

PROJECT DATA				
Project Description				
A new 60 Unit Apartment Building 5 Stories				
ZONING OCCUPANCY				
Occupancy : Group		R-DIV 3 NO. OF UNITS 2		
Construction Type		Type V		
DEVELOPMENT PROGRAM				
PROJECT LOCATION : 7914 Broadway Avenue - Whittier CA 90606 ➤				
Owner Name:				
LEGAL DESCRIPTION:				
ZONING R-4		LAND USE DEVELOPMENT H50		
GENERAL BUILDING INFORMATION				
Lot Area : 36,624 sq. ft		Total Living Area :64,000 sq. ft.		
	UNIT A	UNIT B		
Units 1 Bedroom 1000 sq.ft.	40			
Units 2 Bedroom 1141 sq.ft.		8		
Units 3 Bedroom 1287 sq.ft.		12		
TOTAL UNITS LIVING FLOOR AREA	54,582			
TOTAL LIVING FLOOR AREA	54,936			
FIRE SPRINKLER SYSTEM				
PROPOSED SPRINKLER SYSTEM NFPA 13				
ZONING INFORMATION				
AREA:				
	REQUIRED	PROVIDED		
Maximum Lot Coverage				
Lot Coverage				
PARKING AND DRIVEWAYS				
Parking for One Bedroom Units 40	1. per unit = 40	40		
Parking for Two Bedroom Units 8	1.5 per unit + .5 = 16	16		
Parking for Three Bedroom Units 12	1.5 per unit + .5 = 24	24		
Total Parking	80			
PARKING PROVIDED				
Handicapped Parking		2		
Guest Parking				
Total Parking		81		
Long Term Bike Parking		33		
Short-Term Bike Parking		6		
OPEN SPACE				
Total				
Private per Unit	250 sq. ft.			
Total Private Open Space Provided	16000 sq. ft.			
Common Per Unit	Unit A:			
LANDSCAPING				
New Landscape Main Floor	1608 sq. ft.			
Landscape on each Floor on Planters	605 sq. ft. x 4 = 2420 sq. ft.			
Total Landscape	4288 sq. ft. or 11%			
PRIVATE STORAGE SPACE				
Cubic Feet Per Unit	Unit :			
	Unit :			
	Unit :			

LOS ANGELES COUNTY PUBLIC WORKS
TRAFFIC SAFETY AND MOBILITY DIVISION
SUBDIVISION, CONDITIONAL USE PERMIT (CUP) & R3 REVIEW
STREET LIGHTING REQUIREMENTS

1. Provide streetlight(s) on concrete pole (s) with underground wiring along the property frontage on Broadway Avenue to the satisfaction of Public Works or as modified by Public Works. The streetlight (s) shall be designed as a County-owned and maintained system. Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic Safety and Mobility Division, Street Lighting Section, for processing and approval.

2. Upon issuance of an Agreement to Improve (R4 only), the applicant shall comply with Conditions of Acceptance requiremens listed below in order for the County Lighting Districts to pay for the future operation and maintenance of the streetlight(s). It is the sole responsibility of the applicant to ensure 1) street lighting plans are approved prior to issuance of building permits or road construction permits, whichever occurs first, and 2) street lighting improvements are installed per approved plans, 3) If phasing of the project is approved , the required street lighting improvements for each phase of the project shall be subject to the assessment balloting listed below.

SUBDIVISION, CONDITIONAL USE PERMIT (CUP) & R3 REVIEW

Prior to County Lighting Districts assuming responsibility for the operation and maintenance costs of the streetlights from a developer's account into a County Lighting Districts' account, the following items are required:

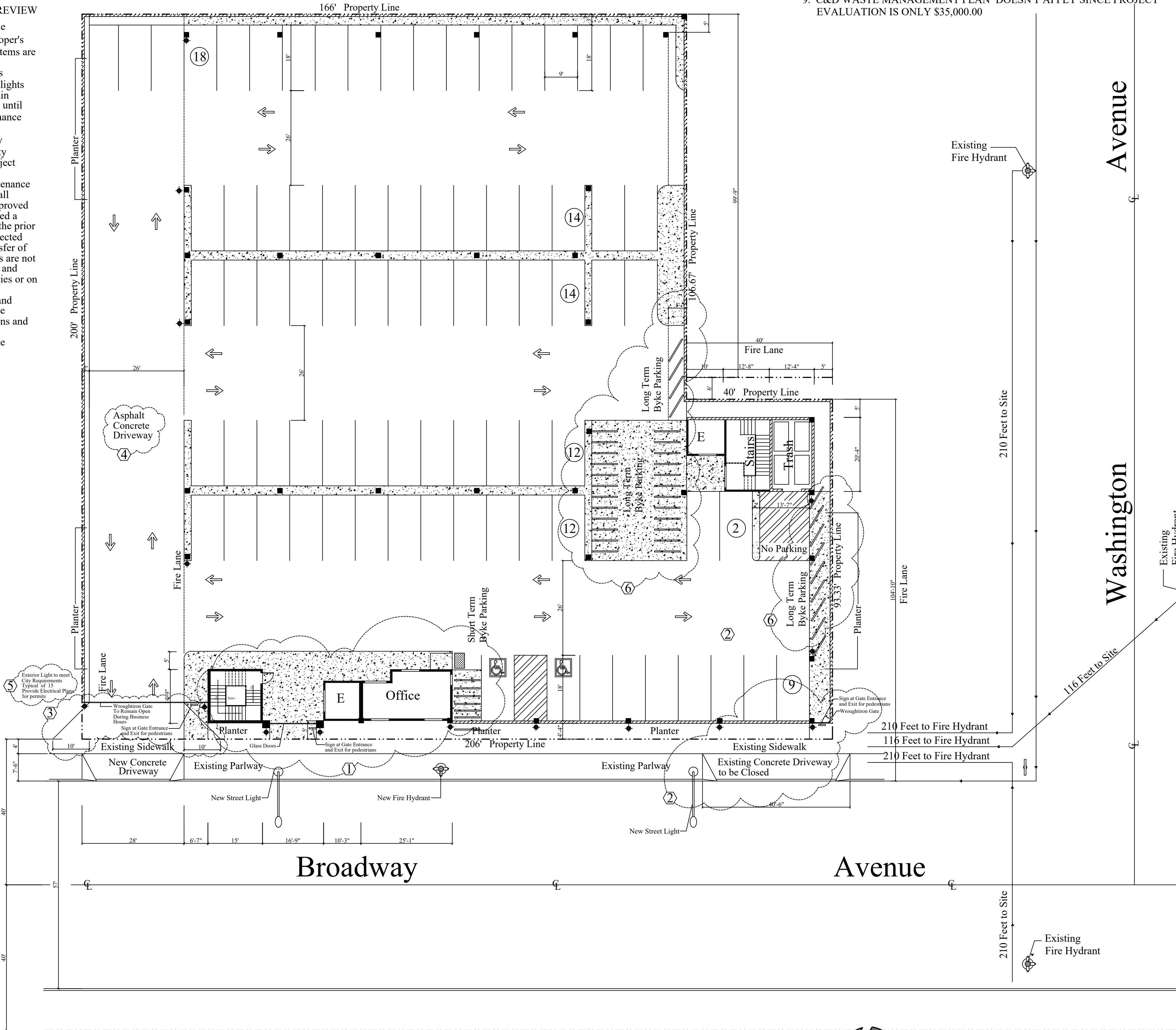
1) The applicant (property owner or authorized representative) is responsible for the operation and maintenance costs of the streetlights installed as a condition of development. The applicant will remain responsible for the operation and maintenance of the streetlights until such time the lights are transferred into a county lighting maintenance account.

2) The County will required review and approval of the roadway improvements in accordance with approved plans prior to County assuming ownership and maintenance responsibilities of the project roadways into the County Highway System, if applicable.

3) County can assume responsibility for the operation and maintenance of the streetlights on July 1 of any given year, provided that (a) all required streetlights have been accepted and installed per the approved plans and energized to close permit, (b) the applicant has provided a written request for a transfer of billing no later tha January 1 of the prior year, and (c) property tax and assessment revenue are being collected from the collected from the benefited property owners. The transfer of billing may be delayed one or more years if the above conditions are not met. NOTE: County Lighting Districts cannot pay the operation and maintenance costs of streetlights located within gated communities or on roadways designated as a private street.

4) Prior to the County assuming responsibility of the operation and maintenance cost of the streetlights, a second field review will be conducted to ensure all streetlights are installed per approved plans and no knockdown have ocured.

5) Subsequent to the transfer of billing. County will authorize the release of the streetlight bond.



- NOTES:
1. All property lines (Real or Assume) Easements and buildings (both existing and proposed) are shown on this Site Plan.
 2. All excavation requires Underground Services Alert (USA) prior to excavation. Excavations shal be not trenches of 5 feet or more in depth.
 3. All work in the Public Right-of-way shall be done per City Standards.
 4. There shall be a 2% drainage away from the building.
 5. # Shows Direction of Attached Pictures.
 6. Minimum 75% of all landscaping must be drought-tolerant
 7. "The Discharge of Pollutants to any storm drainage system id prohibited. No solid waste, petroleum by-products, soil particulate, construction waste materials or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system"
 8. COMPLY WITH COUNTY OF LOS ANGELES LOW IMPACT DEVELOPMENT TECHNICAL GUIDELINES FOR SMALL SITE DEVELOPMENTS.
 9. C&D WASTE MANAGEMENT PLAN DOESN'T APPLY SINCE PROJECT EVALUATION IS ONLY \$35,000.00

DESIGN PLUS SERVICES

5239 W. 120th Street
Inglewood Ca 90304

Phone # (310) 941-5460
patrickc@designplus.com

Patrick C. Cullen
Principal

NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER
Mr. Hamid Namdori
P.O BOX 1627
Redondo Beach, CA 90278
Phone # (310) 408-7608

LEGAL DESCRIPTION APN 8173-023-020

DRAWING TITLE
Site Plan

DATE:
12-16-2022

SCALE:
As shown

DRAWING BY:
P.C.




