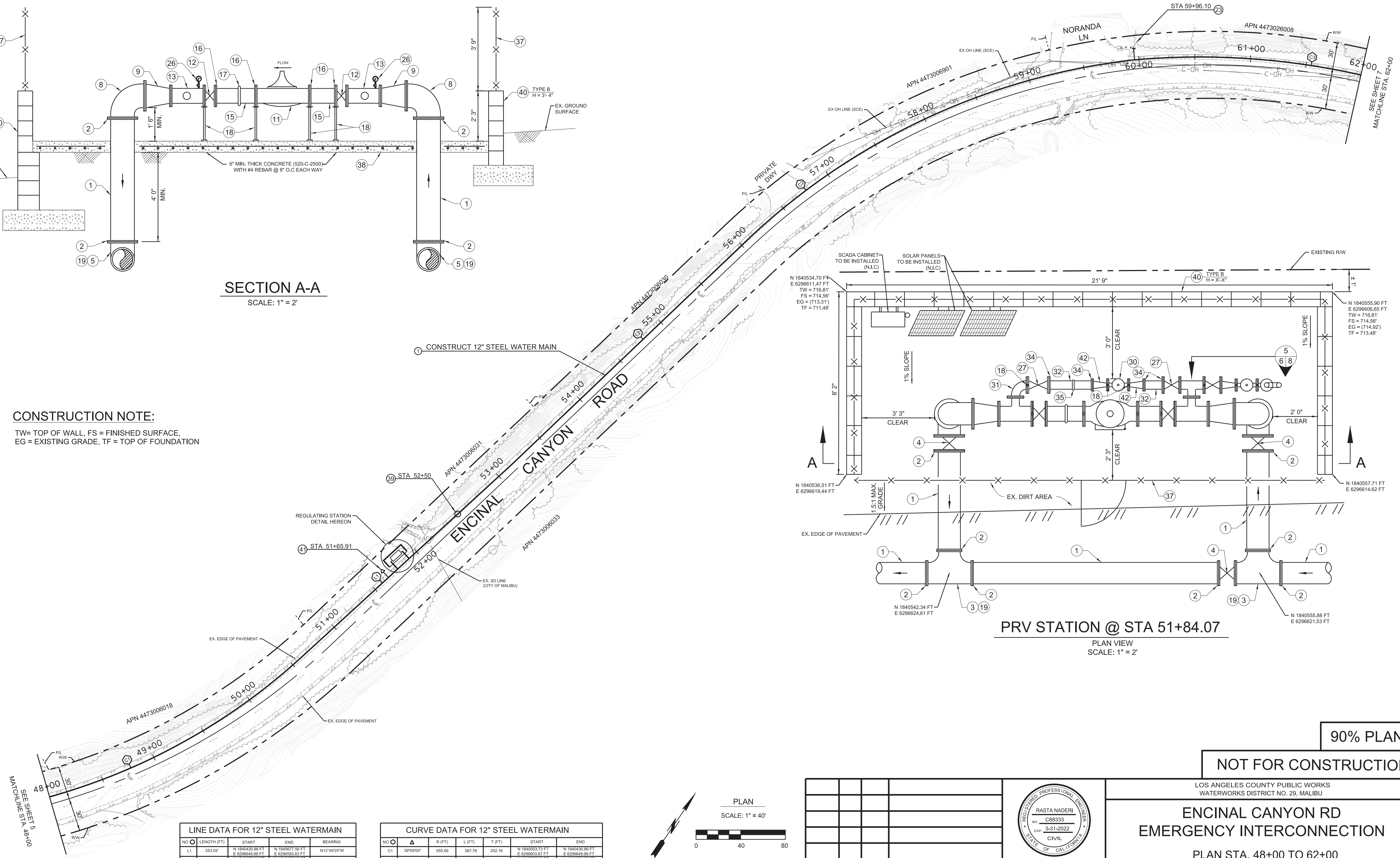
FILE NAME: WWD2900082 Encinal Canyon Emergency Interconnection.dgn
 DATE LAST SAVED: 01/06/2021
 CHECKER: R. HARTOONIAN
 DESIGNER: R. NADERI
 DRAFTER: S. MAOULAWI



SECTION A-A
SCALE: 1" = 2'

CONSTRUCTION NOTE:
 1. TW = TOP OF WALL, FS = FINISHED SURFACE, EG = EXISTING GRADE, TF = TOP OF FOUNDATION

1. CONSTRUCT 12" STEEL WATER MAIN



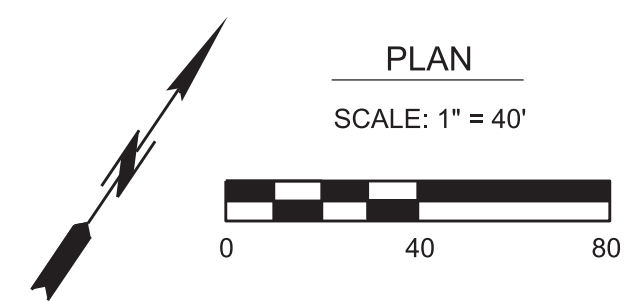
PRV STATION @ STA 51+84.07
PLAN VIEW
SCALE: 1" = 2'

LINE DATA FOR 12" STEEL WATERMAIN

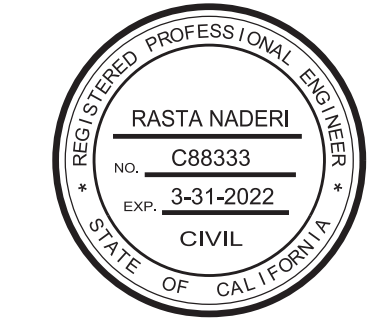
NO	LENGTH (FT)	START	END	BEARING
L1	253.02'	N 1840530.96 FT E 6296649.99 FT	N 1840677.26 FT E 6296593.83 FT	N12°49'25"W
L2	299.13'	N 1840677.26 FT E 6296593.83 FT	N 1840967.88 FT E 6296521.77 FT	N13°56'24"W

CURVE DATA FOR 12" STEEL WATERMAIN

NO	Δ	R (FT)	L (FT)	T (FT)	START	END
C1	39°59'00"	555.69	387.78	202.16	N 1840533.73 FT E 6296603.67 FT	N 1840430.96 FT E 6296649.99 FT
C2	39°59'40"	602.77	378.67	195.82	N 1840967.88 FT E 6296521.77 FT	N 1841338.95 FT E 6296504.19 FT
C3	39°14'23"	659.13	405.40	209.34	N 1841338.95 FT E 6296521.77 FT	N 1841635.31 FT E 6296521.40 FT



DATE	INITIALS	DESCRIPTION
REVISIONS		



LOS ANGELES COUNTY PUBLIC WORKS
 WATERWORKS DISTRICT NO. 29, MALIBU

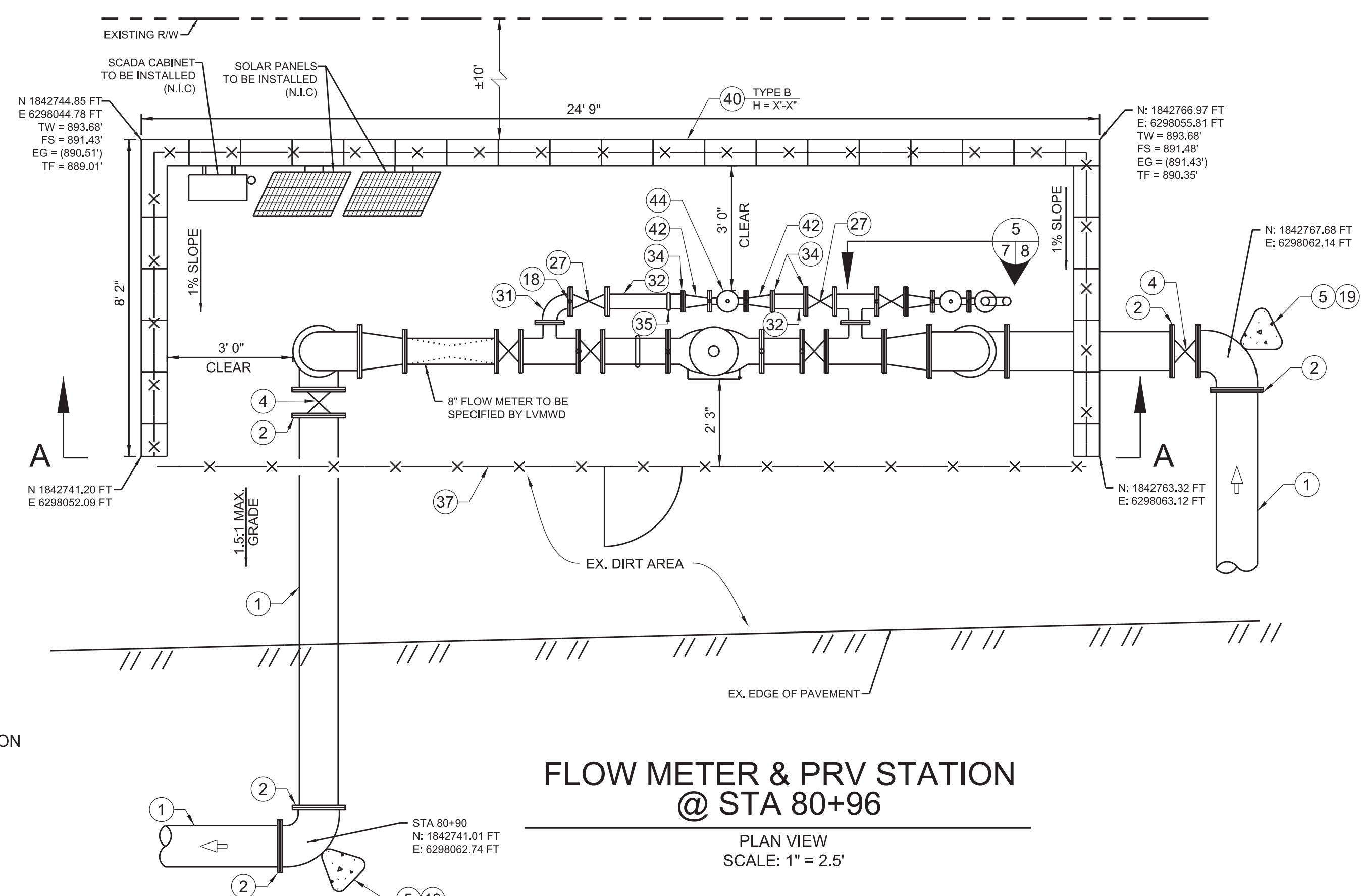
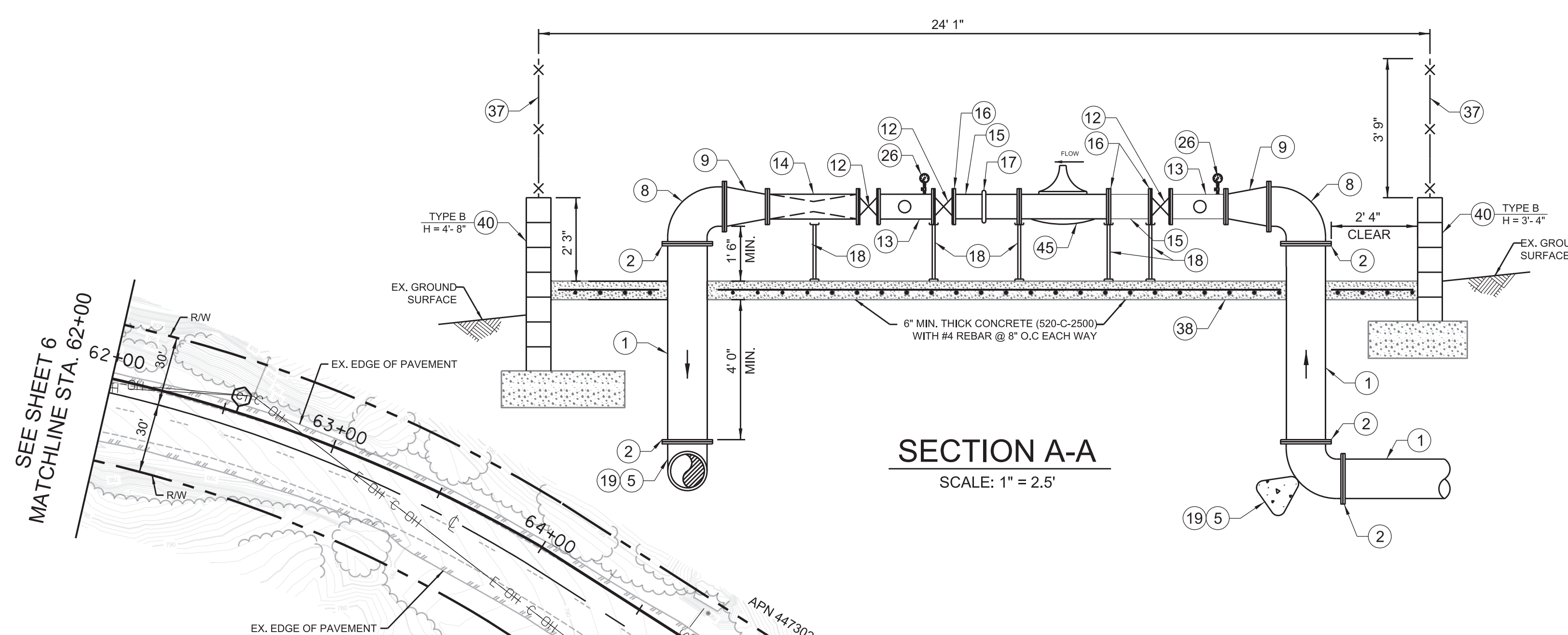
**ENCINAL CANYON RD
 EMERGENCY INTERCONNECTION**

