SITE PREPARATION

1. THE METHOD OF CLEARING AND STRIPPING SHOULD BE VERIFY BY THE CONTRACTOR. 2. ALL SURFACE VEGETATION, DEBRIS AND STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE PRIOR

TO COMMENCING SITE PREPARATION, EXCAVATION OR PLACEMENT FILL 3. FILL FOR FLOOR SLABS AND FOUNDATION TRENCHES SHALL CONSIST OF NATIVE SOIL

4. NATIVE SOIL PLACED FOR SLAB SUPPORT SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" WHEN COMPACTED. 5. IMPORT FOR SLAB SUPPORT SHALL CONSIST OF SAND, GRAVELY SAND OR SILTY SAND AND SHALL HAVE A EXPANSION INDEX OF LESS THAN 30.

SITE NOTES

1. ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, TITLE 24 AND ALL APPLICABLE CODES, REGULATIONS OR REQUIREMENTS OF THE CITY OR COUNTY HAVING JURISDICTION FOR THE PLACE OF THE BUILDING. 2. PERMITS SHALL BE OBTAINED FOR FENCES, POOLS, SPA OR RETAINING WALLS. 3. FINAL GRADING WORK SHALL COMPLY WITH 2019 CBC AND SHALL PROVIDE POSITIVE DRAINAGE FROM ALL PARTS OF THE BUILDING AND SHALL NOT DRAIN ONTO ADJACENT PROPERTIES.

4. ALL SURFACES SHALL BE SLOPED TO DRAIN WATER AWAY FROM THE BUILDING. 5. AT TIME OF PERMIT ISSUANCE, THE CONTRACTOR SHALL SHOW THEIR VALID "WORKERS COMPENSATION" INSURANCE

6. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE INFORMATION INDICATED ON THESE PLANS. 7. BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

SPECIAL HAZARDS

1. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON FENCE, CABLE OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF FIRE. 2. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE LAMC 57.12.02.

3. THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO ARRANGEMENT, LOCATION, SIZE OF AREAS, HEIGHT SEPARATIONS AND HOUSEKEEPING.

MISCELLANEOUS

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE BEFORE STARTING ANY WORK AND BE RESPONSIBLE FOR THE SAME, THE ARCHITECT SHALL BE NOTIFY OF ANY DISCREPANCIES WHICH MAY EXIST. CONTRACTOR SHALL NOT SCALE ANY DRAWINGS. 2. THE SPECIFICATIONS ARE OF A GENERAL NATURE AND MAY REFER TO WORK WHICH IS NOT REQUIRED. THEY ARE NOT INTENDED TO SUPERSEDE ANY CONTRACTUAL AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.

3. THE CONTRACTOR SHALL PROVIDE SUPERVISION TO PROPERLY EXECUTE THE PROJECT AND TO PROVIDE ASSURANCE THE WORK IS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. 4. ALL NECESSARY PERMITS SHALL BE SECURED BY THE CONTRACTOR PRIOR TO START ANY CONSTRUCTION.

BUILDING CODE NOTES

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000) SEPARATE PLUMBING PERMIT IS REQUIRED.

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3) D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLES SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4) E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT

LESS THAN 6 FEET AOBVE THE FLOOR (R307.2) F. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. G. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT

MATERIALS FOR SHOWER ENCLOSURE. (1209.2.3 & 1209.2.4) H. UNIT SKYLIGHTS SHALL BE LABELED BY AN LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

I. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, UPC) M. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND

N.A.WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTIONS R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2) N.B.EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF

EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1) O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

FINISH MATERIAL POLLUTANT CONTROL

A. ADHESIVE, SEALANTS AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.1 AND COMPLY WITH THE VOC LIMITS IN TABLES 4.504.1 AND 4.504.2 AS APPLICABLE. B. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2. AND COMPLY WITH

C. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3 D. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF HE FOLLOWING:

I. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR II. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHODS FOR THE TESTING OF VOC EMISSIONS (SPEC

III. NSF/ANSI 140 AT THE GOLD LEVEL OR

IV. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD E. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 50 G/L. (4.504.3.1,

F. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE I. PRODUCTS CERTIFIED AS A LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR II. PRODUCTS CERTIFIED UNDER UL GREEN GUARD GOLD (FORMERLY THE GREEN GUARD CHILDREN & SCHOOLS

PROGRAM), OR III. CERTIFICATION UNDER THE RFCI FLOORSCORE PROGRAM OR

IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS G. COMPOSITE WOOD PRODUCTS (HARDWOOD PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF HE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT HE TIME OF INSPECTION.

MATERIAL CONSERVATION & RESOURCE EFFICIENCY

ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

ENVIRONMENTAL QUALITY

A. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM.

B. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.

C. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING: - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMITE OUTSIDE THE BUILDING. - FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY < 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

1. PROVIDE 72 INCH HIGH NONABSORBENT WALL ADJACENT TO SHOWER, AND APPROVED SHATTER RESISTANT

2. ONLY LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED. "PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION." 3. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS REQUIRES 1-HOUR FIRE RESISTIVE CONSTRUCTION ON

ENCLOSED SIDE. 4. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" X 6'-8" (WIDTH AND HEIGHT). PROJECTIONS INCLUDING PANIC

HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH. 5. PROVIDE 32" WIDE DOORS TO ALL ACCESSIBLE ROOMS WITHIN A DWELLING UNIT

6. GLASS SKYLIGHTS SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHTS WITH 91.1006.12 7. PROVIDE WINDOW WELLS (WITH FIXED LADDER) FOR EGRESS WINDOWS BELOW GRADE.

8. WATER HEATER IS REQUIRED TO BE ANCHORED. "WATER HEATER MUST BE STRAPPED TO WALL."

9. PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES.

10. COURT MORE THAN TWO STORIES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQ.FT.

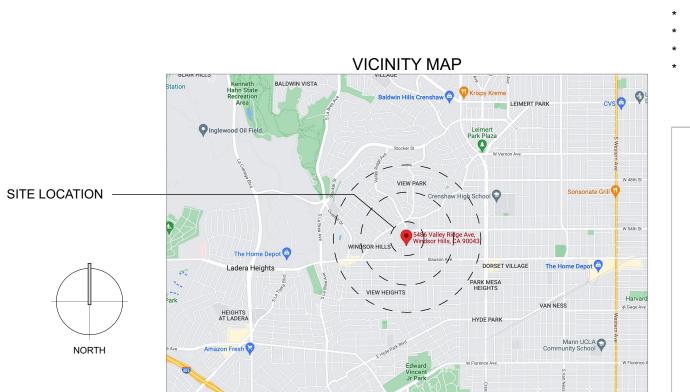
1. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQ. WITHIN 72" ABOVE DRAIN.

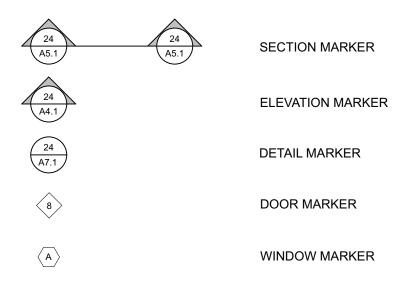
2. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT MATERIALS: 3. GLASS ENCLOSURE DOORS MUST BE LABELED CATEGORY II SWING DOOR OUTWARD.

4. NET AREA OF SHOWER RECEPTOR NOT LESS THAN 1024 " OR 30" DIA CIR 510, 511, 5406, 5407, UBC STD. T-54 & D.C. 909. 5. BATHS WITHOUT OPENABLE WINDOWS SHALL BE PROVIDED WITH VENT FAN CAPABLE OF MINIMUM 5 AIR CHANGES

6. TOILET COMPARTMENT MINIMUM 30" WIDE WITH 24" CIR. IN FRONT OF TOILET. 7. PROVIDE MINIMUM 12" X 12" ACCESS AT TUB TRAP EXCEPT WHERE CONCERNED FIXED CONNECTIONS ARE OF BRASS

8. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE A/P CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SIMILAR ROOMS IF REQUIRED OPENABLE WINDOWS ARE NOT PROVIDED





GREGORY RACHAL

DESIGNER

DDB, LLC 1226 W. NINTH ST. **UPLAND, CA 91786** 310.487.1613 HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

STRUCTURAL ENGINEER MID CITIES STRUCTURAL ENGINEERING 9744 MAPLE ST. SUITE 101 BELLFLOWER, CA 90706 562.866.3625 MCE2020@GMAIL.COM MIDCITIESENGINEERING.COM

T-24 DDB, LLC 1226 W. NINTH ST. **UPLAND, CA 91786** 310.487.1613 HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING AMENDMENTS:

> 2023 CALIFORNIA RESIDENTIAL CODE 2023 CALIFORNIA BUILDING CODE 2023 CALIFORNIA PLUMBING CODE 2023 CALIFORNIA MECHANICAL CODE 2023 CALIFORNIA ELECTRICAL CODE 2023 CALIFORNIA ENERGY CODE. (TITLE 24) 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE

	SHEET INDEX
A0.0	PROJECT INFO
A1.0	EXISTING & PROPOSED SITE PLANS
A2.1	EXISTING FLOOR PLAN
A2.2	EXISTING ROOF PLAN
A2.3	EXISTING ELEVATIONS
A3.1	PROPOSED FLOOR PLAN
A3.2	PROPOSED ELECTRICAL PLAN
A4.1	PROPOSED ELEVATIONS
A4.2	PROPOSED FENCE ELEVATION & LINE OF SIGHT ANALYSIS
A5.0	PROPOSED ROOF PLANS

PROPOSED SECTION CUTS

$\mathcal{M}^{\mathcal{M}}$ PROJECT INFO

PROJECT ADDRESS: 5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043 **DESIGNER:** DREAM DESIGN BUILD **PHONE**: 818.732.5494

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

1. LEGALIZE (E) 5'-8" TALL FENCE WITHIN THE FRONT YARD FRONTING WEST 57TH ST. &

2. REPLACE SLIDING GATE WITH 5'-8" FENCE TO MATCH EXISTING 3 LEGALIZE (E) 256 SOLET COVERED PATIO

4. CLOSE THE EXISTING DRIVEWAY & CURB CUT		
PROPERTY AREA:	6,625 SQ. FT.	
EXISTING		
SINGLE FAMILY DWELLING: GARAGE & STORAGE (TO BE CONVERTED UNDER SEP. PERMIT):	1,841.00 SQ. FT. 577.00 SQ. FT.	EDGAF
PROPOSED		DATE
COVERED PATIO (TO BE LEGALIZED): SFD ADDITION - MASTER BATHROOM & W.I.C: SFD ADDITION - MASTER BEDROOM:	256.00 SQ. FT. 173.25 SQ. FT. 28.50 SQ. FT.	AI SPECIFI THE EXC WERE C IN CO

SINGLE FAMILY DWELLING:	2,042.75 SQ. FT.
COVERED PATIO:	256.00 SQ. FT.
ADU (PERMIT: UNC-BLDR221216011867):	577.00 SQ. FT.
TOTAL FLOOR AREA (W/ ADU):	2,619.75 SQ. FT.
TOTAL FLOOR AREA (W/O ADU):	2,042.75 SQ. FT.
LOT COVERAGE	
(MAIN DWELLING + ADU) / PROPERTY AREA	29%
FLOOR AREA RATIO	
(TOTAL FLOOR AREA W/ ADU) / PROPERTY AREA	51%

REAR YARD OPEN SPACE RATIO **REAR YARD OPEN SPACE:** 2,339.00 SQ. FT. OPEN SPACE / PROPERTY AREA 35% FRONT YARD LANDSCAPING RATIO PROPOSED FRONT YARD AREA: 1,835.00 SQ. FT. PROPOSED FRONT YARD LANSCAPING: 1,240.00 SQ. FT.