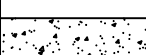
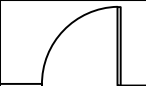

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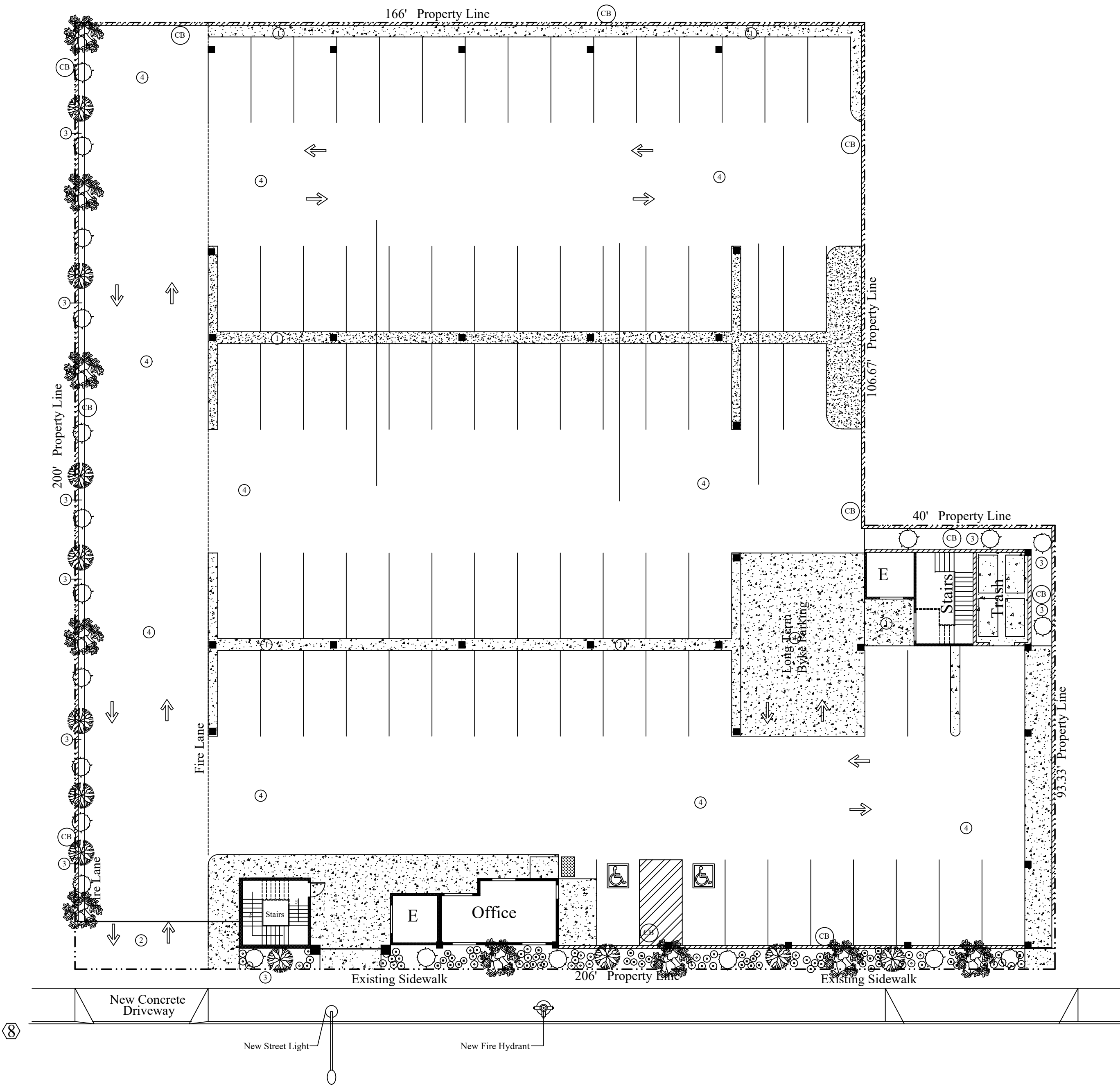
JOB ADDRESS
7914 Broadway Avenue
Whittier, CA 90606