PLAN STA. 48+00 TO 62+00

PROJECT ENGINEER: RASTA NADERI
 PROJECT ID: WWD2900082
 PCA: Y5292334
 SPEC: WWD 29-803
 SHEET 6 OF 8

90% PLANS

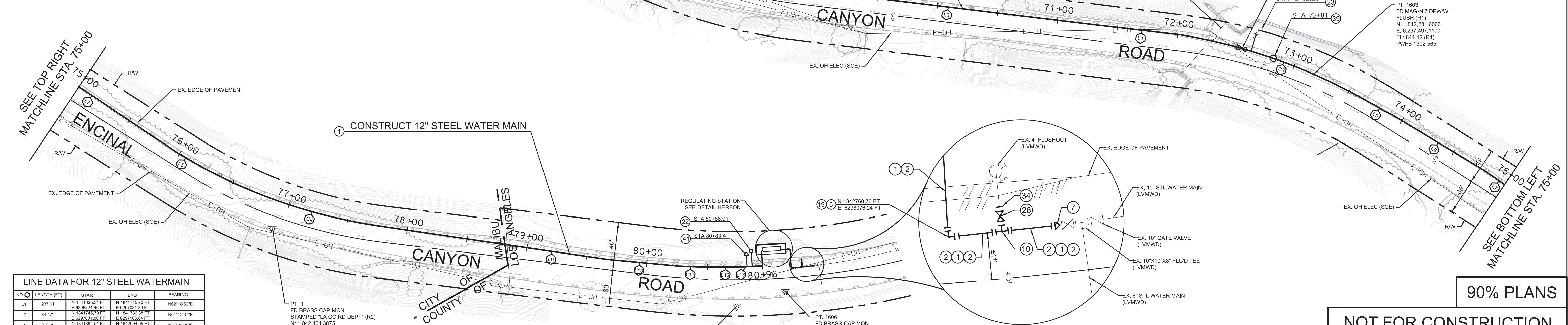
NOT FOR CONSTRUCTION



CONSTRUCTION NOTE:
1. TW= TOP OF WALL, FS = FINISHED SURFACE, EG = EXISTING GRADE, TF = TOP OF FOUNDATION

INTERCONNECTION NOTE 2:

AFTER COMPLETION OF THE WATER MAIN INSTALLATION, SATISFACTORILY COMPLETING BACTERIOLOGICAL AND PRESSURE TESTS IN ACCORDANCE WITH SECTION W OF THE SPECIAL PROVISIONS, AND AFTER APPROPRIATE VALVES HAVE BEEN CLOSED BY AGENCY AND LVMWD PERSONNEL, THE CONTRACTOR, UNDER AGENCY AND LVMWD SUPERVISION, SHALL INSTALL 12" X 10" REDUCER TO EXISTING 10" GATE VALVE AND COMPLETE THE INTERCONNECTION AS SHOWN ON THE PLANS, SEE GENERAL NOTE 16 ON SHEET 2. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED AGENCY CUSTOMERS AND THE FIRE DEPARTMENT NO LESS THAN 48 HOURS PRIOR TO LOSS OF SERVICE. SHUTDOWN TIME SHALL NOT EXCEED 3 HOURS.



LINE DATA FOR 12" STEEL WATERMAIN

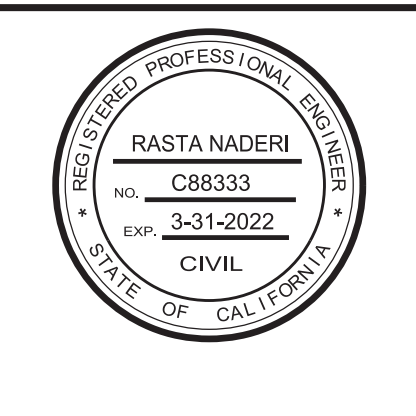
NO	LENGTH (FT)	START	END	BEARING
L1	237.61'	N 1841935.31 FT E 6298821.40 FT	N 1841745.70 FT E 6297031.80 FT	N62°18'32"E
L2	84.47'	N 1841745.70 FT E 6297031.80 FT	N 1841706.38 FT E 6297109.84 FT	N61°12'37"E
L3	262.09'	N 1841706.38 FT E 6297109.84 FT	N 1842096.95 FT E 6297215.90 FT	N36°35'25"E
L4	70.86'	N 1842096.95 FT E 6297215.90 FT	N 1842152.03 FT E 6297372.14 FT	N36°20'10"E
L5	35.24'	N 1842152.03 FT E 6297372.14 FT	N 1842274.85 FT E 6297564.30 FT	N58°20'43"E
L6	81.85'	N 1842274.85 FT E 6297564.30 FT	N 1842312.40 FT E 6297741.77 FT	N61°05'58"E
L7	118.22'	N 1842312.40 FT E 6297741.77 FT	N 1842350.12 FT E 6297934.01 FT	N63°31'00"E
L8	16.84'	N 1842350.12 FT E 6297934.01 FT	N 1842350.12 FT E 6297934.01 FT	N63°31'00"E
L9	187.11'	N 1842350.12 FT E 6297934.01 FT	N 1842652.06 FT E 6298298.58 FT	N38°01'14"E
L10	59.36'	N 1842652.06 FT E 6298298.58 FT	N 1842652.06 FT E 6298298.58 FT	N35°01'14"E
L11	17.97'	N 1842652.06 FT E 6298298.58 FT	N 1842652.06 FT E 6298298.58 FT	N32°01'14"E
L12	35.42'	N 1842652.06 FT E 6298298.58 FT	N 1842725.74 FT E 6298955.62 FT	N29°29'58"E
L13	14.80'	N 1842725.74 FT E 6298955.62 FT	N 1842741.01 FT E 6298962.74 FT	N28°29'58"E

CURVE DATA FOR 12" STEEL WATERMAIN

NO	Δ	R (FT)	L (FT)	T (FT)	START	END
C1	35°14'23"	659.13	405.40	209.34	N 1841335.95 FT E 6296554.19 FT	N 1841635.31 FT E 6296921.40 FT
C2	20°58'40"	414.79	148.25	74.92	N 1841706.38 FT E 6297109.84 FT	N 1841884.51 FT E 6297215.90 FT
C3	19°50'49"	459.49	159.97	80.80	N 1842152.03 FT E 6297372.14 FT	N 1842256.43 FT E 6297564.30 FT
C4	21°19'33"	444.36	165.39	83.66	N 1842312.40 FT E 6297741.77 FT	N 1842454.83 FT E 6297756.43 FT

REVISIONS

NO	DATE	INITIALS	DESCRIPTION



LOS ANGELES COUNTY PUBLIC WORKS
WATERWORKS DISTRICT NO. 29, MALIBU

**ENCINAL CANYON RD
EMERGENCY INTERCONNECTION**

PLAN STA. 62+00 TO 80+96

PROJECT ENGINEER: RASTA NADERI
DATE: 3-31-2022

PROJ ID: WWD2900082
PCA: Y5292334
SPEC: WWD 29-803
SHEET 7 OF 8

FILE NAME: WWD2900082 Encinal Canyon Emergency Interconnection.dgn
DATE LAST SAVED: 01/06/2021
CHECKER: R. HARTOONIAN
DESIGNER: R. NADERI
DRAFTER: S. MAULAWI

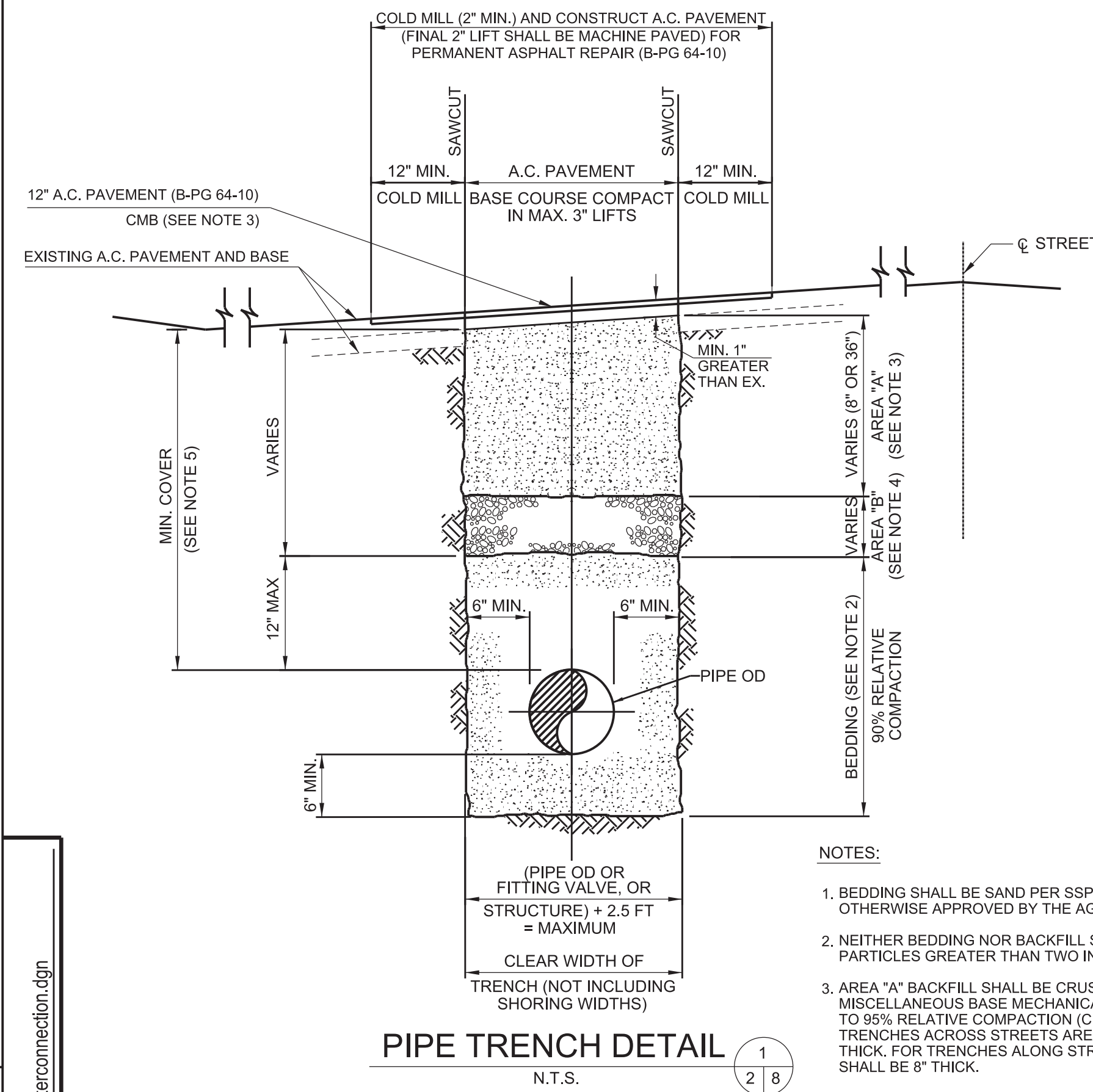
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DATE LAST SAVED:
01/06/2021

