

LAND USE POLICY

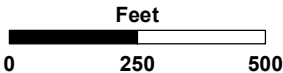
500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-002405

CUP RPPL2023005137

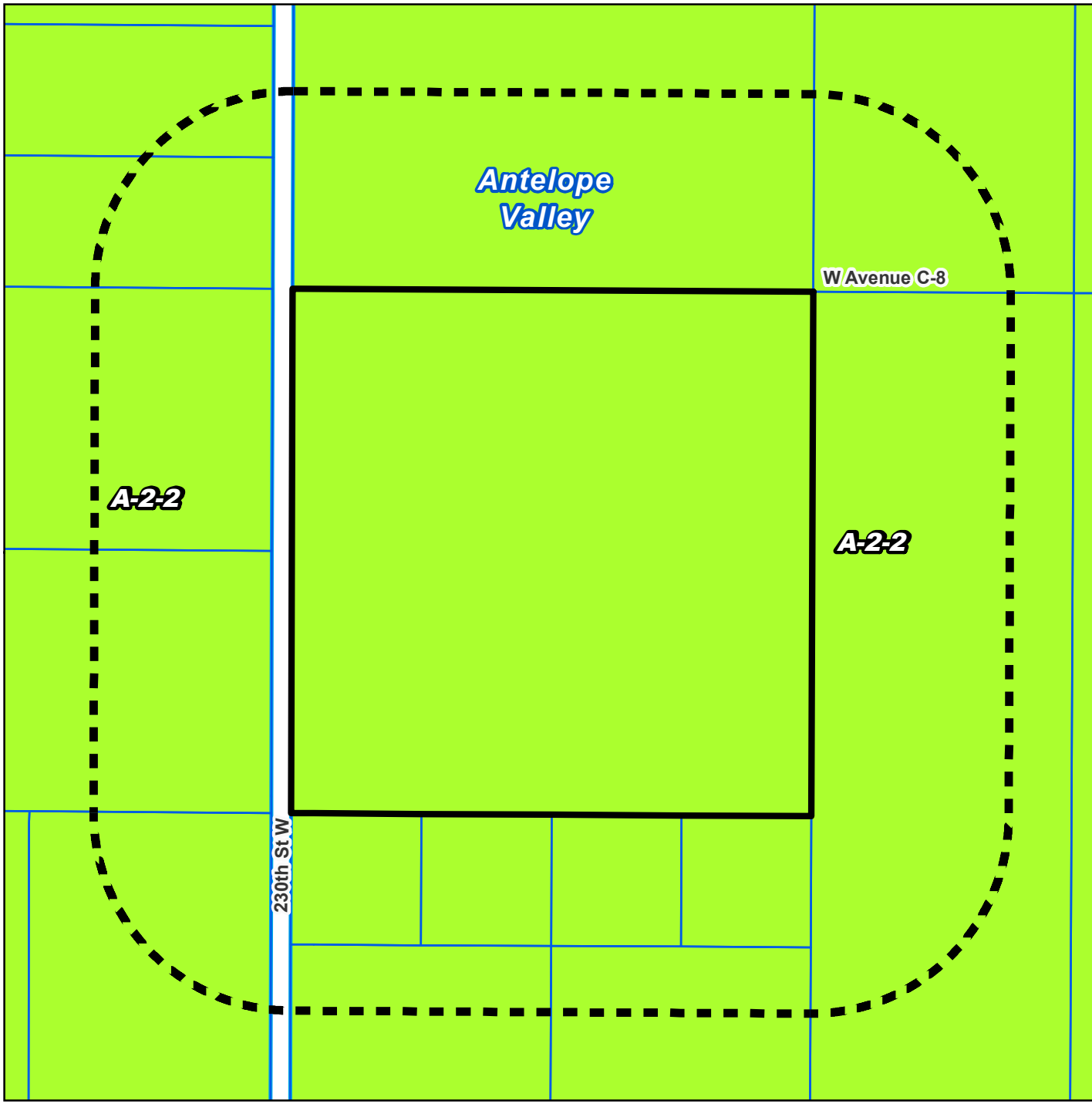


RL10 - Rural Land 10 (1 du / 10 gross ac)



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



ZONING

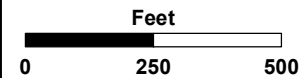
500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-002405