SP-1

1. Plans are base upon Civil Drawings prepared by Owner. Contractor shall review these documents confirm all dimensions and elevations and notify engineer of any discrepancies. either on the plans or observed in the field prior to commencing work.
2. All work shall be fully coordinated with other disciplines. All work shall be performed by qualified licensed contractors having at least 5 years experience with similar project, unless otherwise noted requirements or contract.
3. Contractors shall be responsible for coordination of work with that of other subcontractors on the site to avoid conflicts with work sequence and delays in the progress of work by others.
4. Codes and Standards: All work shall be in accordance with standards stated in the project specifications
AMERICAN DISABILITY ACT
UNIFORM BUILDING CODE
CALIFORNIA STATE TITLE 24
CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK COVERED
BY APPLICABLE LICENSE REQUIREMENTS
CITY OF SACRAMENTO, COUNTY OF SACRAMENTO
5. Prior to the commencement of work, contractors shall contact underground service alert @ 1-800-642.2244 in order to coordinate exact location of any existing underground utilities and structures. Contract Designer if any conflict or obstruction affecting the work are identified. Do not commence with work until authorized to proceed.
6. Construction Layout : Per Civil Plans and Specifications.
7. Grading and Drainage : Per Civil Plans and Specifications.
8. Lighting : Coordinate work with Civil & Electrical Plans and Specifications.
9. Contractors shall coordinate with any regulation on demolition of the existing street trees prior to demo and commencement of Landscape work.

1. All work shall be performed in accordance with plans and specifications by persons having at least two years experience in planting and horticultural practices, and under the direction of a qualified planing foreman having at least five year experience in similar work.
2. The landscape contractor is to provide an agricultural suitability analysis for on-site and imported topsoil, results of test to be provided to landscape designer for approval and further recommendation, if any. Recommendations for amendments contained in this analysis are to be carried out before planting occurs, Contractor shall follow soil amendments as recommended by soil test or better.
3. Ground Cover shall be planted as shown on the plan, including adjacent shrubs and tree watering basins as shown on the detail.
4. Plan count is for the convenience of the contractor in the case of discrepancies, the plan governs.
5. Plan material locations as shown are diagrammatic and may be subjected to change the field by the landscape designer plan locations are to be adjusted in the field as necessary to screen utilities but not to block windows, signs nor impede access.
6. The landscape designer reserves the right to make substitutions, additions, and deletions in the planting scheme as they feel necessary while work is in progress upon approval by the owner such changes are to be accompanied by equitable adjustments in the contract price if necessary.
7. All trees are to be staked as shown on the tree staking/guying diagrams. Branching height of the tree shall be 6'-0" minimum above finish grade. All trees in a formal group planting shall be matching in the size and shape. All street trees to be installed in accordance with the standards and specifications of Sacramento County. Landscape designer shall be consulted regarding orientation of trees prior to planting and / or backfilling.

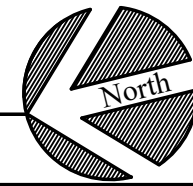
Legend	
Symbol	Description
	Wroughiron Gates (6'-0" Maximum in Hieght)
	8" Cinter Block - Block-Wall
	8" Cinter Block with Wroughtiron bars
	Concrete Decorative at Side walks ①
	Wroughtiron Security Gate ②
	Asphalt Concrete ③