CHECKER
R. HARTOONIAN

DESIGNER
R. NADERI

DRAFTER
S. MAOULAWI

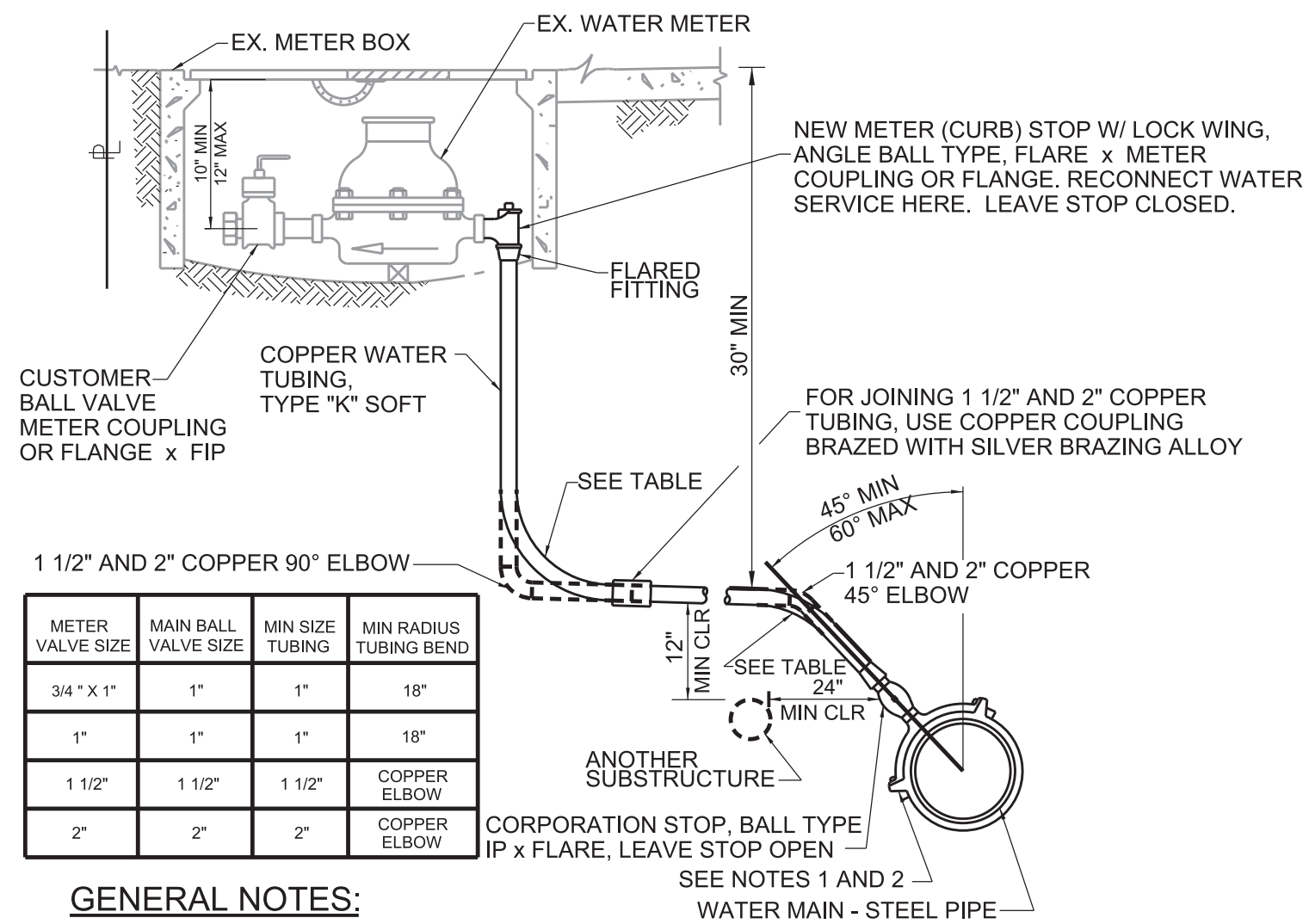


PIPE TRENCH DETAIL
N.T.S.

1
2 8

NOTES:

- BEDDING SHALL BE SAND PER SSPWC 217-1 UNLESS OTHERWISE APPROVED BY THE AGENCY.
- NEITHER BEDDING NOR BACKFILL SHALL CONTAIN PARTICLES GREATER THAN TWO INCHES.
- AREA "A" BACKFILL SHALL BE CRUSHED MISCELLANEOUS BASE MECHANICALLY COMPACTED TO 90% RELATIVE COMPACTION (CERTIFIED). FOR TRENCHES ACROSS STREETS AREA "A" SHALL BE 3" THICK. FOR TRENCHES ALONG STREETS AREA "A" SHALL BE 6" THICK.
- BACKFILL SHALL BE PER SSPWC 306-12, 90% RELATIVE COMPACTION.
- MINIMUM COVER PER GENERAL NOTE 20, SHEET 2.



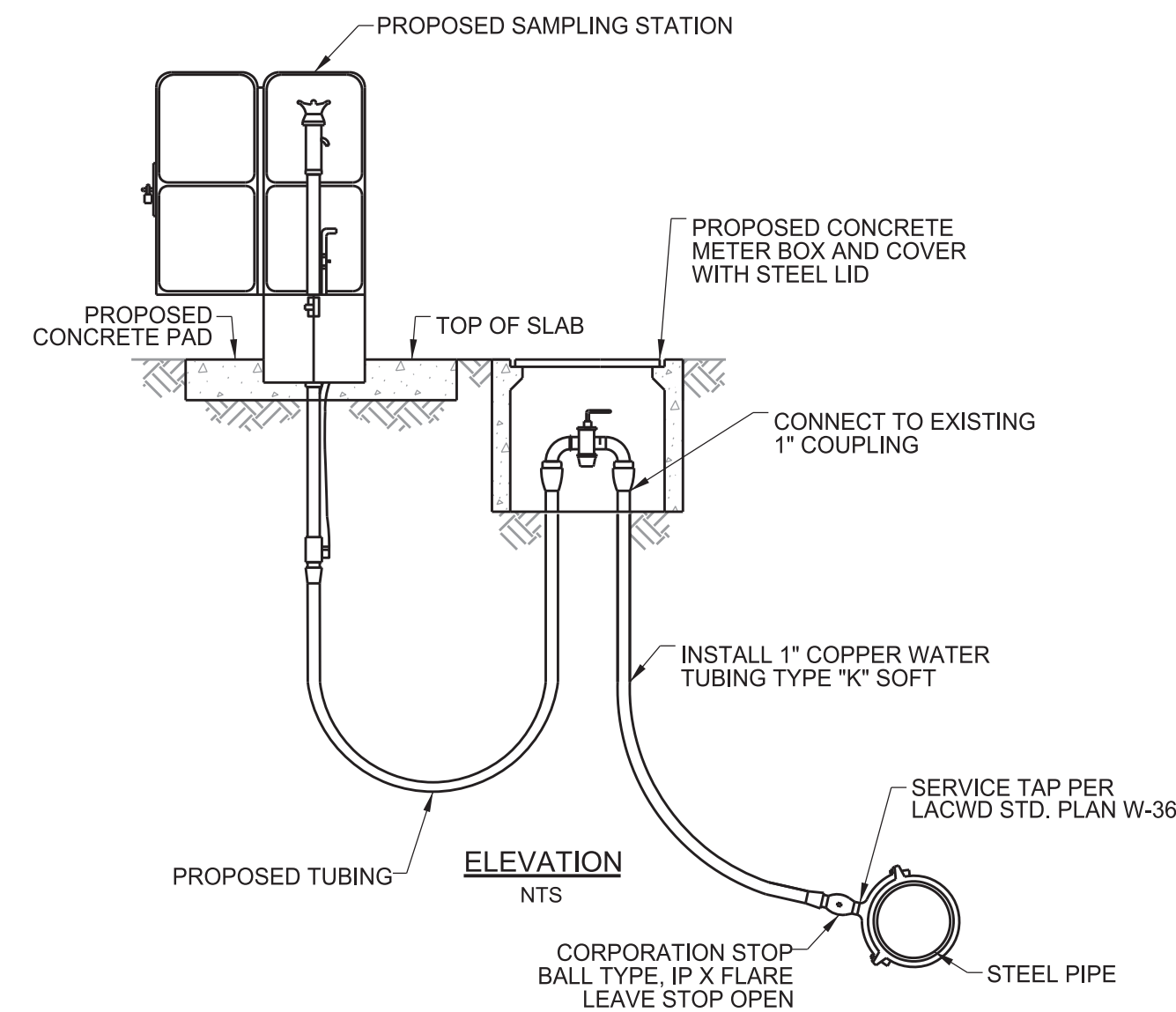
METER VALVE SIZE	MAIN BALL VALVE SIZE	MIN SIZE TUBING	MIN RADIUS TUBING BEND
3/4" x 1"	1"	1"	18"
1"	1"	1"	18"
1 1/2"	1 1/2"	1 1/2"	COPPER ELBOW
2"	2"	2"	COPPER ELBOW

GENERAL NOTES:

- MINIMUM DISTANCE BETWEEN SERVICE TAPS ON MAIN TO A BELL, COUPLING, JOINT, OR FITTING IS 36".
- USE A WELDED THREADED OUTLET ON STEEL PIPE (WALL THICKNESS 10 GA AND GREATER). ON ALL METALLIC MAINS, INSTALL AN INSULATING BUSHING BETWEEN CLAMP OR WELDED THREADED OUTLET AND STOP. CLAMP OR WELDED OUTLET SHALL HAVE OUTLET ONE SIZE LARGER THAN STOP TO ALLOW FOR BUSHING. (SEE STANDARD PLAN W-36.)
- TEST AT SYSTEM PRESSURE AND FLUSH SERVICE LINE BEFORE LOCKING.
- ONLY EXCAVATED SOIL OR BACKFILL MATERIAL APPROVED BY DISTRICT IS TO BE USED TO BACKFILL TRENCH. NO TRASH IS TO BE LEFT IN TRENCH.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED FROM THE MAIN IN THE STREET FROM WHICH THE SERVICE IS ADDRESSED, AT RIGHT ANGLES TO THE WATER MAIN, LOCATED AS SHOWN ON PLANS OR DIRECTED BY THE DISTRICT, AND NOT CLOSER THAN TEN (10) FEET TO ANY DRIVEWAY (TOP OF X), WALKWAY, CURB RETURN, OR OTHER UTILITY UNLESS OTHERWISE NOTED ON PLAN.