OF STORIES: 1

PARKING REQ.:

TRACT #: 11381 LOT 1

MAX. BUILDING HEIGHT: 13'-9"

(P) FRONT YARD LANSCAPING / (P) FRONT YARD AREA

LEGAL DESCRIPTION:

RESULTING PROJECT

LOT NO: 36 APN: 5008-005-036 ZONING: RS-6500 YEAR BUILT: 1940

OCCUPANCY: R1 / U CONSTRUCTION TYPE: V-B // NON-FIRE SPRINKLERED

1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:



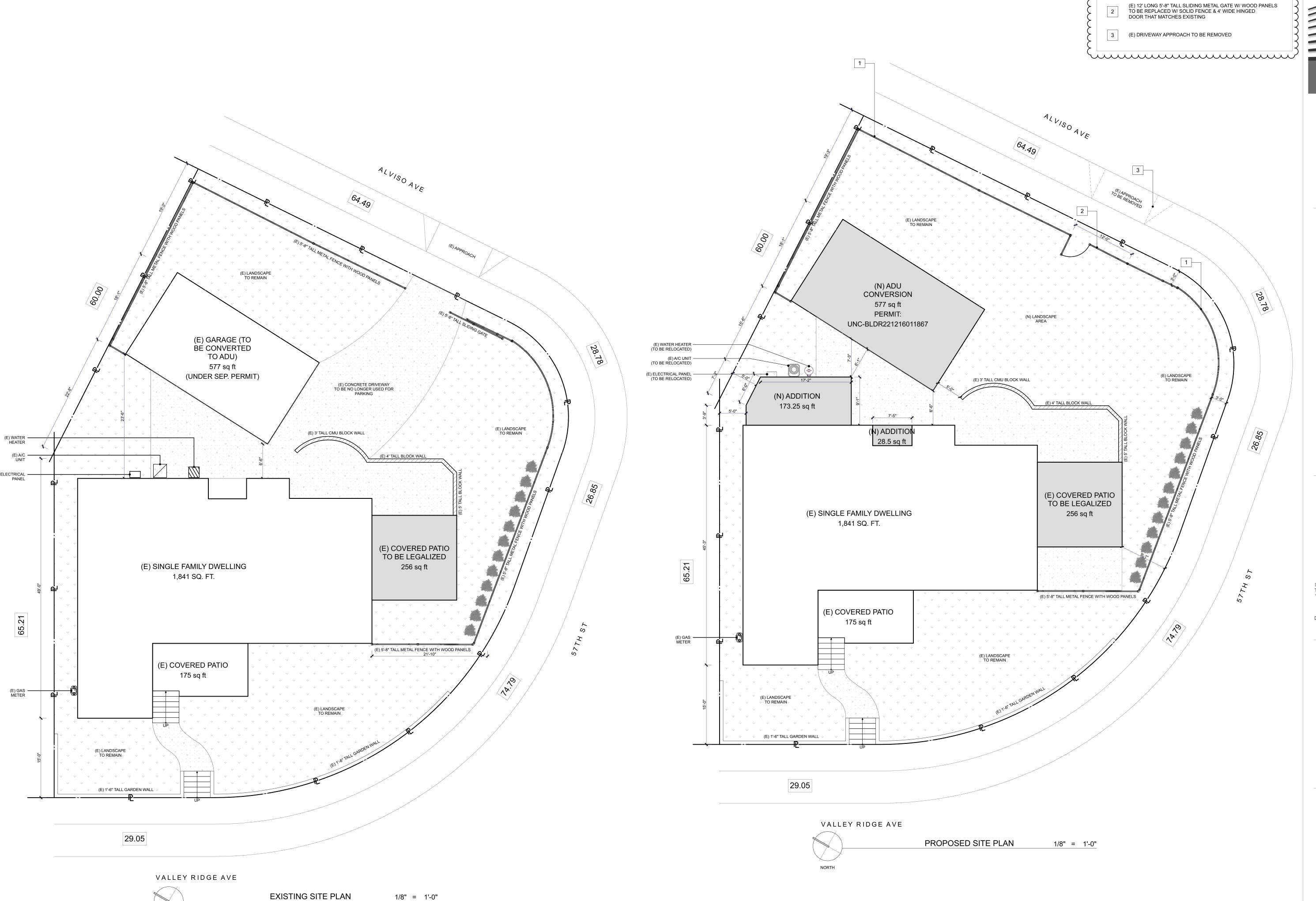
RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & FICATIONS INDICATED BY THE DRAWINGS ARE KCLUSIVE PROPERTY OF DDB,LLC. THE PLANS CREATED AND DEVELOPED FOR USE ON AND CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

PROJECT INFO

67%



1/8" = 1'-0"



1 (E) SOLID 5'-8" TALL METAL FENCE W/ WOOD PANELS

1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

EXISTING & PROPOSED SITE **PLANS**

A1.0

		24'-8"	55'-7"	8'-1"	15'-7"	
	BEDROOM		BEDROOM	LAUNDRY BATHROOM BATHROOM PANTRY		3:6-1
45-3°	BEDROOMI	<u> </u>	DINING	KITCHEN	FAMILY	27.4"
	LIVING	DN DN	VERED PATIO			10-0"
	14'-2"	UP	18'-0" 55'-7"		23'-5"	4-2"

SYMBOL LEGEND

TO BE DEMO

EXISTING WALL

EXISTING RETAINING WALL



1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal

EDGAR VIDAL

DATE

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

EXISTING FLOOR PLAN

A2.1

TO Lia	4" 12" PITCH		4" 12"	PITCH		
**************************************	4" 12" PITCH			4" 12" PITCH	HOLLIE TO THE TOTAL THE TOTAL TO THE TOTAL THE TOTAL TO T	
4" 12" PITCH	2" 12" PITCH	Z" 12" PITCH				

EXISTING ROOF PLAN

1/4" = 1'-0"

SYMBOL LEGEND

TO BE DEMO

EXISTING WALL

EXISTING RETAINING WALL



1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
GAR VIDAL

DATE

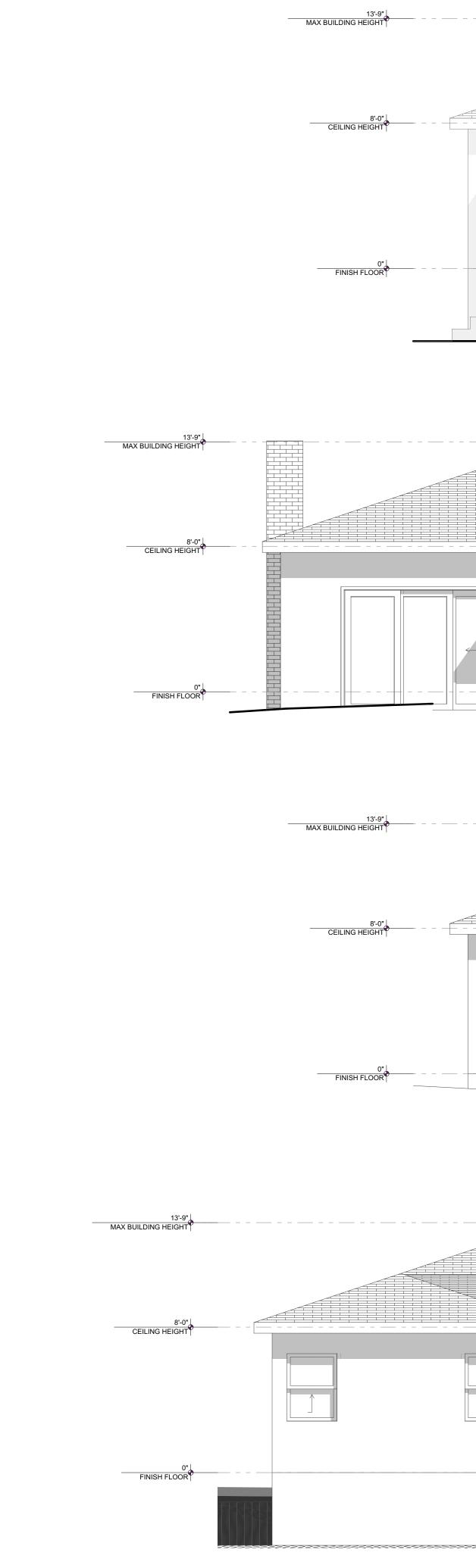
RESTRICTIVE NOTICE:

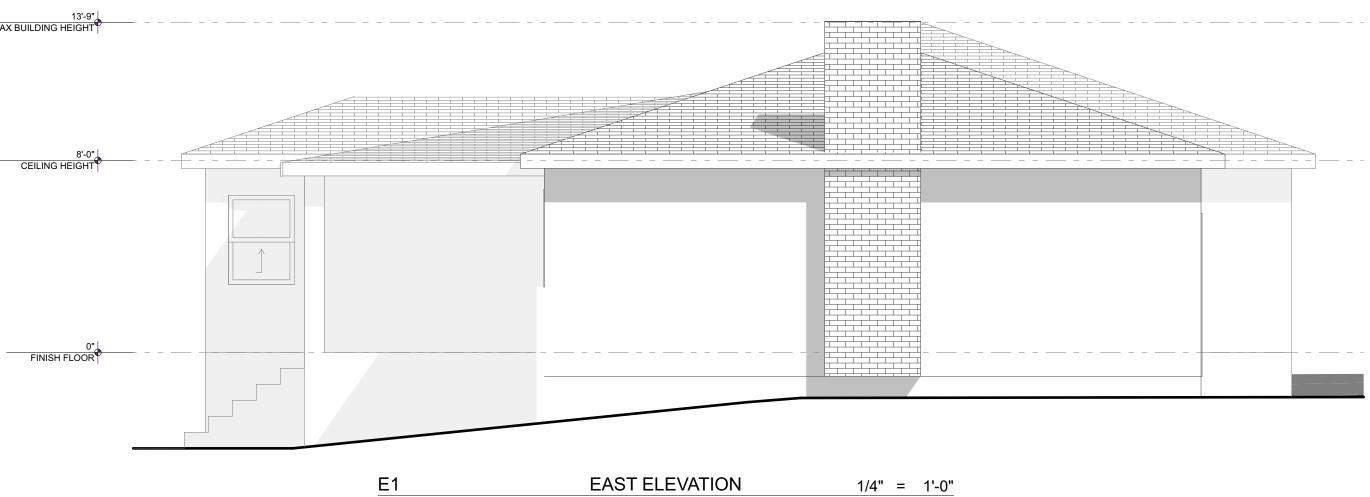
ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

