

SITE PREPARATION

1. THE METHOD OF CLEARING AND STRIPPING SHOULD BE VERIFY BY THE CONTRACTOR.
2. ALL SURFACE VEGETATION, DEBRIS AND STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE PRIOR TO COMMENCING SITE PREPARATION, EXCAVATION OR PLACEMENT FILL.
3. FILL FOR FLOOR SLABS AND FOUNDATION TRENCHES SHALL CONSIST OF NATIVE SOIL.
4. NATIVE SOIL PLACED FOR SLAB SUPPORT SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" WHEN COMPACTED.
5. IMPORT FOR SLAB SUPPORT SOFT SHALL CONSIST OF SAND, GRAVELY SAND OR SILTY SAND AND SHALL HAVE A EXPANSION INDEX OF LESS THAN 30.

SITE NOTES

1. ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, TITLE 24 AND ALL APPLICABLE CODES, REGULATIONS OR REQUIREMENTS OF THE CITY OR COUNTY HAVING JURISDICTION FOR THE PLACE OF THE BUILDING.
2. PERMITS SHALL BE OBTAINED FOR FENCES, POOLS, SPA OR RETAINING WALLS.
3. FINAL GRADING WORK SHALL COMPLY WITH 2019 CBC AND SHALL PROVIDE POSITIVE DRAINAGE FROM ALL PARTS OF THE BUILDING AND SHALL NOT DRAIN ONTO ADJACENT PROPERTIES.
4. ALL SURFACES SHALL BE SLOPED TO DRAIN WATER AWAY FROM THE BUILDING.
5. AT TIME OF PERMIT ISSUANCE, THE CONTRACTOR SHALL SHOW THEIR VALID "WORKERS COMPENSATION" INSURANCE CERTIFICATE.
6. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE INFORMATION INDICATED ON THESE PLANS.
7. BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

SPECIAL HAZARDS

1. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON FENCE, CABLE OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF FIRE.
2. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE LAMC 57.12.02.
3. THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO ARRANGEMENT, LOCATION, SIZE OF AREAS, HEIGHT SEPARATIONS AND HOUSEKEEPING.

MISCELLANEOUS

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE BEFORE STARTING ANY WORK AND BE RESPONSIBLE FOR THE SAME, THE ARCHITECT SHALL BE NOTIFY OF ANY DISCREPANCIES WHICH MAY EXIST. CONTRACTOR SHALL NOT SCALE ANY DRAWINGS.
2. THE SPECIFICATIONS ARE OF A GENERAL NATURE AND MAY REFER TO WORK WHICH IS NOT REQUIRED. THEY ARE NOT INTENDED TO SUPERSEDE ANY CONTRACTUAL AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
3. THE CONTRACTOR SHALL PROVIDE SUPERVISION TO PROPERLY EXECUTE THE PROJECT AND TO PROVIDE ASSURANCE THE WORK IS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL NECESSARY PERMITS SHALL BE SECURED BY THE CONTRACTOR PRIOR TO START ANY CONSTRUCTION.

BUILDING CODE NOTES

- A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158) (INCLUDES COMMERCIAL ADDITIONS AND T1 WORK OVER \$10,000) SEPARATE PLUMBING PERMIT IS REQUIRED.
- C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
- D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLES SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- F. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- G. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1209.2.3 & 1209.2.4)
- H. UNIT SKYLIGHTS SHALL BE LABELED BY AN LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- I. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, UPC)
- M. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- N. A WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR STRUCTURES THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTIONS R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- N.B. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

FINISH MATERIAL POLLUTANT CONTROL

- A. ADHESIVE, SEALANTS AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.1 AND COMPLY WITH THE VOC LIMITS IN TABLES 4.504.1 AND 4.504.2 AS APPLICABLE.
- B. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2 AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.3.
- C. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3
- D. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
- I. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR
 - II. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHODS FOR THE TESTING OF VOC EMISSIONS (SPEC 01350) OR
 - III. NSF/ANSI 140 AT THE GOLD LEVEL OR
 - IV. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
- E. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 50 G/L (4.504.3.1, 4.504.3.2)
- F. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- I. PRODUCTS CERTIFIED AS A LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR
 - II. PRODUCTS CERTIFIED UNDER UL GREEN GUARD GOLD (FORMERLY THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM) OR
 - III. CERTIFICATION UNDER THE RFCI FLOORSORE PROGRAM OR
 - IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS (SPEC 01350)
- G. COMPOSITE WOOD PRODUCTS (HARDWOOD PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF INSPECTION.

MATERIAL CONSERVATION & RESOURCE EFFICIENCY

ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

ENVIRONMENTAL QUALITY

A. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM.

B. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.

C. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING:

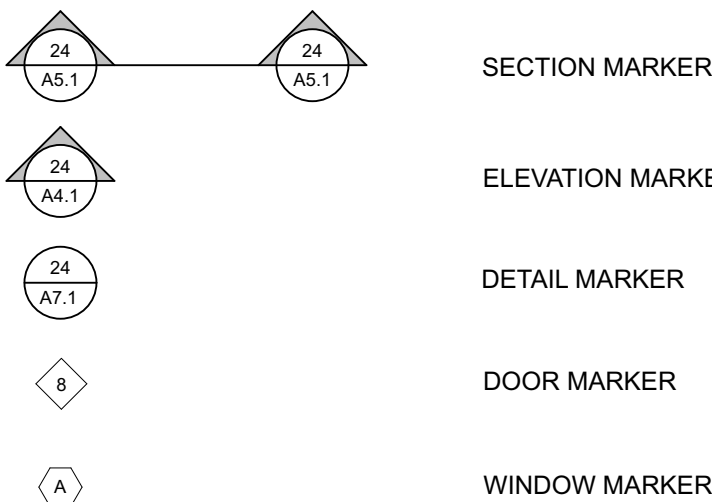
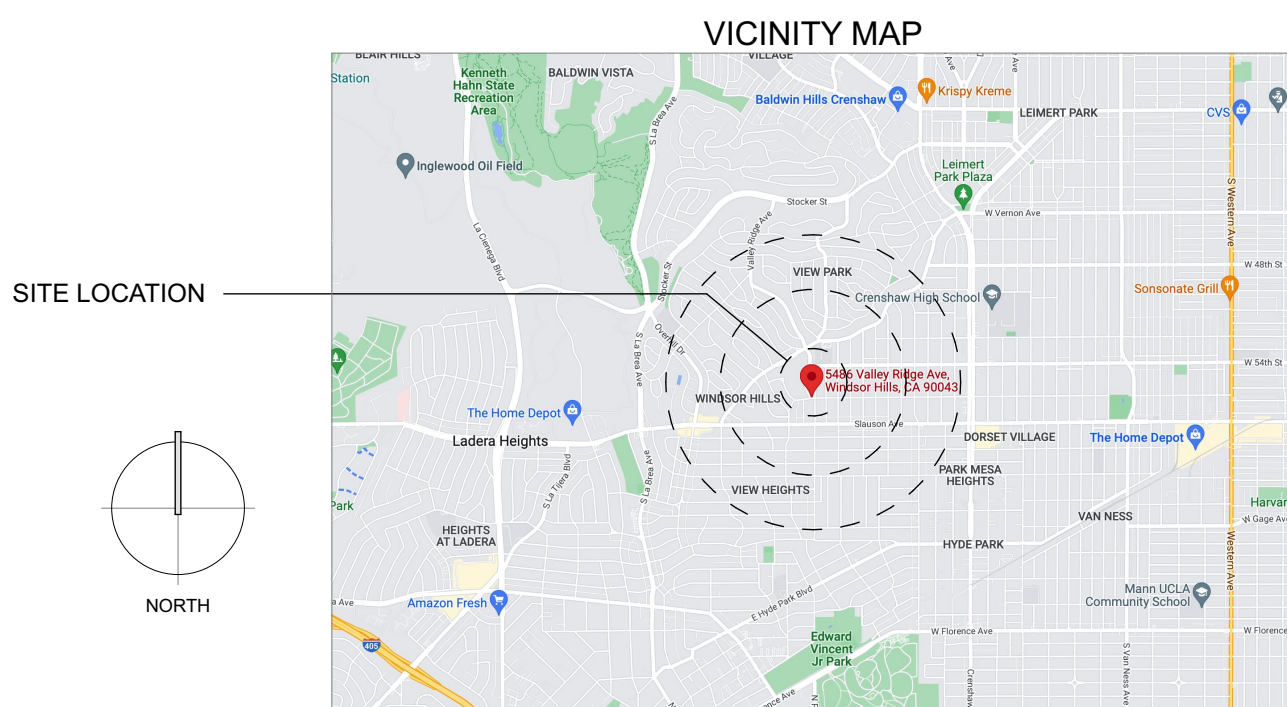
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

INTERIOR

1. PROVIDE 72 INCH HIGH NONABSORBENT WALL ADJACENT TO SHOWER, AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER.
2. ONLY LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED. "PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION."
3. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS REQUIRES 1-HOUR FIRE RESISTIVE CONSTRUCTION ON ENCLOSED SIDE.
4. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" X 6'-8" (WIDTH AND HEIGHT). PROJECTIONS INCLUDING PANIC HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH.
5. PROVIDE 32" WIDE DOORS TO ALL ACCESSIBLE ROOMS WITHIN A DWELLING UNIT.
6. GLASS SKYLIGHTS SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHTS WITH 91.1006.12
7. PROVIDE WINDOW WELLS (WITH FIXED LADDER) FOR EGRESS WINDOWS BELOW GRADE.
8. WATER HEATER IS REQUIRED TO BE ANCHORED. "WATER HEATER MUST BE STRAPPED TO WALL."
9. PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES.
10. COURT MORE THAN TWO STORIES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQ.FT.

BATH

1. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQ. WITHIN 72" ABOVE DRAIN.
2. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT MATERIALS.
3. GLASS ENCLOSURE DOORS MUST BE LABELED CATEGORY II SWING DOOR OUTWARD.
4. NET AREA OF SHOWER RECEPTOR NOT LESS THAN 1024" OR 30" DIA CIR 510, 511, 5406, 5407, UBC STD. T-54 & D.C. 909.
5. BATHS WITHOUT OPENABLE WINDOWS SHALL BE PROVIDED WITH VENT FAN CAPABLE OF MINIMUM 5 AIR CHANGES PER HR.
6. TOILET COMPARTMENT MINIMUM 30" WIDE WITH 24" CIR. IN FRONT OF TOILET.
7. PROVIDE MINIMUM 12" X 12" ACCESS AT TUB TRAP EXCEPT WHERE CONCERNED FIXED CONNECTIONS ARE OF BRASS & WITHOUT SLIP JOINTS.
8. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE A/P CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SIMILAR ROOMS IF REQUIRED OPENABLE WINDOWS ARE NOT PROVIDED.



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GREGORY RACHAL

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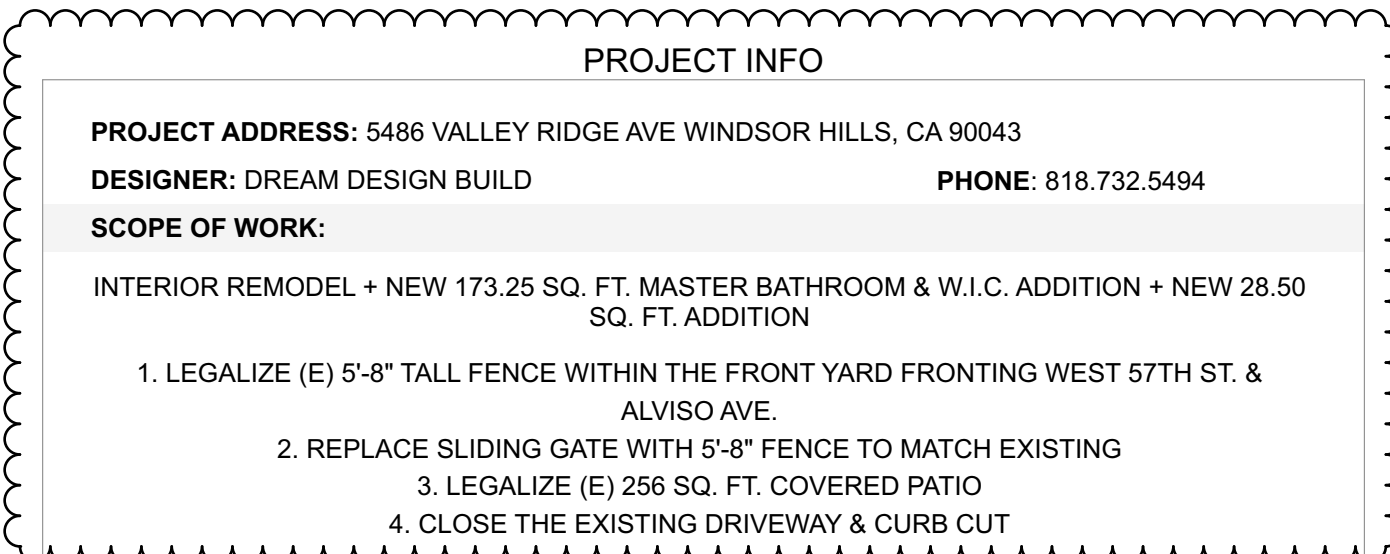
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ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING AMENDMENTS:

- * 2023 CALIFORNIA RESIDENTIAL CODE
- * 2023 CALIFORNIA BUILDING CODE
- * 2023 CALIFORNIA PLUMBING CODE
- * 2023 CALIFORNIA MECHANICAL CODE
- * 2023 CALIFORNIA ELECTRICAL CODE
- * 2023 CALIFORNIA ENERGY CODE. (TITLE 24)
- * 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE

SHEET INDEX

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A5.0	PROPOSED ROOF PLANS
A6.0	PROPOSED SECTION CUTS



PROJECT INFO	
PROJECT ADDRESS: 5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043	
DESIGNER: DREAM DESIGN BUILD	PHONE: 818.732.5494
SCOPE OF WORK:	
INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION	
1. LEGALIZE (E) 5'-8" TALL FENCE WITHIN THE FRONT YARD FRONTING WEST 57TH ST. & ALVISO AVE.	
2. REPLACE SLIDING GATE WITH 5'-8" FENCE TO MATCH EXISTING	
3. LEGALIZE (E) 256 SQ. FT. COVERED PATIO	
4. CLOSE THE EXISTING DRIVEWAY & CURB CUT	
PROPERTY AREA:	6,625 SQ. FT.
EXISTING	
SINGLE FAMILY DWELLING:	1,841.00 SQ. FT.
GARAGE & STORAGE (TO BE CONVERTED UNDER SEP. PERMIT):	577.00 SQ. FT.
PROPOSED	
COVERED PATIO (TO BE LEGALIZED):	256.00 SQ. FT.
SFD ADDITION - MASTER BATHROOM & W.I.C.:	173.25 SQ. FT.
SFD ADDITION - MASTER BEDROOM:	28.50 SQ. FT.
RESULTING PROJECT	
SINGLE FAMILY DWELLING:	2,042.75 SQ. FT.
COVERED PATIO:	256.00 SQ. FT.
ADU (PERMIT: UNC-BLDR221216011867):	577.00 SQ. FT.
TOTAL FLOOR AREA (W/ ADU):	2,619.75 SQ. FT.
TOTAL FLOOR AREA (W/O ADU):	2,042.75 SQ. FT.
LOT COVERAGE	
(MAIN DWELLING + ADU) / PROPERTY AREA	29%
FLOOR AREA RATIO	
(TOTAL FLOOR AREA W/ ADU) / PROPERTY AREA	51%
REAR YARD OPEN SPACE RATIO	
REAR YARD OPEN SPACE:	2,339.00 SQ. FT.
OPEN SPACE / PROPERTY AREA	35%
FRONT YARD LANDSCAPING RATIO	
PROPOSED FRONT YARD AREA:	1,835.00 SQ. FT.
PROPOSED FRONT YARD LANDSCAPING: (P) FRONT YARD LANDSCAPING / (P) FRONT YARD AREA	67%
LEGAL DESCRIPTION:	
LOT NO: 36	# OF STORIES: 1
APN: 5008-005-036	MAX. BUILDING HEIGHT: 13'-9"
ZONING: RS-6500	PARKING REQ.:
YEAR BUILT: 1940	TRACT #: 11381 LOT 1
OCCUPANCY: R1 / U	
CONSTRUCTION TYPE: V-B // NON-FIRE SPRINKLERED	



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OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE
WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

REVISION:

PROJECT INFO

A0.0

KEYNOTES	
1	(E) SOLID 5'-8" TALL METAL FENCE W/ WOOD PANELS
2	(E) 12' LONG 5'-8" TALL SLIDING METAL GATE W/ WOOD PANELS TO BE REPLACED W/ SOLID FENCE & 4' WIDE HINGED DOOR THAT MATCHES EXISTING
3	(E) DRIVEWAY APPROACH TO BE REMOVED



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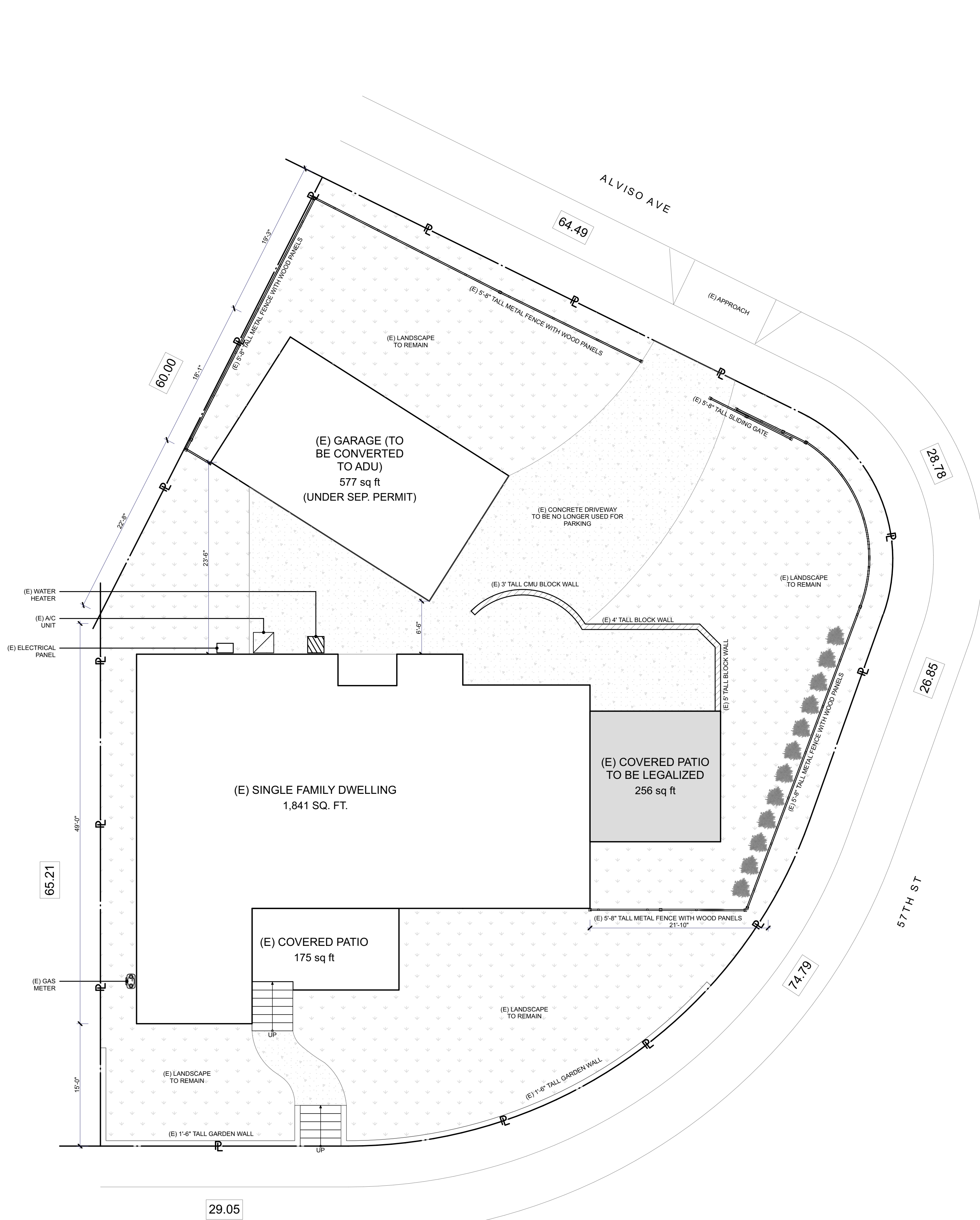
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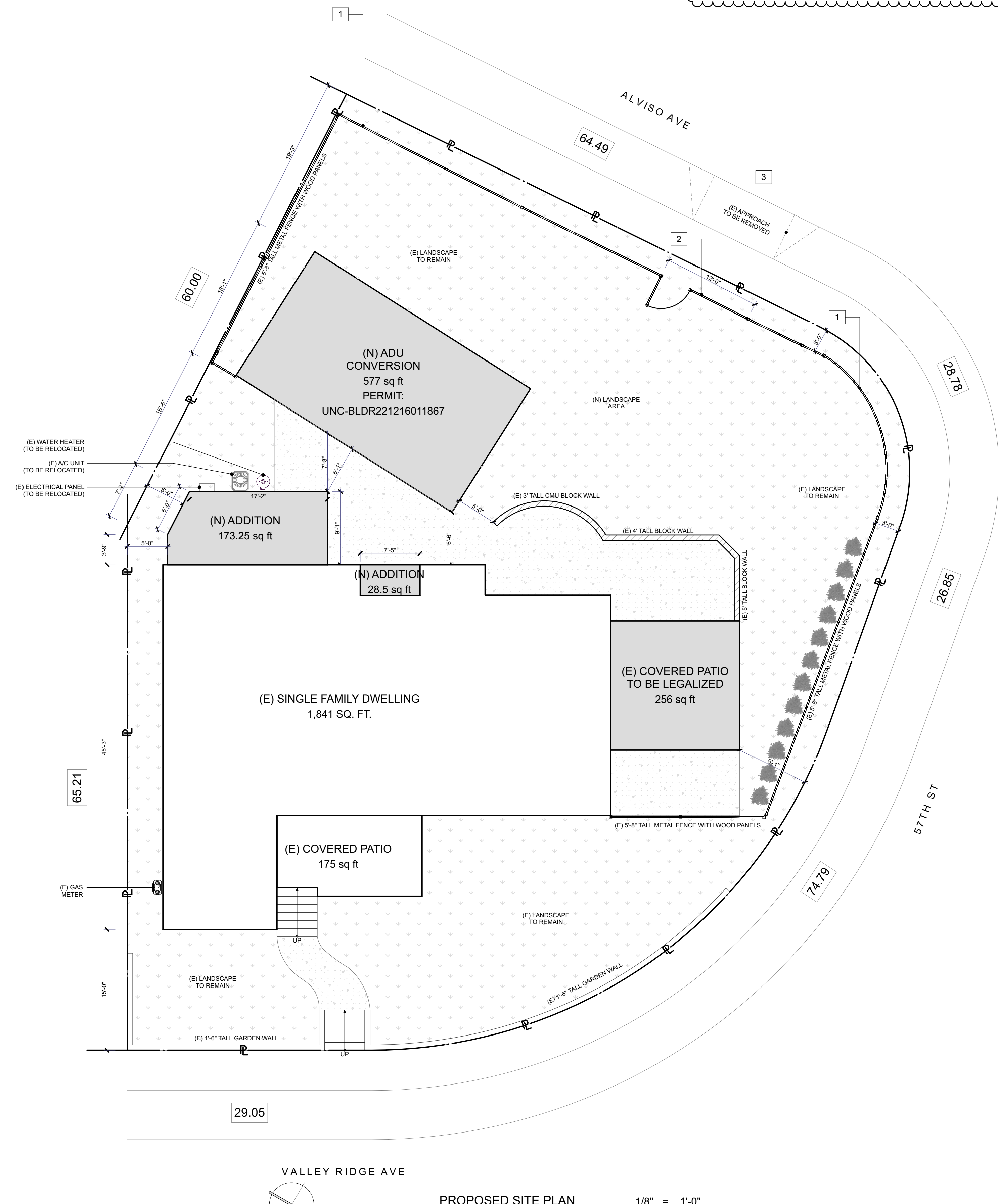
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EXISTING & PROPOSED SITE
PLANS

A1.0



VALLEY RIDGE AVE
EXISTING SITE PLAN 1/8" = 1'-0"
NORTH



VALLEY RIDGE AVE
PROPOSED SITE PLAN 1/8" = 1'-0"
NORTH

SYMBOL LEGEND

TO BE DEMO	
EXISTING WALL	
EXISTING RETAINING WALL	



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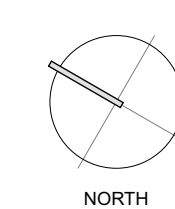
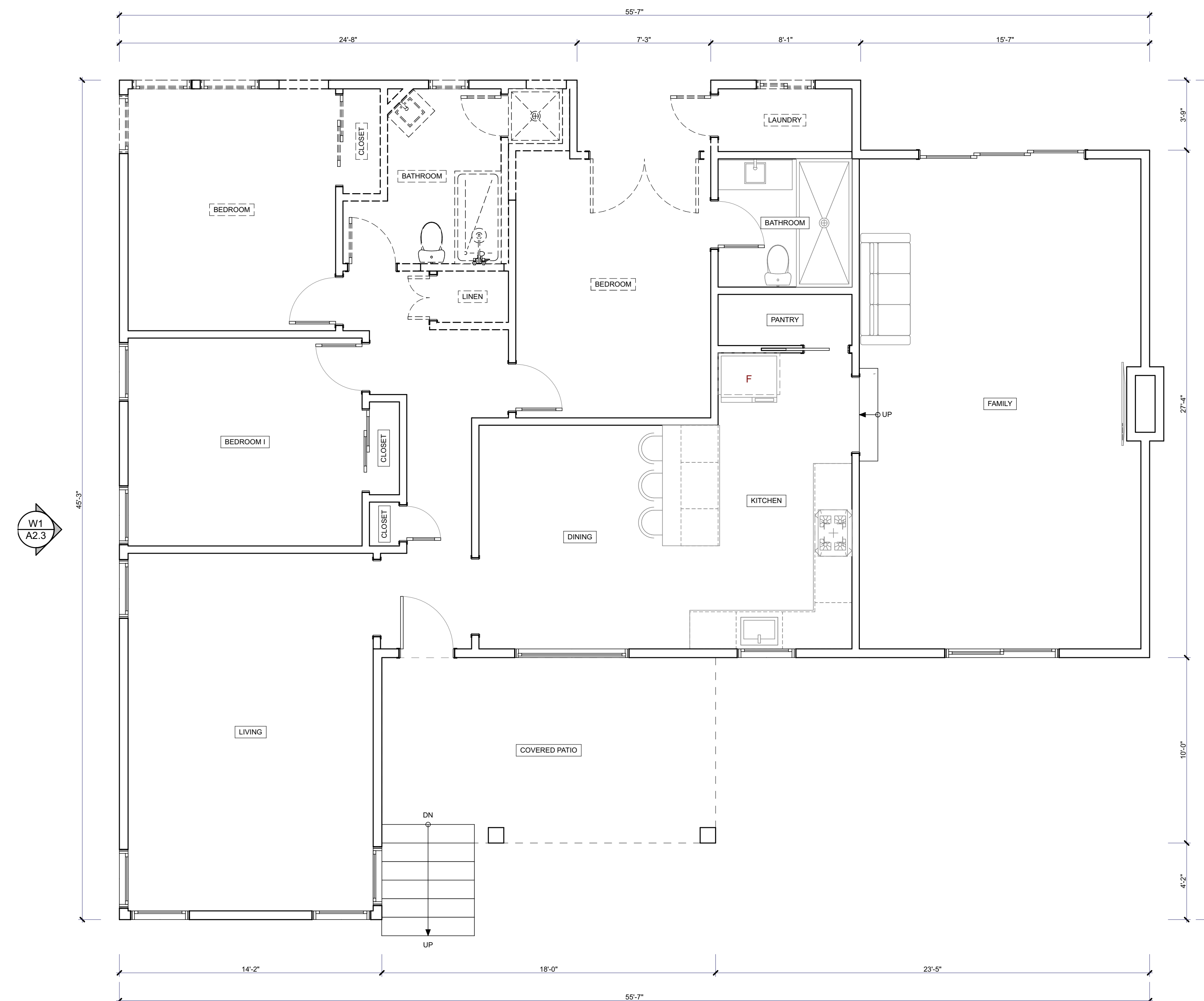
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EXISTING FLOOR PLAN