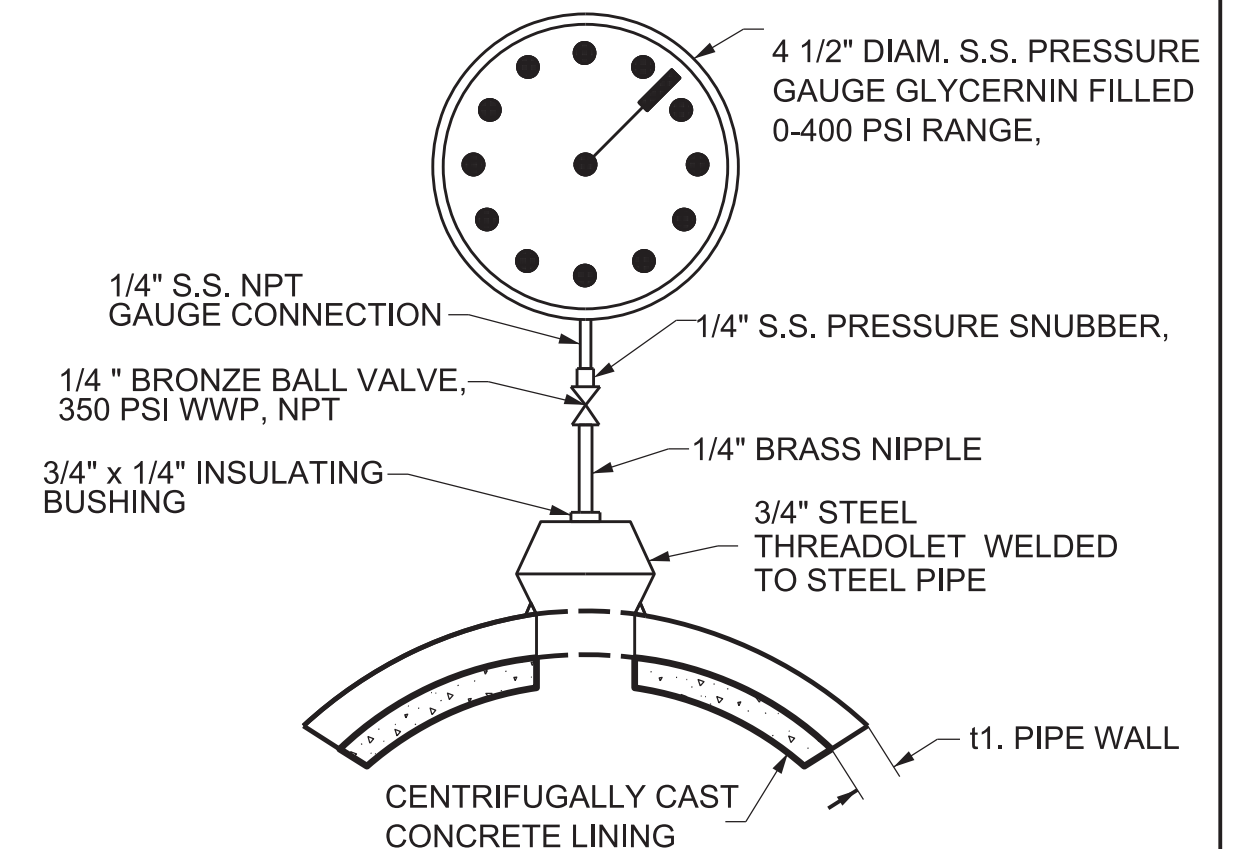
WATER SERVICE RECONNECTION
N.T.S.

2
3 8



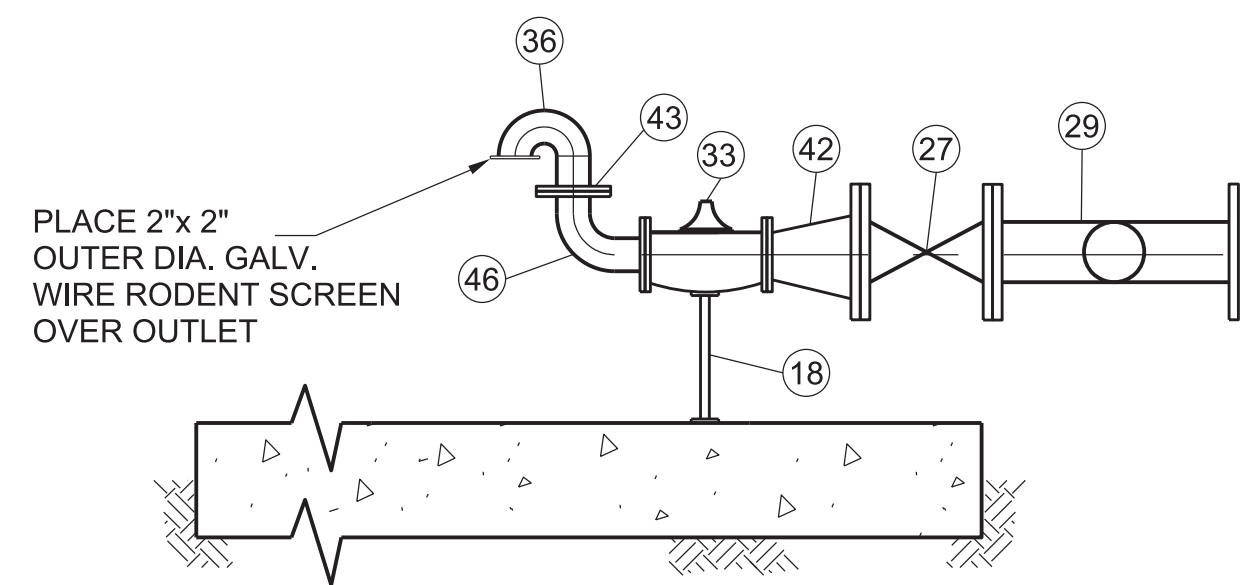
SAMPLING STATION DETAIL
N.T.S.

3
4 7 8



PRESSURE GAUGE ASSEMBLY DETAIL
N.T.S.

4
4.6 7 8



PROFILE SECTION B-B
N.T.S.

5
7 8

WATER SERVICE CONNECTION TABLE

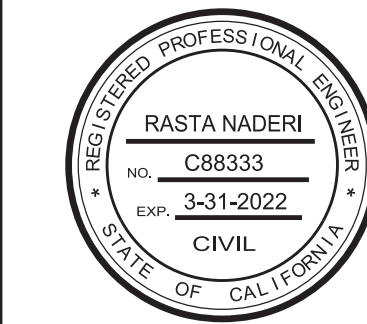
NO.	APN	EX. SERVICE LATERAL SIZE	PROPOSED SERVICE LATERAL SIZE
1	4473025016	1"	1"
2	4473025016	1"	1"

IN ADDITION TO PERMANENT RECONNECTION, TEMPORARY SERVICE TO BE PROVIDED FROM ABOVE-GROUND BYPASS DURING CONSTRUCTION

90% PLANS

NOT FOR CONSTRUCTION

DATE	INITIALS	DESCRIPTION



LOS ANGELES COUNTY PUBLIC WORKS
WATERWORKS DISTRICT NO. 29, MALIBU

**ENCINAL CANYON RD
EMERGENCY INTERCONNECTION**

DETAILS AND SECTIONS

PROJECT ENGINEER: RASTA NADERI
DATE: 01/06/2021

PROJ ID: WWD2900082 | PCA: Y5292334 | SPEC: WWD 29-803 | SHEET 8 OF 8

**PROJECT NUMBER**

PRJ2021-003817

HEARING DATE

March 20, 2024

REQUESTED ENTITLEMENT(S)

Major Coastal Development Permit (“Major CDP”) No. RPPL2022005199

PROJECT SUMMARY

APPLICANT

Los Angeles County Department of Public Works

MAP/EXHIBIT DATE

January 6, 2021

PROJECT OVERVIEW

The Encinal Canyon Road Emergency Interconnection Project proposes to install 7,200 feet (1.36 miles) of 12-inch water line and three pressure reducing stations within the public right-of-way for Encinal Canyon Road in the City of Malibu and in unincorporated Los Angeles County. This Major CDP would authorize the length of water line within unincorporated Los Angeles County, which totals approximately 260 feet, as well as one pressure reducing station. This would constitute the northernmost portion of the overall Project.

LOCATION

Public right-of-way adjacent to 3565 Encinal Canyon Road

ACCESS

Encinal Canyon Road

ASSESSORS PARCEL NUMBER(S)

Public right-of-way adjacent to Assessor’s Parcel Number 4472-028-033

SITE AREA

0.1 Acres

GENERAL PLAN / LOCAL PLAN

Santa Monica Mountains Land Use Plan

PLANNING AREA

Santa Monica Mountains

LAND USE DESIGNATION

None

ZONE

R-C-10 (Rural Coastal—10 Acre Minimum Required Lot Area)

PROPOSED UNITS

N/A

MAX DENSITY/UNITS

N/A

COMMUNITY STANDARDS DISTRICT

None

ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures

Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the Los Angeles County General Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.44.850 Burden of Proof

CASE PLANNER:

William Chen, Senior Planner

PHONE NUMBER:

(213) 893 - 1090

E-MAIL ADDRESS:

wchen@planning.lacounty.gov

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
DRAFT FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
PROJECT NO. PRJ2021-003817
MAJOR COASTAL DEVELOPMENT PERMIT NO. RPPL2022005199

RECITALS

1. **HEARING DATE(S).** The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly-noticed public hearing in the matter of Major Coastal Development Permit No. **RPPL2022005199** (“Major CDP”) on March 7, 2024.
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT(S) REQUESTED.** The permittee, the County Department of Public Works (“DPW” or “permittee”), requests the Major CDP to authorize the installation of a 12-inch-diameter steel water main pipeline and an above-ground pressure regulating station (“Project”) in the public right-of-way (“ROW”) of Encinal Canyon Road adjacent to Assessor’s Parcel Number 4472-028-033 in the unincorporated community of the Santa Monica Mountains Coastal Zone (“Project Site”) within the R-C-10 (Rural Coastal – 10 Acre Minimum Require Lot Area) Zone pursuant to County Code Section 22.44.810.
4. **ENTITLEMENT(S) REQUIRED.** A Major CDP is required for uses normal and appurtenant to the storage and distribution of water in the R-C Zone pursuant to County Code Section 22.44.1750.D.
5. **LAND USE DESIGNATION.** The Project Site is located within the public ROW and therefore does not have a land use designation within the Santa Monica Mountains Local Coastal Program Land Use Policy Map.
6. **ZONING.** The Project Site is located in the Santa Monica Mountains Planning Area and is zoned R-C-20.

7. SURROUNDING LAND USES AND ZONING

LOCATION	LAND USE POLICY	ZONING	EXISTING USES
NORTH	RL10—1 Dwelling Unit/10 Acres Maximum)	R-C-10	Vacant land
EAST	RL10	R-C-10	Vacant land
SOUTH	RL20—1 Dwelling Unit/20 Acres Maximum)	R-C-20 (Rural Coastal—20 Acre Minimum Required Lot Area)	Vacant land
WEST	RL10	R-C-10	Vacant land

8. PROJECT AND SITE PLAN DESCRIPTION.**A. Existing Site Conditions**

The Project Site is the Encinal Canyon Road public ROW beginning at the City of Malibu jurisdictional boundary and extending northbound 260 linear feet. The ROW measures 70 feet in width, is irregular in shape with flat topography, and is developed with a 30-foot-wide paved road with dirt shoulders on either side.

B. Site Access

The Project Site is within the public ROW of Encinal Canyon Road, a 70-foot-wide Secondary Highway.

C. Site Plan

The Encinal Canyon Road Emergency Interconnection Project would install 7,200 feet (1.36 miles) of 12-inch-diameter steel water pipeline and three pressure regulating stations within the public ROW of Encinal Canyon Road. Construction would occur in the City of Malibu and in the unincorporated County, approximately between 3565 and 4520 Encinal Canyon Road. The Project would interconnect the City of Malibu water main with the Las Virgenes Municipal Water District ("LVMWD"). The purpose of the Project is to establish a water source interconnection for the region in case of emergencies.