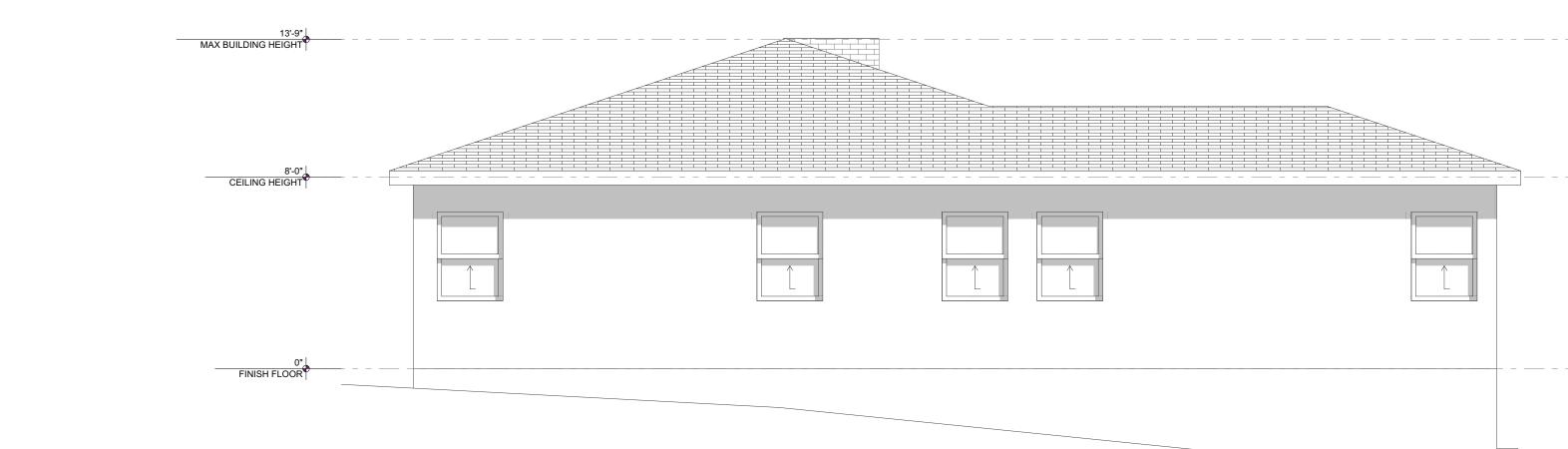
EXISTING ROOF PLAN

A2.2













1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

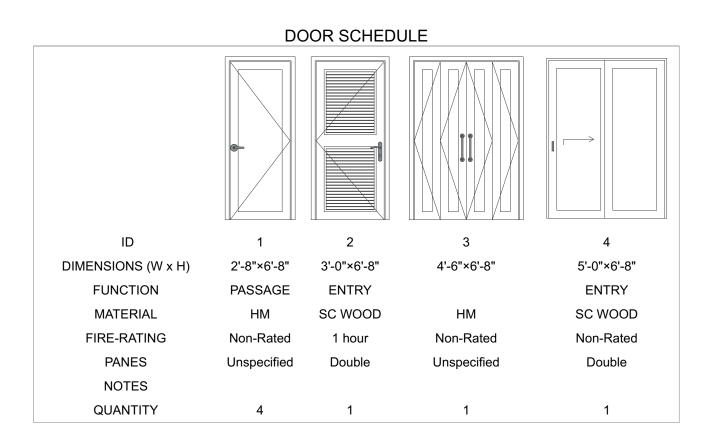
RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

EXISTING ELEVATIONS

A2.3



WINDOW SCHEDULE

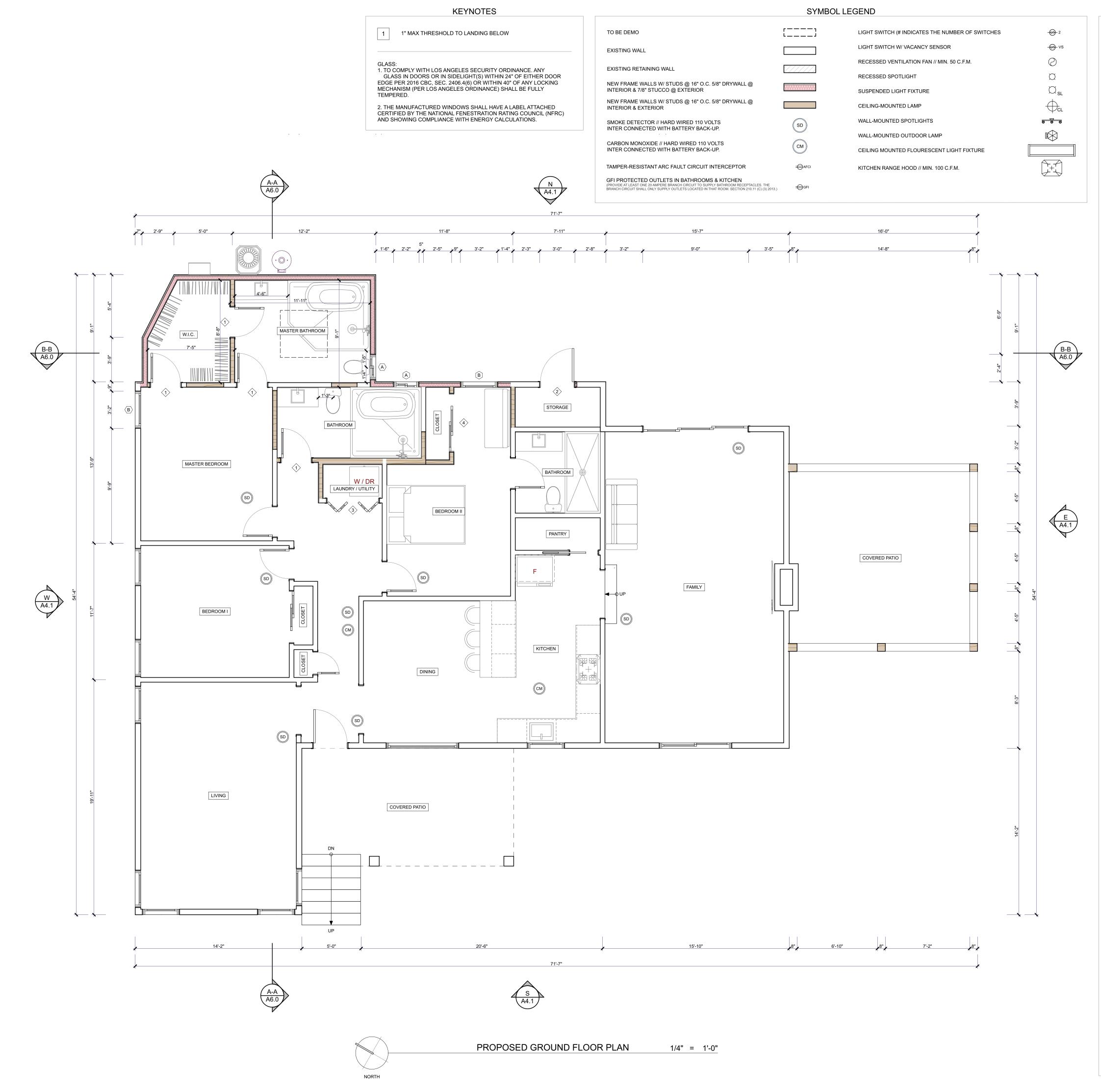


NATURAL VENTILATION CALCULATIONS

MASTER BEDROOM	BEDROOM II
REQ. MINIMUM	REQ. MINIMUM
146 SQ. FT. x 0.04 = 5.84 SQ. FT.	150 SQ. FT. x 0.04 = 6 SQ. FT.
PROVIDED	PROVIDED
(1) 3'-0" x 4'-0" WINDOW = 6 SQ. FT.	(1) 3'-0" x 5'-0" WINDOW = 7.5 SQ. FT.
TOTAL = 6 SQ. FT. > 5.84 SQ. FT.	TOTAL = 7.5 SQ. FT. > 6 SQ. FT.

NATURAL LIGHT CALCULATIONS

BEDROOM II
REQ. MINIMUM
150 SQ. FT. x 0.08 = 12.00 SQ. FT.
PROVIDED
(1) 3'-0" x 5'-0" WINDOW = 15 SQ. FT.
(1) 3-0 X 3-0 WINDOW - 13 3Q.11.
TOTAL = 15 SQ. FT. > 12.00 SQ. FT.





1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

ATE

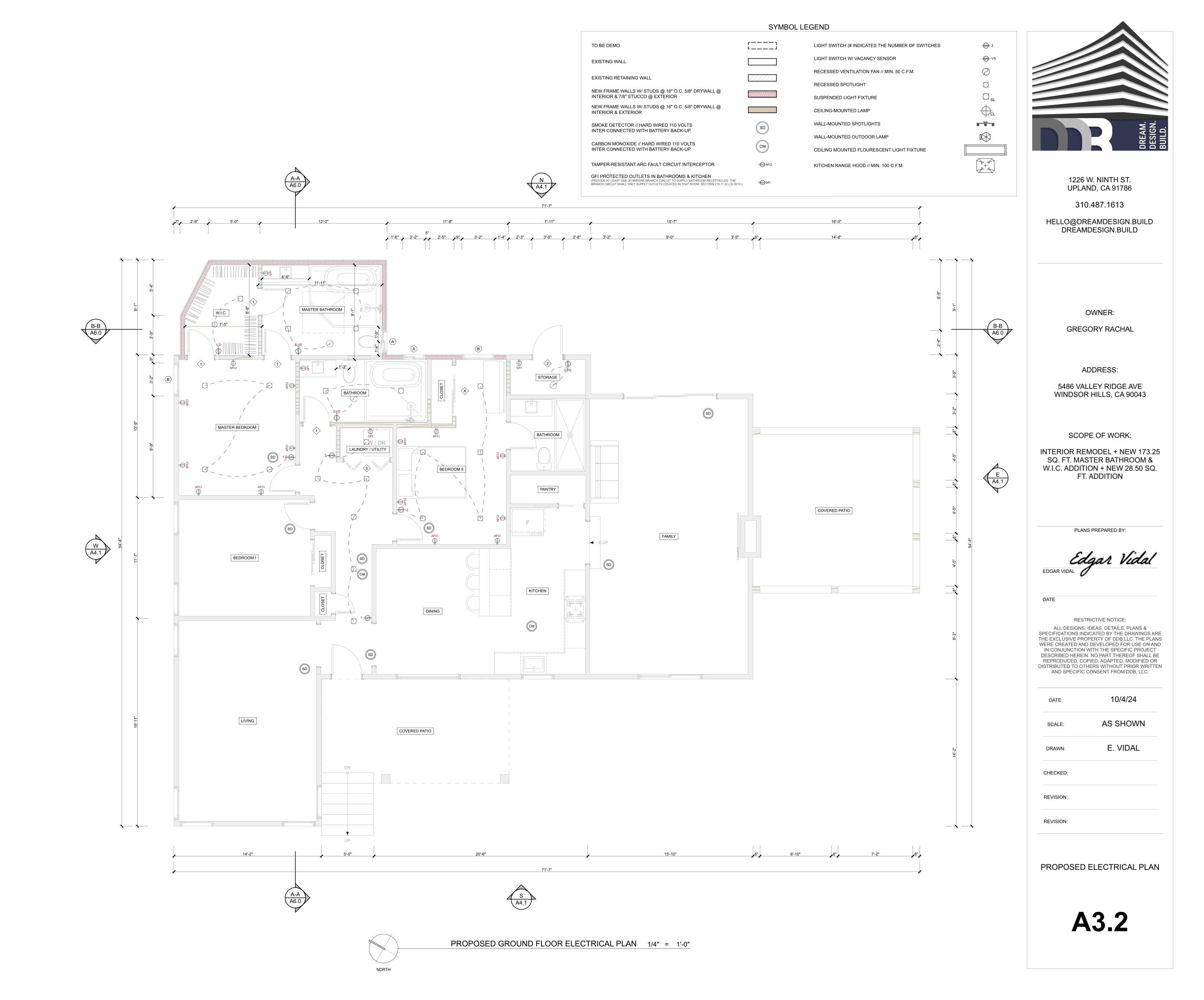
RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