A2.1



EXISTING GROUND FLOOR PLAN

1/4" = 1'-0"

SYMBOL LEGEND

TO BE DEMO	
EXISTING WALL	
EXISTING RETAINING WALL	



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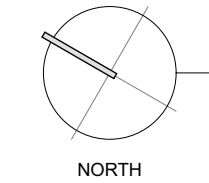
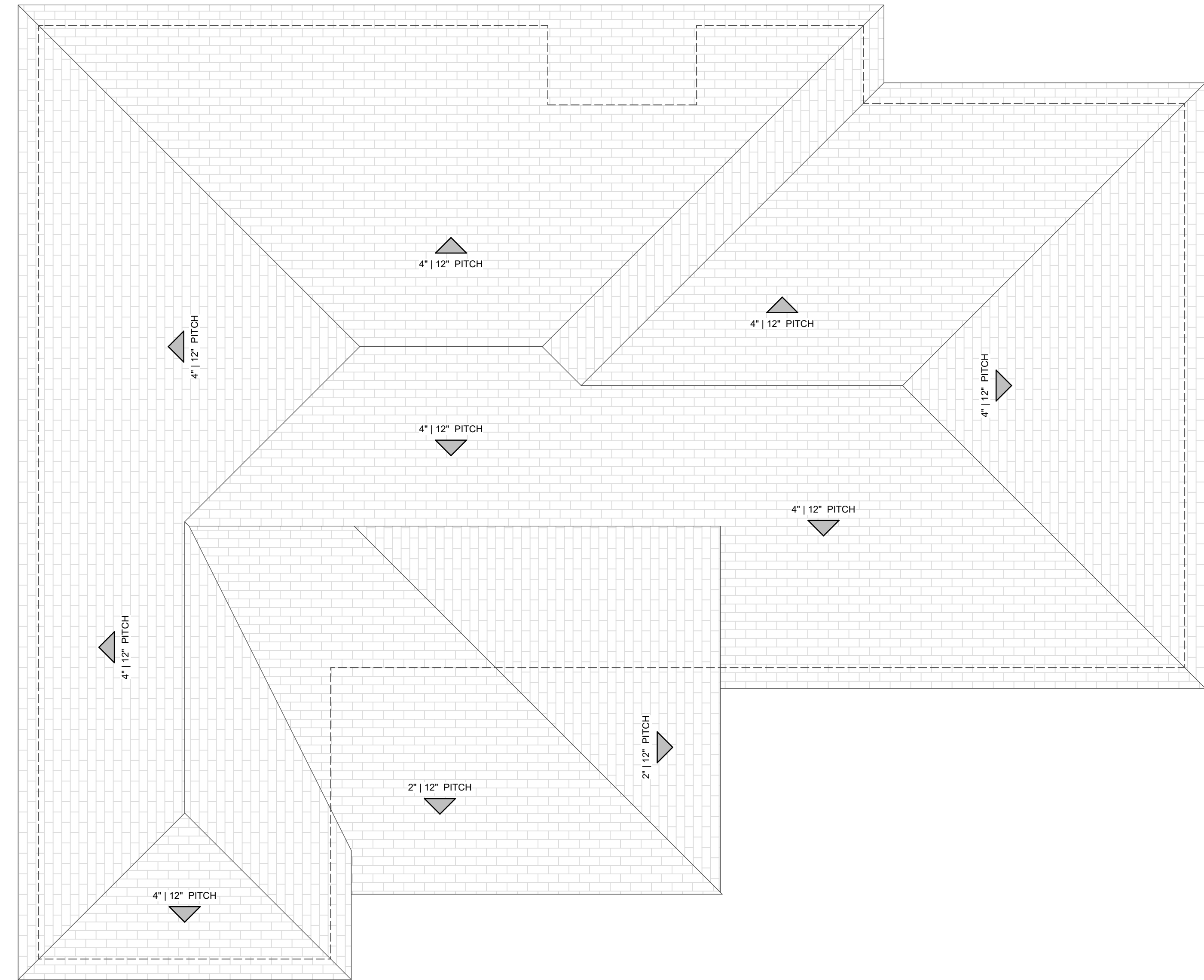
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EXISTING ROOF PLAN 1/4" = 1'-0"

EXISTING ROOF PLAN

A2.2



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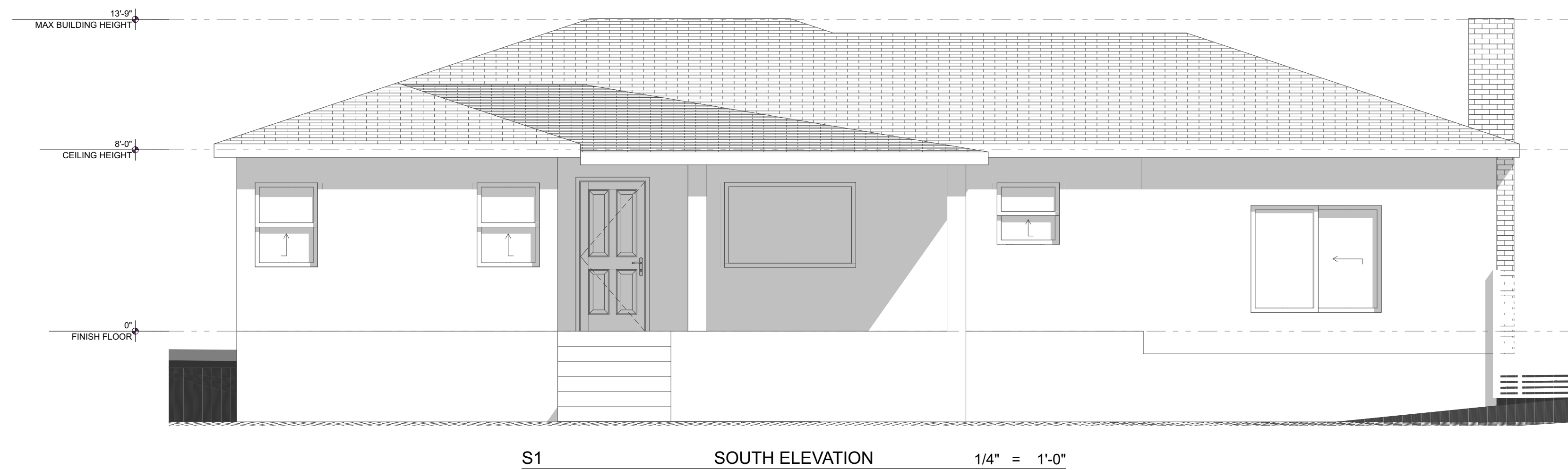
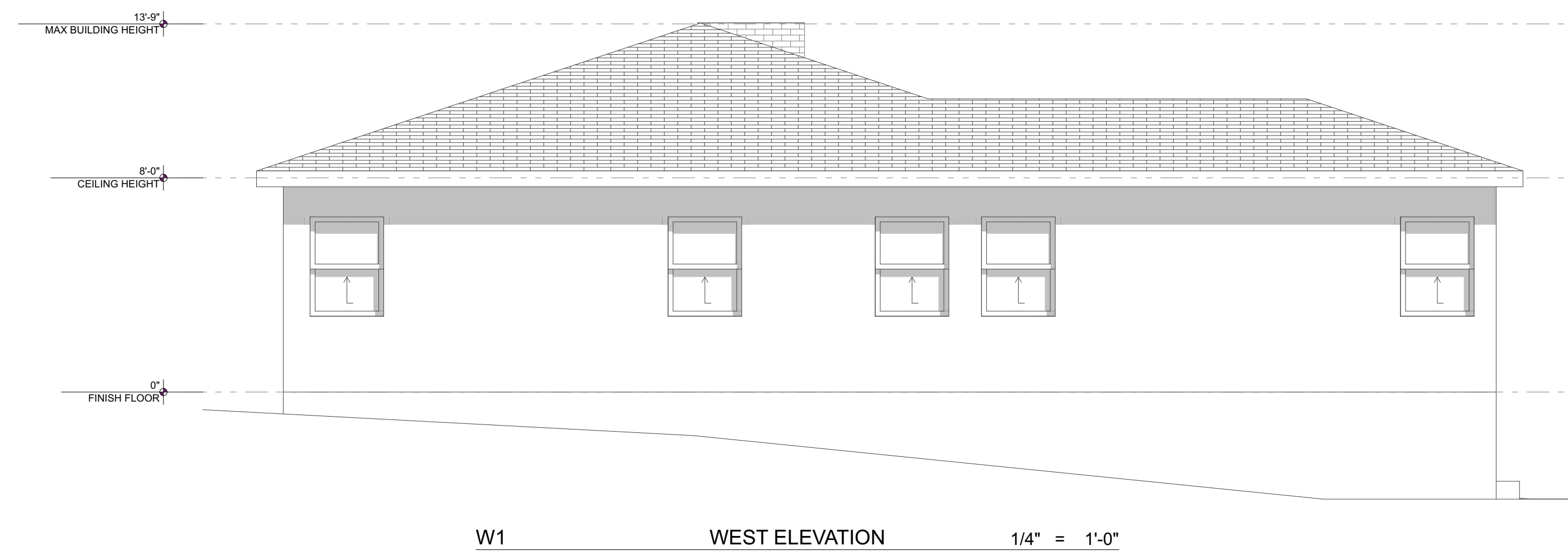
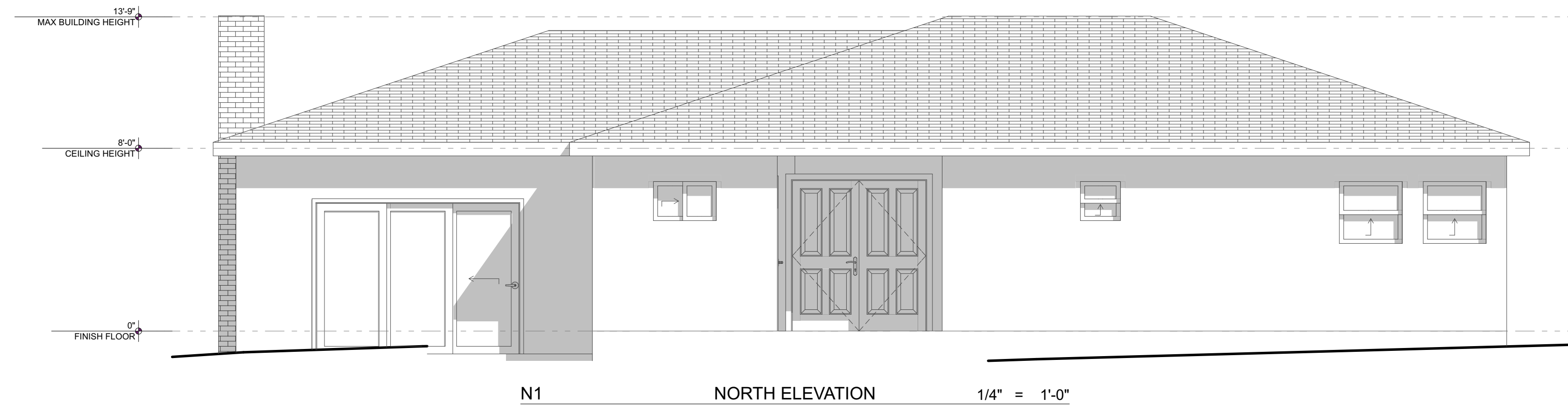
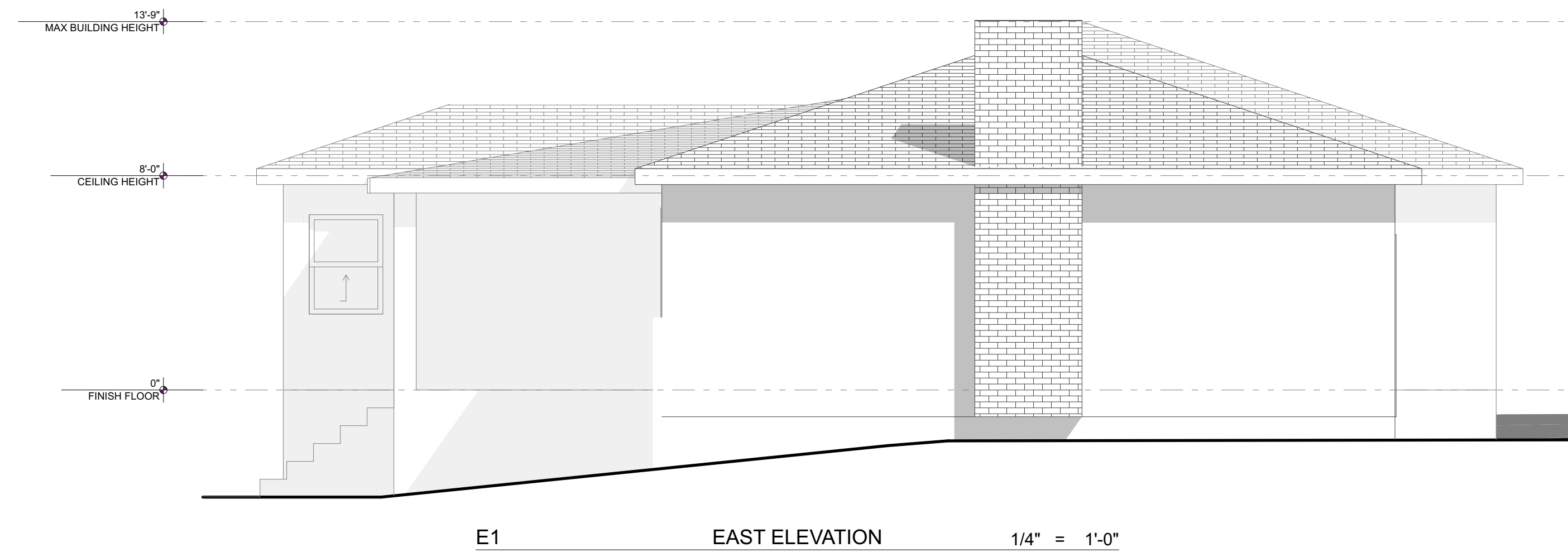
CHECKED:

REVISION:

REVISION:

EXISTING ELEVATIONS

A2.3



DOOR SCHEDULE

ID	1	2	3	4
DIMENSIONS (W x H)	2'-8" x 6'-8"	3'-0" x 6'-8"	4'-6" x 6'-8"	5'-0" x 6'-8"
FUNCTION	PASSAGE	ENTRY	ENTRY	ENTRY
MATERIAL	HM	SC WOOD	HM	SC WOOD
FIRE-RATING	Non-Rated	1 hour	Non-Rated	Non-Rated
PANES	Unspecified	Double	Unspecified	Double
NOTES				
QUANTITY	4	1	1	1

WINDOW SCHEDULE

DIMENSIONS (W x H)	2'-0" x 2'-0"	3'-0" x 5'-0"
ID	A	B
TYPE	Sliding	Double Hung
COATING	Low-E	Low-E
PANES	Double	Double
HEADER HEIGHT	6'-8"	6'-8"
SILL HEIGHT	4'-8"	1'-8"
TEMPERED	<input type="checkbox"/>	<input type="checkbox"/>
FIRE-RATING		
QUANTITY	2	2

NATURAL VENTILATION CALCULATIONS

MASTER BEDROOM	BEDROOM II
REQ. MINIMUM 146 SQ. FT. x 0.04 = 5.84 SQ. FT.	REQ. MINIMUM 150 SQ. FT. x 0.04 = 6 SQ. FT.
PROVIDED (1) 3'-0" x 4'-0" WINDOW = 6 SQ. FT. TOTAL = 6 SQ. FT. > 5.84 SQ. FT.	PROVIDED (1) 3'-0" x 5'-0" WINDOW = 7.5 SQ. FT. TOTAL = 7.5 SQ. FT. > 6 SQ. FT.

NATURAL LIGHT CALCULATIONS

MASTER BEDROOM	BEDROOM II
REQ. MINIMUM 146 SQ. FT. x 0.08 = 11.68 SQ. FT.	REQ. MINIMUM 150 SQ. FT. x 0.08 = 12.00 SQ. FT.
PROVIDED (1) 3'-0" x 4'-0" WINDOW = 12 SQ. FT. TOTAL = 12 SQ. FT. > 11.68 SQ. FT.	PROVIDED (1) 3'-0" x 5'-0" WINDOW = 15 SQ. FT. TOTAL = 15 SQ. FT. > 12.00 SQ. FT.

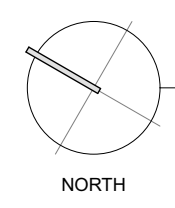
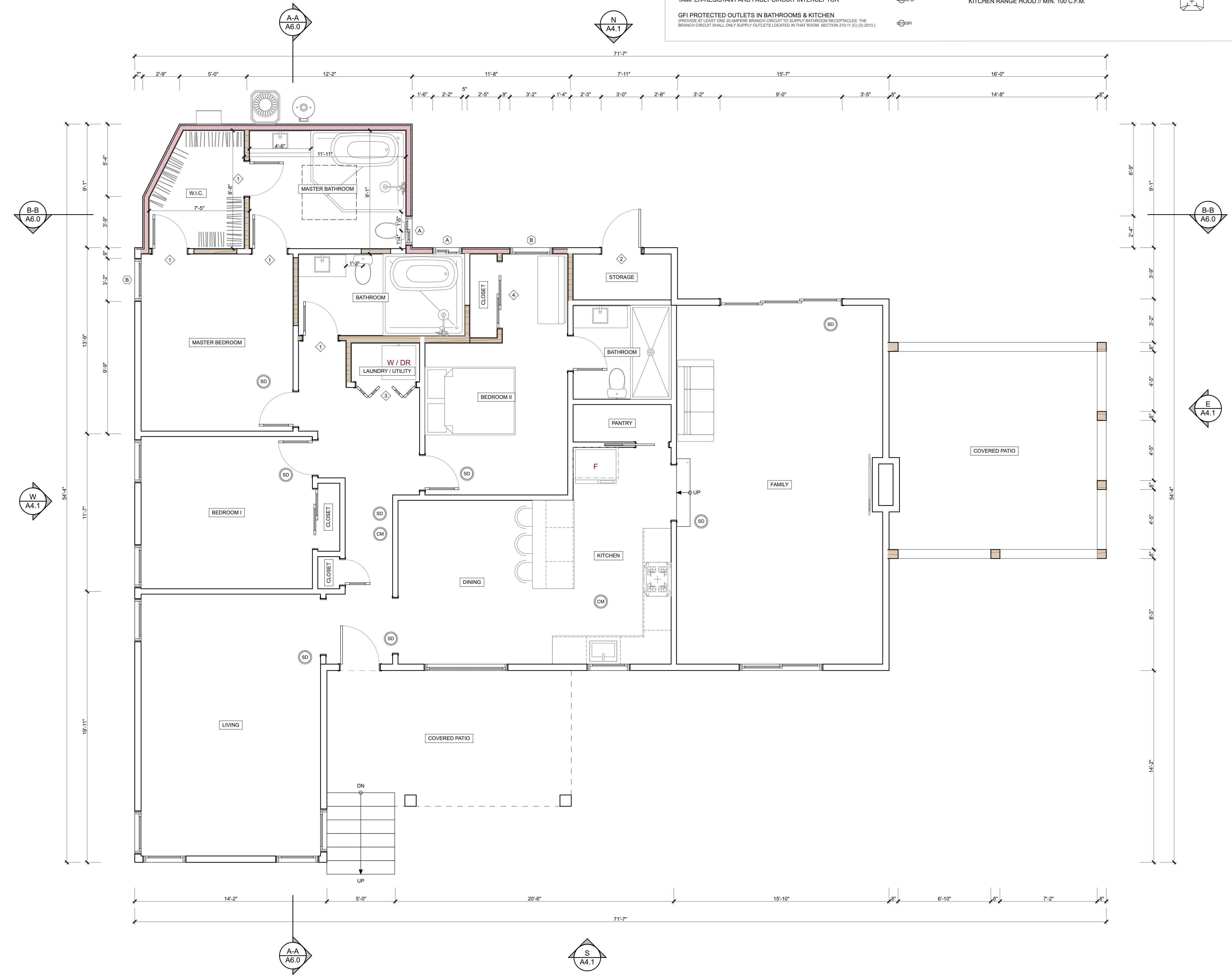
KEYNOTES

1 1" MAX THRESHOLD TO LANDING BELOW

GLASS:
1. TO COMPLY WITH LOS ANGELES SECURITY ORDINANCE ANY GLASS IN DOORS OR IN SIDELIGHT(S) WITHIN 24" OF EITHER DOOR EDGE PER 2016 CBC, SEC. 2406.4(6) OR WITHIN 40" OF ANY LOCKING MECHANISM (PER LOS ANGELES ORDINANCE) SHALL BE FULLY TEMPERED.
2. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFR) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.

SYMBOL LEGEND

TO BE DEMO		LIGHT SWITCH (# INDICATES THE NUMBER OF SWITCHES)	
EXISTING WALL		LIGHT SWITCH W/ VACANCY SENSOR	
EXISTING RETAINING WALL		RECESSED VENTILATION FAN // MIN. 50 C.F.M.	
NEW FRAME WALLS W/ STUDS @ 16" O.C. 5/8" DRYWALL @ INTERIOR & 7/8" STUCCO @ EXTERIOR		RECESSED SPOTLIGHT	
NEW FRAME WALLS W/ STUDS @ 16" O.C. 5/8" DRYWALL @ INTERIOR & EXTERIOR		SUSPENDED LIGHT FIXTURE	
SMOKE DETECTOR // HARD WIRED 110 VOLTS INTER CONNECTED WITH BATTERY BACK-UP		CEILING-MOUNTED LAMP	
CARBON MONOXIDE // HARD WIRED 110 VOLTS INTER CONNECTED WITH BATTERY BACK-UP		WALL-MOUNTED SPOTLIGHTS	
TAMPER-RESISTANT ARC FAULT CIRCUIT INTERCEPTOR		WALL-MOUNTED OUTDOOR LAMP	
GFI PROTECTED OUTLETS IN BATHROOMS & KITCHEN (PROVIDE AT LEAST ONE 20 AMPERE BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLES. THE BRANCH CIRCUIT SHALL ONLY SUPPLY OUTLETS LOCATED IN THAT ROOM. SECTION 210.11(C)(3) 2013.)		CEILING MOUNTED FLOURESCENT LIGHT FIXTURE	
		KITCHEN RANGE HOOD // MIN. 100 C.F.M.	



PROPOSED GROUND FLOOR PLAN 1/4" = 1'-0"



1226 W. NINTH ST.
UPLAND, CA 91786
310.487.1613
HELLO@DREAMDESIGN.BUILD
DREAMDESIGN.BUILD

OWNER:
GREGORY RACHAL

ADDRESS:
5486 VALLEY RIDGE AVE
WINDSOR HILLS, CA 90043

SCOPE OF WORK:
INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

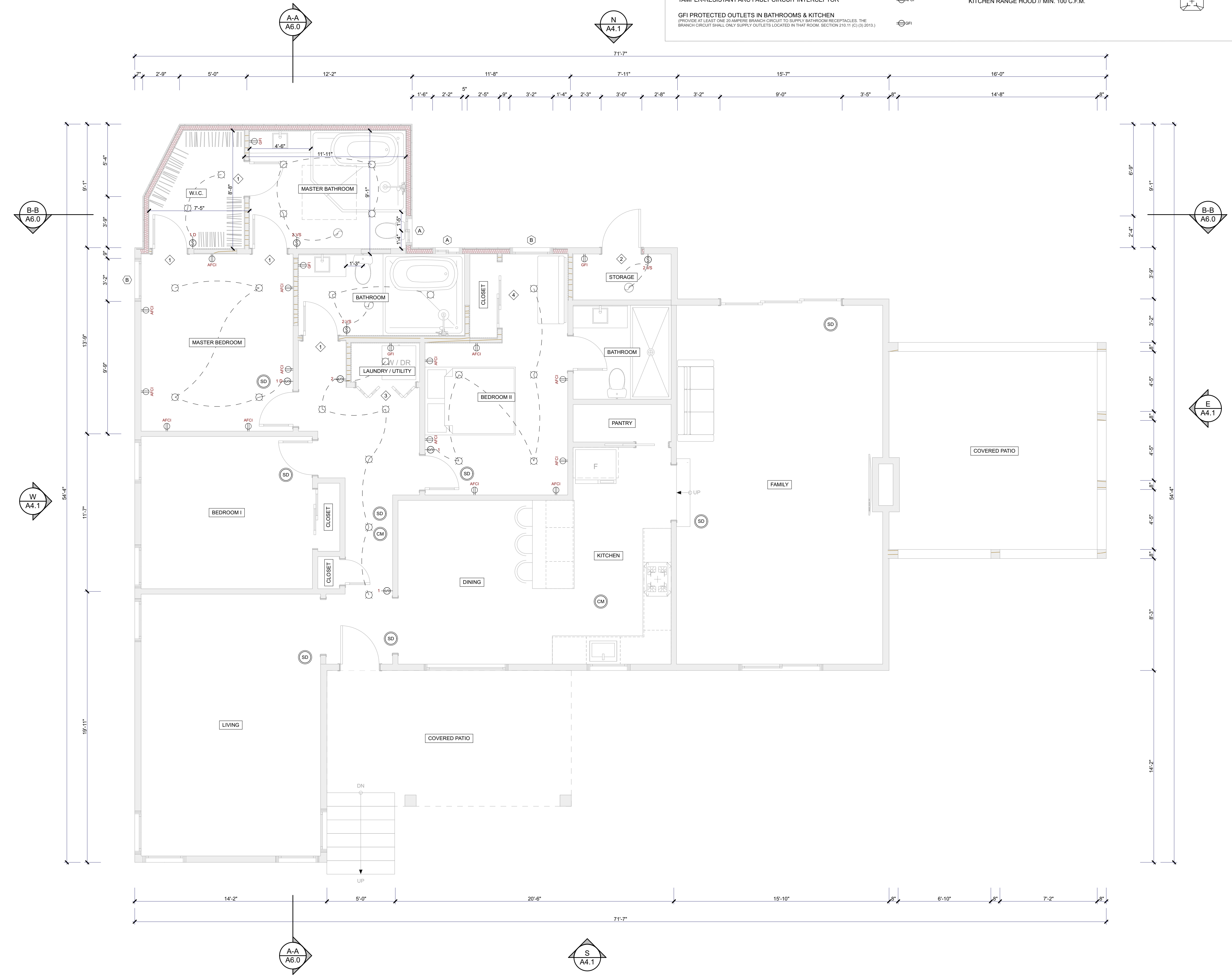
REVISION:

PROPOSED FLOOR PLAN

A3.1

SYMBOL LEGEND

TO BE DEMO		LIGHT SWITCH (# INDICATES THE NUMBER OF SWITCHES)	
EXISTING WALL		LIGHT SWITCH W/ VACANCY SENSOR	
EXISTING RETAINING WALL		RECESSED VENTILATION FAN // MIN. 50 C.F.M.	
NEW FRAME WALLS W/ STUDS @ 16" O.C. 5/8" DRYWALL @ INTERIOR & 7/8" STUCCO @ EXTERIOR		RECESSED SPOTLIGHT	
NEW FRAME WALLS W/ STUDS @ 16" O.C. 5/8" DRYWALL @ INTERIOR & EXTERIOR		SUSPENDED LIGHT FIXTURE	
SMOKE DETECTOR // HARD WIRED 110 VOLTS INTER CONNECTED WITH BATTERY BACK-UP.		CEILING-MOUNTED LAMP	
CARBON MONOXIDE // HARD WIRED 110 VOLTS INTER CONNECTED WITH BATTERY BACK-UP.		WALL-MOUNTED SPOTLIGHTS	
TAMPER-RESISTANT ARC FAULT CIRCUIT INTERCEPTOR		WALL-MOUNTED OUTDOOR LAMP	
GFI PROTECTED OUTLETS IN BATHROOMS & KITCHEN <small>PROVIDE AT LEAST ONE (2) AMPERE BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLES. THE BRANCH CIRCUIT SHALL ONLY SUPPLY OUTLETS LOCATED IN THAT ROOM. SECTION 210.11(C)(3) 2013.</small>		CEILING MOUNTED FLOURESCENT LIGHT FIXTURE	
		KITCHEN RANGE HOOD // MIN. 100 C.F.M.	



PROPOSED GROUND FLOOR ELECTRICAL PLAN 1/4" = 1'-0"



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DREAMDESIGN.BUILD

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ADDRESS:
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WINDSOR HILLS, CA 90043

SCOPE OF WORK:
INTERIOR REMODEL + NEW 173.25
SQ. FT. MASTER BATHROOM &
W.I.C. ADDITION + NEW 28.50 SQ.
FT. ADDITION

PLANS PREPARED BY:
Edgar Vidal
EDGAR VIDAL

DATE _____

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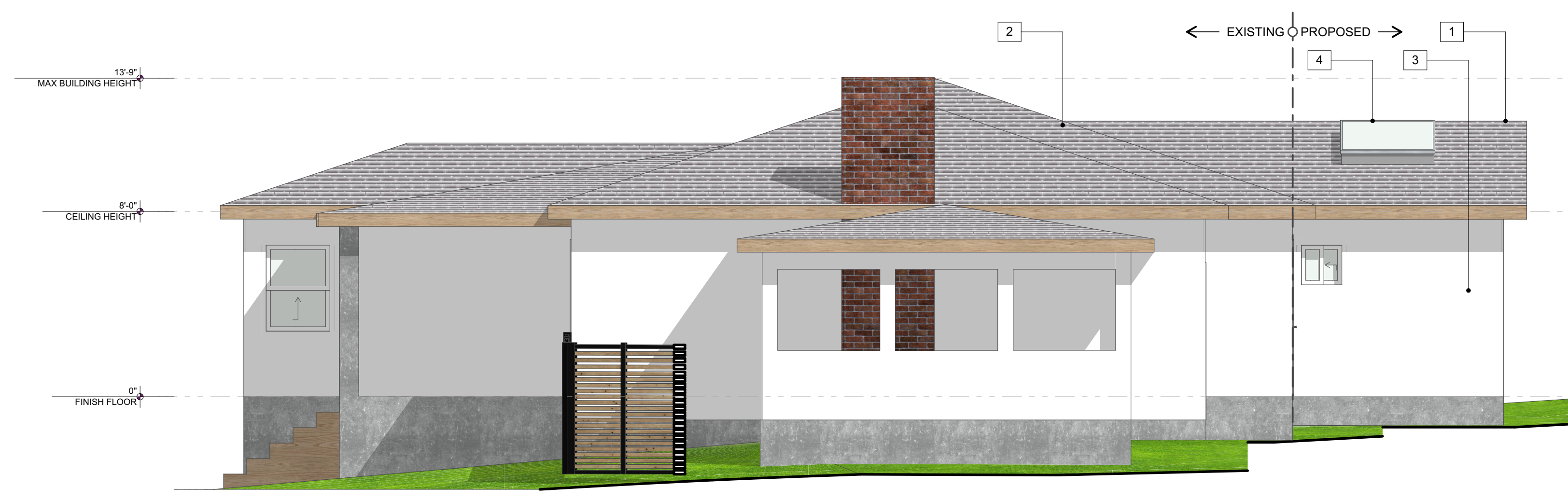
DATE: 10/4/24
SCALE: AS SHOWN
DRAWN: E. VIDAL
CHECKED: _____
REVISION: _____
REVISION: _____

PROPOSED ELECTRICAL PLAN

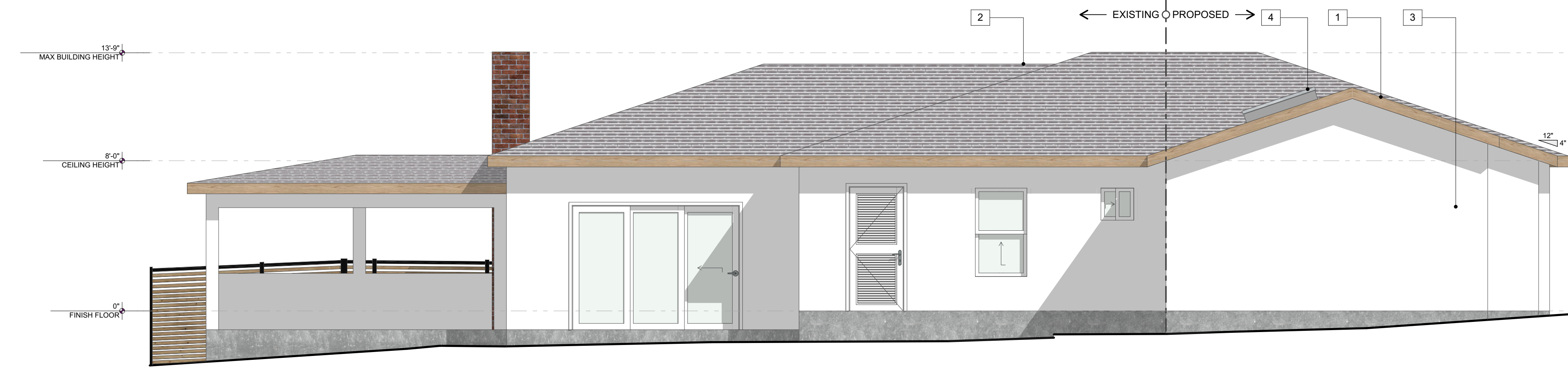
A3.2

KEYNOTES

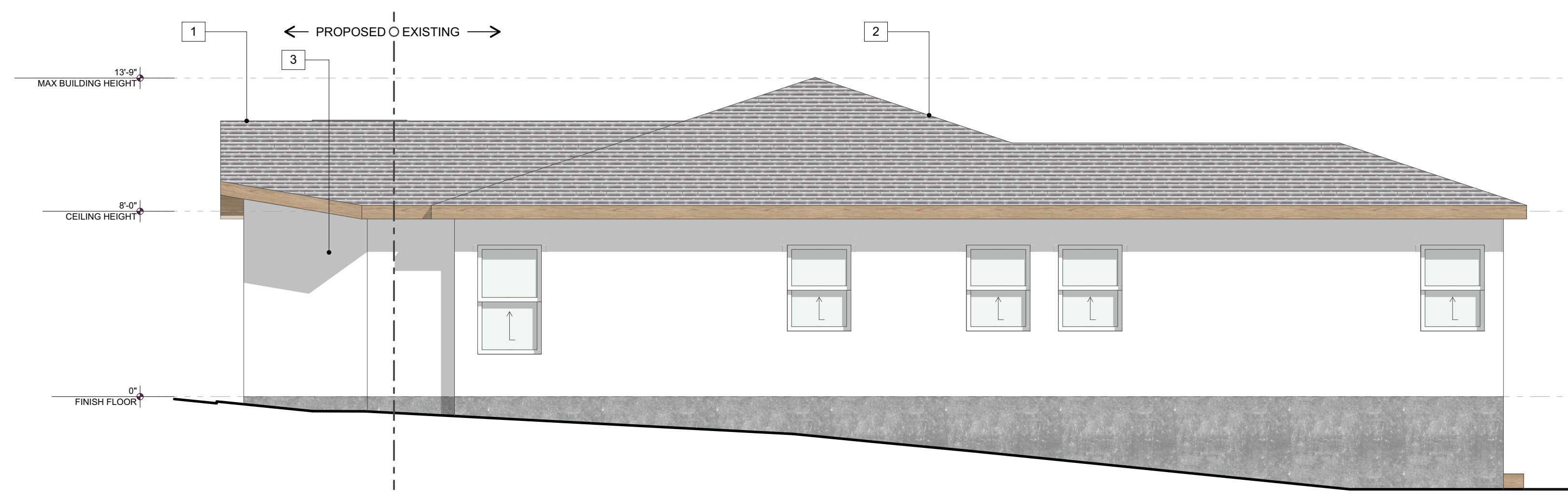
- 1 NEW ROOF: LANDMARK SOLARIS GOLD - CHARCOAL GRAY
4/12 MAX CRRC# 0668-0079
- 2 EXISTING ROOF TO REMAIN
- 3 STUCCO: NEW 7/8" EXT. STUCCO OVER WIRE FABRIC LATH
OVER 2 LAYERS TYPE "D" BUILDING PAPER OVER PLYWOOD
(TO MATCH EXISTING IN COLOR & TEXTURE)
- 4 SKYLIGHT ICC# : ESR-4108



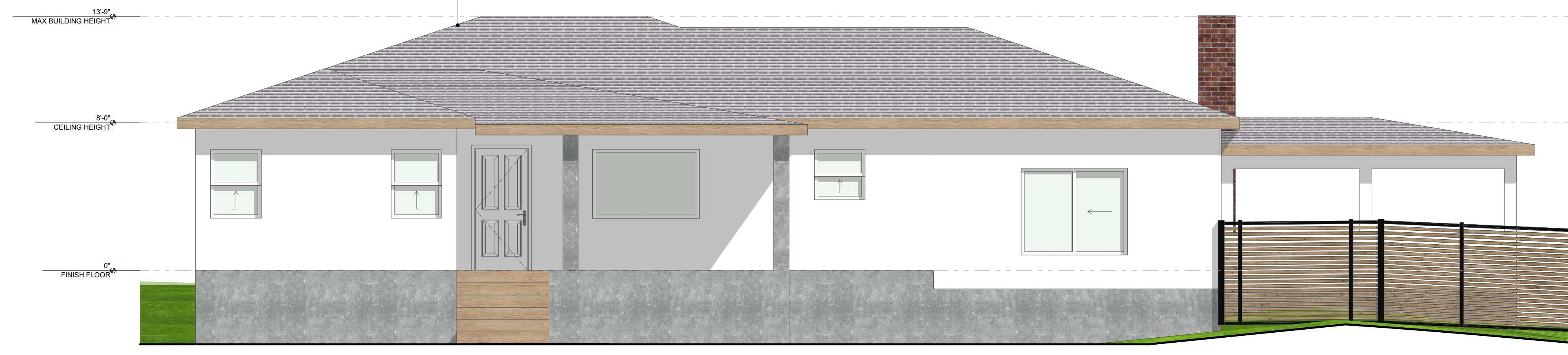
E EAST ELEVATION 1/4" = 1'-0"