CUP RPPL2023005137

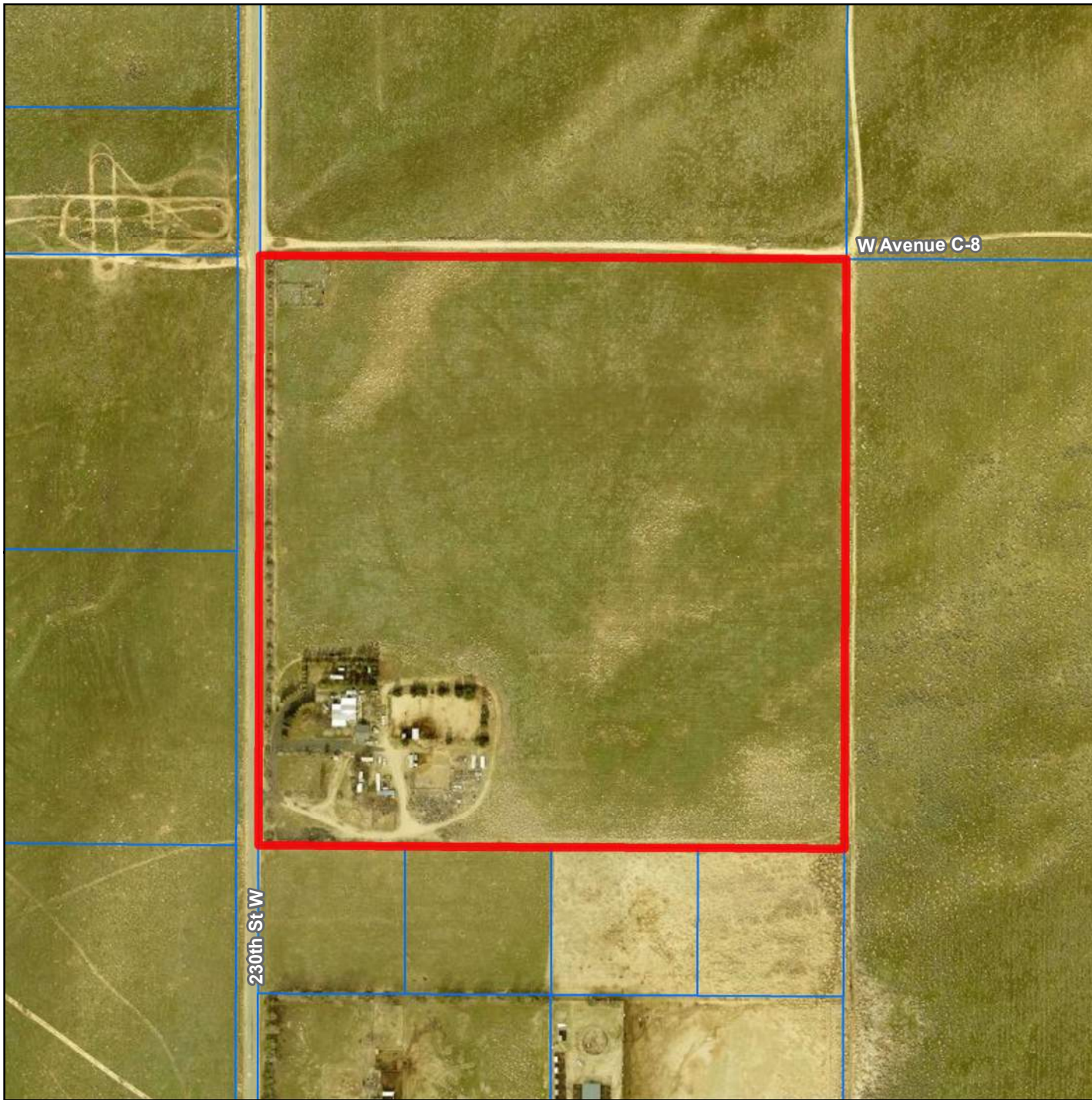


A-2 - Heavy



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



AERIAL IMAGERY

SITE-SPECIFIC MAP

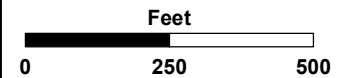
PROJECT NO. PRJ2023-002405

CUP RPPL2023005137

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2023

W Avenue C-8

230th St W



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

CUP RPPL2023005137



0 600 1,200



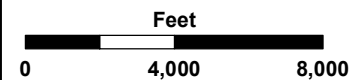
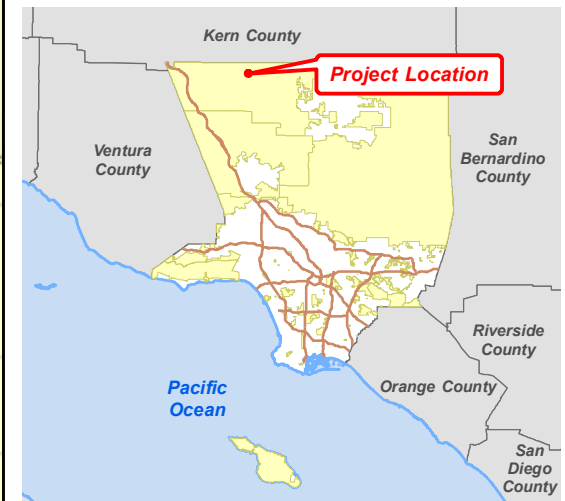
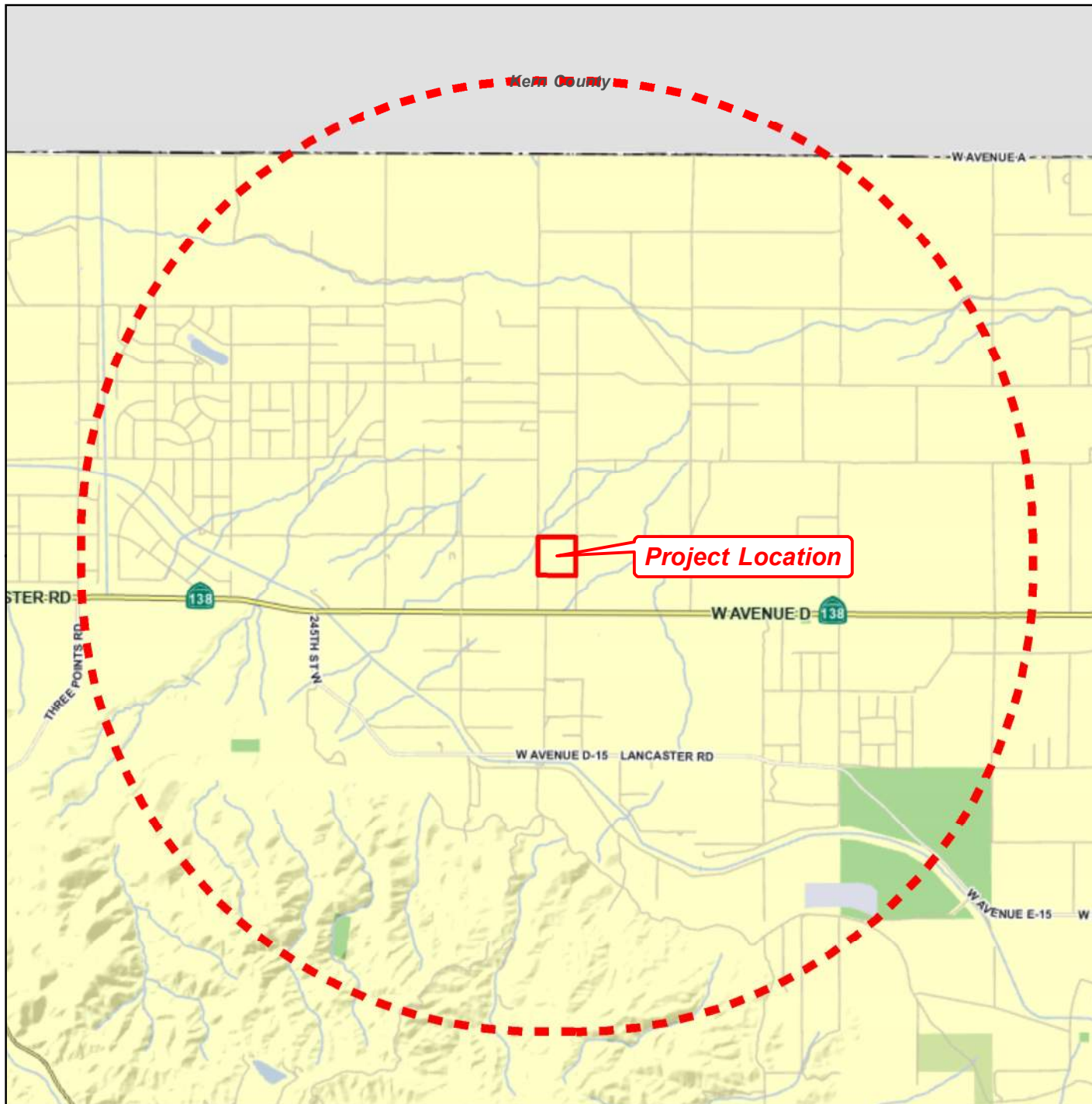
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

3-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2023-002405

CUP RPPL2023005137



LA COUNTY
PLANNING

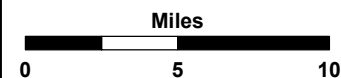
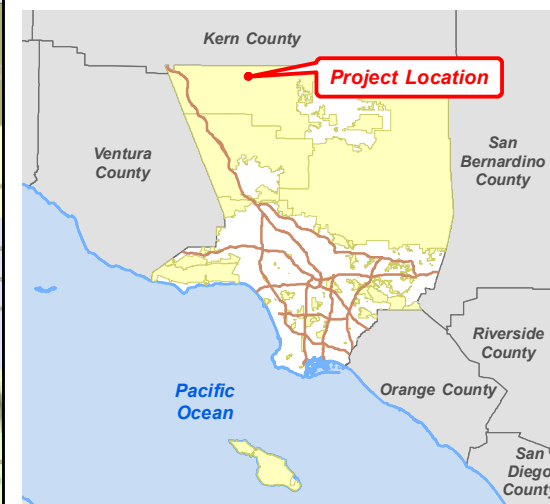
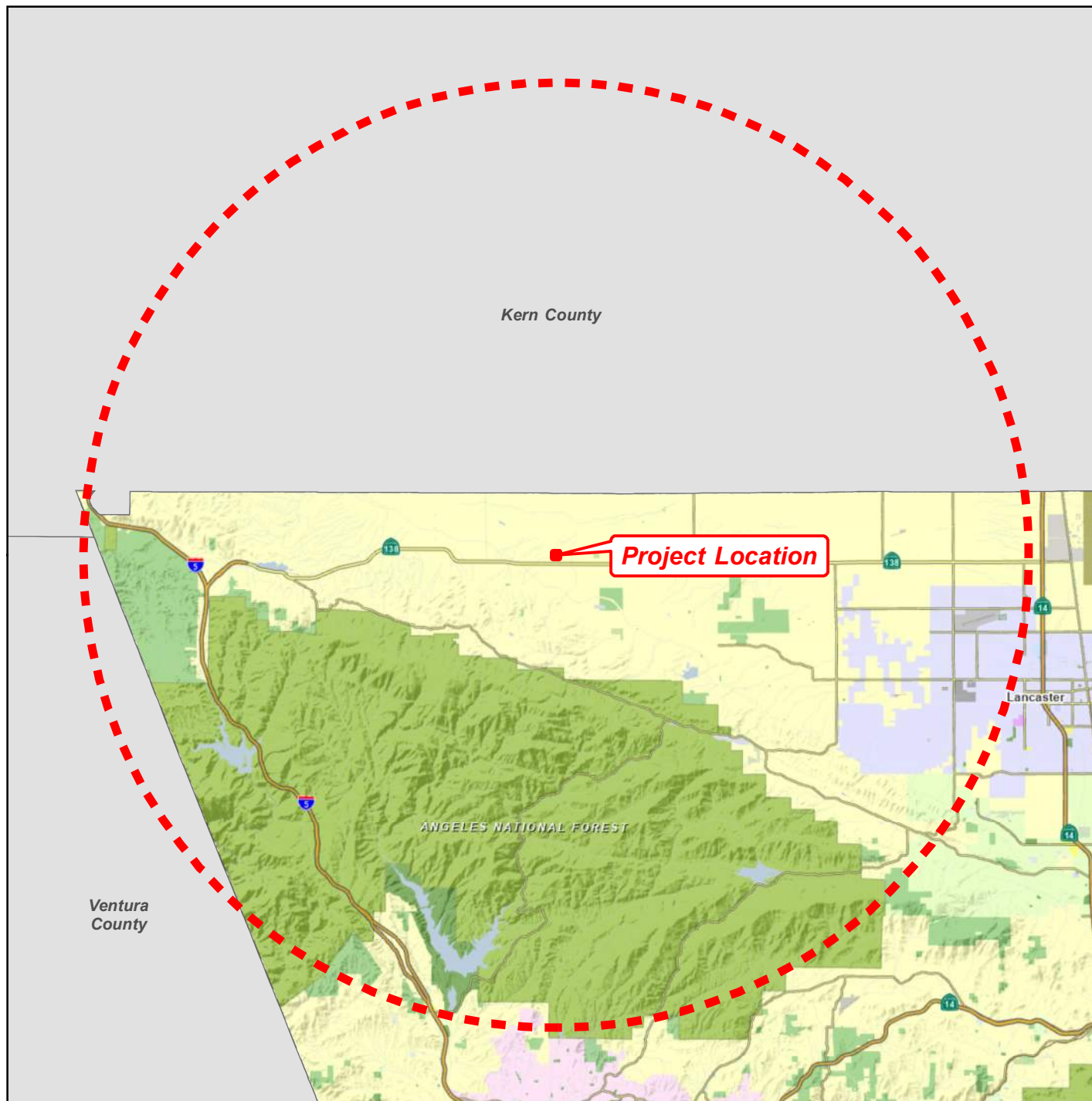
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2023-002405

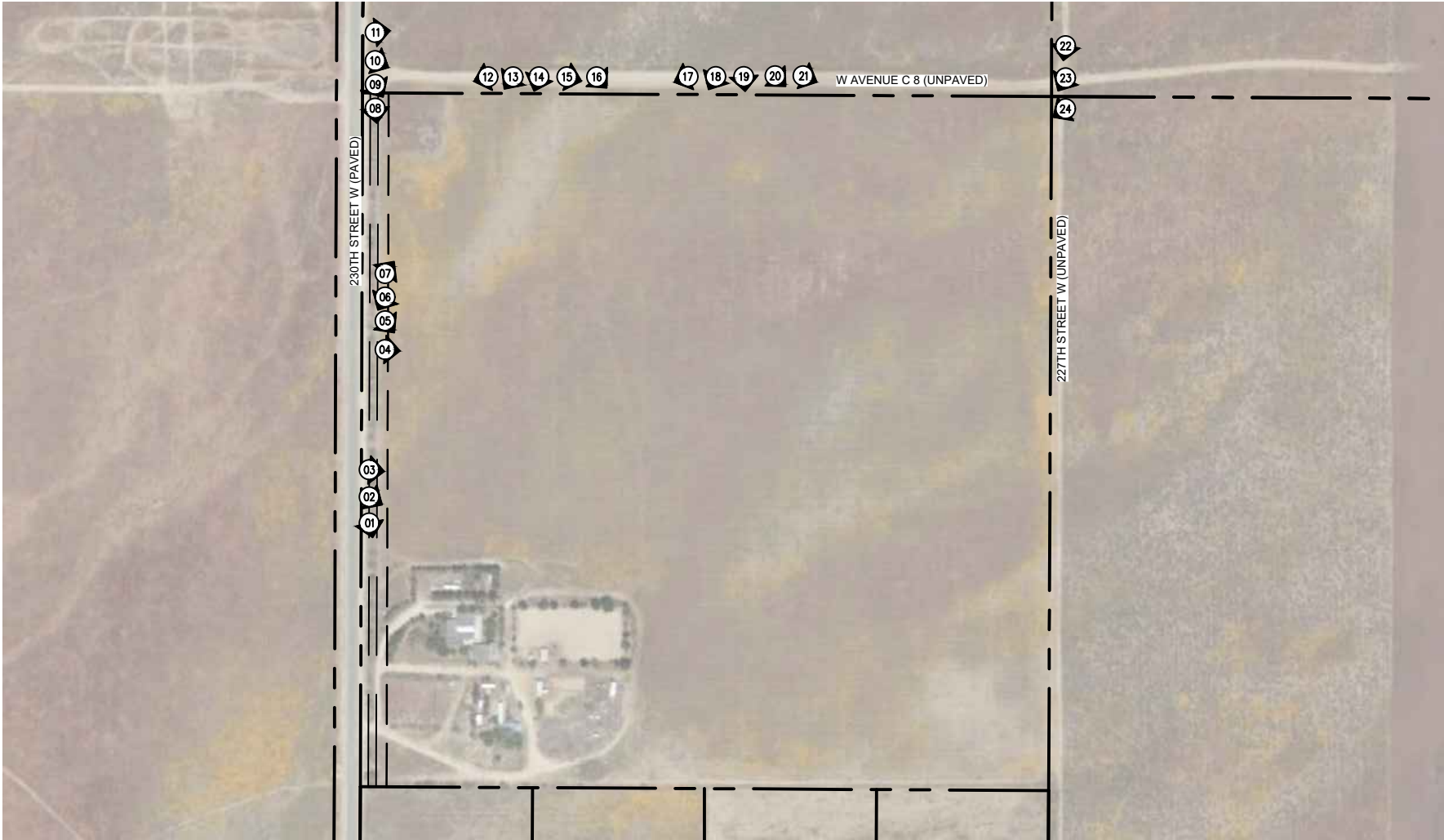
CUP RPPL2023005137



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

PHOTO KEY MAP



LEGEND

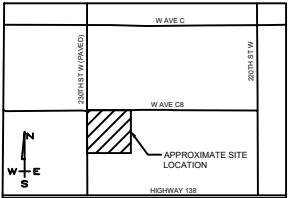
- PHOTO COUNT, DIRECTION, & LOCATION
- PROPERTY LINE SETBACK
- EXISTING PROPERTY LINE
- EASEMENT