PROPOSED FLOOR PLAN

A3.1







1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

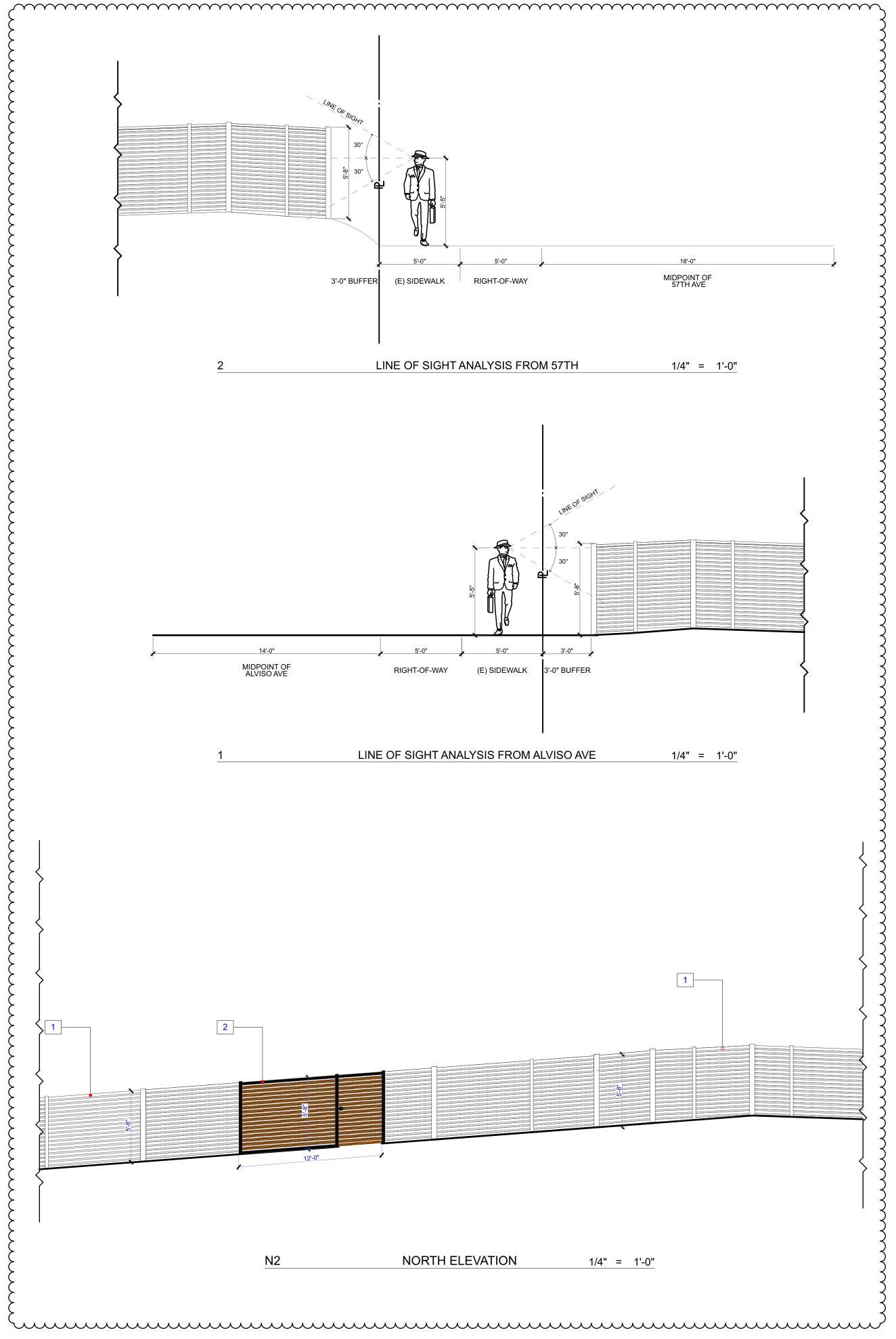
PROPOSED ELEVATIONS

A4.1

KEYNOTES

1 (E) 5'-8" TALL METAL FENCE W/ WOOD PANELS

(E) 12' LONG 5'-8" TALL SLIDING METAL GATE W/ WOOD PANELS TO BE REPLACED W/ SOLID FENCE & 4' WIDE HINGED DOOR THAT MATCHES EXISTING





1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:



DATE

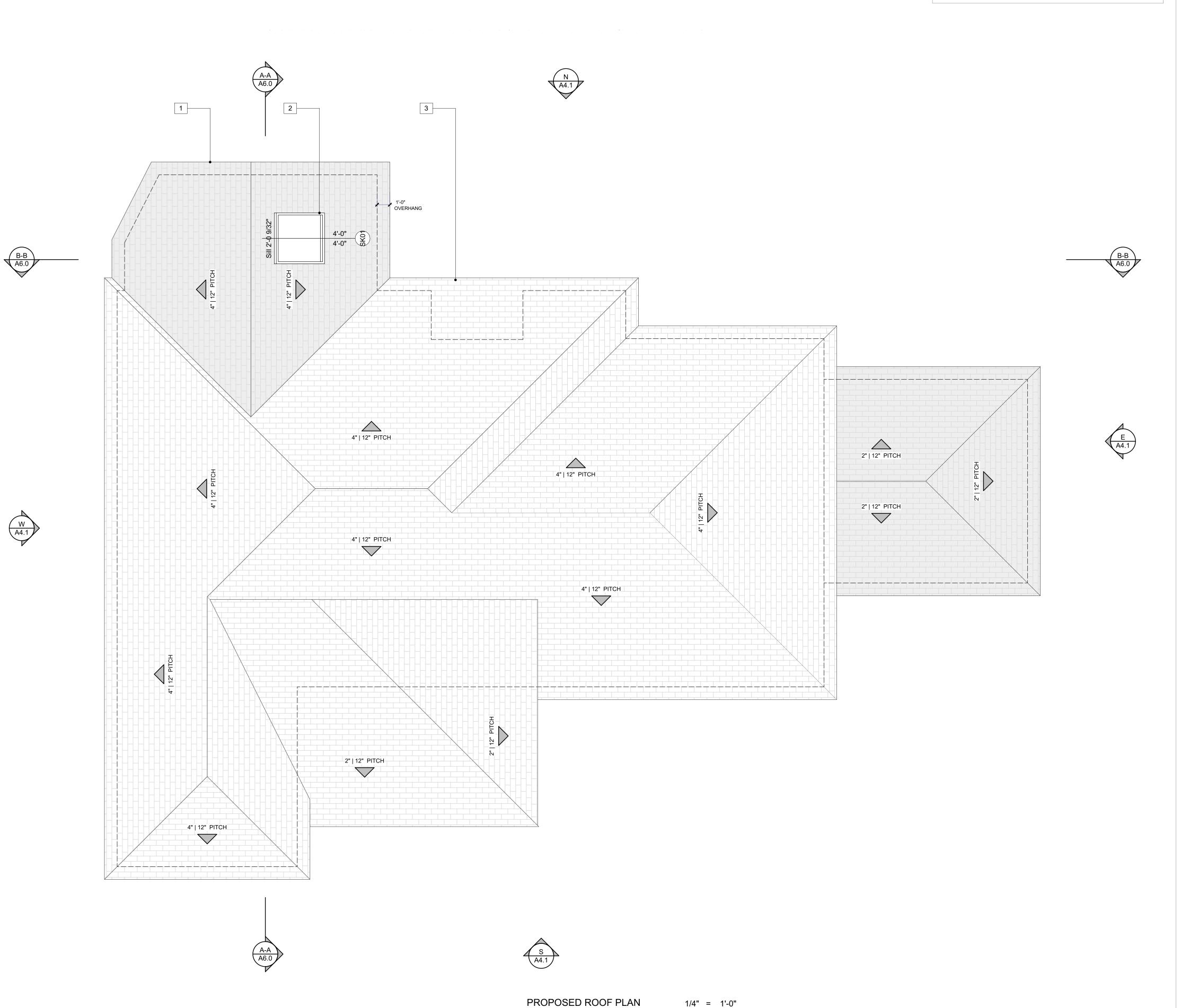
RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

PROPOSED FENCE ELEVATION & LINE OF SIGHT ANALYSIS

A4.2



NEW ROOF: DURO-LAST 60-MIL MEMBRANE COOL ROOF CLASS A CRCC# 0610-0008

2 SKYLIGHT ICC #: ESR-4108

3 EXISTING ROOF TO REMAIN

DREAM.
DESIGN.
BUILD.

1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

PROPOSED ROOF PLANS

A5.0

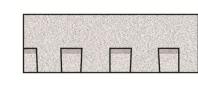
Technical Data Sheet

Landmark Solaris® GOLD Landmark Solaris® PLATINUM



PRODUCT INFORMATION

Landmark Solaris Gold and Landmark Solaris Platinum's innovative technology produces a shingle that reflects solar energy in a traditional color palette. All colors are rated by Cool Roof Rating Council (CRRC) for cool roofs and meet California's Title 24 requirements for cool steep slope roofing. Landmark Solaris shingles are manufactured using the same high



standards as all CertainTeed roofing products and are covered by the same superior warranty protection. These shingles are available in "Metric" dimensions – 13 1/4" x 38 3/4". This product also features CertainTeed's NailTrak® that offers a wider nailing area.

Landmark Solaris algae-resistant (AR) shingles have the additional attribute of resisting the growth of algae especially in damp regions. AR shingles are not available in all regions.

		CRRC Rated Product Directory						Meets	Energy	
Product	Color	Product ID -	Solar Reflectance		Thermal Emittance		SRI		California	Star
			Initial	Aged	Initial	Aged	Initial	Aged	Title 24? C	Certified?
Landmark Solaris® Gold	Max Def Resawn Shake	0668-0051	0.26	0.25	0.88	0.90	26	25	YES	YES
Landmark Solaris® Gold	Max Def Weathered Wood	0668-0050	0.25	0.24	0.90	0.89	25	24	YES	YES
Landmark Solaris® Platinum	Coastal Tan	0668-0079	0.40	0.36	0.91	0.90	45	40	YES	YES
Landmark Solaris® Platinum	Santa Fe	0668-0080	0.40	0.35	0.90	0.91	45	39	YES	YES
Landmark Solaris®	Sierra Buff	0668-0074	0.41	0.37	0.92	0.90	47	41	YES	YES

Please refer to product brochure or CertainTeed website for the colors available in your region

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark Solaris Gold/Platinum shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules with high solar reflectance are tightly embedded in carefully refined, waterresistant asphalt. Two pieces of the shingle are firmly laminated together in special tough asphaltic cement. All Landmark Solaris Gold/Platinum shingles have self-sealing adhesive strips.