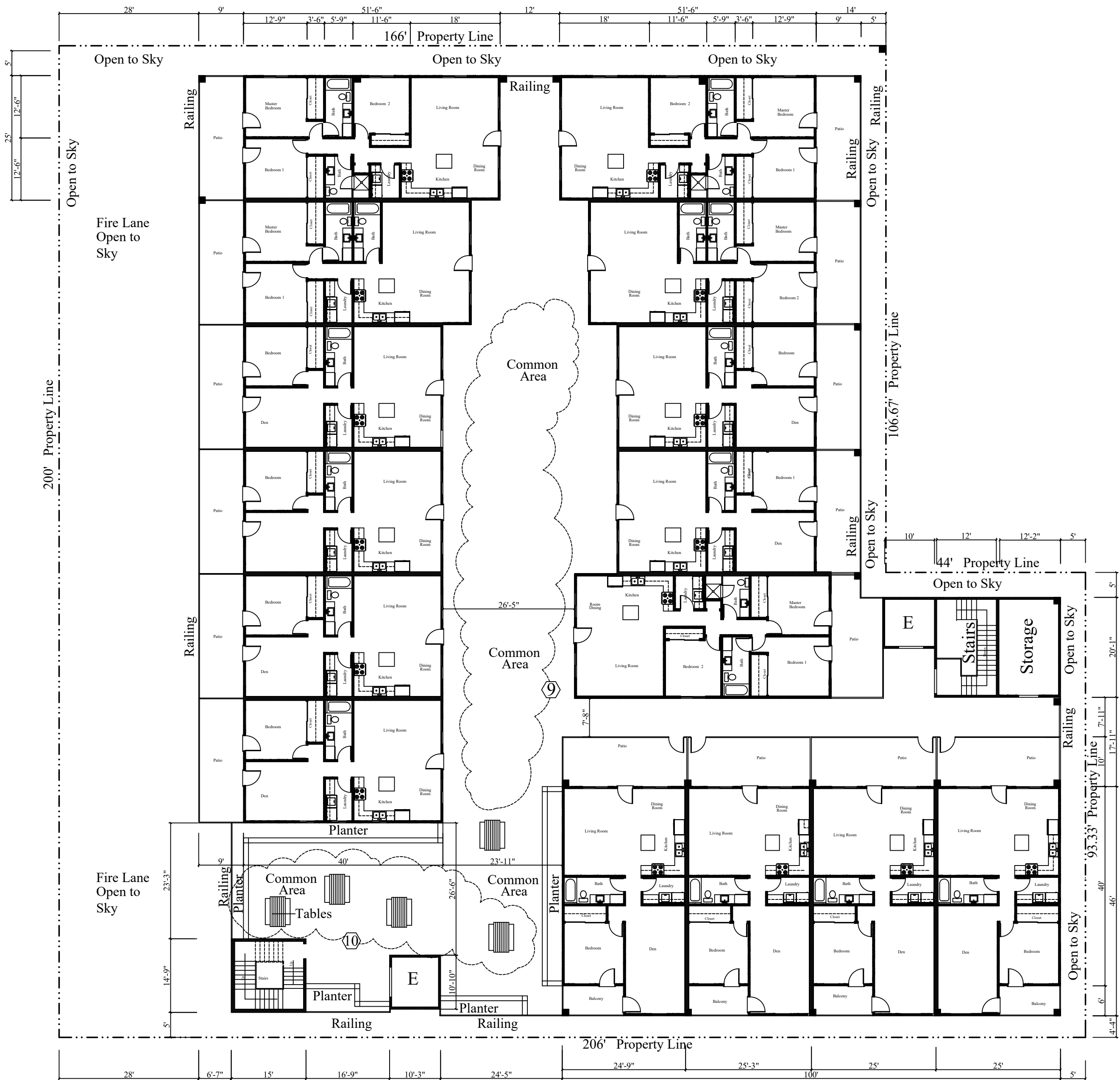


Broadway G Avenue

Landscape Site Plan

Scale : $1/16" = 1'-0"$

[illegible]




Broadway

Avenue

Second Floor

Scale : 1/16" = 1'-0"





DESIGN PLUS SERVICES

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Patrick Colquhoun
Principal

NO.	DATE	ISSUED	NO.	DATE	REVISION

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Phone # (310) 408-7608

DRAWING TITLE

Second Floor Plan

JOB ADDRESS

7914 Broadway Avenue
Whittier, CA 90606

LEGAL DESCRIPTION

APN 8173-023-020

DATE:

12-16-2022

SCALE:

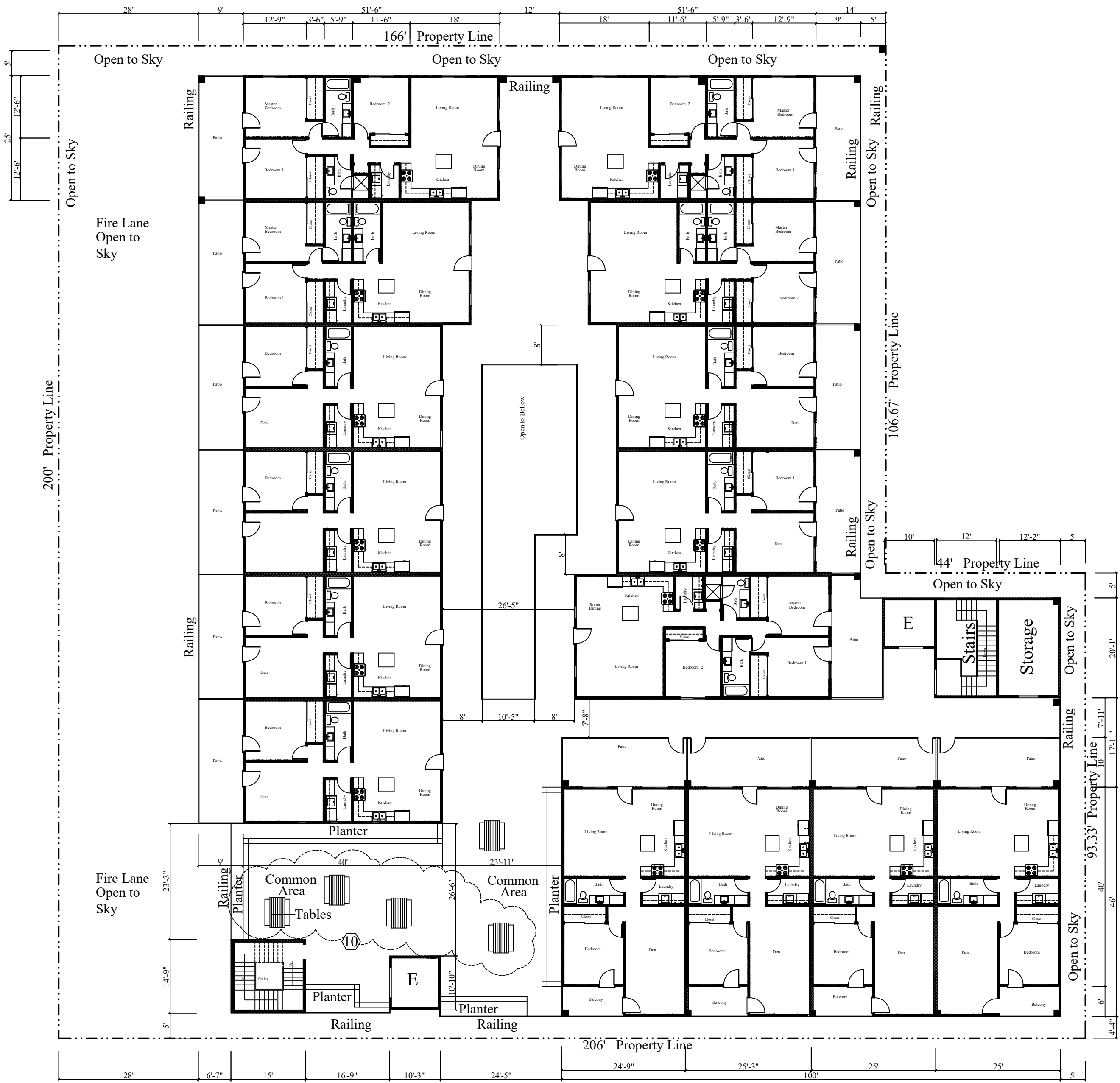
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P.C.