SITE INFORMATION

PROJECT ADDRESS: 49560 230TH STREET W, LANCASTER, CA 93536
APN: 3278-025-001
PARCEL SIZE: 39 AC

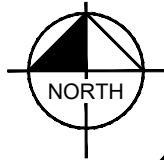
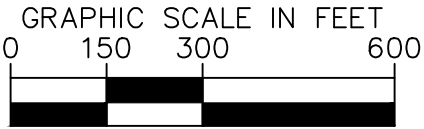
GENERAL NOTES

1. PICTURES CORRELATING TO THE PHOTO COUNT CAN BE FOUND ON THE ATTACHED DOCUMENT



VICINITY MAP

NTS



Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
660 S. FIGUEROA ST, SUITE 2050, LOS ANGELES, CA 90017
PHONE: 213-261-4040

North Elevation

☉ 167°S (T) ☉ 34°46'46"N, 118°32'12"W ±13ft ▲ 2829ft



13 Oct 2023, 08:04:26

North West Elevation

☉ 122°SE (T) ☉ 34°46'46"N, 118°32'12"W ±13ft ▲ 2829ft



13 Oct 2023, 08:04:29

West Elevation

☉ 96°E (T) ☉ 34°46'46"N, 118°32'12"W ±13ft ▲ 2830ft



13 Oct 2023, 08:04:31

West Elevation

☉ 95°E (T) ● 34°46'49"N, 118°32'12"W ±13ft ▲ 2833ft



13 Oct 2023, 08:05:53

North West Elevation

☉ 142°SE (T) ● 34°46'49"N, 118°32'12"W ±13ft ▲ 2833ft



13 Oct 2023, 08:05:56

North East Elevation

☉ 209°SW (T) ☉ 34°46'49"N, 118°32'12"W ±13ft ▲ 2831ft



13 Oct 2023, 08:06:04

South West Elevation

☉ 37°NE (T) ☉ 34°46'49"N, 118°32'12"W ±13ft ▲ 2831ft



13 Oct 2023, 08:06:09

North Elevation

☉ 174°S (T) ☉ 34°46'54"N, 118°32'12"W ±13ft ▲ 2827ft



13 Oct 2023, 08:07:31

North West Elevation

☉ 148°SE (T) ☉ 34°46'54"N, 118°32'12"W ±13ft ▲ 2827ft



13 Oct 2023, 08:07:33

North West Elevation

☉ 117°SE (T) ☉ 34°46'54"N, 118°32'12"W ±13ft ▲ 2827ft



13 Oct 2023, 08:07:37

West Elevation

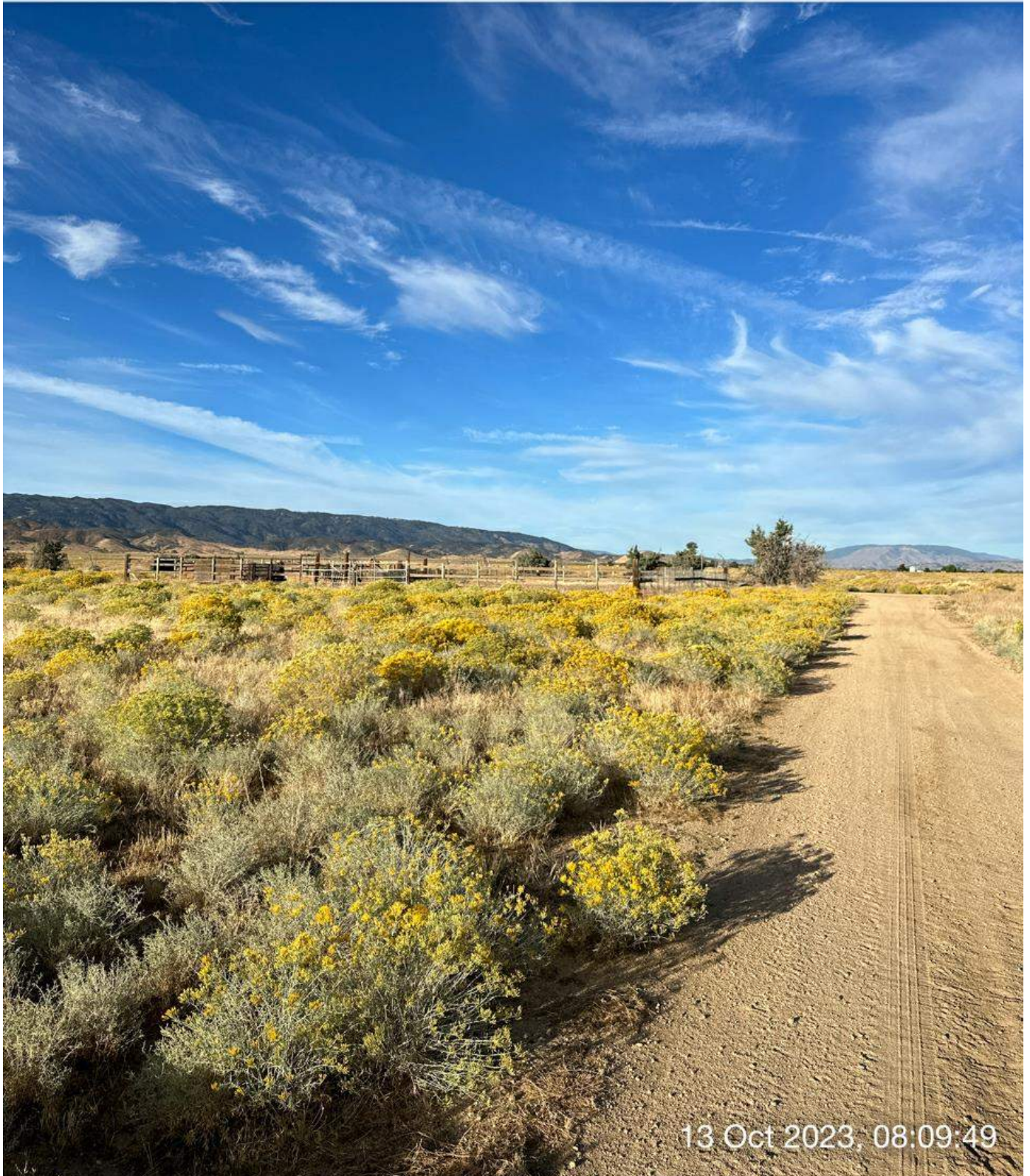
☀ 83°E (T) ☉ 34°46'54"N, 118°32'12"W ±13ft ▲ 2826ft