As a part of this larger undertaking, DPW requests a Major CDP to construct the portion within the unincorporated County. The small segment of pipeline between the City of Malibu and LVMWD measures 260 linear feet and will be constructed underground within the public ROW of Encinal Canyon Road. An above-ground pressure regulating station will be constructed on the road shoulder, which will include minor grading to construct a 202-square-foot (25 feet and nine inches by eight feet and two inches) concrete pad and a protective concrete masonry unit ("CMU") wall barrier, which would measure a maximum of three feet and four inches in height. The Project will involve the excavation of a four-foot-wide trench with 22 cubic yards of grading for the installation of the 12-inch steel pipeline within the existing public ROW. Per the requirements of the Santa Monica Mountains Local Implementation Program ("LIP"), installation of uses normal and appurtenant to the storage and distribution of water in the R-C Zone requires a Major CDP (County Code Section 22.44.1750 D).

The Project Site consists of a 70-foot-wide public ROW that is paved with gravel shoulders on either side. The Project Site is mapped as H1, H2 and H3 habitat within the Santa Monica Mountains Land Use Plan ("LUP"). The permittee's biological inventory report concludes that limited potential impacts to H1 and H2 habitat are possible, which are both located less than 100 feet away. Conditions will be imposed to further mitigate impacts to H1 and H2 habitats. No oak or native trees within the unincorporated County jurisdiction will be encroached upon.

9. PUBLIC COMMENTS.

No public comments were received.

10. AGENCY RECOMMENDATIONS.

- A. County Department of Public Works: Recommended clearance to public hearing with no conditions in the consultation status dated August 2, 2023.
- B. County Fire Department: Recommended clearance to public hearing with no conditions in the consultation status dated August 23, 2023.
- C. County Fire Forester: Recommended clearance to public hearing with no conditions in the consultation status dated February 23, 2023.
- D. County Department of Public Health: Recommended clearance to public hearing with no conditions in the consultation status dated August 31, 2023.
- E. County Department of Parks and Recreation: Recommended clearance to public hearing with no conditions in the consultation status dated August 3, 2023.
- F. County Environmental Review Board: Recommended clearance to public hearing with conditions at a meeting held on June 26, 2023.

11. CEQA DETERMINATION.

Prior to the Commission’s public hearing on the Project, LA County Planning staff (“Staff”) determined that the Project qualifies for a Categorical Exemption (Class 3–New Construction or Conversion of Small Structures and Class 4–Minor Alterations to Land Exemption) under the California Environmental Quality Act (“CEQA”) and the County environmental guidelines because the Project involves the installation of a 12-inch-diameter steel water main with associated grading.

Pursuant to Section 15303(d) of the State CEQA Guidelines, the Class 3 Categorical Exemption includes the construction of water main, sewage, electrical, gas, and other utility extensions, including street improvements of reasonable length to serve such construction. The Project qualifies for a Class 3 Exemption because the Project is a proposal to construct a water line within the public ROW.

Pursuant to Section 15304(f) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes minor trenching and backfilling where the surface is restored. The Project qualifies for a Class 4 Categorical Exemption because the Project includes trenching and backfilling to install a water line within the public ROW.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions cited herein. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also include project activities that will have a significant effect on the environment due to unusual circumstances. However,

the proposed Project is not subject to an exception to the CEQA exemptions because the biological inventory and environmental assessment of the area of project disturbance indicates that the presence of sensitive biological resources that would be impacted by implementation and operation of the Project will be mitigated.

The permittee completed a biological inventory that was reviewed by the Staff Biologist. The Staff Biologist conducted a site visit and confirmed the contents of the biological inventory. The biological inventory states that the portion of the Project Site proposed for development does not contain any state-designated environmental resources of hazardous or critical concern; does not contain any plants or animals listed as federal, state, or locally sensitive; and is not considered a particularly sensitive environment. The area subject to development would not extend into H1 Habitat, which are described in the LIP as habitats with the highest biological significance. The Project, which is minimally visible from any scenic highway, trail, or parklands, is not expected to significantly impact scenic resources. It is also not likely to have a cumulative or significant effect on the environment, as it consists of utility work in an area of existing development, and no hazardous waste sites or historic resources would be affected.

At the Environmental Review Board (“ERB”) meeting held on June 26, 2023, the biological inventory was determined to be consistent with the applicable biological resource protection policies and development standards of the Santa Monica Mountains Local Coastal Program after modifications to the Project recommended by the Staff Biologist and ERB. These modifications include the recommendation to install temporary fencing pre-construction and during construction to limit potential impacts in H1 habitat and to impose in-lieu fees based on impacts to H1 and H2 habitat areas, which at a maximum would be 0.08 acres and 0.03 acres, respectively. Therefore, the Project is categorically exempt from CEQA.

GENERAL PLAN CONSISTENCY FINDINGS

12. **LAND USE POLICY.** The Commission finds that the Project does not have a land use policy designation because the Project Site is within the public ROW.
13. **GOALS AND POLICIES.** The Commission finds that the Project is consistent with the following goals and policies of the LUP:

CONSERVATION AND OPEN SPACE ELEMENT

Scenic Resources Goals and Policies

Policy CO-132:

Avoidance of impacts to scenic resources through site selection and design alternatives is the preferred method over landscape or building material screening. Landscape or building material screening shall not substitute for project alternatives including re-siting or reducing the height or bulk of structures.

Policy CO-133:

New development shall be sited and designed to minimize alteration of natural landforms minimizing the height and length of retaining walls.

PUBLIC FACILITIES ELEMENT*Water and Sewer Goal and Policies**Goal PF-1:*

Adequate water supplies and water and sewage disposal systems to support existing and future planned land uses.

Policy PF-2:

Coordinate the land development review process with water purveyors to assure that adequate long-term water supplies and adequate water and sewer infrastructure are available to serve existing and planned development, without negatively impacting supplies and services for existing development.

The Project ensures that water resources are available to support existing land uses in the event of a natural disaster or other emergency by allowing the County Waterworks District No. 29, which is administered by DPW, to request emergency water supplied from LVMWD. The installation of the pressure regulating station above-ground in association with the Project is necessary to avoid greater disturbance to the existing habitat, as installing it below ground would have required more grading and construction beyond the current proposal.

ZONING CODE CONSISTENCY FINDINGS

14. **PERMITTED USE IN ZONE.** The Commission finds that the Project is consistent with the R-C-10 zoning classification because uses normal and appurtenant to the storage and distribution of water are permitted in such zone with a Major CDP pursuant to County Code Section 22.44.1750.D.
15. **HEIGHT.** The Commission finds that the Project is consistent with the standards identified in County Code Sections 22.44.1310.O and 22.44.2040.C.8.b. The Project proposes a CMU wall barrier, which serves as protection and screening for the above-ground pressure regulating station, is designed to minimize impacts to public views of scenic areas, and will be compatible with the character of the area. The wall height, which measures three feet and four inches above grade, does not exceed the 18-foot height limit for structures within a Scenic Resource Area (“SRA”). Furthermore, the Project is conditioned to ensure that the CMU wall will be painted and landscaped to match the surrounding environment.
16. **COLORS/MATERIALS.** The Commission finds that the Project would utilize construction materials that are appropriate for the surrounding area by using CMU blocks of a sandstone or tan color, which is compatible with the surrounding landscape

pursuant to County Code Sections 22.44.1310.O, 22.44.2040.C.8.b, 22.44.2140.E.3, and 22.44.2140.E.4.

17. **GRADING REQUIREMENTS.** The Commission finds that the Project is consistent with the applicable grading requirements identified in County Code Section 22.44.1260. The Project is proposing 10 cubic yards of cut and less than one cubic yard of fill. The Project is consistent with the applicable grading requirements because grading would occur mostly within a level, previously graded area, and the Project is appropriately conditioned to prohibit grading during the rainy season, defined as October 15 of any year through April 15 of the subsequent year.
18. **BIOLOGICAL RESOURCES.** The Commission finds that the Project is consistent with the biological resources requirements of County Code Section 22.44.1800. et. seq. Evaluation of the Project was conducted by the Staff Biologist and by the ERB. At a public meeting held on June 26, 2023, the ERB concluded that the Project, with modifications, is consistent with the applicable biological resource protection policies and development standards of the Santa Monica Mountains Local Coastal Program. The Project is appropriately conditioned to include the installation of temporary fencing around the vegetation areas during construction to limit impacts to H1 and H2 habitat areas.
19. **SCENIC RESOURCE AREA.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.44.2040, which refers to the standards for an SRA. The Project Site is located within the public ROW of Encinal Canyon Road, a designated scenic route within the Santa Monica Mountains Local Coastal Program. As a result, per Section 22.44.2000 of the County Code, the Project Site is located within a SRA. Developments that are located within an SRA must meet a variety of development standards, including a height limit of 18 feet above grade, utilizing materials and colors that are compatible with the surrounding landscape, breaking up structural mass, and minimizing grading and retaining walls. The design of the water line would meet all of these standards, as indicated by the submitted elevations and grading plans.
20. **HABITAT CATEGORIES.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.44.1920. The Project Site is designated as H1, H2 and H3 Habitat by the LUP. While all development would occur within H3 Habitat, the entirety of the building site area for the above-ground pressure regulating station would be located within the H1 Habitat Buffer Zone, which overlaps the H3 Habitat.

Since the Project is located within the H1 Habitat Buffer Zone, approximately 0.11 acres of direct development impact within the H1 Habitat Buffer Zone would result. These impacts cannot be mitigated through a habitat impact in-lieu fee (County Code Section 22.44.1950) because the County does not currently have a current valid Resource Conservation Program ("RCP"). Therefore, a condition of Project approval requires the impact to be mitigated through an in-lieu fee upon the adoption of a valid RCP or, alternatively, by proposing a mitigation plan to be approved by the Director of LA County Planning at a later date, but before grading and construction can occur.

While the Project would occur entirely within designated H3 Habitat areas, the entirety of the Project Site is mapped as H1, H2, and H3. Furthermore, the Project is also located within the H1 Habitat Buffer Zone, as this area encompasses 100 feet from H1 habitat. Per the requirements of the LIP, Public Works project to repair or protect existing public roads may be permitted within the H1 Habitat Buffer Zone. However, the Project scope does not fall within this description and is therefore considered a development that is not permitted within the H1 Habitat Buffer. Pursuant to County Code Section 22.44.1890, new non-resource dependent development is not permitted in H1 Habitat Buffer, but may be permitted when all the following apply:

- a. The Project Site is on a lawfully created parcel;
- b. The development is the minimum necessary to provide the landowner a reasonable economic use of the property, and in no case shall it exceed the maximum standards provided in County Code Sections 22.44.1910 and 22.44.1920;
- c. There is no other feasible alternative building site location that can avoid the H1 Habitat Buffer or H1 Quiet Zone;
- d. The maximum feasible buffer width is provided between the development and the H1 Habitat area;
- e. The development is sited and designed to prevent impacts that would significantly degrade H1 Habitat; and
- f. All feasible mitigation measures have been provided to minimize adverse environmental effects.

The entirety of the proposed development would be located within the H1 Habitat Buffer Zone. However, the proposed location is the most appropriate site for development. The entire Project Site is within the H1 Habitat Buffer Zone, so no alternative development location is possible. The Project avoids oak and other native tree encroachments, proposes no development in H1 or H2 Habitat, and has been found consistent with biological resources by the ERB. In addition, the Project, which has a small footprint and profile, is located entirely within the public ROW. Therefore, the Project is the minimum amount of development necessary to make use of the property.

21. **INCLUSIONARY UNITS.** The Commission finds that the Project is exempt from the Inclusionary Zoning Ordinance because the Project does not include a residential use.
22. **GRANT TERM.** The Commission finds that a grant term is not necessary to ensure compatibility between the Project and the surrounding land uses.

COASTAL DEVELOPMENT FINDINGS

23. **The Commission finds that the proposed development is in conformity with the certified local coastal program.** The Project is the installation of a 12-inch-diameter steel water main pipeline and an above-ground pressure regulating station, which is a permitted use within the R-C Zone. The Project conforms to all development standards prescribed by the LIP. The Project is located within an existing disturbed public ROW.