N NORTH ELEVATION 1/4" = 1'-0"



W WEST ELEVATION 1/4" = 1'-0"



S SOUTH ELEVATION 1/4" = 1'-0"



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FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
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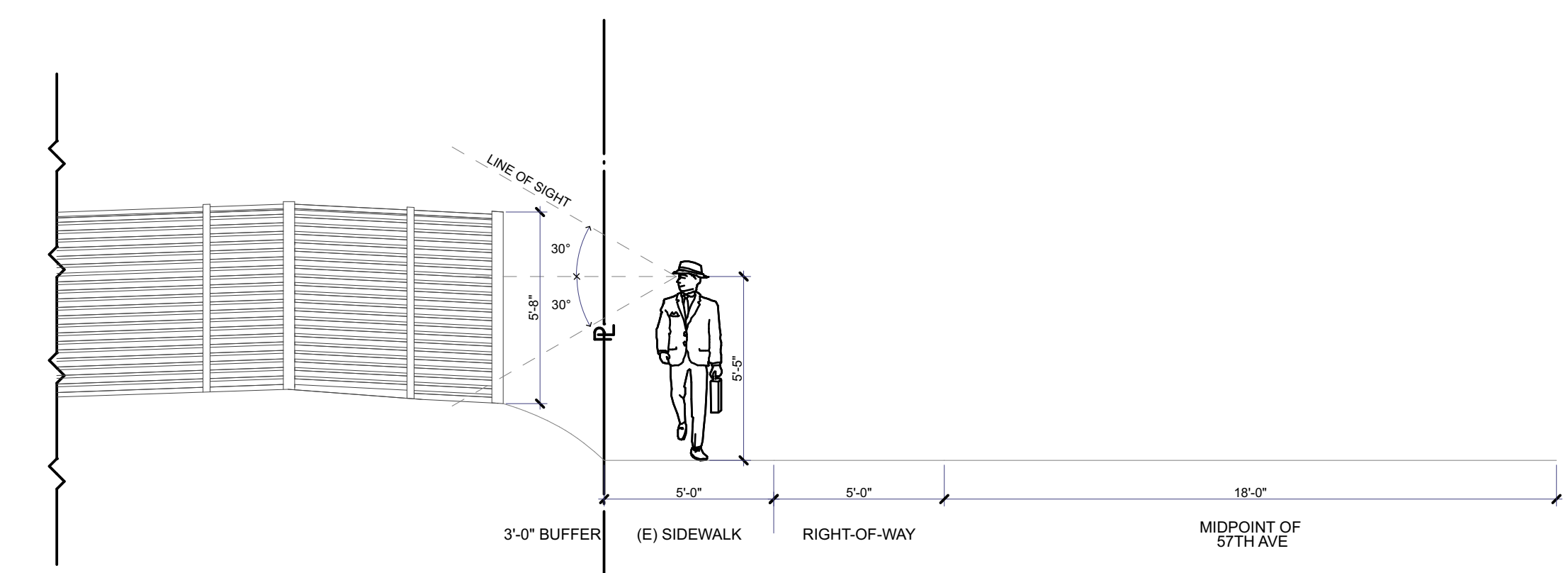
REVISION:

PROPOSED ELEVATIONS

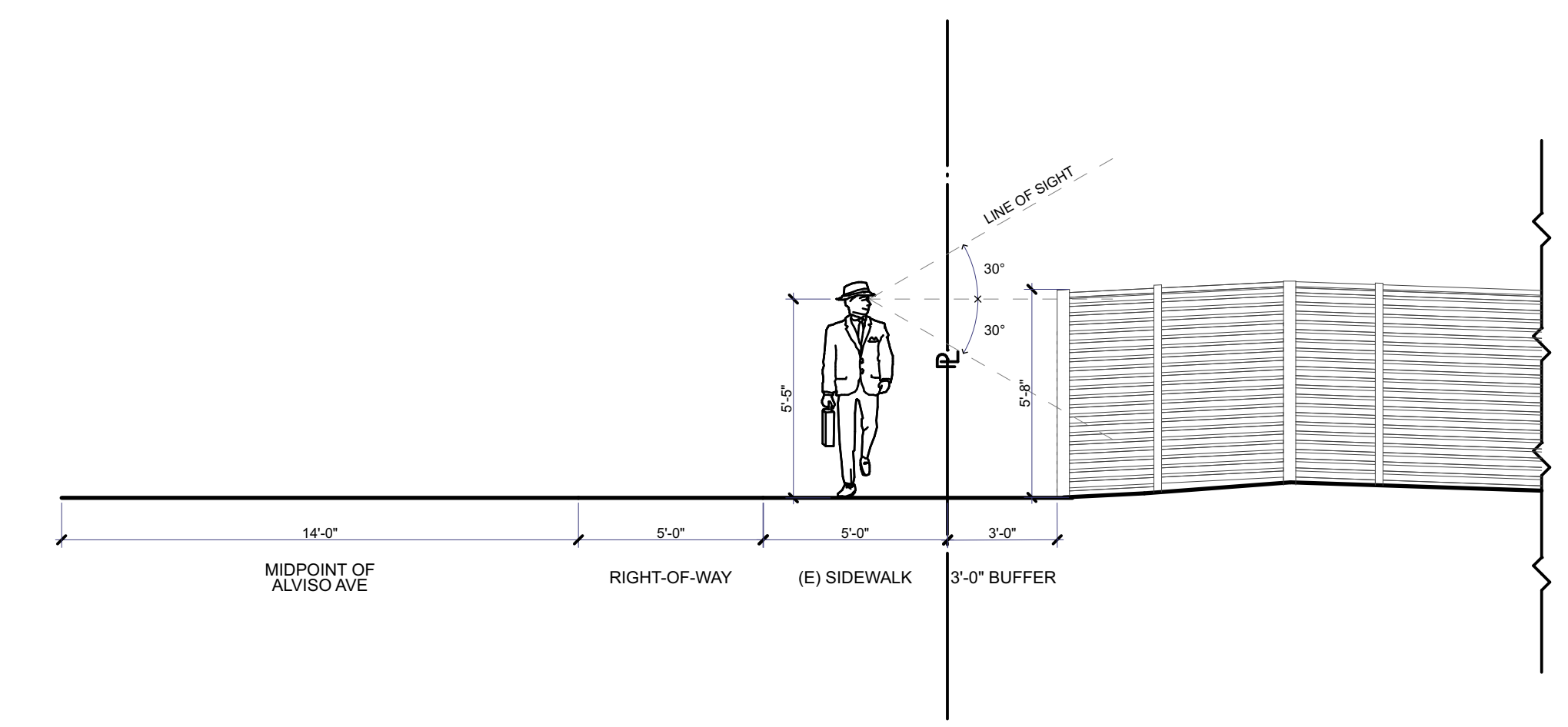
A4.1

KEYNOTES

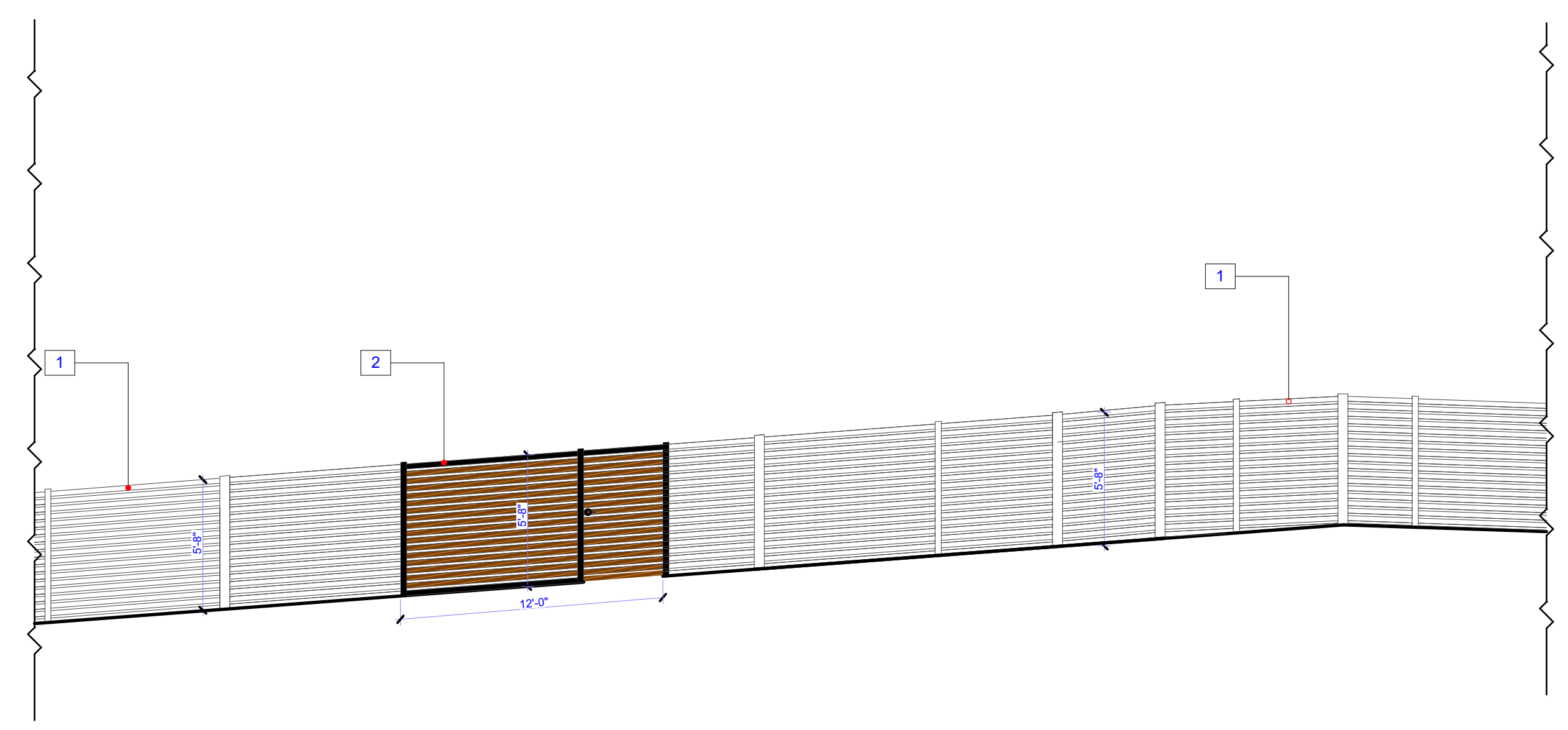
- 1 (E) 5'-8" TALL METAL FENCE W/ WOOD PANELS
- 2 (E) 12' LONG 5'-8" TALL SLIDING METAL GATE W/ WOOD PANELS TO BE REPLACED W/ SOLID FENCE & 4' WIDE HINGED DOOR THAT MATCHES EXISTING



2 LINE OF SIGHT ANALYSIS FROM 57TH 1/4" = 1'-0"



1 LINE OF SIGHT ANALYSIS FROM ALVISO AVE 1/4" = 1'-0"



N2 NORTH ELEVATION 1/4" = 1'-0"



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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

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REVISION:

REVISION:

PROPOSED FENCE ELEVATION
& LINE OF SIGHT ANALYSIS

A4.2

KEYNOTES

- 1 NEW ROOF: DURO-LAST 60-MIL MEMBRANE COOL ROOF CLASS A CRCC# 0610-0008
- 2 SKYLIGHT ICC #: ESR-4108
- 3 EXISTING ROOF TO REMAIN



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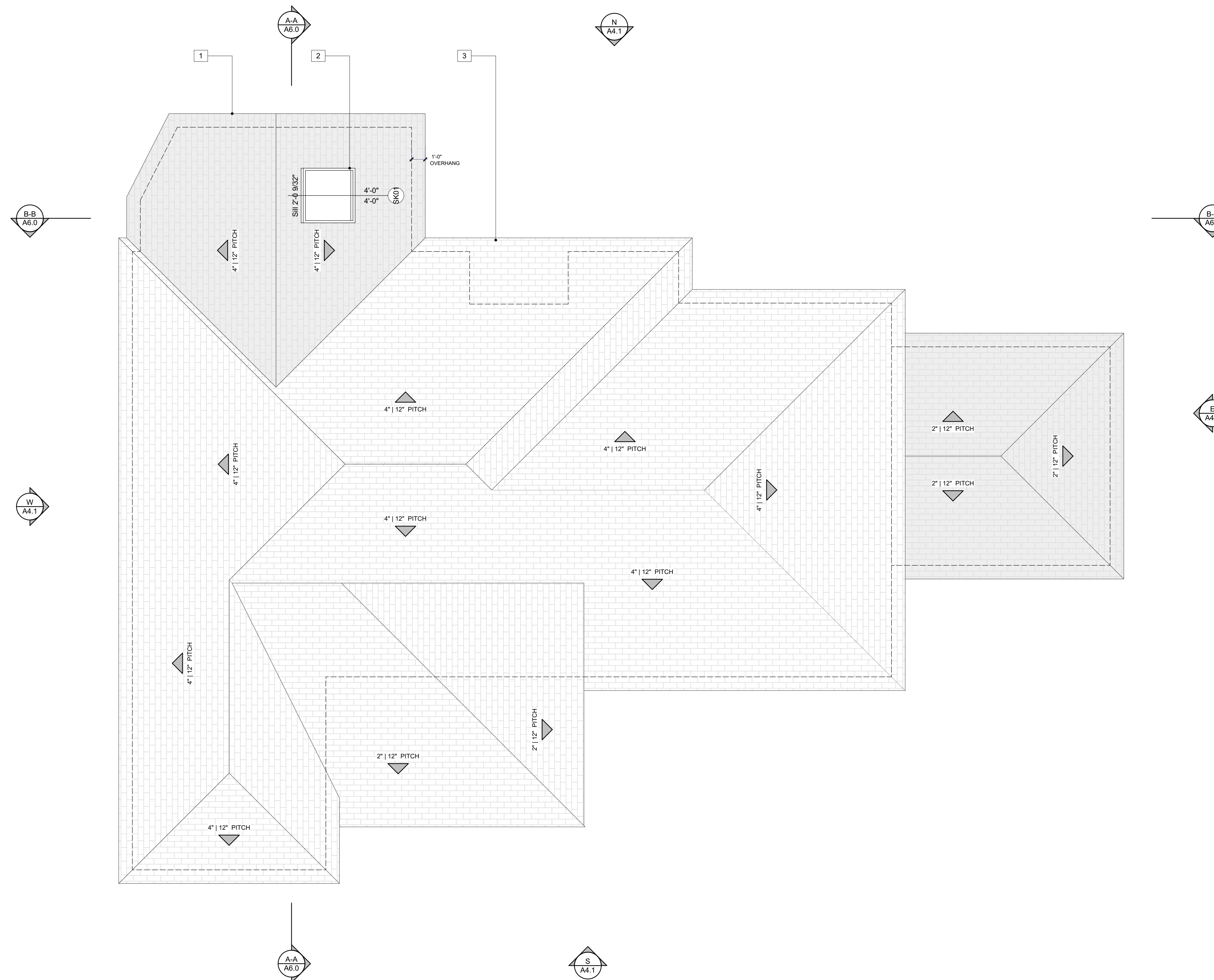
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PROPOSED ROOF PLANS