13 Oct 2023, 08:07:39

East Elevation

☀ 253°W (T) ☉ 34°46'55"N, 118°32'9"W ±26ft ▲ 2805ft



13 Oct 2023, 08:09:49

North East Elevation

☉ 216°SW (T) ☉ 34°46'54"N, 118°32'9"W ±13ft ▲ 2826ft



13 Oct 2023 08:09:52

North Elevation

☀ 199°S (T) ☉ 34°46'54"N, 118°32'9"W ±13ft ▲ 2826ft



West Elevation

☉ 106°E (T) ☉ 34°46'54"N, 118°32'9"W ±13ft ▲ 2824ft



13 Oct 2023, 08:10:12

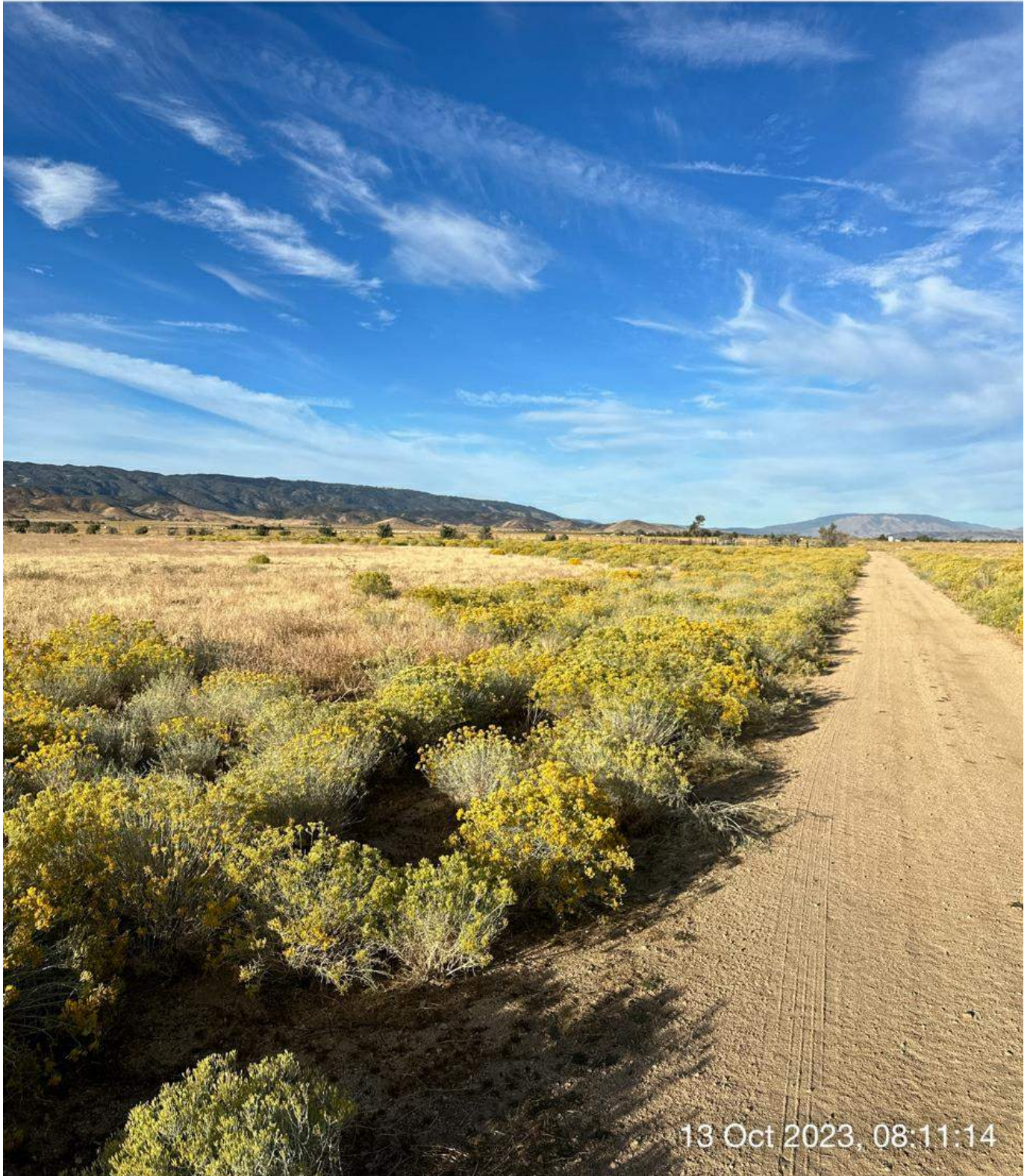
North West Elevation

☀ 138°SE (T) ● 34°46'54"N, 118°32'9"W ±13ft ▲ 2826ft



East Elevation

☉ 248°W (T) ● 34°46'55"N, 118°32'3"W ±19ft ▲ 2609ft



13 Oct 2023, 08:11:14

North East Elevation

☀ 209°SW (T) ☉ 34°46'54"N, 118°32'4"W ±16ft ▲ 2827ft



13 Oct 2023, 08:11:17

North Elevation

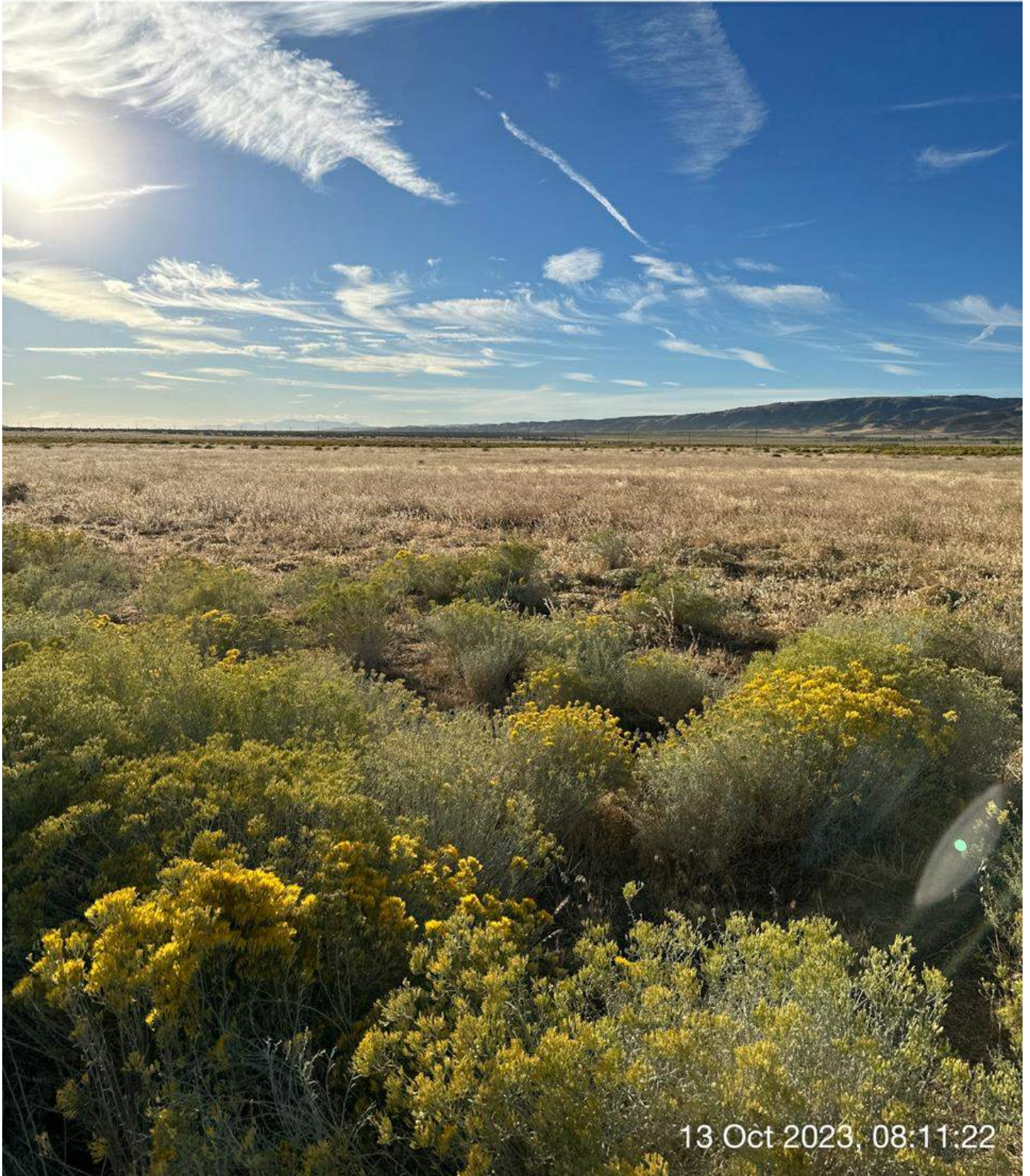
☉ 175°S (T) ☉ 34°46'55"N, 118°32'4"W ±16ft ▲ 2827ft



13 Oct 2023 08:11:20

North West Elevation

☀ 135°SE (T) ☉ 34°46'54"N, 118°32'3"W ±9ft ▲ 2825ft



13 Oct 2023, 08:11:22

North West Elevation

☉ 115°SE (T) ☉ 34°46'54"N, 118°32'3"W ±13ft ▲ 2825ft



13 Oct 2023, 08:11:29

North Elevation

☀ 189°S (T) ☉ 34°46'54"N, 118°31'56"W ±13ft ▲ 2814ft



13 Oct 2023, 08:13:40

North East Elevation

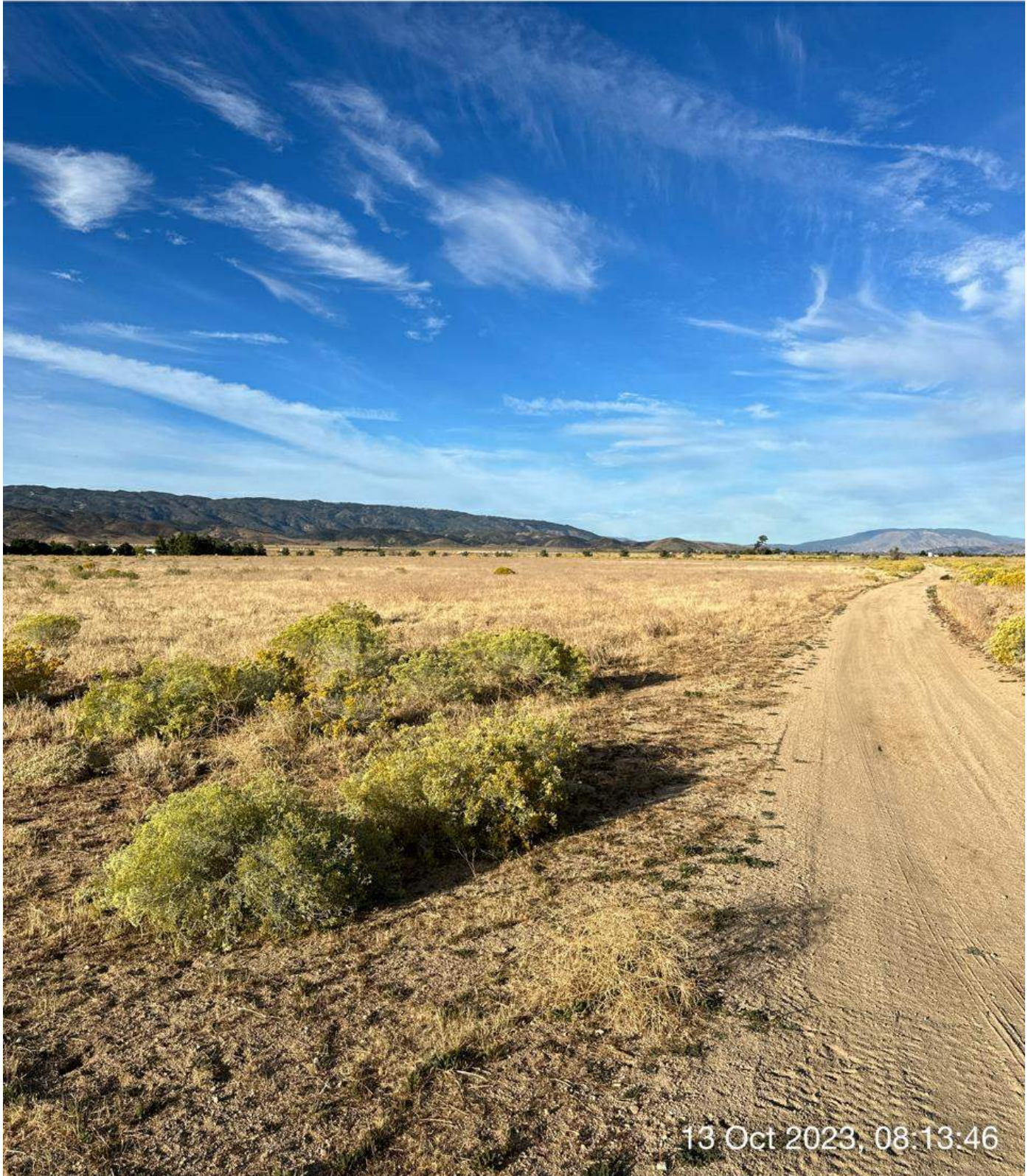
☀ 210°SW (T) ● 34°46'54"N, 118°31'56"W ±6ft ▲ 2815ft



13 Oct 2023, 08:13:43

North East Elevation

☉ 236°SW (T) ☉ 34°46'54"N, 118°31'56"W ±6ft ▲ 2816ft



13 Oct 2023, 08:13:46

THIS EXHIBIT IS SIMULATED FROM THE SOUTHWESTERN CORNER OF THE PROJECT SITE LOOKING NORTHEAST ACROSS THE PROJECT SITE



PRE-PROJECT
NOT TO SCALE



POST-PROJECT

NOT TO SCALE

K:\LDI_ENERGY\RPCA Ground-mount\099997002_RCPA_230th St Exhibit E\06_CAD\Exhibits\Solar_Rendering.dwg
October 27, 2023 10:44:26am
Sheet Set:Kha Layout:Layout1
Plotted By:Crump, Brenna
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and attestation by Kinney-Torn and Associates, Inc. shall be without liability to Kinney-Torn and Associates, Inc.