Applicable Standards:

ASTM E108 Class A Fire Resistance

UL 790 Class A Fire Resistance

ASTM D3462 ASTM D3018 Type I

ASTM D3161 Class F Wind Resistance

ASTM D7158 Class H Wind Resistance

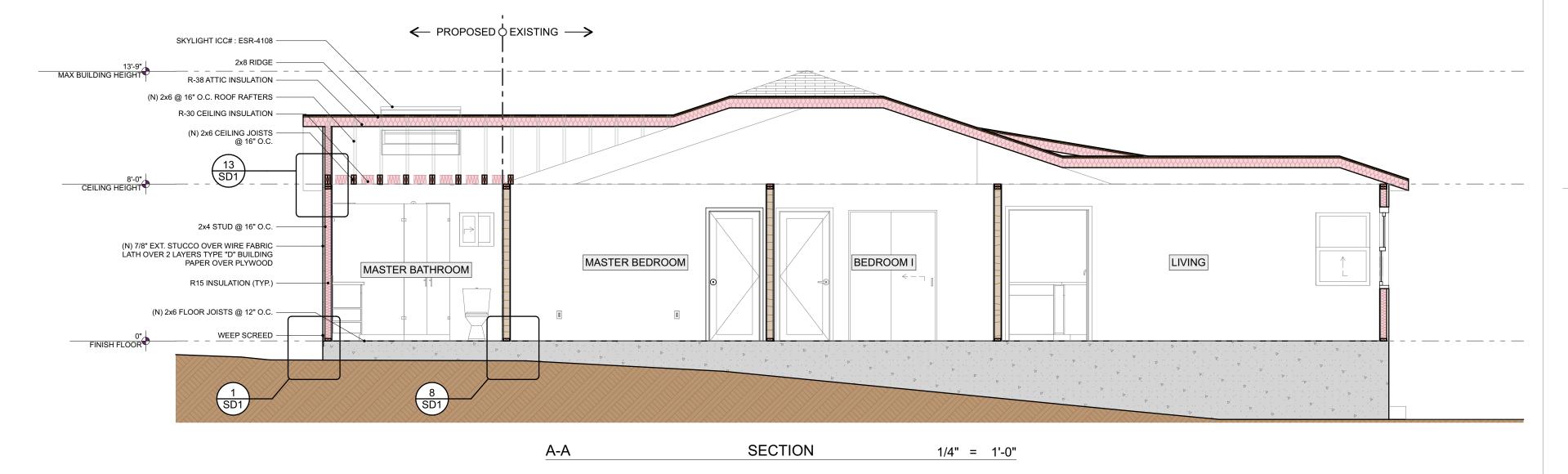
CSA Standard A123.5

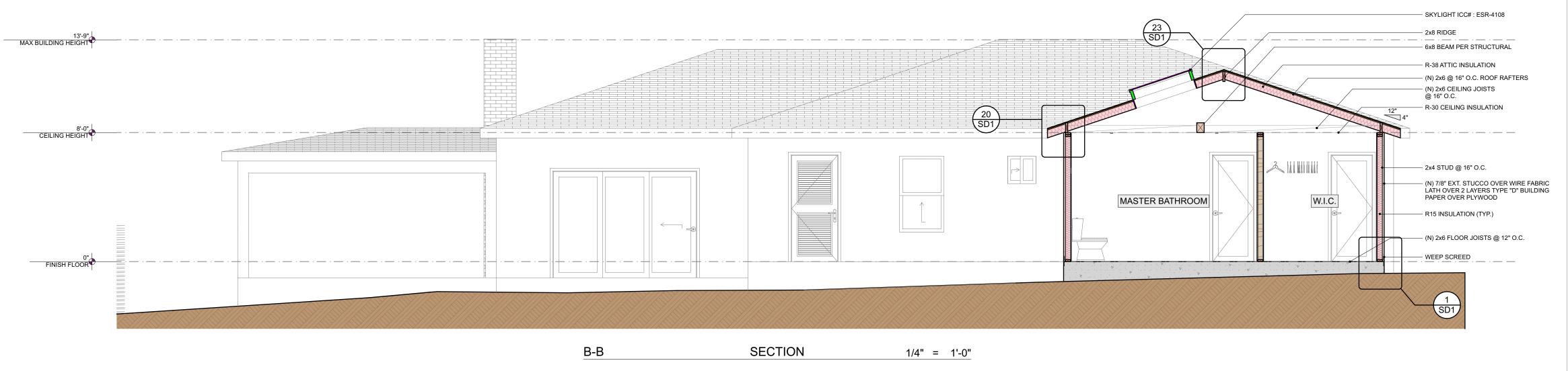
ICC-ES ESR-1389 & ESR-3537 Miami-Dade Product Control Approved (Regional)

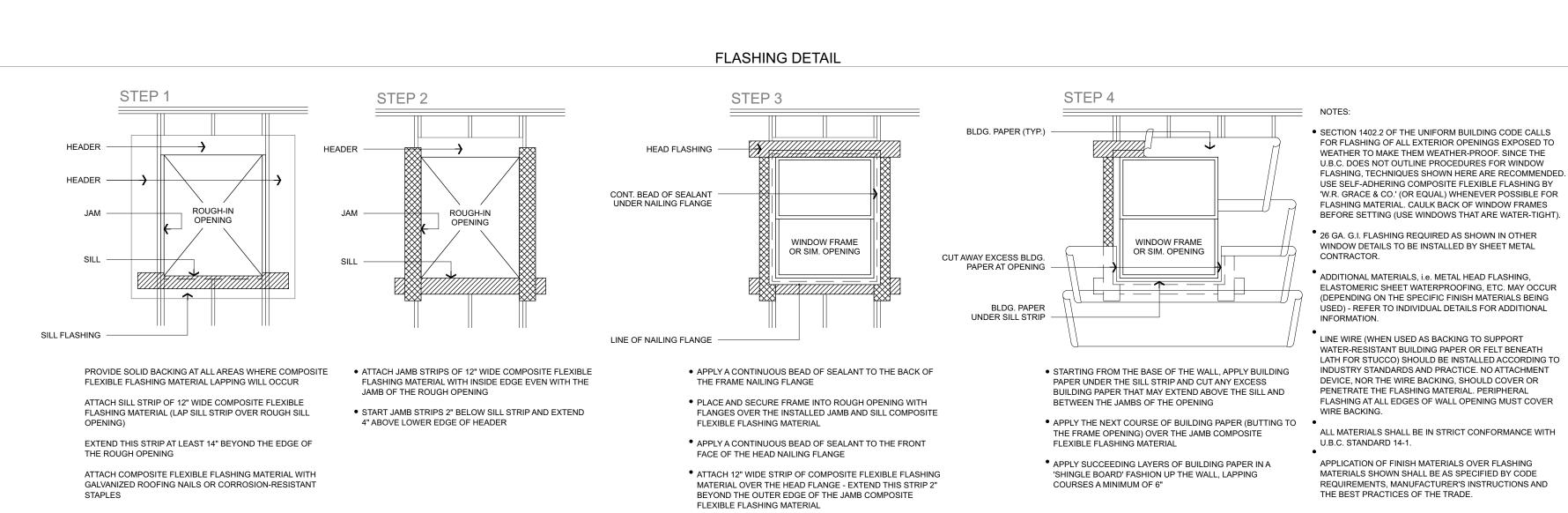
Florida Product Approval # FL5444

TDI Windstorm Resistance (Regional)

California Title 24, Part 6 Compliant (Steep Slope)









1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

PROPOSED SECTION CUTS

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

Y N/A RESPON. PARTY CHAPTER 3 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. GREEN BUILDING When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the **SECTION 301 GENERAL** requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.106.4.3 for application. EVs at all required EV spaces at a minimum of 40 amperes. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, of EV capable spaces. et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating high-rise buildings, no banner will be used. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** EV chargers are installed for use. **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power shall comply with the specific green building measures applicable to each specific occupancy. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to **ABBREVIATION DEFINITIONS:** 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission Division of the State Architect, Structural Safety EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all OSHPD Office of Statewide Health Planning and Development EVs at all required EV spaces at a minimum of 40 amperes. Low Rise High Rise The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of CHAPTER 4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be **RESIDENTIAL MANDATORY MEASURES** reduced by a number equal to the number of EV chargers installed over the five (5) percent required. **SECTION 4.102 DEFINITIONS** a. Construction documents shall show locations of future EV spaces. The following terms are defined in Chapter 2 (and are included here for reference) b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. Exception: Areas of parking facilities served by parking lifts. 4.106 SITE DEVELOPMENT 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes. area and shall be available for use by all residents or guests. management of storm water drainage and erosion controls shall comply with this section. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code. Chapter 11B. for applicable Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 4.106.4.2.2.1.1 Location. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. water include, but are not limited to, the following: 2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. . Water collection and disposal systems French drains Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 12 feet (3658 mm). 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway 4.106.4.2.3 EV space requirements. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device overcurrent protective device. installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

accordance with the California Electrical Code.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s). 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. **DIVISION 4.2 ENERGY EFFICIENCY** 4.201 GENERAL **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. **4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 PRODUCT CLASS MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (≤ 5.0 ozf) 1.00 Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28 Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. TABLE - MAXIMUM FIXTURE WATER USE **FIXTURE TYPE FLOW RATE** SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 LAVATORY FAUCETS (RESIDENTIAL) LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

USE AREAS

URINALS

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

KITCHEN FAUCETS

WATER CLOSET

METERING FAUCETS

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT. ENGINFFF 4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS . Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY** 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE **4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be 4. Identify construction methods employed to reduce the amount of construction and demolition waste Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1 **Note:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in **4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.. 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of **DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL** The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. **SECTION 4.502 DEFINITIONS** The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door

medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.



1226 W. NINTH ST. **UPLAND.** CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN AND SPECIFIC CONSENT FROM DDB, LLC.

10/4/24 AS SHOWN E. VIDAL CHECKED: REVISION: REVISION:

GREEN BUILDING

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

L MANDATORY MEASURES, SHEET 2 (January 2023)

			ZUZZ CALI
			RESIDENTIAL
Y	N/A	RESPON. PARTY	
			MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94701 and 94701.
			MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood
			PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).
			REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.
			VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).
			4.503 FIREPLACES 4.503.1 GENERAL . Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
			4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.
			4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.
			4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:
			1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules wher applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
			 Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i>, Title 17, commencing with section 94507.
			4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local lin apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categorie listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resourc Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.
			4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following Manufacturer's product specification. Field verification of on-site product containers. TABLE 4.504.1 - ADHESIVE VOC LIMIT 1.2 (Less Water and Less Exempt Compounds in Grams per Liter) **ARCHITECTURAL APPLICATIONS VOC LIMIT** INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES 150 OUTDOOR CARPET ADHESIVES 100 WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE 100 STRUCTURAL GLAZING ADHESIVES 250 SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS 510 PVC WELDING 490 CPVC WELDING ABS WELDING 325 PLASTIC CEMENT WELDING

> 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

WOOD

FIBERGLASS

550

250

250

Less Water and Less Exempt Compounds in Gr	ams per Liter)
EALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS 2,3

COMPOUNDS

COATING CATEGORY	VOC LIMIT
LAT COATINGS	50
ION-FLAT COATINGS	100
IONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
NDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY

TABLE 4.504.5 - FORMALDEHYDE L	.IMITS₁
MAXIMUM FORMALDEHYDE EMISSIONS IN PA	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM	A THOSE SPECIFIED

Y N/A RESPON. PARTY

CHAPTER 7

702 QUALIFICATIONS

1. State certified apprenticeship programs.

Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

performance contractors, and home energy auditors.

4. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

703 VERIFICATIONS

2. Public utility training programs.

BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engine Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL **4.505.1 General.** Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of b. A humidity control may be a separate component to the exhaust fan and is not required to be
- integral (i.e., built-in)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AN A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

recommendations prior to enclosure.

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT **4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Equipment Selection), or other equivalent design software or methods. **Exception:** Use of alternate design temperatures necessary to ensure the system functions are acceptable

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT. ENGINFFF

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the

Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

1. Certification by a national or regional green building program or standard publisher.

responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

1. Special inspectors shall be independent entities with no financial interest in the materials or the

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.



1226 W. NINTH ST. **UPLAND, CA 91786**

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:



RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB.LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN, NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

GREEN BUILDING



ATTACHMENT A

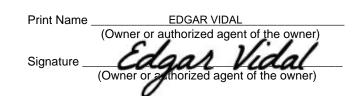
BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Development Construction **Projects/Certification Statement**

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.