SHEET NO.

A-1




Broadway

Avenue

Third Floor
Scale : 1/16" = 1'-0"





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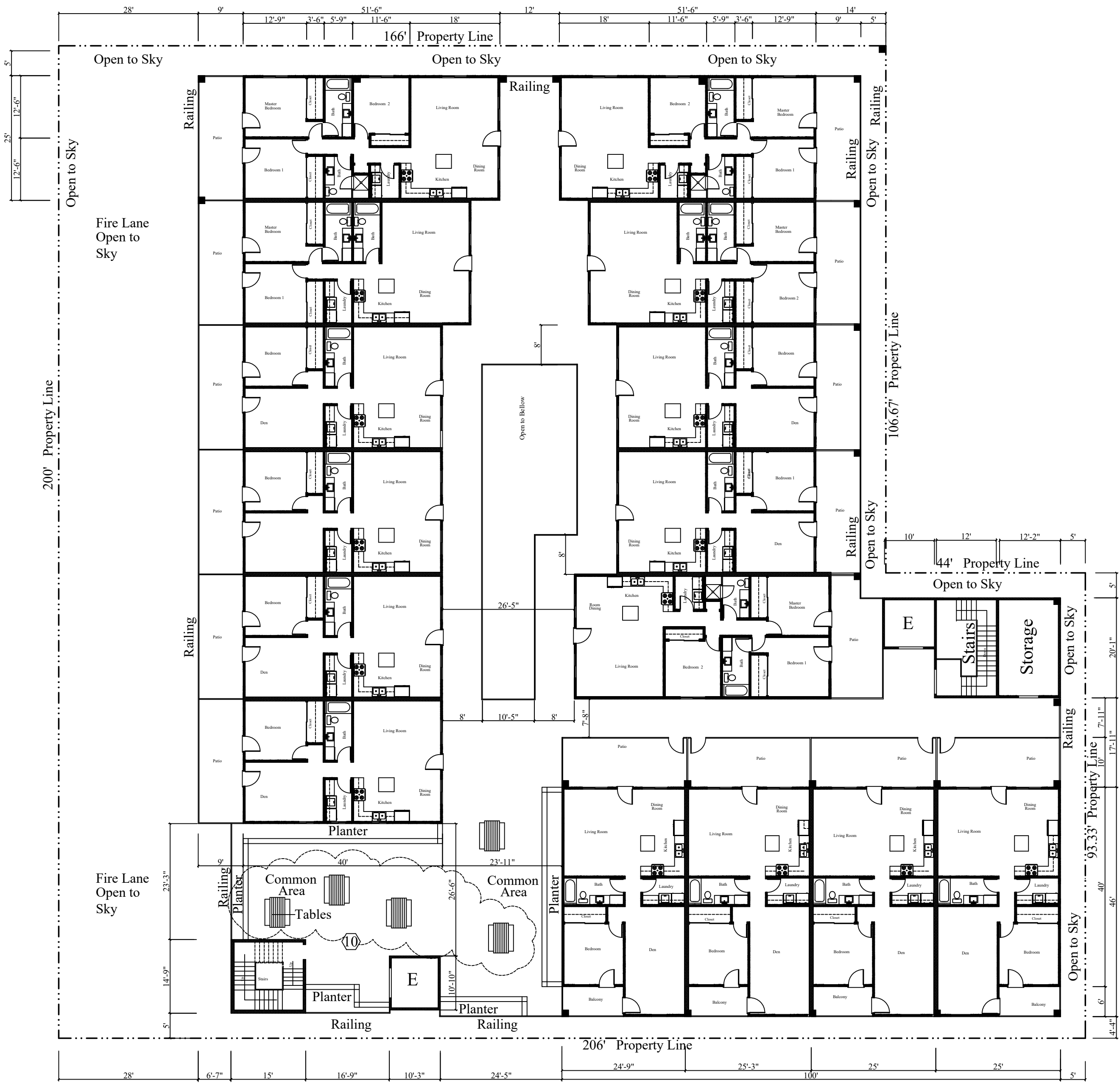
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DRAWING BY:

P.C.