[illegible]

230TH STREET SOLAR
PREPARED FOR
RPCA SOLAR 12, LLC
LOS ANGELES COUNTY CA

EXISTING AND FUTURE CONDITIONS PHOTO SIMULATION

DATE	10/27/2023
SCALE	AS SHOWN
DESIGNED BY	BC
DRAWN BY	BC
CHECKED BY	CY

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
5660 S. FIGUEROA STREET, SUITE 2050, LOS ANGELES, CA 90017
PHONE: 213-261-4040
WWW.KIMLEY-HORN.COM

Revisions	Revisions
10.	

DATE	BY
------	----



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

**EXHIBIT J AGENCY
CORRESPONDENCE**

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

December 23, 2024

IN REPLY PLEASE

REFER TO FILE: **LD-4**

TO: Samuel Dea
North County Development Services
Department of Regional Planning

Attention Soyeon Choi

FROM: James Chon
Land Development Division

**CONDITIONAL USE PERMIT (RPPL2023005137)
ASSESSOR'S MAP BOOK 3278, PAGE 25, PARCEL 1
UNINCORPORATED LANCASTER**

As requested, Public Works reviewed the zoning permit application and site plan for the proposed project. The project proposes a five-megawatt, ground-mounted, commercial solar and a five-megawatt, accessory, battery energy storage system facility located on approximately 29 acres of a 40-acre parcel.

☒ Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.

☐ Public Works has comments on the submitted documents; therefore, a Public Hearing shall NOT be scheduled until the comments have been addressed.

1. Street

- 1.1. Prior to issuance of a grading or building permit, submit street improvement plans to Public Works, through the EPIC-LA portal under "Public Improvement Plans: Street Plans," that reflects the following for review and approval:

Be advised that we currently have no known County construction project within the limits of your project. Should a County project be scheduled and constructed ahead of the applicant's development, a pavement moratorium may be imposed that would restrict any pavement work for two

years. Exceptions could be made if acceptable rehabilitation measures are provided. The applicant is encouraged to monitor <https://pw.lacounty.gov/gmed/lacroads/Find.aspx> periodically to determine if any future County projects have been scheduled or to determine whether a pavement moratorium currently exist along streets fronting the project location.

- 1.1.1. Make an offer of private and future street right-of-way, 32 feet from the street centerline, along the property frontage on West Avenue C-8, 227th Street West, and the southerly side of the property line.
- 1.1.2. Dedicate a 10-foot slope easement beyond the offer of all private and future street.

For questions regarding the dedication process, contact Diego Rivera of Public Works, Land Development Division, at (626) 458-4915 or dirivera@pw.lacounty.gov.

- 1.1.3. Construct driveway approaches on 230th Street West, based on Los Angeles County Rural Standard Plan, and pave the drive access up to the edge of existing pavement (two percent maximum slope). A minimum four-feet clearance shall be kept from proposed driveway to any utility pole.
- 1.1.4. Repair and replace any improvements damaged during construction.
- 1.1.5. Underground all new utility lines less than 50kV.
- 1.1.6. Submit preconstruction and post-construction street pavement condition evaluation reports, along the construction traffic route, to Public Works for review and approval. The timing of any necessary repair or reconstruction on all streets shall be determined by Public Works.
- 1.1.7. Submit the project's fair-share calculation of the street pavement reconstruction, along the construction traffic route, to Public Works for review and approval and contribute the project's fair share. The timing of the project's fair share payment shall be determined by Public Works.

1.1.8. Provide access rights to neighboring lots to have access to the public road from West Avenue C-8 and the southerly side of the lot.

1.2. Prior to issuance of a Certificate of Occupancy, construct all required street improvements and dedications.

For questions regarding the street conditions, please contact Pemaneh Abaghi of Public Works, Land Development Division, at (626) 979-5417 or pabaghi@pw.lacounty.gov.

2. Drainage

2.1. Prior to issuance of a Certificate of Occupancy, comply with the approved hydrology study and LID Plan.

For questions regarding the drainage condition, please contact Christian Ascencio of Public Works, Land Development Division, at (626) 458-4921 or cascencio@pw.lacounty.gov.

3. Water

3.1. Prior to issuance of a Certificate of Occupancy, comply with all the requirements stipulated by the Will Serve letter issued by the water purveyor.

For questions regarding the water condition, please contact Ms. Abaghi of Public Works, Land Development Division, at (626) 979-5417 or pabaghi@pw.lacounty.gov.

4. Geology

4.1. Prior to issuance of a grading or building permit, comply with the approved geotechnical report.

For questions regarding the geology condition, please contact Karin Burger of Public Works, Geotechnical and Materials Engineering Division, at (626) 458-7989 or kburger@pw.lacounty.gov.

Samuel Dea
December 23, 2024
Page 4

5. Environmental

- 5.1. Any damaged or unusable panels shall be collected and loaded into standard enclosed trucks and transported to a recycling or disposal facility as required by local or State regulations at the time of removal.

For questions regarding the environmental condition, please contact Lance Cervantes of Public Works, Environmental Programs Division, at (626) 458-3590 or lcervantes@pw.lacounty.gov.

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or egerlits@pw.lacounty.gov.


DK:la

P:\dpub\SUBPCHECK\Plan Checking Files\CUP\RPPL2023005137 - 3278025001\2024-10-16 Submittal\DPW_Cleared_2024-11-19_RPPL2023005137.docx

sections within the County of Los Angeles Fire Code.

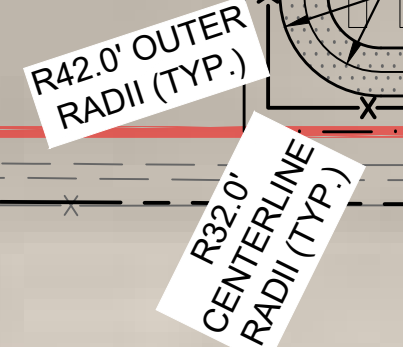
18. All electrical disconnect locations shall be clearly identified and be in compliance with all applicable state and local codes.
19. The clearance of vegetation shall be in compliance with the brush clearance regulation as defined by the Fire Code or as directed by the Fire Official.
20. The vegetation shall be trimmed to a maximum height of 6 inches within the boundaries of the solar array and the Electrical transformer vaults or structures shall have all vegetation cleared to mineral soil for 50 feet.

For any questions regarding the report, please contact Wally Collins at (323) 890-4243 or Wally.Collins@fire.lacounty.gov.

A handwritten signature in black ink, appearing to read 'Wally Collins', is written over a light blue rectangular background.

APN: 3278-022-09
OWNER: PAPALEXIS AND R&L
YOUNG TRUST

APN: 3278-022-08
OWNER: PAPALEXIS AND R&L
YOUNG TRUST



81 MODULE SAT ROW
54 MODULE SAT ROW

INVERTER TRANSFORMER AND SWITCHPAD
BATTERY ENERGY STORAGE SYSTEM
EXISTING PROPERTY LINE
APPROXIMATE LEASE LIMIT
PROPOSED 7' TALL CHAIN LINK FENCE WITH 1
BARBED WIRE TOP & 1' OPENING FROM
GROUND LEVEL (8' TOTAL HEIGHT)
EXISTING OVERHEAD LINE
PROPOSED OVERHEAD LINE

PROPOSED 20' ALL WEATHER ACCESS ROAD

PROPERTY LINE SETBACK

PROPOSED 20' SITE ACCESS GATE

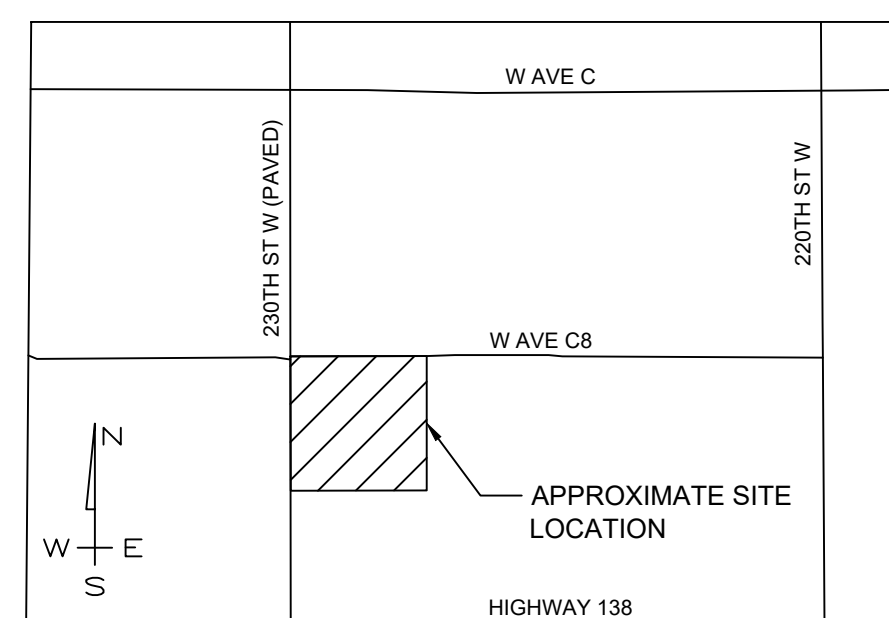
PROPOSED MV LINE
LANDSCAPE BUFFER
EASEMENT

PROJECT ADDRESS:	49560 230TH STREET W, LANCASTER, CA 93536
APN:	3278-025-001
PARCEL SIZE:	39 AC
PROPOSED SITE DISTURBANCE:	31 AC
FLOOD NOTE:	PROPERTY FALLS PARTIALLY WITHIN ZONE "A" SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AND PARTIALLY WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FEMA FLOOD INSURANCE RATE MAP 065043 PANEL 0100 F. EFFECTIVE DATE 09/26/2008