A5.0



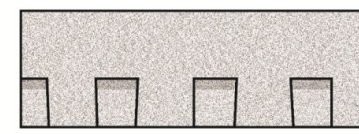
PROPOSED ROOF PLAN 1/4" = 1'-0"

Technical Data Sheet
 Landmark Solaris® GOLD
 Landmark Solaris® PLATINUM



PRODUCT INFORMATION

Landmark Solaris Gold and Landmark Solaris Platinum's innovative technology produces a shingle that reflects solar energy in a traditional color palette. All colors are rated by Cool Roof Rating Council (CRRC) for cool roofs and meet California's Title 24 requirements for cool steep slope roofing. Landmark Solaris shingles are manufactured using the same high standards as all CertainTeed roofing products and are covered by the same superior warranty protection. These shingles are available in "Metric" dimensions - 13 1/4" x 38 3/4". This product also features CertainTeed's NailTrak® that offers a wider nailing area.



Landmark Solaris algae-resistant (AR) shingles have the additional attribute of resisting the growth of algae especially in damp regions. AR shingles are not available in all regions.

Colors:

Product	Color	CRRC Rated Product Directory						Meets California Title 24?	Energy Star Certified?	
		Product ID	Solar Reflectance		Thermal Emittance		SRI			
			Initial	Aged	Initial	Aged	Initial	Aged		
Landmark Solaris® Gold	Max Def Resawn Shake	0668-0051	0.26	0.25	0.88	0.90	26	25	YES	YES
Landmark Solaris® Gold	Max Def Weathered Wood	0668-0050	0.25	0.24	0.90	0.89	25	24	YES	YES
Landmark Solaris® Platinum	Coastal Tan	0668-0079	0.40	0.36	0.91	0.90	45	40	YES	YES
Landmark Solaris® Platinum	Santa Fe	0668-0080	0.40	0.35	0.90	0.91	45	39	YES	YES
Landmark Solaris® Platinum	Sierra Buff	0668-0074	0.41	0.37	0.92	0.90	47	41	YES	YES

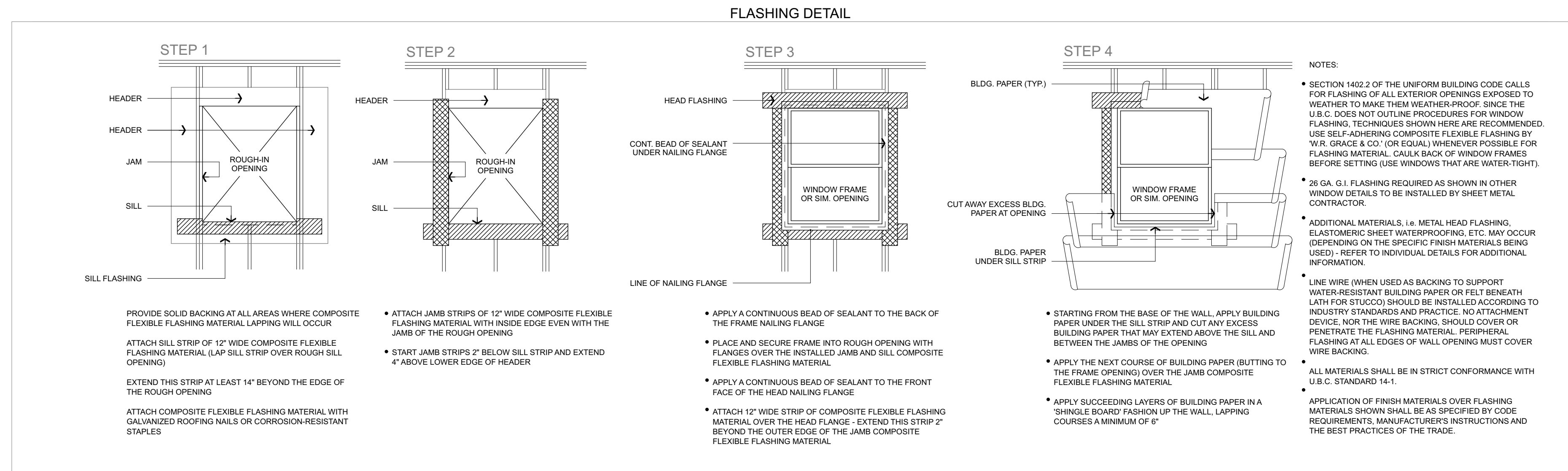
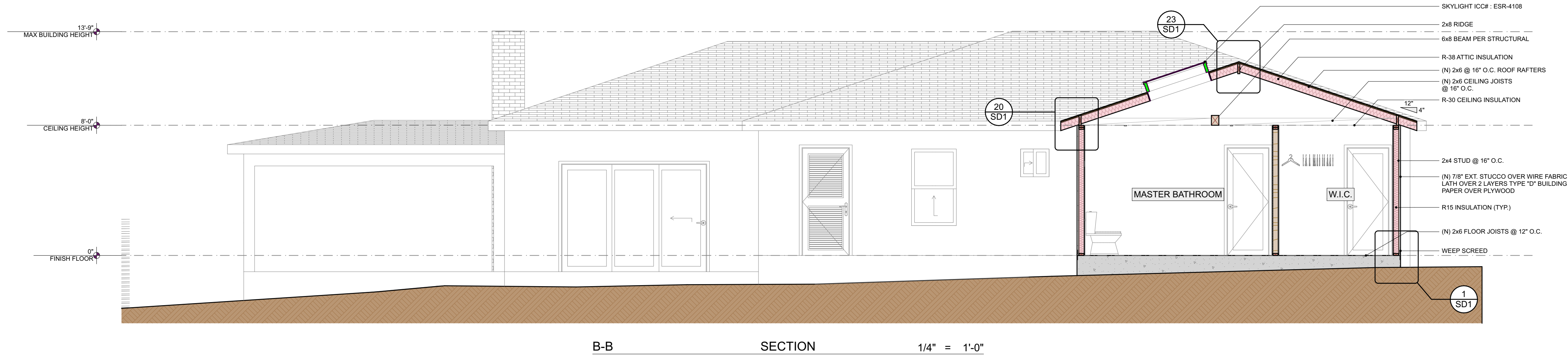
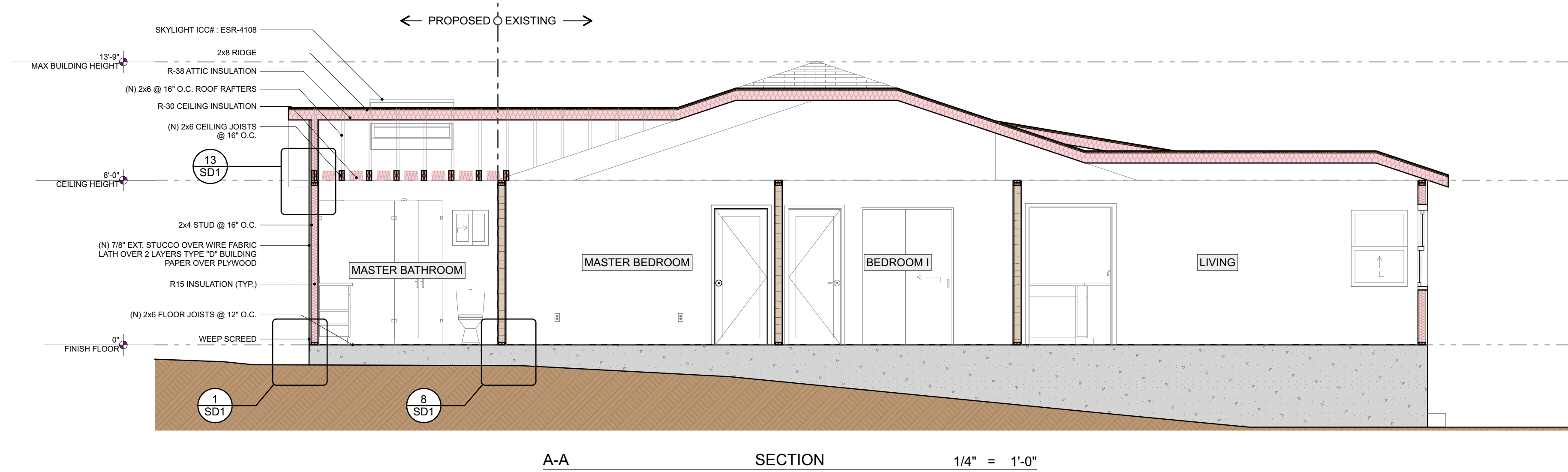
Please refer to product brochure or CertainTeed website for the colors available in your region

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark Solaris Gold/Platinum shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules with high solar reflectance are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in special tough asphaltic cement. All Landmark Solaris Gold/Platinum shingles have self-sealing adhesive strips.

Applicable Standards:

ASTM E108 Class A Fire Resistance	CSA Standard A123.5
UL 790 Class A Fire Resistance	ICC-ES ESR-1389 & ESR-3537
ASTM D3462	Miami-Dade Product Control Approved (Regional)
ASTM D3018 Type I	Florida Product Approval # FL5444
ASTM D3161 Class F Wind Resistance	TDI Windstorm Resistance (Regional)
ASTM D7158 Class H Wind Resistance	California Title 24, Part 6 Compliant (Steep Slope)



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 FT. ADDITION

PLANS PREPARED BY:

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 EDGAR VIDAL

DATE

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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

REVISION:

PROPOSED SECTION CUTS

A6.0



ATTACHMENT A

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
Other:

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name EDGAR VIDAL
(Owner or authorized agent of the owner)
Signature Edgar Vidal Date 10/4/24
(Owner or authorized agent of the owner)

*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.cabmpplanningbooks.com



RESIDENTIAL PLAN GENERAL NOTES
COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION

GENERAL PROJECT INFORMATION

PLAN CHECK NO. UNC-BLDR230712006485 DISTRICT NO.
JOB ADDRESS 5486 VALLEY RIDGE AVE CITY SAN GABRIEL ZIP 91775

NOTE: Numbers in the parenthesis () refer to sections of the 2023 edition of the County of Los Angeles Building Code (BC), Residential Code (RC), Plumbing Code (PC), Mechanical Code (MC), Electrical Code (EC), and Green Building Standards Code (GC).

INSTRUCTIONS

- The following notes must be included on the plans.