While the Project is located within the H1 Habitat Buffer Zone, the Project Site is the most appropriate location for development, and the ERB determined that any impacts to H1 and H2 habitat can be mitigated through best management practices.

- 24. The Commission finds that any development, located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code.** The Project is not located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone. The Project is not subject to public access requirements or public recreation policies.

ENVIRONMENTAL FINDINGS

- 25.** The Commission finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines sections 15303 and 15304 (Class 3: New Construction or Conversion of Small Structures, and Class 4: Minor Alterations to Land, categorical exemptions). The Project involves the installation of a 12-inch-diameter steel water main with associated grading. Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and 4 Categorical Exemptions cited herein. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also include project activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because the entirety of the development footprint has been determined to be within H3 Habitat as designated by the Santa Monica Mountains LUP. While the Project occurs within protected buffer area of an Environmentally Sensitive habitat Areas, the Project conforms to the prescriptive development standards of the LIP. The Project would not adversely affect any scenic resources. It is also not likely to have a cumulative or significant effect on the environment, as it consists of the extension of a water line within an existing paved public ROW, and no hazardous waste sites or historic resources would be affected. Therefore, the Commission determines that the Project is categorically exempt from CEQA.

ADMINISTRATIVE FINDINGS

- 26. LEGAL NOTIFICATION.** Pursuant to County Code Section 22.44.990, the community was properly notified of the public hearing by mail, and newspaper (*Malibu Times*), and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On January 31, 2024, a total of 41 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as 22

notices to those on the courtesy mailing list for The Malibu Zoned District and to any additional interested parties.

27. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Commission’s decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Coastal Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE REGIONAL PLANNING COMMISSION CONCLUDES THAT:

- A. That the proposed development is in conformity with the certified local coastal program.
- B. That any development located between the nearest public road and the sea or shoreline of any body of water located within the Coastal Zone, is also in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code.

THEREFORE, THE REGIONAL PLANNING COMMISSION:

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 and 15304 15304 (Class 3: New Construction or Conversion of Small Structures, and Class 4: Minor Alterations to Land categorical exemption); and
- 2. Approves **MAJOR COASTAL DEVELOPMENT PERMIT NO. RPPL2022005199**, subject to the attached conditions.

ACTION DATE: March 20, 2024

VOTE: [Concurring:Dissenting:Abstaining:Absent, e.g. 5:0:0:0 or 4:0:1:0]

Concurring: [(Duarte-White, Louie, O’Connor, Moon, Hastings) or “0” if none.]

Dissenting: [Duarte-White, Louie, O’Connor, Moon, Hastings or “0”]

Abstaining: [Duarte-White, Louie, O’Connor, Moon, Hastings or “0”]

Absent: [Duarte-White, Louie, O’Connor, Moon, Hastings or “0”]

MG:RG:TM:WC

03/07/24

c: Each Commissioner, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL
PROJECT NO. PRJ2021-003817
MAJOR COASTAL DEVELOPMENT PERMIT NO. RPPL2022005199

PROJECT DESCRIPTION

The project is the installation of a 12-inch-diameter water main pipeline and an above-ground pressure regulating station (“Project”) in the public right-of-way of Encinal Canyon Road subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 8 shall be effective immediately upon the date of final approval of this grant by the County.
3. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning’s cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. **This grant shall have no grant term.**
8. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
13. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
14. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information

about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

PROJECT SITE-SPECIFIC CONDITIONS

15. Per County Code Section 22.44.1260 F, grading shall be prohibited during the rainy season, defined as October 15 of any year through April 15 of the subsequent year.
16. Temporary fencing around the tree canopy area shall be installed pre-construction and during the construction phase to limit impact to H1 and H2 habitat areas.
17. The exterior colors of all structures shall be earth-toned, such as sandstone or tan, and shall not include bright or white tones pursuant to County Code Sections 22.44.1310.O, 22.44.2040.C.8.b, 22.44.2140.E.3, and 22.44.2140.E.4.
18. As recommended by the biological inventory, Project construction activities shall be restricted to daylight hours to prevent impediment to nocturnal wildlife activity adjacent to environmentally sensitive habitat areas.
19. As recommended by the biological inventory, Project construction lighting shall be sited to reduce impacts to wildlife adjacent to environmentally sensitive habitat areas.
20. For Project construction activities which occur within the bird nesting season (generally defined as January 1 through September 1), a qualified biologist shall conduct a nesting bird study within 30 days of the anticipated start date, and no less than three (3) days prior to ground disturbance, to identify and active nests within 500 feet of the development footprint. If an active nest is found, the nest shall be avoided, and a suitable buffer zone shall be delineated in the field where no impacts shall occur until the chicks have fledged the nest as determined by a qualified biologist. Construction buffers shall initially be 300 feet for passerines or up to 500 feet for raptors; however, avoidance buffers may be reduced at the discretion of the qualified biologist, depending on the location of the nest and species tolerance to human presence and construction-related noises and vibrations.
21. A qualified biologist shall conduct a preconstruction clearance survey throughout the development footprint, including a 200-foot buffer, for the coastal whiptail, coast horned lizard, Crotch bumble bee, Santa Monica Mountains grasshopper, and southern California legless lizard. If any of the previously listed species are observed within or near the Project work areas during preconstruction clearance surveys, a qualified biologist should relocate the individuals to suitable habitat outside of the Project Site to ensure that construction-related impacts are avoided. Relocation areas and survey methods should be reviewed by LA County Planning prior to implementation.

22. If feasible, Project-related activities should occur outside the general bat maternity roosting season of March through August to avoid impact to bat species. Prior to commencement of construction activities, within or outside of the maternity roosting season, a qualified biologist shall conduct a pre-construction clearance survey within suitable roosting habitat throughout the development footprint, including a 200-foot buffer, to determine if bats are roosting onsite. If bats are determined to be using vegetation or rock outcrops within this area, the qualified biologist will determine whether it is a day roost (non-breeding) or maternity roost (lactating females and dependent young).

If a day roost is determined to be present, the qualified biologist shall ensure that direct mortality to roosting individuals will not occur. In general, disturbances to day roosts as a result of noise or other indirect impact is not generally considered significant as it would not cause direct mortality of individuals and would not be expected to reduce populations to below self-sustaining levels. If removal of the vegetation supporting the day roost must be removed, the qualified biologist will ensure that all roosting individuals disperse from the location prior to removal of the vegetation, to prevent direct mortality.

23. If a maternity roost is observed, the qualified biologist will determine whether construction activities are likely to disturb breeding activities. If it is determined that the vegetation supporting the roost must be removed or activities are expected to disturb the breeding activities, a Bat Exclusion Plan shall be prepared. At a minimum, the Bat Exclusion Plan shall include avoidance and minimization measures to reduce potential impacts to breeding bats during construction activities and prescribed methods to safely and humanely evict bats from the roost in order to minimize any potential impacts.
24. Poison baits containing second generation anticoagulant rodenticides (i.e., brodifacoum, bromadiolone, difenacoum, or difethialone) for the control of rodents shall be prohibited at all times, during and/or following the completion of construction activities.
25. Prior to the commencement of construction activities, construction personnel shall check under stationary equipment to ensure that no wildlife species are present.
26. All trash shall be collected daily and taken offsite for proper disposal.
27. Prior to Project implementation, a Workers Environmental Awareness Program (WEAP) shall be prepared and presented to construction crews regarding all sensitive resources with the potential to occur onsite during construction activities. The WEAP training should concentrate on the proper identification of sensitive resources while in the field, suggested strategies for avoiding impact to sensitive resources, and proper reporting methods for field crews in the event that sensitive resources are observed during construction activities.

28. The Project shall provide mitigation for 0.11 acres of direct development in the H1 Habitat Buffer Zone through the Resource Conservation Program (“RCP”), if such program is valid and in effect at the time of implementation of this condition, or shall otherwise provide mitigation through restoration pursuant to County Code Section 22.44.1950. If the RCP is valid and in effect at the time of implementation of this condition, the RCP may be utilized as mitigation instead of restoration. Pursuant to County Code Section 22.44.1950 A.3.f.i, the Habitat Impact Fee shall be calculated at the current updated in-lieu fee amount in effect at the time of, and shall be paid prior to completion of the Project. Should the RCP not be valid and in effect at the time of implementation of this condition, the Director shall require restoration as mitigation instead of reliance on the RCP pursuant to County Code Section 22.44.1950.A, and the Project shall provide mitigation pursuant to County Code Section 22.44.1950.C. If mitigation as restoration is required, the permittee shall submit a restoration and/or enhancement plan consistent with the LIP for review and acceptance by the Director. The habitat restoration or enhancement shall be completed prior to or concurrently with construction of the Project and in any case, the vegetation and irrigation installation for the restoration and/or enhancement shall be completed prior to issuance of certificate of occupancy (or equivalent) for any portion of the Project.

Bio Resources Findings

A. That the requested development is sited and designed to avoid H1 Habitat and areas within 100 feet of H1 Habitat except as permitted by Sections 22.44.1800 through 22.44.1950; and

The entire proposed project site is under both the Malibu Local Coastal Program (LCP) and Santa Monica Mountains Local Coastal Program (SMM LCP). The project site and Biological Study Area (BSA), the 100-foot buffer analyzed around every improvement site for biological resources, both contain areas that are designated as Environmentally Sensitive Habitat Area (ESHA) under the Malibu LCP. The northernmost portion of the site and its BSA also contain areas that are designated as Significant Environmental Resource Areas under the SMM LCP, including H1 Habitat and the H1 Habitat Buffer. The Zuma Beach and Northwest Intersection of Encinal Canyon Road and PCH staging areas and their BSAs are located within the Malibu LCP and are not designated as sensitive areas. The project site is limited to the existing public right of way on Encinal Canyon Road. While the site is within 100 feet of H1 Habitat, the project site is on paved road except for the pressure regulating station that will be on unpaved road, but within public right-of-way. The pressure regulating station will be situated on a concrete pad measuring 8 feet 2 inches by 24 feet by 9 inches. A protective CMU wall barrier for the pressure regulating equipment will protect the pressure regulating station. The maximum height of the wall will not exceed 2 feet 3 inches in height above grade. The project is sited and design to avoid H1 Habitat and will have minimal impacts to the 100 feet buffer zone of H1 Habitat.

B. That the requested development is sited and designed to avoid the 100-foot Quiet Zone except as set forth herein; and

The proposed project is adjacent to H1 Habitats but is within the existing public right of way. Construction of the project is limited to the existing public right of way. Per SMMLCP-NET Public application, the project site is not located in a 100-foot Quiet Zone. The project is sited and designed to avoid the 100-foot Quiet Zone.

C. That the requested development is sited and designed to avoid H2 "High Scrutiny" and H2 Habitat to the maximum extent feasible. Where avoidance is not feasible and it is necessary to allow the owner a reasonable economic use of the property, the requested development is sited and designed to minimize and mitigate significant adverse impacts in conformance with the policies and provisions of the LCP; and

The proposed project is located along Encinal Canyon Road. The waterline will be buried under ground within public right of way. The pressure regulating station will be located within public right of way on unpaved road. Construction of the project is limited to the existing public right of way. Per SMMLCP-NET Public application, the project site is not located in an H2 "High Scrutiny" and H2 Habitat. The project is sited and designed to avoid the H2 "High Scrutiny" and H2 Habitat.

D. That the requested development is sited and designed to avoid wildlife movement corridors (migratory paths) to the maximum extent feasible to ensure these areas are left in an undisturbed and natural state. Where avoidance is not feasible and it is necessary to allow the owner a reasonable economic use of the property, the requested development is sited and designed to minimize significant adverse impacts in conformance with the policies and provisions of the LCP; and

The Biological Survey Area (BSA), the 100-foot buffer analyzed around every improvement site for biological resources, for the project site does not provide wildlife movement opportunities. The site runs along a mountain road with steep slopes both above and below it, and generally a narrow shoulder on either side. Encinal Canyon provides good opportunities for movement, but the canyon is wide and deep with a very limited connection between any work that would occur on Encinal Canyon Road and any wildlife movement within the canyon. The only location where the site is near likely movement corridors is where the road crosses roughly parallel over and divides the canyon between upstream and downstream reaches, approximately 900 feet south of the site's northern terminus.