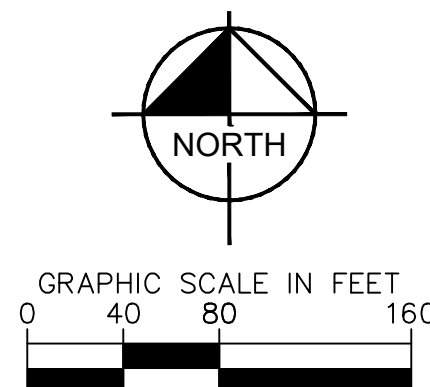
DATE:	OCTOBER 2023
TITLE REPORT INFORMATION:	THE INFORMATION SHOWN HEREON IS FOR A PRELIMINARY TITLE REPORT PREPARED BY STEWART TITLE GUARANTY COMPANY. DATED MAY 31, 2022. ISSUING OFFICE: 7676 HAZARD CENTER DRIVE, STE 1400, SAN DIEGO, CALIFORNIA 92108. ISSUING AGENT: FRANK GREEN. TITLE ORDER NUMBER: 22000330800. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS: A FEE, TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: AMILCAR R. BADANO AND DEBBIE BADANO, HUSBAND AND WIFE AS JOINT TENANTS.
BASIS OF BEARINGS:	CALIFORNIA COORDINATE SYSTEM, ZONE 5, GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE)
LEGAL DESCRIPTION:	THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES IS DESCRIBED AS FOLLOWS: THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SECTION 13, TOWNSHIP 8 NORTH, RANGE 16 WEST, SAN BERNARDINO BASE MERIDIAN, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

1. THIS SITE PLAN IS PRELIMINARY IN NATURE AND THEREFORE DOES NOT GUARANTEE THAT REQUIREMENTS FOR STORM DRAINAGE, GRADING, UTILITY EASEMENTS, AND OTHER SIMILAR CRITERIA ARE PROPERLY ADDRESSED AT THIS TIME. THE ABOVE REQUIREMENTS CAN AFFECT THE LAYOUT OF THIS SITE.
2. A 10,000 GALLON WATER TANK TO BE CLEARLY IDENTIFIED FOR "FIRE DEPARTMENT USE ONLY" AND SHALL BE IN COMPLIANCE WITH FIRE DEPARTMENT STANDARDS.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
4. TRACKER HEIGHT MAXIMUM IS 10 FEET.
5. PHOTOVOLTAIC PANELS, INVERTERS AND INTERCONNECTION EQUIPMENT, LOCATIONS SHOWN FOR REFERENCE ONLY. DESIGN AND FINAL LAYOUT PER DRAWINGS BY THE CONTRACTED ELECTRICAL DESIGN CONSULTANT.
6. TO PROTECT EQUIPMENT FROM POTENTIAL PONDING OR OVERLOAD STORMWATER FLOW, ALL EQUIPMENT SKIDPADS, FOR INVERTERS, INTERCONNECTION EQUIPMENT, ETC.) SHALL BE ELEVATED A MINIMUM 0'12" ABOVE 100 YEAR FLOOD ELEVATION.
7. THE NEW ONSITE ROAD SURFACE CLOSELY MATCHES THE EXISTING SURFACE GRADES. THE INTENT IS TO MAINTAIN EXISTING SURFACE FLOWS ACROSS THE SITE AND ELIMINATE AREAS OF PONDING.
8. FOR ONSITE AND OFFSITE DRAINAGE ANALYSIS, REFER TO "ONSITE AND OFFSITE DRAINAGE REPORT" FOR 230TH STREET SLOAL, PREPARED BY KIMLEY-HORN, DATED MONTH, YEAR.

ZONING INFORMATION			
ZONE A2-2: HEAVY AGRICULTURAL			
REQUIREMENTS	STANDARD (FT)	PROPOSED (FT)	MEETS REQ. (Y/N)
SOLAR ARRAY SETBACK	30	40+	Y
LANDSCAPE BUFFER	10	10	Y
MAXIMUM TRACKER HEIGHT	25	10	Y
MINIMUM ROAD WIDTH	20	20	Y
ACCESS GATE SETBACK	50	60+	Y
TRACKER QTY.			
DC SYSTEM SIZE		6,415.20 kW	
# OF 81 MODULE TRACKER ROWS		90	
# OF 54 MODULE TRACKER ROWS		85	



VICINITY MAP





COUNTY OF LOS ANGELES
DEPARTMENT OF PARKS AND RECREATION
"Parks Make Life Better!"

Norma E. García-González, Director

Alina Bokde, Chief Deputy Director

December 19, 2023

TO: Soyeon Choi
Department of Regional Planning

FROM: Jui Ing Chien *JIC*
Planning and CEQA Section

SUBJECT: **UTILITY SCALE SOLAR FACILITY (RPPL2023005137)
CONDITIONAL USE PERMIT
49560 230TH STREET W, LANCASTER, CA 93536**

The proposed project has been reviewed for potential impacts on the facilities of the Department of Parks and Recreation (DPR). The project will not impact any DPR facilities, and we have no comments. Thank you for including this Department in the review of this document. If you have any questions, please contact me at jchien@parks.lacounty.gov or (626) 588-5317.



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

SCOTT ABBOTT, REHS, M.P.A.
Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/



BOARD OF SUPERVISORS

Hilda L. Solis
First District

Holly J. Mitchell
Second District

Lindsey P. Horvath
Third District


Janice Hahn
Fourth District

Kathryn Barger
Fifth District

May 15, 2024

TO: Samuel Dea
Supervising Regional Planner
Department of Regional Planning

Attention: Soyeon Choi

FROM: Charlene Contreras 
Director, Community Protection Branch
Department of Public Health

SUBJECT: CONDITIONAL USE PERMIT (CUP) REQUEST
CASE: RPPL2023005137
APN: 3278-025-001

Thank you for the opportunity to review the application and project located at the subject property. This applicant requests to install 5 megawatts (MW) ground-mounted commercial solar and a 5 MW accessory battery energy storage system (BESS) facility located on approximately 29 acres of a 40-acre parcel at the above location.

- ☒ Public Health conditions for this project have been met as of the date of this letter. Public Health recommends the clearance of the aforementioned project.
- ☐ Public Health requires that the conditions or information requested below are addressed prior to agency approval; therefore, the Department **DOES NOT** recommend clearance of this project until the following conditions are met:

1. Drinking Water Program: Potable Water

The project would be unmanned, and no employees would report to the project site daily. Project construction and operation would not utilize water facilities. The project would purchase water from a local purveyor. Water used for solar panel and inverter washing will be trucked in from an offsite source. A 10,000-gallon water tank would be installed for fire department use only.

For questions regarding drinking water, please contact Beverly Tway, Drinking Water Program at (626) 430-5420 or btway@ph.lacounty.gov.

2. Land Use Program: Wastewater

According to the Los Angeles County Sanitary Sewer Network-Consolidated Sewer Maintenance District, there are no sewer lines within 200 feet of the project.

The California Code of Regulations, Title 8, Section 8397.4 Health and Sanitation, subsection (d)(2)(A) and Table F-2, only when the employer demonstrate that it is not feasible to provide sewerer toilets, or when there is a temporary increase in the number of employees for a short duration of time. "The employer shall abide by the requirement of the provision of portable toilets and proper handwashing facilities. Under this section, portable water, soap or waterless skin cleaning agents, and single-use hand towels must be supplied."

Applicant must utilize a permitted Toilet Rental Agency Service in Los Angeles County during construction and/or maintenance activities.

For questions regarding wastewater, please contact Xiomara Santana, Land Use Program at (626) 430-5380 or xsantana@ph.lacounty.gov.

3. Community Protection Branch: Environmental Hygiene

Please Note: The following are general requirements for Noise and Air Quality recommendations for the proposed project.

The applicant shall abide by all applicable requirements contained in Title 12, Chapter 12.08 - Noise Control Ordinance of the County of Los Angeles (reference available at municode.com). The sections in Title 12 that apply to this project include but are not limited to 12.08.390 (Exterior Noise Standards), 12.08.440 (Construction Noise) and 12.08.530 (Residential air conditioning or refrigeration equipment).

3.1 Exterior Noise
Ordinance:

12.08.390 Exterior Noise Standards

No person shall operate or cause to be operated, any source of sound at any location within the unincorporated county or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person which causes the noise level, when measured on any other property either incorporated or unincorporated, to exceed any of the following exterior noise standards in Table 1.

Exterior Noise Standards, dBA						
Area	Duration	Std # 1 = L50	Std # 2 = L25	Std # 3 = L8.3	Std # 4 = L1.7	Std # 5 = L0
		30min/hr	15min/hr	5 min/hr	1 min/hr	At no time
Residential	7 am – 10 pm	50	55	60	65	70
	10 pm – 7 am	45	50	55	60	65
Commercial	7 am – 10 pm	60	65	70	75	80
	10 pm – 7 am	55	60	65	70	75
Industrial	Anytime	70	75	80	85	90

Table 1. Std = Standard dB that may not exceed the cumulative period.

3.2 Construction Noise

Ordinance:

12.08.440 Construction Noise

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sundays or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work of public service utilities or by variance issued by the health officer is prohibited (See Table 2 and 3).

- A. Mobile Equipment. Maximum noise levels for nonscheduled, intermittent, short-term operation (less than 10 days) of mobile equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	75 dBA	80 dBA	85 dBA

Table 2. Std = Standard dB that may not exceed.

- B. Stationary Equipment. Maximum noise level for repetitively scheduled and relatively long-term operation (periods of 10 days or more) of stationary equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	60 dBA	65 dBA	70 dBA

Table 3. Std = Standard dB that may not exceed.

3.3 Community Noise

Ordinance:

12.08.530 Residential air conditioning or refrigeration equipment

Operating or permitting the operation of any air conditioning or refrigeration equipment in such a manner as to exceed any of the following sound levels is prohibited (See Table 4).

Measuring Location	Units Installed on or after January 1, 1980, dBA
Any point on neighboring property line, 5 feet above grade level, no closer than 3 feet from any wall.	55
Center of neighboring patio, 5 feet above level, no closer than 3 feet from any wall.	50
Outside the neighboring living area window nearest the equipment location, not more than 3 feet from the window opening, but at least 3 feet from any other surface.	50

Table 4. dBA levels not to be exceeded on the neighboring property.