*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003

Attachment A BMP Notes.doc

Public Works

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUILDING AND SAFETY DIVISION

GREEN BUILDING GENERAL NOTES

GENERAL PROJECT INFORMATION

PLAN CHECK NO. UNC-BLDR230712006485 DISTRICT NO

5486 VALLEY RIDGE AVE CITY SAN GABRIEL ZIP 91775 JOB ADDRESS NOTE: Numbers in the parenthesis () refer to sections of the 2023 edition of the County of Los Angeles Green Building Standards Code, Table (T).

01-01-2023

INSTRUCTIONS

• The following notes must be included on the plans.

GENERAL REQUIREMENTS

- 1. Plumbing fixtures and fixture fittings on the plans shall comply with the following flow rates: a. Water Closets - 1.28 GPF
- b. Urinals 0.5 GPF c. Wall-mounted urinal – 0.125 GPF
- d. Single showerhead 1.8 GPM at 80psi
- e. Multiple showerheads 1.8 GPM at 80psi for all combined showerheads
- f. Lavatory faucets 1.2 GPM at 60psi g. Lavatory faucets in public use areas - 0.5 GPM
- at 60nsi h. Metering faucets - .20 gallons per cycle
- i. Kitchen faucets 1.8 GPM at 60psi (4.303.1) 2. Annular spaces around pipes, electrical cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement
- mortar, concrete masonry, or a similar method acceptable to the enforcing agency. (4.406.1) 3. Fireplaces shall be direct vent sealed combustion type. Indicate on the plans the manufacturer name
- and model number. 4. At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be
- acceptable methods to reduce the amount of water, dust and debris which may enter the system.

Residential 2023 Green Building Standard Notes

5. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.

covered with tape, plastic, sheetmetal, or other

- 6. All mechanical exhaust fans in rooms with a bathtub or shower shall comply with the following:
 - a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. b. Fans must be controlled by a readily accessible humidistat unless functioning as a component of a whole house ventilation

system. Humidity control shall be capable of

- adjustment between a relative humidity range of 50% and 80%. (4.506.1) Adhesives, sealants and caulks shall meet or exceed the standards outlined in Section 4.504.2.1 and
- comply with the VOC limits in Tables 4.504.1 and 4.504.2 as applicable. (4.504.2.1)Paints and coatings shall meet or exceed the
- standards outlined in Section 4.504.2.2 and comply with the VOC limits in Table 4.504.3. (4.504.2.2) 9. Aerosol paints and coatings shall meet or exceed the
- standards outlined in Section 4.504.2.3. (4.504.2.3) 10. All carpet installed in the building interior shall meet all the testing and product requirements of one of the
 - a. Carpet and Rug Institute's Green Label Plus
 - Program OR b. California Department of Public Health Standard Method for the testing of VOC
 - Emissions (Specification 01350) OR c. NSF/ANSI 140 at the Gold Level OR d. Scientific Certifications Systems Indoor
- Advantage Gold 11. All carpet cushion installed in the building interior
- Institute Green Label Program. Carpet adhesives shall not exceed a VOC limit of 50 g/L.

(4.504.3.1, 4.504.3.2)

shall meet the requirements of the Carpet and Rug

Page 1 of 2

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS **BUILDING AND SAFETY DIVISION**

PLAN CHECK NO. UNC-BLDR230712006485 DISTRICT NO 5486 VALLEY RIDGE AVE SAN GABRIEL JOB ADDRESS CITY NOTE: Numbers in the parenthesis () refer to sections of the 2023 edition of the County of Los Angeles Building Code (BC), Residential Code (R), Plumbing Code (PC), Mechanical Code (MC), Electrical Code (EC), and Green Building

INSTRUCTIONS

• The following notes must be included on the plans.

SECURITY REQUIREMENTS

Standards Code (GC).

Public Works

GENERAL PROJECT INFORMATION

- 1. Exterior doors, doors between house and garage. windows and their hardware shall conform to the Security Provisions of Chapter 67 of the Los Angeles County Building Code (LACBC):
- a. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt key operated from the outside. Deadbolts shall have a hardened insert with 1" minimum throw and 5/8" minimum embedment into the jamb. If a latch has a key locking feature, it shall be dead latch type.
- b. Inactive leaf of a pair of doors and the upper leaf of Dutch doors shall have a deadbolt as per paragraph "a", unless it is not key operated from the exterior, or has a hardened deadbolt at top and
- bottom with ½" embedment. (BC6709.3) c. Swinging wood door(s) shall be solid core not less
- than 1-3/8" thick. (BC6709.1.1) d. Panels of wood doors shall be 9/16" thick and not more than 300 sq. inches. Stiles and rails to be 1-3/8" thick and 3" minimum width. (BC6709.1.2)
- e. Door hinge pins accessible from the outside shall be non-removable. f. Door stops of wood jambs of in-swinging doors
- shall be one piece construction or joined by a (BC 6709.4) g. Windows and door lights within 40" of the locking device of the door shall be fully tempered/approved burglary resistant/protected by bars, screens or grills.
- (BC6714) h. Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamb locks shall be on both jambs for doors exceeding 9 feet in width (BC6711)

12. A minimum of 80% of floor area receiving resilient

a. Products certified as a Low-Emitting Material

b. Products certified under UL GREENGUARD

d. Meet the California Department of Public

VOC Emissions (Specification 01350)

particle board, and MDF) installed on the interior or

exterior of the building shall meet or exceed the

standards outlined in Table 4.504.5. Verification of

compliance with these sections must be provided at

ABLE 4.504.3/TABLE 5.504.4.3

Magnesite cement coatings

Mastic texture coatings

Multi-color coatings

ecycled coatings

undercoaters

Roof coatings

ındercoaters

Stone consolidants

Swimming pool coatings

Waterproofing membranes

250 Wood preservatives

affic marking coatings

Tub and tile refinish coatings

Metallic pigmented coatings

etreatment wash primers

eactive penetrating sealers

Rust preventative coatings

VOC CONTENT LIMITS FOR ARCHITECTURAL COATING^{2,3}

Grams of VOC per Liter of Coating,

in the CHPS High Performance Products

Gold (Formerly the Greenguard Children &

Health Standard Method for the testing of

flooring shall comply with one of the following:

Database, OR

the time of inspection.

COATING CATEGORY

nflat high-gloss coatings

ment specialty coatings

num roof coating

ninous roof coatings

ninous roof primers

ncrete curing compounds

eway sealers

oor coatings

ux finishing coatings

resistive coatings

aphic arts coatings (sign paints)

n-temperature coatings 420 Wood coatings

solids coatings¹ 120 Zinc-rich primer

1. Grams of VOC per liter of coating, including water and including exempt compounds.

Residential 2023 Green Building Standard Notes

The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure. February 1, 2008. More information is available from the Air Resources Board.

y fog coatings

lat coatings

nflat coatings

Schools program), OR

c. RFCI FloorScore program, OR

13. Composite wood products (hardwood plywood,

RESIDENTIAL PLAN GENERAL NOTES

i. Sliding glass doors and sliding glass windows shall

be capable of withstanding the tests set forth in

Section 6706 and 6707 of the Los Angeles County

Building Code and shall bear a label indicating

compliance with these tests. (BC 6710, 6715)

not exceed 25% / 40% of its width, respectively. Bored

holes in bearing/nonbearing walls shall not exceed

40% / 60% of its width, respectively. (R602.6)

Interior finishes in Group R-3 shall have a flame

spread index of not greater than 200, and a smoke-

developed index not greater than 450. (R302.9)

Provide fire blocking in concealed spaces of stud

walls, partitions, including furred spaces, at the ceiling

and floor level, and at 10-foot intervals both vertical

Ducts installed under a floor in a crawl space shall not

prevent access to an area of the crawl space. Where it

is required to move under ducts for access to areas of

the crawl space, a vertical clearance of 18" minimum

Where flashing is of metal, the metal shall be corrosion

resistant with a thickness of not less than .019 inch

Note on the plans: "Roof diaphragm nailing to be

inspected before covering. Face grain of plywood shall

blocked panel edges, or occur over supports. Floor

interconnected hard-wired with battery backup and

shall be installed in accordance with NFPA 72." (R314)

be interconnected hard-wired with battery backup."

TABLE 4.504.5/TABLE 5.504.4.5

FORMALDEHYDE LIMITS¹

Maximum Formaldehyde Emissions in Parts per Million

nin medium density fiberboard² 0.13

1. Values in this table are derived from those specified by the California Air Resour

TABLE 4.504.2/TABLE 5.504.4.2

SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams Per Liter

TABLE 4.504.1/TABLE 5.504.4.1

ADHESIVE VOC LIMIT^{1,2}

Grams of VOC per Liter of Coating,

RCHITECTURAL APPLICATIONS

door carpet adhesives

itdoor carpet pad adhesive

od flooring adhesives

CT and asphalt tile adhesive

purpose construction adhesives

ctural glazing adhesives

PECIALITY APPLICATIONS

ngle-ply roof membrane adhesives

ywall and panel adhesives

arpet pad adhesives

Rubber floor adhesives

ofloor adhesives

eramic tile adhesives

Cove base adhesives

astic cement welding

ntact adhesive

dhesive primer for plastic

Special purpose contact adhesive uctural wood member adhesive

orous material (except wood

SUBSTRATE SPECIFIC APPLICATIONS

If an adhesive is used to bond dissimilar substrates together, the adhesive with the high-VOC content shall be allowed.

or additional information regarding methods to measure the voc of able, see South Coast Air Quality Management District Rule 1168

ess Water and Less Exempt Compounds

ardwood plywood composite core

dium density fiberboar

onmembrane ro

SEALANT PRIMERS

Roadway
Single-ply roof membrane

8. Subfloors shall have end-matched lumber, have

9. Provide a note: "SMOKE ALARM shall be

10. Provide a note: "CARBON MONOXIDE ALARM shall

sheathing shall comply with Section R503.

Notching of exterior and bearing/nonbearing walls shall

CONSTRUCTION REQUIREMENTS

and horizontal.

shall be provided.

(R315)

01-01-2023

(No. 26 galvanized sheet).

be perpendicular to supports.

(VOC) emission limits per LACGBSC Chapter 4. 12. In newly constructed dwelling units, electrical receptacle outlets, switches and controls shall be located no more than 48-in. measured from the top of the outlet box and not less than 15-in, from the bottom

11. Finish materials including adhesives, sealants, caulk,

paints & coatings, carpet systems, etc. shall meet the

- of the outlet box above the finish floor. (R327.1.2) 13. In newly constructed dwelling units, doorbell button or controls, shall not exceed 48-in. above exterior floor or landing, measured from the top of the doorbell button
 - 14. Provide a note on the plans "Fasteners for preservative-treated or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153."

GLAZING REQUIREMENTS

- 15. The following shall be considered specific hazardous locations requiring safety glazing per Section R308:
- a. Glazing in fixed and operable panels of swinging, sliding, and bifold doors. b. Glazing in fixed or operable panels adjacent to a door where the nearest vertical edge of the glazing is within a 24-inch arc of either vertical
- the bottom exposed edge of the glazing is less than 60 inches above the walking surface. c. Window glazing in an individual fixed or operable panel, that meets all of the following conditions: 1. The exposed area of an individual pane is

edge of the door in a closed position and where

- larger than 9 square feet. 2. The bottom edge is less than 18 inches above the floor.
- 3. The top edge is more than 36 inches above the 4. One or more walking surfaces are within 36
- inches, measured horizontally and in a straight line, of the glazing d. Glazing in guards, railings, structural baluster
- panels, and nonstructural in-fill panels, regardless of area or height above a walking e. Glazing in walls, enclosures or fences containing
- steam rooms, bathtubs, showers, and indoor or outdoor swimming pools, where all of the following conditions are present:

or facing hot tubs, spas, whirlpools, saunas,

1. The bottom edge of the glazing is less than 60 inches above any standing or walking surface. 2. The glazing is within 60 inches, measured horizontally and in a straight line, from a hot

tub, spa, whirlpool, bathtub, or swimming pool.

f. Glazing adjacent to stairs and ramps where the bottom exposed edge is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs, and ramps, unless the glazing is more than 36 inches

measured horizontally from the walking surface, or

a rail is designed per Section R308.4.6. . Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread, unless the glazing is more than 18 inches from a protective guard per Section R312.

MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS

- 16. Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68 degrees F at 3 feet above the floor and 2 feet from exterior walls.
- 17. The following are required for central heating furnaces
- and low-pressure boilers in a compartment: a. Listed appliances shall be installed with clearances in accordance with the terms of their listings and the manufacturer's installation (MC 904.2(1)) instructions.
- b. Unlisted appliances shall meet both the clearances in Table 904.2, and the clearances allowed by the manufacturer's installation instructions (MC 904.2(2))
- c. When combustion air is taken from inside, the area of combustion air openings shall be 1 sq. inch per 1,000 BTU (100 sq. inch minimum) per opening. One Opening shall be within 12 inches of the ceiling and the second shall be within 12 inches of the bottom of the enclosure. The dimension shall not be less than 3 inches. (MC 701.5(1))
- d. 1/4-inch screens are required at openings where combustion air is taken from the outside. (MC 701.10(2)) e. Separate ducts shall be used for upper and lower
- combustion air openings and maintained to the source of combustion air. (MC 701.11(4))
- 18. The following are required for appliances installed in an attic: a. An opening and passageway shall not be less than
- 22 inches by 30 inches, or less than the size of the largest piece of equipment. (MC 904.10) . Where the passageway height is less than 6 feet,
- the distance from access to the appliance shall not exceed 20 feet, as measured along the centerline. (MC 904.10.1) . Passageway shall be unobstructed and shall have
- solid flooring not less than 24 inches wide from (MC 904.10.2) entrance to appliance. I. A level working platform not less than 30 inches by 30 inches is required in front of the service side of (MC 904.10.3) the appliance.

Page 2 of 3

9. Humidity

01-01-2023

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS **BUILDING AND SAFETY DIVISION**

BUILDING OPERATION AND MAINTENANCE MANUAL - 2020 LAGBSC

PLAN CHECK NO.	D	ISTRICT NO	
JOB ADDRESS		CITY	ZIP
This m	anual shall remain with the l	building throughout the life	e cycle of the structure

Installed? YES ☐ NO ☐

This structure contains various elements designed for the purpose of improving public health, safety, and general welfare. Please note the following elements that are applicable to this structure, and provide or attach the appropriate information.

Manufacturer
SEER
Efficiency
Air Filter MERV
Attach operation and maintenance instructions to this manual.
2. Water Heating System
Manufacturer
Efficiency
Attach operation and maintenance instructions to this nanual.
3. Other Equipment Installed? YES ☐ NO ☐
Manufacturer
Special Instructions
Attach operation and maintenance instructions to this

1. HVAC System

4. Roof and Yard Drainage Installed? YES ☐ NO ☐ Gutters shall me maintained free of debris at all times.

Number of Downspouts_

Number of Catch Basins_

Residential 2020 GBSC Plan Review List

Irrigation System Installed? YES ☐ NO ☐ gation Controller Type and Manufacturer ach operation and maintenance instructions to this Installed? YES ☐ NO ☐

ter Reuse Type_ ach operation and maintenance instructions to this

8. Public Transportation Nearest Bus Stop_

Nearest Carpool Location Attach a map to this manual showing the structure's

location relative to public transportation.

Nearest Subway Stop

than 5 feet above the highest connected appliance flue collar or draft hood. (MC 802.6.2.1) g. Appliance installation shall meet all listed (MC 303.2)

(GC 4.303.1.3)

01-01-2023

12. Verifications

Adhesives Manufacturer and Type

Caulk Manufacturer and Type_

Paint Manufacturer and Type

Carpet Manufacturer and Type

Testing Program Certification_

Testing Program Certification_

Formaldehyde Limits__

VOC Level

VOC Level_

Aerosol Adhesives Manufacturer and Type

VOC Level_

VOC Level_

VOC Level

Resilient Flooring Manufacturer and Type

Composite Wood Manufacturer and Type

Attach all product certifications, specifications, and

applicable chain of custody certifications to this manual.

Sealer/Stain Manufacturer and Type

19. Clothes dryer moisture exhaust duct shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be used, and the exhaust duct may not extend into or through ducts and plenums.

passageway

clearances.

e. A permanent 120V receptacle outlet and a lighting

fixture shall be installed near the appliance. Light

switch shall be located at the entrance to the

- 20. Clothes dryer moisture exhaust duct shall be 4 inches in diameter and length is limited to 14 feet with two elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for every elbow in excess of two. (MC 504.3.1 & 504.3.1.2) 21. Heating appliances (water heater, furnace, etc.) located in the garage, which create a glow, spark or
- 22. Ducts shall be sized per Chapter 6 of the Mechanical
- 23. The effective flush volume of all water closets shall not exceed 1.28gpf. Urinals shall be 0.5gpf maximum. (GC 4.303.1.1)
- 24. Single shower heads shall have a maximum flow rate or 2.0gpm at 80psi. Multiple shower heads serving one shower shall have a combined flow rate of 2.0gpm at 80psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
- 25. Lavatory faucets shall not exceed 1.5gpm at 60psi. The minimum flow rate shall not be less than 0.8gpm
- 26. Kitchen faucets shall not exceed 1.8gpm at 60psi. The faucet may temporarily increase to above this rate, but not to exceed 2.2gpm at 60psi, and must default to the maximum flow rate of 1.8gpm at 60psi. (GC 4.303.1.4) 27. ABS and PVC DWV piping installations are limited to

not more than two stories of areas. (PC 701.1(2))

Provide information about the positive impacts of

maintaining a relative humidity between 30%-60% within

a. Resistance to the growth of dust mites,

b. Resistance to possible allergic reactions.

Attach instructions on routine maintenance for critical

building elements including, but not limited to the following.

Attach operation and maintenance instructions to this

manual. If no solar energy system is installed, attach

a. Equipment and appliances

c. Space conditioning systems

d. Landscape irrigation systems

b. Roof and yard drainage

e. Other installed systems

information on state incentive programs.

Residential 2020 GBSC Plan Review List

c. Maintains interior wood and paint surfaces.

Installed? YES ☐ NO ☐

this structure. Positive impacts include

10. Routine Maintenance

11. Solar Energy

Special Instructions

Manufacturer_

mildew, and mold.

- 28. All showers and tub-showers shall have a pressure balance, thermostatic mixing valve, or a combination pressure balance/thermostatic mixing type valve.
- f. A type B or L gas vent shall terminate not less 29. All new, replacement and existing water heaters shall be strapped to the wall in two places. One on the upper 1/3 of the tank, and one on the lower 1/3 of the tank. The lower point shall be a minimum of 4 inches
 - above the controls. (PC 508.2) 30. Plumbing plan check and approval are required for 2 inch or larger gas lines and/or water lines.
 - Ground-fault circuit-interruption (GFCI) for personnel shall be provided per EC section 210.8(A) and installed in a readily accessible location.
 - 32. Arc-fault circuit-interruption shall be installed to provide protection of the branch circuit. (EC 210.12) 33. Tamper-resistant receptacles shall be installed in all areas specified in 210.52, all nonlocking-type 12-volt, 15- and 20-ampere receptacles shall be listed tamper-
- resistant receptacles. (EC 406.12) flame, shall be installed at least 18 inches above the . Where NM Cable (Romex) is run across the top of ceiling joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6 feet of the nearest edge of the scuttle or attic entrance shall (FC 334.23, 320.23(A)) be provided.
 - 35. Sewer. ADU/JADU sewage can be connected to the existing sewer system at a minimum of 24-inches outside the existing building foundation. It must be approximately 12-inches below grade with no less than 2% to the final connection point. Cleanouts must be installed at intervals as required by the Plumbing Code with locations and size specified on the site plan. Cleanouts shall be installed for each pipe size and within ½" inch of the diameter pipe which the cleanout serves. Other items include vent location and size (combination venting must be calculated based on the pipe size and fixtures); proper use of materials and fittings; under floor or under slab-ABS 12" below grade; underfloor strap with proper straps with rodent protection; or rodent protected straps with adequate pipe protection for dissimilar straps. Fasteners must be approved galvanized, zinc, hot dip, and no "Drywall Screws". A minimum 10-foot head water test is required during underground drain waste inspection.



1226 W. NINTH ST. **UPLAND, CA 91786**

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

REVISION:

Page 6 of 6

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN, NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN

AND SPECIFIC CONSENT FROM DDB, LLC.

10/4/24 AS SHOWN E. VIDAL CHECKED: REVISION:

GREEN BUILDING

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Residential Building **Calculation Date/Time:** 2023-09-05T20:37:51-07:00 (Page 1 of 10) Calculation Description: Title 24 Analysis **Input File Name:** 5486 Valley Ridge Ave - Addition.ribd22x GENERAL INFORMATION Project Name Residential Building Run Title Title 24 Analysis Project Location 5486 Valley Ridge Ave City Windsor Hills 05 Standards Version 2022 07 **Zip code** 90043 Software Version | EnergyPro 9.0 09 Climate Zone 2 Front Orientation (deg/ Cardinal) Building Type | Single family Number of Dwelling Units Project Scope Newly Constructed Addition 13 Number of Bedrooms Number of Stories Addition Cond. Floor Area (ft²) 203.75 Existing Cond. Floor Area (ft²) 1841 Fenestration Average U-factor 0.21 Total Cond. Floor Area (ft²) 2044.75 Glazing Percentage (%) 9.30% ADU Bedroom Count n/a ADDITION ALONE - Project Analysis Parameters 03 02 04 06 Existing Area (excl. new addition) Addition Area (excl. existing Total Area (ft2) **Existing Bedrooms Addition Bedroom Total Bedrooms** (ft2) 203.75 2044.75 3 1841 COMPLIANCE RESULTS 01 Building Complies with Computer Performance This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider. O3 This building incorporates one or more Special Features shown below Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 HERS Provider: CHEERS E: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using in Innot guarantee, the accuracy or completeness of the information contained in this document. Report Generated: 2023-09-05 20:38:20 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Calculation Date/Time: 2023-09-05T20:37:51-07:00 (Page 4 of 10) Project Name: Residential Building Calculation Description: Title 24 Analysis Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x OPAQUE SURFACES indow and Door Name Zone Construction Azimuth Orientation Tilt (deg) Wall Exceptions Status Gross Area (ft²) Area (ft2)

Master Bath Zone 1 R-15 Wall Front 137.6 New Extension North Exterio Master Bath East Zone 1 R-15 Wall 90 Left 72.8 4 New 90 Extension Exterior Master Bath Zone 1 R-15 Wall 180 Back 164.8 90 Extension New South Exterio Master bath West Zone 1 R-15 Wall 270 Right 21.6 90 New Extension Exterior Master Bath R-15 Wall 315 Zone 1 n/a 52.8 New Extension Northwest Ext Closet North Zone 1 R-15 Wall Front 61.6 New Extension Exterior Wal Closet East R-15 Wall Zone 1 Left 31.2 Extension New Exterior Wall R-15 Wall 61.6 New Exterior Wal Closet West R-15 Wall 270 Right 31.2 New Zone 1 90 Extension Exterior Wall Closet Roof Zone 1 R-38 Roof Attic n/a n/a 28.5 n/a New