E. That roads and utilities serving the proposed development are located and designed so as to avoid H1 Habitat, H1 buffer, and to avoid or minimize significant adverse impacts to H2 "High Scrutiny," and H2 Habitat, and migratory path

The Las Virgenes Municipal Water District's interconnection that will connect to the proposed project's transmission waterline is already buried beneath Encinal Canyon Road. LVMWD's waterline ends approximately 260 ft away from the City of Malibu and Los Angeles County boundary line. The LVMWD's utility is located within the H1 buffer zone, but within the existing public right of way. The utilities and roads serving the proposed development will continue to be in the public right-of-way. The utility is designed to avoid H1 Habitat and minimize impacts to the H1 buffer, H2 Habitats, and migratory paths.

Coastal Development Permit Findings

A) That the proposed development is in conformity with the certified local coastal program.

The project proposed by the Los Angeles County Waterworks District No. 29 (District) aims to provide a vital water source for the Encinal Canyon region in case of emergencies. The proposed project is the installation of a 7,200-foot-long, 12-inch transmission water line along Encinal Canyon Road within the public right-of-way in the City of Malibu and Los Angeles County unincorporated community of Topanga. 260 feet of the transmission water line is within the Los Angeles County's jurisdiction. The transmission waterline will connect to the Las Virgenes Municipal Water District (LVMWD) interconnection to improve system reliability. During a natural disaster or other emergency, the District will request emergency water supplies from LVMWD, and LVMWD will provide emergency water supplies to the District after meeting all the demands of its customers. The project will also include minor grading to construct a concrete pad and a protective "CMU wall barrier" for the pressure regulating equipment within the Los Angeles County's jurisdiction. The remaining portion of the proposed project within the City of Malibu will require a Coastal Development Permit with the City's certified local coastal program.

The project would be located near Charmlee Wilderness Park vista points, designated by Malibu, but would not be visible from this scenic resource due to intervening topography. There would be no impact to these vista points. No land uses along this road have views of the roadway due to topography; the scattered residences are set well back from the roadway. Only travelers on Encinal Canyon Road would be affected by the construction. Because this would be a very short period of time for the viewers passing by the construction site, less-than-significant impacts on scenic vistas would occur during construction of the improvement.

Encinal Canyon Road is designated a scenic route by Los Angeles County. The construction of the proposed project would result in temporary visual impacts to the roadway itself, but would not affect any trees, rock outcroppings, or historical buildings because all work would be in the existing right-of-way. Construction along Encinal Canyon Road for this improvement would involve short periods of construction (a few days) in any one location. Therefore, impacts to locally designated scenic routes/roads would be less than significant. The Northwest Intersection of Encinal Canyon Road and PCH construction staging area also would be adjacent to Encinal Canyon Road, but the view from this roadway would be limited due to topography. It would also have less-than significant impacts.

Construction would require ground disturbance in the form of shallow excavations, which would result in environmental impacts, but they would be mitigated to less-than-significant levels with incorporation of mitigation measures for Biological Resources, Cultural Resources, Geology, Soils, and Paleontological Resources, Hazards and Hazardous Materials, Noise, and Transportation. Direct construction impacts are only limited to

roadways and right of way areas. All construction staging and placement of equipment and vehicles will be located on Zuma County Beach (6463 Surfside Way) and/or Northwest intersection of Encinal Canyon Road & PCH (Parcel 4473-005-004) and/or Los Angeles County Waterworks' Topanga Field Yard, 3800 Topanga Canyon Blvd, Malibu, CA. During construction, sedimentation and erosion of soil stockpiles are expected to be controlled through Best Management Practices (BMPs), including A water truck will be kept onsite and used as needed for dust containment. To the extent possible, the spread of fugitive dust will be avoided., the impacts of dust deposition would be less than significant.

During construction traffic control will be implemented to reduce impacts to less than significant. Mitigation Measures include:

- i. To reduce construction-related impacts related to roadway operations, all travel lanes will be opened during non-construction periods, with lanes maintained in a safe condition.
- ii. To reduce construction-related impacts related to roadway operations on two-lane roadways due to closure of one of the lanes necessary to remove and replace existing pipelines, traffic controls will be used during construction.
- iii. To reduce impacts on pedestrians from closure of outside lanes, safe pedestrian detours will be provided if sidewalks are blocked or unsafe during construction or if roadway rights-of-way without sidewalks are used for walking, jogging, or running

Once construction is complete, there would be no impact to state designated or eligible highway for the proposed improvement located in or near these roadways because the in-street underground pipeline improvements would be buried and not visible, and no trees, rock outcroppings, or historical buildings would be affected.

The project would have less than significant impacts to the existing visual character or quality of public views of the site and its surroundings. The project would be located in an undeveloped portion of Encinal Canyon, where there are a limited number of public views and only from the roadway itself (the site is not viewable from Charmlee Wilderness Park due to intervening topography). This improvement would involve approximately 11 months of construction, which would include excavation in the Encinal Canyon Road right-of-way, stockpiling materials, installing pipelines, and repaving the roadway. The entire pipeline improvement site would not be disturbed at one time. Impacts to visual character and quality from public views would be less than significant during construction because of the temporary nature of the impacts and the limited amount of area constructed at any particular time.

As conditioned the project is consistent with the guidance policies of the Santa Monica Mountains LCP where applicable.

B) That any development located between the nearest public road and the sea or shoreline of any body of water located within the Coastal Zone, is also in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code

The proposed project is to construct 260-foot-long portion (within the County's jurisdiction) of a new 7,200-foot-long, 12-inch transmission water line along Encinal Canyon Road in the City of Malibu and in the Unincorporated Los Angeles County. The transmission waterline will provide a vital water source for the region in case of emergencies. The waterline will be constructed within the existing public right-of-way. Regarding public access, the proposed project would have less than significant impacts to the public's right of access to the sea. To ensure that safe public access along Encinal Canyon Road is available during construction, the project will implement traffic control plans to minimize impacts to public access within the project site during approved construction activities. To reduce construction-related impacts related to roadway operations, all travel lanes will be opened during non-construction periods, with lanes maintained in a safe condition. To reduce construction-related impacts related to roadway operations on two-lane roadways due to closure of one of the lanes necessary to remove and replace existing pipelines, traffic controls will be used during construction. These will include, at a minimum:

- i. Establishment of one-way traffic zones with adequate queuing areas for waiting traffic.
- ii. Use of appropriate advance warning signs such as ROAD WORK AHEAD, LANE CLOSED AHEAD, ONE-WAY TRAFFIC AHEAD, FLAGGERS AHEAD, PREPARE TO STOP, or similar warnings at sufficient distance to slow traffic before queuing location.
- iii. Flaggers positioned at either end of the one-way traffic zones at points of maximum visibility to stop traffic at a sufficient distance to prevent entrance into the work zone and to yield to opposing traffic.
- iv. Channeling devices, such as cones or other traffic barriers.
- v. High-visibility safety apparel for flaggers in either fluorescent orange-red or fluorescent yellow-green, with reflective material, visible at a minimum distance of 1,000 feet.
- vi. Hand-signaling devices, such as STOP/SLOW paddles, lights, and red flags.
- vii. Illumination of flagger stations for nighttime work.
- viii. Communication devices for flaggers at either end of the one-way traffic zones.

To reduce impacts on pedestrians from closure of outside lanes, safe pedestrian detours will be provided if sidewalks are blocked or unsafe during construction or if roadway rights-of-way without sidewalks are used for walking, jogging, or running.

Once construction is complete, there would be no impact to state designated or eligible highway located in or near these roadways because the pipeline improvements would be buried. The proposed project is consistent with the Chapter 3 policies of the Coastal Act

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: November 27, 2023
PROJECT NUMBER: PRJ2021-003817
PERMIT NUMBER(S): Major Coastal Development Permit No. RPPL2022005199
SUPERVISORIAL DISTRICT: 3
PROJECT LOCATION: Encinal Canyon Road Public Right-of-Way Adjacent to
APN: 4472-028-033
OWNER: County of Los Angeles
APPLICANT: Katrine Usi
CASE PLANNER: William Chen, Senior Planner
wchen@planning.lacounty.gov

Los Angeles County (“County”) completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The project qualifies as a Class 3–New Construction or Conversion of Small Structures and Class 4–Minor Alterations to Land Exemption under State CEQA Guidelines Sections 15303 and 15304 because the Project involves the installation of a 12-inch-diameter water main with associated grading within an existing public road right-of-way.

Pursuant to Section 15303(d) of the State CEQA Guidelines, the Class 3 Categorical Exemption includes the construction of water main, sewage, electrical, gas, and other utility extensions, including street improvements of reasonable length to serve such construction. The Project qualifies for a Class 3 Exemption because the Project is a proposal to construct a water line within the public ROW.

Pursuant to Section 15304(f) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes minor trenching and backfilling where the surface is restored. The Project qualifies for a Class 4 Categorical Exemption because the Project includes trenching and backfilling to install a water line within the public ROW.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions cited herein. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies.

Exceptions to the exemptions also include project activities that will have a significant effect on the environment due to unusual circumstances. However, the proposed Project is not subject to an exception to the CEQA exemptions because the biological inventory and environmental assessment of the area of project disturbance indicates that the presence of sensitive biological resources that would be impacted by implementation and operation of the Project will be mitigated.

The permittee completed a biological inventory that was reviewed by the Staff Biologist. The Staff Biologist conducted a site visit and confirmed the contents of the biological inventory. The biological inventory states that the portion of the Project Site proposed for development does not contain any state-designated environmental resources of hazardous or critical concern; does not contain any plants or animals listed as federal, state, or locally sensitive; and is not considered a particularly sensitive environment. The area subject to development would not extend into H1 Habitat, which are described in the LIP as habitats with the highest biological significance. The Project, which is minimally visible from any scenic highway, trail, or parklands, is not expected to significantly impact scenic resources. It is also not likely to have a cumulative or significant effect on the environment, as it consists of utility work in an area of existing development, and no hazardous waste sites or historic resources would be affected.

At the Environmental Review Board (“ERB”) meeting held on June 26, 2023, the biological inventory was determined to be consistent with the applicable biological resource protection policies and development standards of the Santa Monica Mountains Local Coastal Program after modifications to the Project recommended by the Staff Biologist and ERB. These modifications include the recommendation to install temporary fencing pre-construction and during construction to limit potential impacts in H1 habitat and to impose in-lieu fees based on impacts to H1 and H2 habitat areas, which at a maximum would be 0.08 acres and 0.03 acres, respectively. Therefore, the Project is categorically exempt from CEQA.