Findings:

The subject site is zoned for residential use and is bordered by West Avenue C 8 to the north, 227th Street W to the east, undeveloped open space, and a residence to the south, and 230th Street W to the west. The immediate southern vacant land was zoned for irrigated farm. The rest of the surrounding lands were zoned for residential and commercial to the south and irrigated farm to the east and west.

Per the applicant, the project site

- a) is owned by the onsite resident.
- b) is relatively flat; therefore, no substantial grading, import, or export of fill would be required.
- c) would consist of constructing solar modules, battery storage, underground electrical conductors, access roads, and fencing.
- d) would install approximately 14,000 solar modules manufactured off-site and delivered by truck.
- e) modules would be mounted on a steel racking system and anchored with steel piers 8 to 10 feet below ground.
- f) battery storage would be comprised in four banks at the southwest corner of the solar panel array. Each bank would be the size of shipping container.
- g) access would be provided via a new driveway constructed from 230th Street W. Access roads would encircle the whole array and bisect the site in a west-east orientation.
- h) would be enclosed with a six-foot chain link fence topped with one-foot barbed wire.
- i) construction to be completed in seven months with activities that include demolition; site preparation (vegetation clearing); grading; paving; system installation, testing and commissioning; and cleanup.

- j) operation would be unmanned and operate year-round. No employees would report to the project site daily.
- k) operations and maintenance activities, during project operations, include but are not limited to, facility monitoring; administration and reporting; remote operations of inverters, battery storage system and other equipment; repair and maintenance of solar facilities; and periodic panel washing.

On December 28, 2023, noise levels were measured using a sound level meter (Larson Davis Sound Advisor 831C) set to A-weighting (dBA) on 230 Street W shoulder approximately 50 feet north of 49560 230th St W, the project site owner single-family residence, to determine background noise levels. Measuring background noise assists in determining allowable construction or operational noise levels. If background noise exceeds some or all standards, then the background levels become the new standard.

As shown in Table 5 below, the exterior background noise level results exceeded the residential L1.7 and L0 as well as the commercial L0 noise standard. These exceedances were caused by cars/trucks driving on 230th St W. As a result, the L1.7 and L0 background noise level become the exterior noise standards (see highlighted noise level).

Based on the above findings and the noise TECHNICAL MEMORANDUM submitted by the applicant consultant, Kimley-Horn, the subject site construction and operation activities would not have significant noise impact.

Exterior Noise Standards, dBA											
Area Background	Duration	Std # 1 = L50		Std # 2 = L25		Std # 3 = L8.3		Std # 4 = L1.7		Std # 5 = L0	
		30min/hr	Result	15min/hr	Result	5 min/hr	Result	1 min/hr	Result	At no time	Result
Residential	1:47 p.m. – 2:47 p.m.	50	38.5	55	41.7	60	46.3	65	65.9	70	83.1
Commercial	1:47 p.m. – 2:47 p.m.	60	38.5	65	41.7	70	46.3	75	65.9	80	83.1

Table 5. Std = Standard dBA that may not exceed the cumulative period.

3.4 Recommendations

3.4.1 Exterior Noise

Operational noise from the subject site needs to be determined and mitigation measures applied as needed prior to permitting the construction.

Be advised that if the activities listed below or additional activities that may create a noise disturbance occur in the future, care must be exercised to refrain from or minimize

such a noise disturbance so as not to impact the nearest residential properties.

1. Vehicle and equipment start-up and idling.
2. Loading/unloading.
3. Alarms.
4. public address (PA) system.
5. solar panels and equipment washing and maintenance.

3.4.2 Construction Noise

Construction noise needs to be determined and addressed. Noise mitigation measures may need to be applied to reduce construction noise and to comply with Title 12, 12.08.440 – Construction Noise. Noise mitigation strategies may include but are not limited to:

1. All construction equipment shall be equipped with the manufacturers' recommended noise muffling devices, such as mufflers and engine covers. These devices shall be kept in good working condition throughout the construction process.
2. Installation of a temporary sound barrier at the property lines of the proposed project site to mitigate noise impacts on all surrounding properties.
3. All construction equipment shall be properly maintained and tuned to minimize noise emissions.
4. Stationary noise sources (e.g., generators and compressors) shall be located as far from residential receptor locations as is feasible.

3.4.3 Air Quality Recommendation

During grading or excavation activities if applicable, application of dust control measures to minimize fugitive dust is recommended. Fugitive dust

can result in worker and public exposure to fungal spores such as *Coccidioides immitis*, which can cause Coccidioidomycosis (Valley Fever). Adhere to applicable Air Quality Management District regulations.

For questions regarding above comments, please contact Yonas Taye of Public Health, Environmental Hygiene Program at (626) 430-5201 or ytaye@ph.lacounty.gov.

Samuel Dea
May 15, 2024
Page 7 of 7

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Planning & Land Use Liaison at (626) 430-5201 or varanda@ph.lacounty.gov.

CC:va
DPH_CLEARED_APN-3278-025-001_RPPL2023005137_05.15.2024.

Ryan Nyberg

From: Larry Dunworth <dunworthdl@yahoo.com>
Sent: Monday, March 31, 2025 6:38 PM
To: Ryan Nyberg
Cc: Stephanie Loucas; Anne Maytubby; Barbara Rogers; Dave Hyatt
Subject: RE: Fairmont Town Council Intro | Renewable Properties

Hi Ryan,

Sorry for the late reply. LA County suspended public meetings as part of their COVID response and by the time the suspension was lifted the Fairmont Town Council was essentially disbanded. Two of the council members no longer live in California and the remaining council member has health issues which preclude active participation. The Fairmont Town Council has not had a meeting since February 2020.

My suggestion if you need to do mandated community outreach is to host a meeting at a local restaurant and send invites to the residents via US Mail. The solar companies have used this outreach method successfully over the last several years.

Good Luck with your project.

Larry Dunworth
 Former Fairmont Town Council member
 (228) 209 -1254

Good afternoon, Fairmount Town Council Representatives,

I am following up on an email sent last week. We have project currently seeking entitlements from LA County Planning Department that is within the Fairmount Town Council district. I'd like to request being added to the Council's April agenda to present the project to the Council and community. We look forward to the opportunity and I look forward to hearing back from you all soon. Please do not hesitate to reach out if you have any questions.

Thanks,
 Ryan

Ryan Nyberg
 Permitting Manager



(M) +1 (415) 741-1684
ryan@renewprop.com | renewprop.com

From: Ryan Nyberg <ryan@renewprop.com>
Sent: Thursday, March 27, 2025 10:57 AM
To: horsemomus@yahoo.com; Wanda.hull@gmail.com; 'ldunworth@elsysinc.com' <ldunworth@elsysinc.com>
Cc: Stephanie Loucas <stephanie@renewprop.com>; Anne Maytubby <anne@renewprop.com>; Ryan Nyberg <ryan@renewprop.com>
Subject: Fairmont Town Council Intro | Renewable Properties

Good Morning,

I hope this email finds you well and apologies if this is a duplicative email. There was an issue with an email address in the first send. I wanted to introduce myself, my company, and the 230th Street Solar Project. The 230th Street Solar Project is a proposed community solar and battery energy storage facility in LA County on West 230th Street just north of W Avenue D. As I understand, the Project is within the Fairmount Town Council region, and you all are representatives of the council. I'd like to kindly request the opportunity to join the Fairmont Town Council's April meeting to present the project and seek feedback from the community.

Renewable Properties specializes in developing and investing in small-scale utility solar projects throughout the United States. We are headquartered in San Francisco and committed to decreasing the nation's dependence on fossil fuels through solar energy development. As part of that process, we proactively reach out to the communities we work in, as we are committed to being good community members and neighbors.

The Project is still in the planning process with the County and is expected to have a public hearing in front of the Planning Commission this summer. We look forward to the opportunity to join the April meeting and sharing more about our Project. I look forward to hearing back about the opportunity soon.

Thanks,
Ryan

Ryan Nyberg
Permitting Manager



(M) +1 (415) 741-1684

ryan@renewprop.com | renewprop.com

From: [Nathan Bello](#)
To: [Soyeon Choi](#)
Subject: 230th Street Solar
Date: Friday, May 9, 2025 5:39:20 PM

CAUTION: External Email. Proceed Responsibly.

Dear Soyeon Choi,

Thank you for the opportunity to review the Initial Study/Mitigated Negative Declaration (IS/MND) for the 230th Street Solar Project. My name is Nathan Bello, and I manage and support the Petersen Ranch Mitigation Bank, which was established to provide compensatory mitigation for projects in Los Angeles County impacting a range of biological resources, including natural communities and native vegetation.

The Petersen Ranch Mitigation Bank offers a variety of credits approved by the California Department of Fish and Wildlife (CDFW) to meet CEQA mitigation requirements. While these credits are categorized by vegetation community, they also represent habitat that supports a suite of native plant and wildlife species. For example, the grassland and chaparral credit areas at Petersen Ranch are known to support habitat for species analyzed in the IS/MND, including Swainson's hawk, Crotch's bumble bee, burrowing owl, and American badger.

I respectfully suggest that the mitigation measure for Crotch's bumble bee (MM Bio-9) be revised to allow for the use of credits from approved mitigation banks. Incorporating this flexibility is consistent with CEQA's requirements for feasible, enforceable, and effective mitigation (CEQA Guidelines §§ 15126.4(a)(1)(B), 15041(a)) and with CEQA's mandate for consistency with other environmental laws and policies (§ 15021). The use of mitigation banks also aligns with state and federal policies that establish a preference for mitigation that is permanent, professionally managed, and ecologically effective. Approved mitigation banks ensure that conservation outcomes are both certain to occur and enforceable, meeting CEQA's standards for mitigation certainty and long-term success.

An example of a mitigation measure structure that provides this flexibility is included below:

*"Any floral resources associated with Crotch's bumble bee (i.e., specific plant species known to be used for foraging) that will be removed or damaged by the Project shall be replaced **on-site, off-site, or mitigated through the purchase of credits from the Petersen Ranch Mitigation Bank or another CDFW-approved mitigation bank with documented occurrence of Crotch's bumble bee**, at a 1:1 ratio or as otherwise determined through any applicable Incidental Take Permit (ITP) process. Floral resources **mitigated through on-site or off-site replacement** shall be replaced as close to their original location as feasible after Project construction. These resources shall be maintained for the life of the Project and replanted or managed as needed to ensure habitat preservation."*

If it would be helpful, I would be happy to meet with you and your team to provide additional information about the Petersen Ranch Mitigation Bank and its relevance to this project.

Thank you for your consideration.