SHEET NO.

A-2




Broadway

Avenue

Fifth Floor

Scale : 1/16" = 1'-0"





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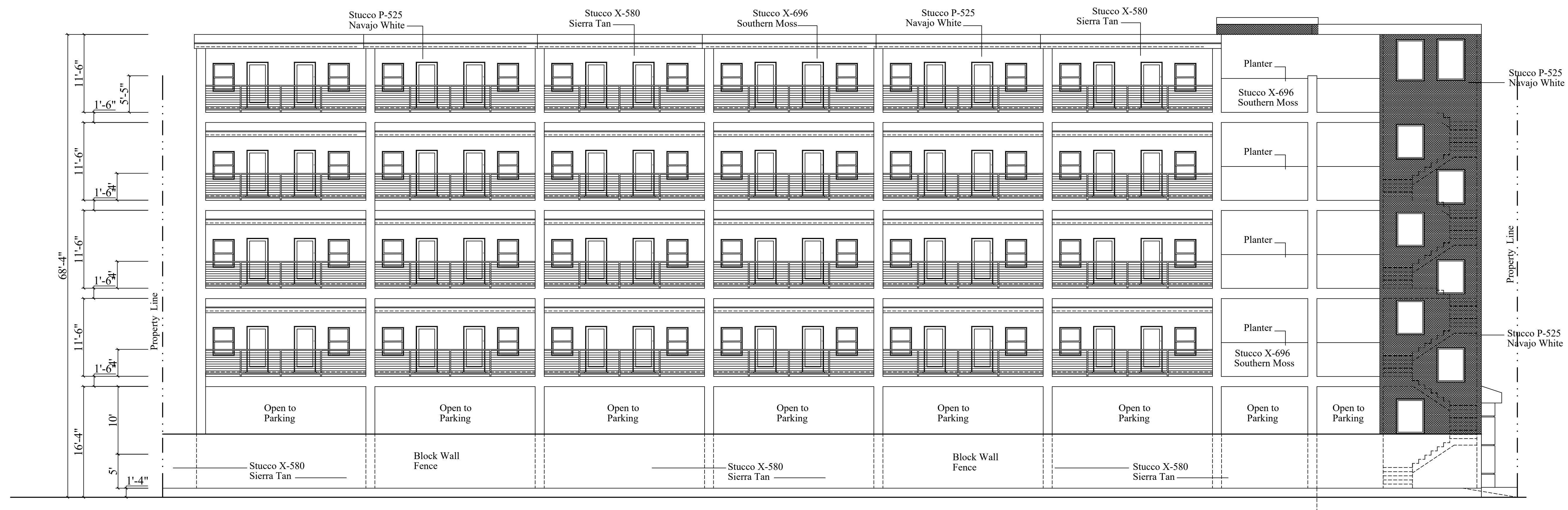
As shown

DRAWING BY:

P.C.

SHEET NO.

A-4

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OWNER	Mr. Hamid Namdori P.O.BOX 1627 Redondo Beach, CA 90278 Phone # (310) 408-7608
LEGAL DESCRIPTION	APN 8173-023-020

DRAWING TITLE Exterior Elevations	JOB ADDRESS 7914 Broadway Ave Whittier, CA 90606
	DATE: 11-04-2022
	SCALE: As shown
	DRAWING BY: P.C.
	SHEET NO.

NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER Mr. Hamid Namdori
P.O.BOX 1627
Redondo Beach, CA 90278
Phone # (310) 408-7608