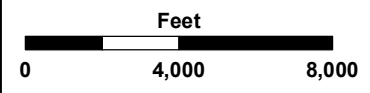


3-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142



LA COUNTY
PLANNING

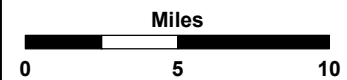
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



AERIAL IMAGERY

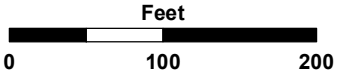
SITE-SPECIFIC MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2022

Encinal Canyon Rd



LA COUNTY
PLANNING

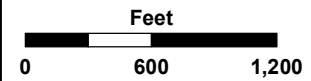
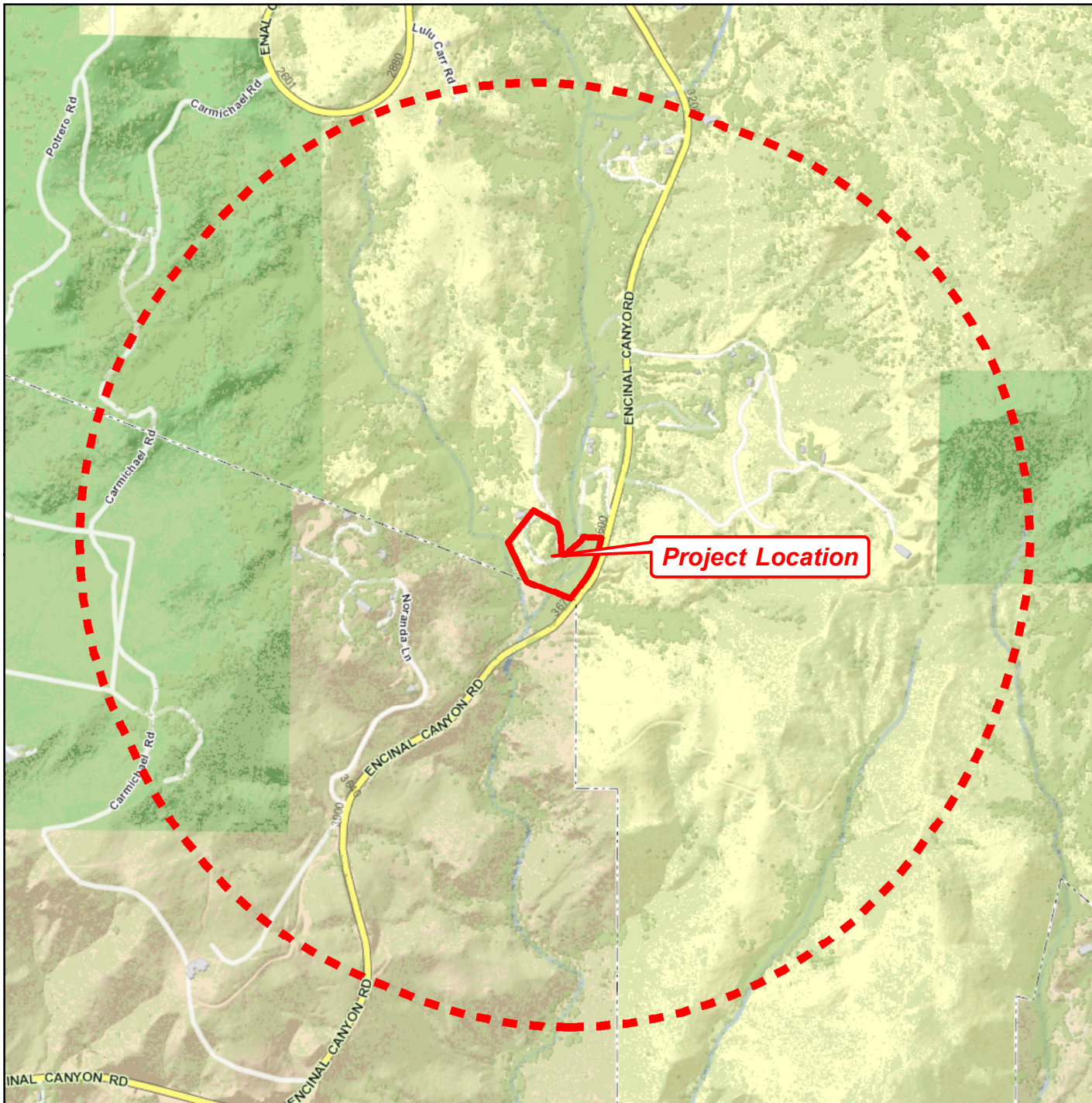
LOS ANGELES COUNTY
Dept. of Regional Planning
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Los Angeles, CA 90012

HALF-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142



LA COUNTY
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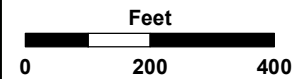
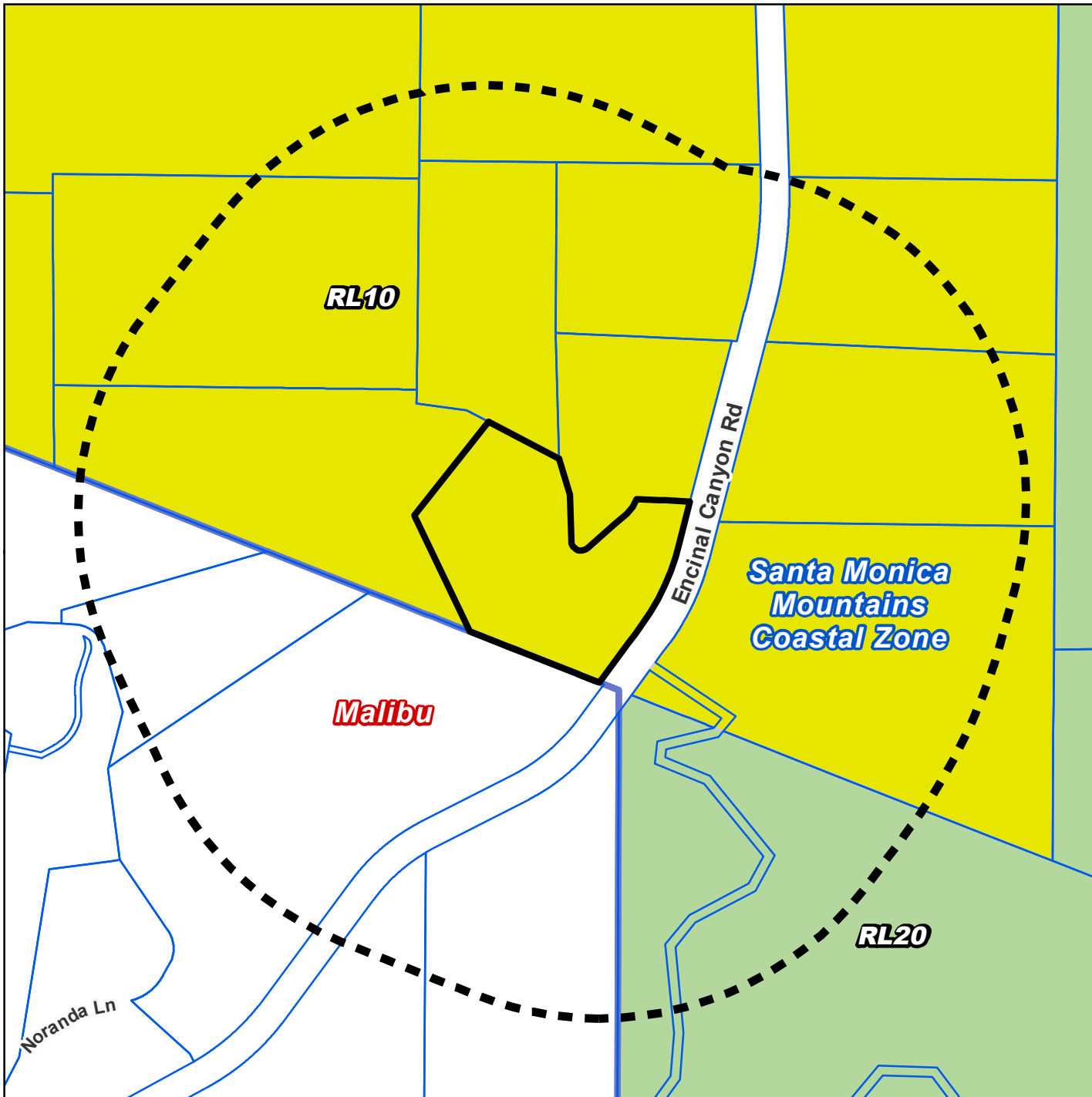
LAND USE POLICY

700-FOOT RADIUS MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142

-  RL20 - Rural Lands (1 du / 20 ac)
-  RL10 - Rural Lands (1 du / 10 ac)



LA COUNTY
PLANNING

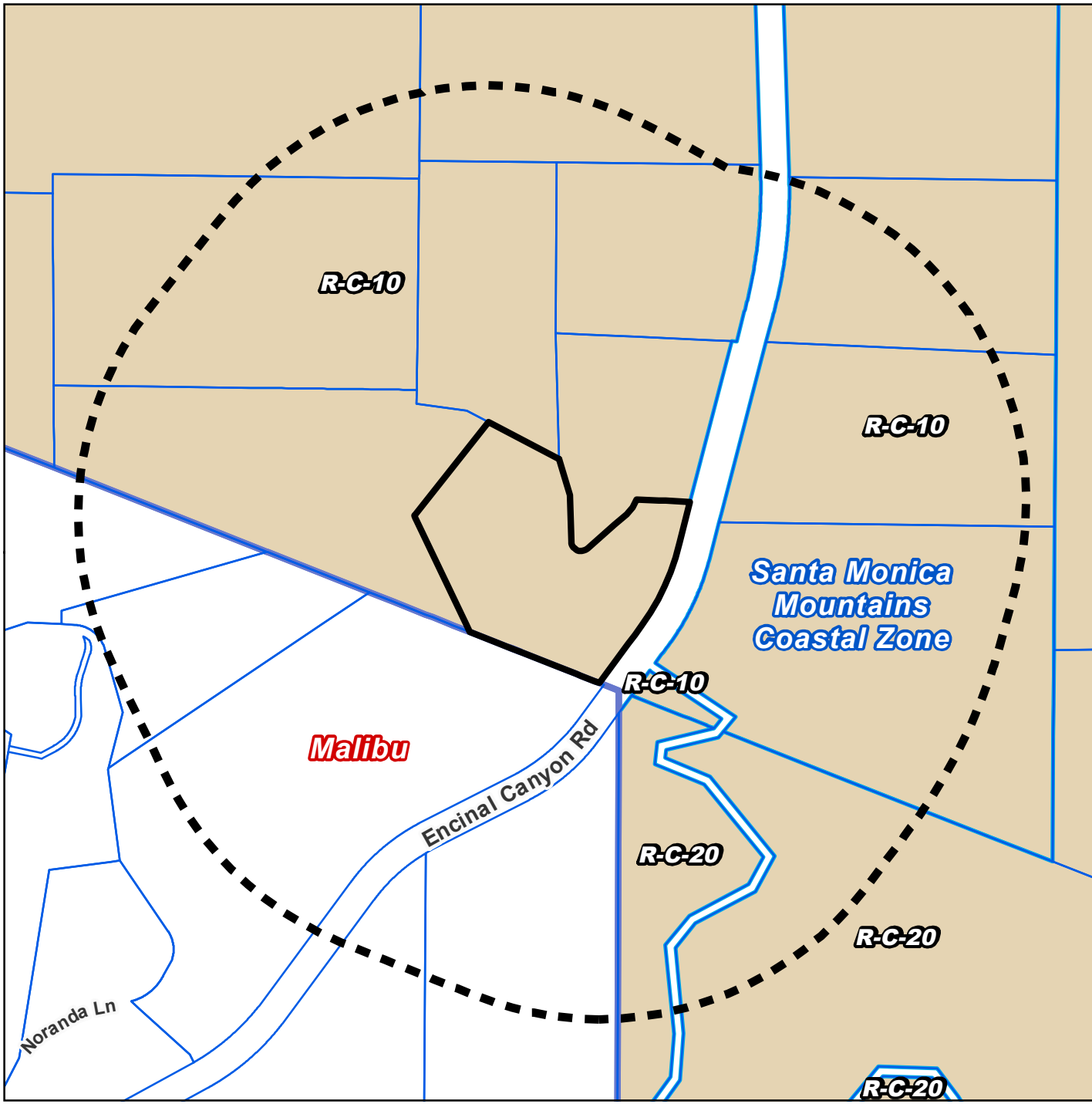
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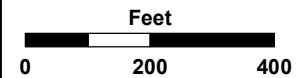
700-FOOT RADIUS MAP

PROJECT NO. PRJ2021-003817

CDP RPPL2022001142



 R-C - Rural Coastal



LA COUNTY
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