Sincerely,

Nathan Bello
HabitatSource
bello@habitatsource.com
916.508.4993

From: [Elizabeth Topor](#)
To: [Soyeon Choi](#)
Subject: Additional notes Re: Attn: North County Section (Soyeon Choi), re: 230th Street Solar Project No. PRJ2023-002405-(5) Conditional use permit No. RPPL202300513
Date: Friday, May 30, 2025 5:26:33 PM

CAUTION: External Email. Proceed Responsibly.

Dear Mr. Choi,

I wanted to take a moment to clarify a few concerns in my previous e-mail.

Re: Noise - The noise I am referring to is basic day-to-day noise which is uncommon to us out here, and not noise levels established as within some set limits as acceptable. As I walked around outside this morning doing chores, I realized I needed to clarify this. "Normal" country noise out here is any noise produced by the sounds of a variety of birds, the neighbor's cows mooing and their goats bleating at food time, my horses chewing, snorting/blowing and squealing, a dog playing or barking for a short time to say, "coyote" or "stranger", and the occasional bleats that our own goat and ewes make when they see us. People actually have videos or music they play to get this effect, but out here, we get to experience it every day, any time we step outside. We love to lay on a lounge chair outside with a good book or to take a quick nap while listening to the sounds of nature (birds and horses). This is a therapeutic atmosphere. It puts a smile on your face. You feel calm and that "all is well" with the world. This is the epitome of country living.

Noise out here carries. If someone at the corner store is yelling or arguing, we can hear them. If the Badanos have their grandchildren over and they are outside, we can hear them. Wind does travel, especially with the wind. That being said, the noise from this project which is not normal pleasant noise, will affect us. It will be heard throughout the day.

Re: Views: While one might be able to see above the solar panels to look at the mountains, that is not the only view I am talking about, but the ground level view leading to and including the mountains. The solar project is in the direct pathway to that view for me; meaning you do not just look up into the sky but you look across the open fields of green plants/vegetation, amazing wildflowers with wide open, gently sloping upward land, stretched across many miles to the mountains (which sadly this year the flowers were scarce and did not last long, possibly effected by the Apollo fire which burned so much of our vegetation and has not had a chance to regrow and an overall dry winter). The whole area and sights of open land gently sloping to the mountains is one you cannot exclude. Living on the eastside was flat, dry, and dirt, dirt, dirt. Nothing green to see, not much wildlife, except an occasional rattlesnake. It was, truth be told, ugly! A great idea would be to have solar on the eastside, as there are not a lot of homes, flat land, and fully open to sunshine.

Re: My asthma - My asthma tends to start and exacerbate mid-November thru the end of

April/early May making my use of an inhaler necessary throughout the day and night. I have in the not-too-distant past had a small, right lower lobe pneumonia. I am 63 yrs. old and very concerned regarding an increased risk of Valley Fever with this project, even with their attempt of preventative measures. Last year my doctor said they were seeing an increasing number of Valley Fever cases. I am also concerned for the children in my home. Our distance from the project makes us easy targets. We access the pastures to check fences, catch and bring a horse in, walk and ride in the pastures, walk back and forth to neighbors to care for their place while they are gone, and live in close proximity to this project.

Flight path: I am concerned regarding flight patterns for military and other entities' planes as they commonly fly quite low and right over my pastures, barn, home, and other structures. This includes helicopters, jets, etc. Could the glare from this project cause the pilots to err. This would be disastrous for the pilots, us, and the animals.

Please add these clarified comments to my previous e-mail.

Thank you again,

Elizabeth Topor

From: Soyeon Choi <schoi@planning.lacounty.gov>

Sent: Thursday, May 29, 2025 1:24 PM

To: Elizabeth Topor <beyebranch@msn.com>

Subject: RE: Attn: North County Section (Soyeon Choi), re: 230th Street Solar Project No. PRJ2023-002405-(5) Conditional use permit No. RPPL202300513

Dear Ms. Topor,

I appreciate your careful review of the project and comments. I will forward your comments to the applicant immediately. Your comments will also be added to the project folder and hearing package for review and consideration by the Regional Planning Commission.

Thank you,

SOYEON CHOI (she/her/hers)

SENIOR PLANNER, North County Development Services

Office: (213) 974-6443 • Direct: (213) 893-7021

Email: schoi@planning.lacounty.gov

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From: Elizabeth Topor <beyebranch@msn.com>

Sent: Thursday, May 29, 2025 8:49 AM

To: Soyeon Choi <schoi@planning.lacounty.gov>

Subject: Attn: North County Section (Soyeon Choi), re: 230th Street Solar Project No. PRJ2023-002405-(5) Conditional use permit No. RPPL202300513

CAUTION: External Email. Proceed Responsibly.

Dear Mr. Choi,

My name is Elizabeth Topor. I am e-mailing to voice my concerns of above said project.

I own parcel #s 3278 025 023; 3278 025 026 (both of which the fence lines adjoin the proposed project); and parcel 3278 025 035 (my home on 10 acres adjoining the other 2 parcels). I have lived here since Dec. 2019 (25 yrs).

My concerns are the following, among others:

Foster Mom: Being a foster mom with Trinity Youth Services I am concerned with employees of solar project for the safety of children including my 4 adopted ones . My home is a favorite for soothing children, calming those with hyperactivity and behavior issues. They thrive out here in this peaceful environment. Many behavioral health/therapists have seen the wonders this life/environment has on the children. The children love seeing nature and being around so many different animals. Life here is definitely a slower paced one. The social workers love coming out here. They are always amazed at the beauty, the fresh air and the peacefulness. My direct social worker (Denisse Ireland) loves to come sit outside with the children on a picnic table. They deal with many tough issues and busy cities, so coming here is like a getaway for a short time.

Fires: After the Apollo Fire here which destroyed 2 homes including 40+ animals, and encircled my property and both neighbors, it is my concern for smoking employees and extreme fire hazard in this area. This fire burned up to my front fence and around 2 sides, coming in my back pasture where several pasture horses reside, taking out fences and gates, all of which had to be replaced.

Horses: Multiple horses have access to the fence line between me and proposed project. My concern is for workers petting, feeding, "messaging" with the horses, getting injured by one of the horses. A major concern is choke, a condition where if fed an apple or core, carrots, and/or watermelon rinds among other items they run the risk of choke, a serious condition where the food is stuck making the horse unable to swallow or drink. Often times a veterinarian (which chances of getting a vet out are very rare due to our location) cannot relieve such a choke due to the food source; therefore, having to euthanize the horse.

Dirt/sand blowing: Living in the Antelope Valley wind is not unusual, but out here it is unlikely to have any dust blowing, as is common on the very dry east side of the valley) a reason why I moved west 25 + years ago). This project is going to create lots of dust very near to my home and horses. I am an asthma sufferer so this is of concern to me as it can exacerbate my asthma.

Traffic: The dirt road (227th) on the east side of my pasture, if used for solar project traffic/workers will also create a lot of dust, noise and safety concern going back and forth on this little road we out here use to ride horses on, walk, and bike ride with children. Walking, riding, biking out here is very peaceful, soothing, and good for mind and body. It won't be if there is the danger and constant traffic back and forth on this dirt road.

Noise: It is very peaceful here with little noise (except the wind LOL). The neighbors are quiet. The air is fresh and clear. This project will be quite noisy with workers and all that goes along with it. Our peaceful life in the country will feel like we moved to the city. We are zoned heavy agriculture to grow things on like alfalfa hay, raise livestock on, not for metal solar panels.. This is another reason why people come to live out here, a way to get away from busy cities and noise.

Family and animal life: People move out here to get away from the hustle and bustle of a city, to have room to roam and not feel "boxed in", to raise families in a peaceful, healthy environment, and to have animals, including livestock. It is a wonderful environment for them to romp and play, to flourish. If we wanted city life, we would live in a city.

Lights and noise: Another great reason to live in the country is for the clear skies, the starry nights, the peace and quiet for sleeping, and no lights!. Lights and any night activity will disrupt this. Sleeping outside in the summer is a big treat for kids and parents alike. It is like going camping, but in your own backyard.

Reflection of panels: The reflection from the solar panels will at different times of the day put off a very unbearable glare, which shine into a person's eyes, the trainer/rider of a horse, and the horse itself, making this an issue for safety, not to mention if you know how that glare affects your eyes. Being a foster mom, I have had social workers ask, "what is all that water

way out there"? We reply, "solar panels".

Views: This is an area where homes are somewhat spread out with BEAUTIFUL views of the mountains to the south, west, and especially the north. This project will directly impact this. The view in the winter of the northern mountains with snow on them is breathtaking! It is a scene for picture taking. It is something you long to see and never get tired of.

Wildlife: Living here in Neenach we get to see a lot of wildlife (which we love to feed). Here at my very own house the California Quail abounds, with babies born every year, Blue Jays, Orioles, Red Robins, hawks, vultures, owls and we have also had the pleasure of a returning Roadrunner and Crane, an occasional duck and homing pigeon, along with the usual country critters of squirrels and rabbits (which we also feed), King snakes, Gopher snakes, Diamondback rattlers, and multiple Mojave Green rattlesnakes (which concerns me that they will be disrupted and head to my pastures). More recently we had two Cow Egrets come and visit the west neighbor's cows LOL. What a sight to see these birds fly over your head.

Please carefully consider my concerns and comments. Ruben Badano inherited the bare land from his father who passed away. There are many other things he could use it for, like agriculture, growing hay, which they have done in years past, raising livestock (they even have cattle pens, which his father raised some cattle in), subdividing and/or selling it off., or hey, just keep it the way it is because he has lived out here on that land for many years. I love my neighbors, we are brothers and sisters in Christ, but I strongly oppose this project because it will forever change the quality and reason for life out here in the country. Please keep solar far away from us country folks who moved here to be away from such things. Keep this a haven of peaceful beauty and nature for kids to thrive in. There are so many areas of open land where no people live or even want to live, where putting solar would not negatively impact their lives.

Thank you,

Sincerely,

Elizabeth Topor

Soyeon Choi

From: sunny522yoo@gmail.com
Sent: Thursday, July 17, 2025 6:33 PM
To: Soyeon Choi
Subject: Public hearings

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: External Email. Proceed Responsibly.

My name is Sun J Yoo(629 Traction Ave apt # 607 LA, CA 90013).
I've been informed of the public hearing regarding the project #PRJ2023-002405.
I'm sorry that my language barrier prevents from participating in the hearing. I'm all for this project description.
But I'd like to know what the compensation is for the landlord. I'd appreciate it if you could give me some preliminary knowledge in advance.
I think you are also Korean,so I would appreciate it if you email me in Korean.
I wish you success in your business.
Thanks.
Sun J Yoo.