OPAQUE SURFAC	ES - CATHEDRAL C	EILINGS						_	-	
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Master Bath Roof	Zone 1	R-38 Roof No Attic	0	Front	175.25	0	2	0.1	0.85	No

Registration Date/Time: 09/05/2023 20:40 Registration Number: 423-P010161934A-000-000-0000000-0000 OTICE: This document has been generated by California Home Energy Efficiency Rating Services (nd cannot quarantee, the accuracy or completeness of the information contained in this document CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-09-05 20:38:20 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Calculation Date/Time: 2023-09-05T20:37:51-07:00 Project Name: Residential Building (Page 7 of 10) **Input File Name:** 5486 Valley Ridge Ave - Addition.ribd22x Calculation Description: Title 24 Analysis

WATER HEATING SYSTEMS

	Name	Syst	tem Type	Distribution Typ	e Water He	eater Name	Number of Unit	Solar H Syst		Compact Distribution	HERS Verifi	cation	/ater Heater Name (#)
	DHW Sys 2	1 1 -	nestic Hot er (DHW)	Standard	DHW	Heater 1	1	n/	'a	None	n/a	DH	N Heater 1 (1)
WAT	ER HEATER	RS 02	03	04	05	06	07	08	09	10	11	12	13
N	Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type		Rated Input Type	Input Rating or Pilot	Tank	Standby Loss or Recovery Eff		Tank

07

06

WATER HEATING - HERS VE	RIFICATION					
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

								·
PACE CONDITIONIN	G SYSTEMS							
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	n/a

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-09-05 20:38:20 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Residential Building

Calculation Description: Title 24 Analysis

CF1R-PRF-01-E Calculation Date/Time: 2023-09-05T20:37:51-07:00 (Page 2 of 10) Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2
Space Heating	0	2.49	0	5.81	0	-3.32
Space Cooling	0	36.56	0	31.66	0	4.9
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	243.78	0	243.78	0	0
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	282.83	0	281.25	0	1.58
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	7	0	7		
Appl. & Cooking	0	149.73	0	149.06		
Plug Loads	0	136.79	0	136.79		
Outdoor Lighting	0	17.16	0	17.16		
TOTAL COMPLIANCE	0	593.51	0	591.26		

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 HERS Provider: CHEERS This document has been generated by California Home Energy Efficiency Rating Services of guarantee, the accuracy or completeness of the information contained in this documen CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-09-05 20:38:20 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Residential Building

Calculation Description: Title 24 Analysis

CF1R-PRF-01-E (Page 5 of 10) Calculation Date/Time: 2023-09-05T20:37:51-07:00 Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x

ATTIC													
01		02	0	3		04		05		06	0	7	08
Name	С	onstruction	Ту	pe	Roof Ri	ise (x in 12	2) Roof	Reflectance	e Roof	Emittance	Radiant Barrier		Cool Roof
Attic Zone 1	Att	ic RoofZone 1	Venti	lated		0		0.3		0.75	N	0	Yes
FENESTRATION /	GLAZING												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Master Bath East Exterior	Left	90	111		1	4	0.21	NFRC	0.19	NFRC	Bug Screen
Window 2	Window	Closet North Exterior Wal	Front	0			1	15	0.21	NFRC	0.19	NFRC	Bug Screen

SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
master Bath Slab-on-Grade	Zone 1	175.25	0.1	none	0	80%	No
Closet Slab-on-Grade	Zone 1	28.5	0.1	none	0	80%	No

Registration Date/Time: 09/05/2023 20:40 HERS Provider: CHEERS Registration Number: 423-P010161934A-000-000-0000000-0000 Report Generated: 2023-09-05 20:38:20 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **Project Name:** Residential Building

Design Type

Calculation Date/Time: 2023-09-05T20:37:51-07:00 Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x CF1R-PRF-01-E

HERS Verification

Duct Leakage

(Page 8 of 10)

Calculation Description: Title 24 Analysis		Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x					
HVAC - HEATING UNIT TYPES							
01	02	03	04				
Name	System Type	Number of Units	Heating Efficiency				
Heating Component 1	Central gas furnace	1	AFUE-80				

HVAC - COOLING UN	IT TYPES							
01	02	03	04	05	06	07	08	09
Name	System Type	Number of Units	Efficiency Metric	Efficiency EER/EER2/CEER	Efficiency SEER/SEER2	Zonally Controlled	Mulit-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	EER/SEER	11.7	14	Not Zonal	Single Speed	Cooling Component 1-hers-cool
IVAC - DISTRIBUTION SYSTEMS								

04 05 06 07 08 09 Duct Location

Supply Return Supply Return Supply Return

Surface Area

Air Distribution System 1	Conditioned space-entirely	Non-Verified	R-8	R-8	oned Zone	oned Zone	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hers-dist
HVAC - FAN SYSTEMS		1									
	01			02	2				03		04
	Name			Тур	е			Fan Pow	ver (Watts/CFM)		Name
HVAC Fan 1				HVAC	Fan				0.45	HVAC	Fan 1-hers-fan

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 Report Generated: 2023-09-05 20:38:20 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building Calculation Date/Time: 2023-09-05T20:37:51-07:00 Calculation Description: Title 24 Analysis Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x

	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
Gross EUI ¹	118.56	118.99	-0.43	-0.36
Net EUI ²	118.56	118.99	-0.43	-0.36

1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

New ductwork added is less than 40 ft. in length Non-standard duct location (any location other than attic)

ZONE IN

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Quality insulation installation (QII)

Kitchen range hood Whole house fan airflow and fan efficacy

Refrigerant Charge verification required if a refrigerant containing component is altered Duct Sealing required if a duct system component, plenum, or air handling unit is altered

NFORMATION					
01	02	03	04	05	06
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating Syster

HVAC System1

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 HERS Provider: CHEERS CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-09-05 20:38:20 Schema Version: rev 20220901

203.75

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building Calculation Date/Time: 2023-09-05T20:37:51-07:00 Calculation Description: Title 24 Analysis Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.03	Roofing: Light Roof (Asphalt Shin Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board
Attic RoofZone 1	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-O	None / 0	0.644	Roofing: Light Roof (Asphalt Shin Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.9 insu Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICA	TION			
01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 E: This document has been generated by California Home Energy Efficiency Rating Services (CHEER nnot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-09-05 20:38:20 Report Version: 2022.0.000 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building

Calculation Date/Time: 2023-09-05T20:37:51-07:00

Calculation Description: Title 24 Analysis Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x HVAC FAN SYSTEMS - HERS VERIFICATION

Name	erified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Not Required	0

Registration Number: 423-P010161934A-000-000-0000000-0000 Registration Date/Time: 09/05/2023 20:40 HERS Provider: CHEERS CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-09-05 20:38:20 Schema Version: rev 20220901



CF1R-PRF-01-E

(Page 3 of 10)

07

Status

CF1R-PRF-01-E

(Page 6 of 10)

CF1R-PRF-01-E

(Page 9 of 10)

1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:



RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS & SPECIFICATIONS INDICATED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS WERE CREATED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIC PROJECT DESCRIBED HEREIN. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED OR DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	10/4/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

TITLE 24



(04/2022)

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Building Envelope): :
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).

Soods and Services (BHGS).

Solar Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).

Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.

Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.

Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer

Affairs.

Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*

50.0(b):

Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.

§ 150.0(b): Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.

Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102 Masonry walls must meet Tables 150.1-A or B.

\$ 150.0(d): Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.

Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *

Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).

Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).

Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of

§ 150.0(g)2: all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.

Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.

Fireplaces, Decorative Gas Appliances, and Gas Log:

§ 110.5(e)

Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.

Strongles 150.0(e)1:

Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.

Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.

§ 150.0(e)3: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*

Space Conditioning, Water Heating, and Plumbing System:

Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.*

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.*

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance

heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.

Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a sethack thermostat.

nsulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank

§ 110.3(c)3: surface heat loss rating.

| Solution Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

TENTO COMM

2022 Single-Family Residential Mandatory Requirements Summary

Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances § 110.5: (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters. *

Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook,

§ 150.0(h)3A:

Building Cooling and heating Loads. Realing and/or cooling loads are calculated in accordance with the ASHKAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any

§ 150.0(h)3A: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.

Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.

§ 150.0(h)3B:

manufacturer's instructions.

Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. *

Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no

adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.

Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and

§ 150.0(n)1: plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater

Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.

Ducts and Fans:

| Ducts | Duc

these spaces must not be compressed.*

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.

Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.

\$ 150.0(m)8:

Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.

Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.

Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind.

Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic

cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.

§ 150.0(m)10: Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.

Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

Ventilation and Indoor Air Quality:

| \$ 150.0(o)1: | Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *

| \$ 150.0(o)1B: | Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C. | Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units,

and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.

S 150.0(o)1G:

Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii, enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1H&I:

Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must

Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.

Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G

be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference

Pool and Spa Systems and Equipment:

| Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *

| Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, of dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
| 110.4(b)2: | Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
| Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
| 110.5: | Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
| Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump

\$ 150.0(p): sizing, flow rate, piping, filters, and valves.

Lighting:

Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.

\$ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.

\$ 150.0(k)1B: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.

**Recessed Downlight Luminaires in Ceilings Luminaires recessed into ceilings must not contain screw based sockets must be airtight.

\$ 150.0(k)1B:

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k). *

5/6/22

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building

CF1R-PRF-01-E
Calculation Date/Time: 2023-09-05T20:37:51-07:00 (Page 9 of 10)
Input File Name: 5486 Valley Ridge Ave - Addition.ribd22x

HVAC FAN SYSTEMS - HERS VERIFICATION

O1

O2

Name

Verified Fan Watt Draw

HVAC Fan 1-hers-fan

Not Required

Not Required

Not Required

Not Required

Required

O2

Required

Required

O3

Not Required

O

Registration Number: 423-P010161934A-000-00000000-0000
Registration Date/Time: 09/05/2023 20:40
HERS Provider: CHEERS

NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for and cannot guarantee, the accuracy or completeness of the information contained in this document.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Report Generated: 2023-09-05 20:38:20
Schema Version: rev 20220901



2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. *
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
olar Readiness:	
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the

5/6/22

§ 110.10(d):

§ 110.10(e)2:

Electric and Energy Storage Ready:



solar zone, measured in the vertical plane,

2022 Single-Family Residential Mandatory Requirements Summary

Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for

Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a

pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family

residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system. **Documentation**. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole

circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

roof dead load and roof live load must be clearly indicated on the construction documents.

\$ 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.

Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection § 150.0(s) equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the mair panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cove identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructe 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.



1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

GREGORY RACHAL

ADDRESS:

5486 VALLEY RIDGE AVE WINDSOR HILLS, CA 90043

SCOPE OF WORK:

INTERIOR REMODEL + NEW 173.25 SQ. FT. MASTER BATHROOM & W.I.C. ADDITION + NEW 28.50 SQ. FT. ADDITION

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

DATE

RESTRICTIVE NOTICE:

ALL DESIGNS, IDEAS, DETAILS, PLANS &
SPECIFICATIONS INDICATED BY THE DRAWINGS ARE
THE EXCLUSIVE PROPERTY OF DDB,LLC. THE PLANS
WERE CREATED AND DEVELOPED FOR USE ON AND
IN CONJUNCTION WITH THE SPECIFIC PROJECT
DESCRIBED HEREIN. NO PART THEREOF SHALL BE
REPRODUCED, COPIED, ADAPTED, MODIFIED OR
DISTRIBUTED TO OTHERS WITHOUT PRIOR WRITTEN
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE: 10/4/24

SCALE: AS SHOWN

DRAWN: E. VIDAL

CHECKED:

REVISION:

TITLE 24

T1.2

5/6/22