SECURITY REQUIREMENTS

- 1. Exterior doors, doors between house and garage, windows and their hardware shall conform to the Security Provisions of Chapter 67 of the Los Angeles County Building Code (LACBC).
a. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt key operated from the outside. Deadbolts shall have a hardened insert with 1" minimum throw and 5/8" minimum embedment into the jamb. If a latch has a key locking feature, it shall be dead latch type. (BC6709.2)
b. Inactive leaf of a pair of doors and the upper leaf of Dutch doors shall have a deadbolt as per paragraph "a", unless it is not key operated from the exterior, or has a hardened deadbolt at top and bottom with 1/2" embedment. (BC6709.3)
c. Swinging wood door(s) shall be solid core not less than 1-3/8" thick (BC6709.1.1)
d. Panels of wood doors shall be 9/16" thick and not more than 300 sq. inches. Stiles and rails to be 1-3/8" thick and 3" minimum width. (BC6709.1.2)
e. Door hinge pins accessible from the outside shall be non-removable. (BC6709.5)
f. Door stops of wood jambs of in-swinging doors shall be one piece construction or joined by a rabbet. (BC 6709.4)
g. Windows and door lights within 40" of the locking device of the door shall be fully tempered/approved burglary resistant/protected by bars, screens or grills. (BC6714)
h. Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamb locks shall be on both jambs for doors exceeding 9 feet in width (BC6711)

CONSTRUCTION REQUIREMENTS

- 2. Notching of exterior and bearing/nonbearing walls shall not exceed 25% / 40% of its width, respectively. Bored holes in bearing/nonbearing walls shall not exceed 40% / 60% of its width, respectively. (R602.6)
3. Interior finishes in Group R-3 shall have a flame spread index of not greater than 200, and a smoke-developed index not greater than 450. (R302.9)
4. Provide fire blocking in concealed spaces of stud walls, partitions, including furred spaces, at the ceiling and floor level, and at 10-foot intervals both vertical and horizontal. (R302.11)
5. Ducts installed under a floor in a crawl space shall not prevent access to an area of the crawl space. Where it is required to move under ducts for access to areas of the crawl space, a vertical clearance of 18" minimum shall be provided. (MC 603.1)
6. Where flashing is of metal, the metal shall be corrosion resistant with a thickness of not less than .019 inch (No. 26 galvanized sheet). (R303.2.1)
7. Note on the plans: "Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports."
8. Subfloors shall have end-matched lumber, have blocked panel edges, or occur over supports. Floor sheathing shall comply with Section R503.
9. Provide a note: "SMOKE ALARM shall be interconnected hard-wired with battery backup and shall be installed in accordance with NFPA 72." (R314)
10. Provide a note: "CARBON MONOXIDE ALARM shall be interconnected hard-wired with battery backup." (R315)

RESIDENTIAL PLAN GENERAL NOTES

- 11. Finish materials including adhesives, sealants, caulk, paints & coatings, carpet systems, etc. shall meet the (VOC) emission limits per LACGBSC Chapter 4.
12. In newly constructed dwelling units, electrical receptacle outlets, switches and controls shall be located no more than 48-in. measured from the top of the outlet box and not less than 15-in. from the bottom of the outlet box above the finish floor. (R327.1.2)
13. In newly constructed dwelling units, doorbell button or controls, shall not exceed 48-in. above exterior floor or landing, measured from the top of the doorbell button assembly. (R327.1.4)
14. Provide a note on the plans "Fasteners for preservative-treated or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153." (R317.3)

GLAZING REQUIREMENTS

- 15. The following shall be considered safety glazing per Section R308:
a. Glazing in fixed and operable panels of swinging, sliding, and bifold doors.
b. Glazing in fixed or operable panels adjacent to a door where the nearest vertical edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.
c. Window glazing in an individual floor or operable panel, that meets all of the following conditions:
1. The exposed area of an individual pane is larger than 9 square feet.
2. The bottom edge is less than 18 inches above the floor.
3. The top edge is more than 36 inches above the floor.
4. One or more walking surfaces are within 36 inches, measured horizontally and in a straight line, of the glazing air. (MC 701.5(1))
d. Glazing in guards, railings, structural baluster panels, and nonstructural in-fill panels, regardless of area or height above a walking surface.
e. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools, where all of the following conditions are present:
1. The bottom edge of the glazing is less than 60 inches above any standing or walking surface.
2. The glazing is within 60 inches, measured horizontally and in a straight line, from a hot tub, spa, whirlpool, bathtub, or swimming pool.
f. Glazing adjacent to stairs and ramps where the bottom exposed edge is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs, and ramps, unless the glazing is more than 36 inches measured horizontally from the walking surface, or a rail is designed per Section R308.4.6.
g. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread, unless the glazing is more than 18 inches from a protective guard per Section R312.

MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS

- 16. Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68 degrees F at 3 feet above the floor and 2 feet from exterior walls. (R303.10)
17. The following are required for central heating furnaces and low-pressure boilers in a compartment:
a. Listed appliances shall be installed with clearances in accordance with the terms of their listings and the manufacturer's installation instructions. (MC 904.2(1))
b. Unlisted appliances shall meet both the clearances in Table 904.2, and the clearances allowed by the manufacturer's installation instructions. (MC 904.2(2))
c. When combustion air is taken from inside, the area of combustion air openings shall be 1 sq. inch per 1,000 BTU (100 sq. inch minimum) per opening. One opening shall be within 12 inches of the ceiling and the second shall be within 12 inches of the bottom of the enclosure. The dimension of the opening shall be not less than 3 inches. (MC 701.5(1))
d. 1/4-inch screens are required at openings where combustion air is taken from the outside. (MC 701.10(2))
e. Separate ducts shall be used for upper and lower combustion air openings and maintained to the source of combustion air. (MC 701.11(4))
18. The following are required for appliances installed in an attic:
a. An opening and passageway shall not be less than 22 inches by 30 inches, or less than the size of the largest piece of equipment. (MC 904.10)
b. Where the passageway height is less than 6 feet, the distance from access to the appliance shall not exceed 20 feet, as measured along the centerline. (MC 904.10.1)
c. Passageway shall be unobstructed and shall have solid flooring not less than 24 inches wide from entrance to appliance. (MC 904.10.2)
d. A level working platform not less than 30 inches by 30 inches is required in front of the service side of the appliance. (MC 904.10.3)



COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION

BUILDING OPERATION AND MAINTENANCE MANUAL - 2020 LAGBSC

PLAN CHECK NO. DISTRICT NO.
JOB ADDRESS CITY ZIP

This manual shall remain with the building throughout the life cycle of the structure.

This structure contains various elements designed for the purpose of improving public health, safety, and general welfare. Please note the following elements that are applicable to this structure, and provide or attach the appropriate information.

- 1. HVAC System Installed? YES NO
Manufacturer
SEER
Efficiency
Air Filter MERV
Attach operation and maintenance instructions to this manual.
2. Water Heating System Installed? YES NO
Manufacturer
Efficiency
Attach operation and maintenance instructions to this manual.
3. Other Equipment Installed? YES NO
Manufacturer
Special Instructions
Attach operation and maintenance instructions to this manual.
4. Roof and Yard Drainage Installed? YES NO
Linear Feet of Gutter
Gutters shall me maintained free of debris at all times.
Number of Downspouts
Number of Catch Basins
Attach a map to this manual showing the structure's location relative to public transportation.

- e. A permanent 120V receptacle outlet and a lighting fixture shall be installed near the appliance. Light switch shall be located at the entrance to the passageway. (MC 904.10.4)
f. A type B or L gas vent shall terminate not less than 5 feet above the highest connected appliance flue collar or draft hood. (MC 802.6.2.1)
g. Appliance installation shall meet all listed clearances. (MC 303.2)
19. Clothes dryer moisture exhaust duct shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be used, and the exhaust duct may not extend into or through ducts and plenums. (MC 504.3)
20. Clothes dryer moisture exhaust duct shall be 4 inches in diameter and length is limited to 14 feet with two elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for every elbow in excess of two. (MC 504.3.1 & 504.3.1.2)
21. Heating appliances (water heater, furnace, etc.) located in the garage, which create a glow, spark or flame, shall be installed at least 18 inches above the floor. (EC 406.12)
22. Ducts shall be sized per Chapter 6 of the Mechanical Code.
23. The effective flush volume of all water closets shall not exceed 1.29gfl. Urinals shall be 0.95gfl maximum. (GC 4.303.1.1)
24. Single shower heads shall have a maximum flow rate of 2.0gpm at 80psi. Multiple shower heads serving one shower shall have a combined flow rate of 2.0gpm at 80psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. (GC 4.303.1.3)
25. Lavatory faucets shall not exceed 1.5gpm at 60psi. The minimum flow rate shall not be less than 0.8gpm at 20psi. (GC 4.303.1.4)
26. Kitchen faucets shall not exceed 1.8gpm at 60psi. The faucet may temporarily increase to above this rate, but not to exceed 2.2gpm at 60psi, and must default to the maximum flow rate of 1.8gpm at 60psi. (GC 4.303.1.4)
27. ABS and PVC DWV piping installations are limited to not more than two stories of areas. (FC 701.1(2))

- 12. A minimum of 80% of floor area receiving resilient flooring shall comply with one of the following:
a. Products certified as a Low-Emitting Material in the CHPS High Performance Products Database. OR
b. Products certified under UL GREENGUARD Gold (Formerly the Greenguard Children & Schools program), OR
c. RFCI FloorScore program. OR
d. Meet the California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350) (4.504.4)

TABLE 4.504.5/TABLE 6.504.4.5 FORMALDEHYDE LIMITS¹

Table with 3 columns: PRODUCT, CURRENT LIMIT, and VOC LIMIT. Lists products like Hardwood plywood veneer core, Hardwood plywood composite core, Plywood, Medium density fiberboard, Thin medium density fiberboard.

TABLE 4.504.2/TABLE 6.504.4.2 SEALANT VOC LIMIT

Table with 2 columns: SEALANTS and VOC LIMIT. Lists sealants like Acrylic, Polyurethane, Silicone, etc.

TABLE 4.504.3/TABLE 6.504.4.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATING^{1,2}

Table with 4 columns: COATING CATEGORY, VOC LIMIT, COATING CATEGORY, and VOC LIMIT. Lists various coating categories like Flat coatings, Nonflat coatings, Specialty coatings, etc.

1. The specified limits remain in effect unless related limits are listed in subsequent columns in this table.
2. Values in this table are derived from: From specified by the California Air Resources Board, Architectural Coatings (Supplement California Resin, February 1, 2008. More information is available from the Air Resources Board.



1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGNBUILD.COM
DREAMDESIGNBUILD

OWNER: GREGORY RACHAL

ADDRESS: 5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM + W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

REVISION:

GREEN BUILDING

GB1.3

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-09-05T20:37:51-07:00
Input File Name: 5486 Valley Ridge Ave - Addition.rbd22x

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GENERAL INFORMATION table with columns for Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count.

ADDITION ALONE - Project Analysis Parameters table with columns for Existing Area (excl. new addition) (ft2), Addition Area (excl. existing) (ft2), Total Area (ft2), Existing Bedrooms, Addition Bedrooms, Total Bedrooms.

COMPLIANCE RESULTS table with columns for Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

Registration Number: 423-P010161934A-000-000-0000000-0000
Registration Date/Time: 09/05/2023 20:40
HERS Provider: CHEERS
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-09-05 20:38:20

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ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Source Energy (EDR1) (kBtu/ft²-yr), Standard Design TDV Energy (EDR2) (KTDV/ft²-yr), Proposed Design Source Energy (EDR1) (kBtu/ft²-yr), Proposed Design TDV Energy (EDR2) (KTDV/ft²-yr), Compliance Margin (EDR1), Compliance Margin (EDR2).

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ENERGY USE INTENSITY table with columns for Standard Design (kBtu/ft²-yr), Proposed Design (kBtu/ft²-yr), Compliance Margin (kBtu/ft²-yr), Margin Percentage.

HERS SPECIAL FEATURES table with columns for Cool roof, New ductwork added is less than 40 ft. in length, Non-standard duct location (any location other than attic).

HERS FEATURE SUMMARY table with columns for Quality insulation installation (QII), Kitchen garage hood, Whole house fan airflow and fan efficiency, Refrigerant charge verification required if a refrigerant containing component is altered, Duct sealing required if a duct system component, plenum, or air handling unit is altered.

ZONE INFORMATION table with columns for Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System, Status.

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OPAQUE SURFACES table with columns for Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft2), Tilt (deg), Wall Exceptions, Status.

OPAQUE SURFACES - CATHEDRAL CEILINGS table with columns for Name, Zone, Construction, Azimuth, Orientation, Area (ft²), Skylight Area (ft²), Roof Rise (x in 12), Roof Reflectance, Roof Emissance, Cool Roof.

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ATTIC table with columns for Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emissance, Radiant Barrier, Cool Roof.

FENESTRATION / GLAZING table with columns for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, SHGC, SHGC Source, Exterior Shading.

SLAB FLOORS table with columns for Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated.

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OPAQUE SURFACE CONSTRUCTIONS table with columns for Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

BUILDING ENVELOPE - HERS VERIFICATION table with columns for Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50.

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WATER HEATING SYSTEMS table with columns for Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (#), DHW Heater 1 (1).

WATER HEATERS table with columns for Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency Type, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, Tank Location.

WATER HEATING - HERS VERIFICATION table with columns for Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery.

SPACE CONDITIONING SYSTEMS table with columns for Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type.

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HVAC - HEATING UNIT TYPES table with columns for Name, System Type, Number of Units, Heating Efficiency.

HVAC - COOLING UNIT TYPES table with columns for Name, System Type, Number of Units, Efficiency Metric, Efficiency EER/SEER/CEER, Efficiency SEER/SEER2, Zonally Controlled, Multi-speed Compressor, HERS Verification.

HVAC - DISTRIBUTION SYSTEMS table with columns for Name, Type, Design Type, Duct Ins. R-value Supply, Duct Location, Surface Area, Return, Bypass Duct, Duct Leakage, HERS Verification.

HVAC - FAN SYSTEMS table with columns for Name, Type, Fan Power (Watts/CFM), Name.

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HVAC FAN SYSTEMS - HERS VERIFICATION table with columns for Name, Verified Fan Watt Draw, Required Fan Efficacy (Watts/CFM).

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1226 W. NINTH ST.
UPLAND, CA 91786
310.487.1613
HELLO@DREAMDESIGN.BUILD
DREAMDESIGN.BUILD

OWNER:
GREGORY RACHAL

ADDRESS:
5486 VALLEY RIDGE AVE
WINDSOR HILLS, CA 90043

SCOPE OF WORK:
INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:
Edgar Vidal
EDGAR VIDAL

DATE:
RESTRICTIVE NOTICE:
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DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

REVISION:

TITLE 24

T1.1