LEGAL DESCRIPTION APN 8173-023-020

DRAWING TITLE
Exterior Elevations

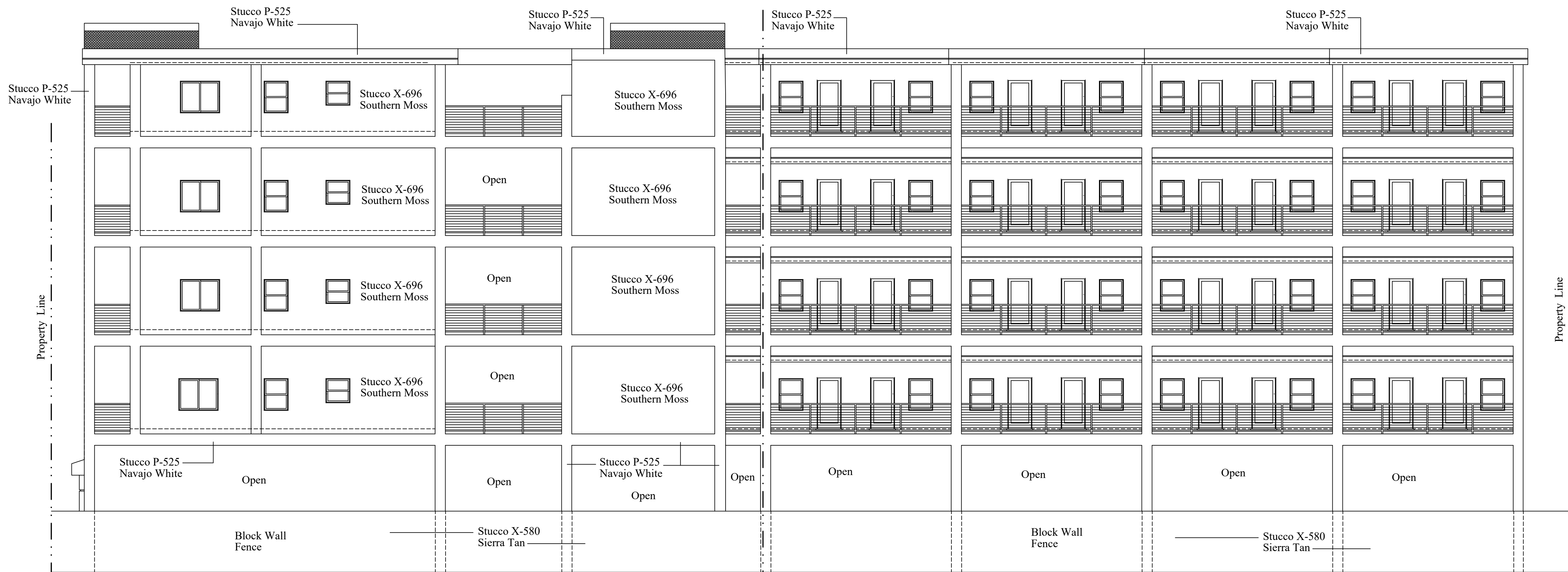
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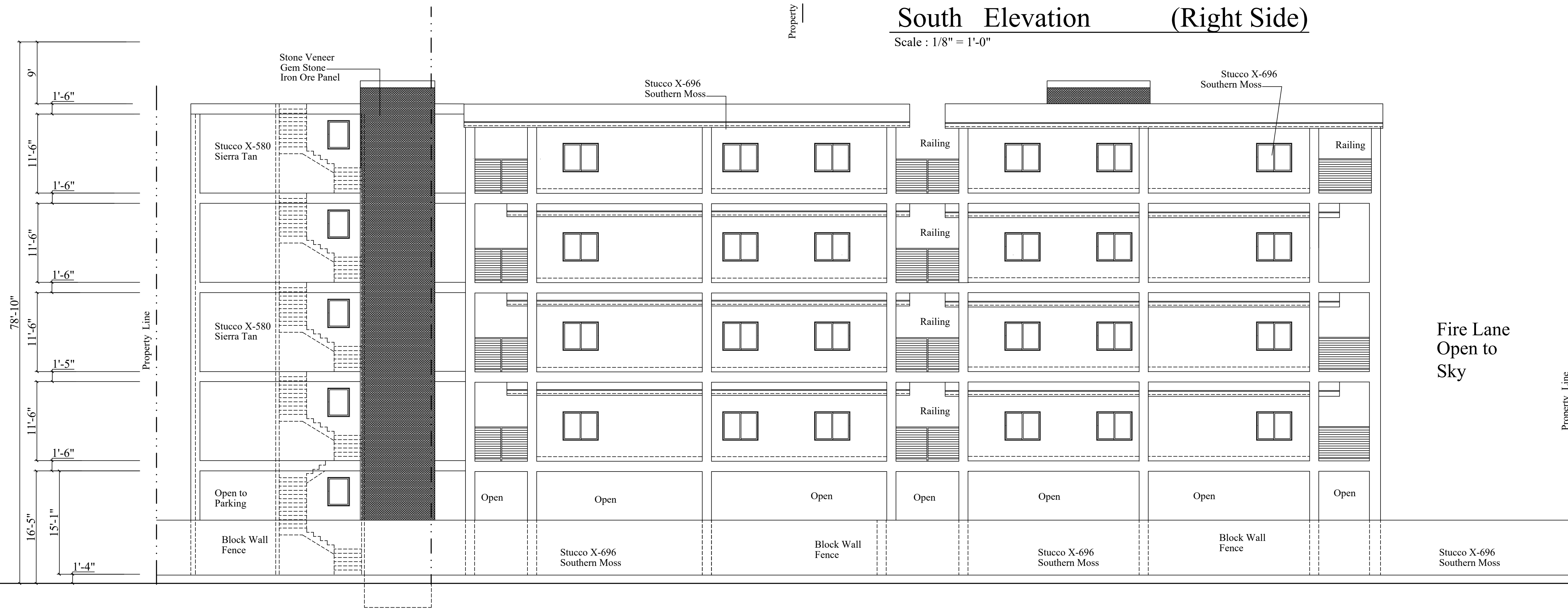
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P.C.

SHEET NO.



South Elevation (Right Side)

Scale : 1/8" = 1'-0"



East Elevation (Rear Side)

Scale : 1/16" = 1'-0"