

April 22, 2025

Castaic Auto Performance c/o Jaime Massey
31531 Ridge Route Road
Castaic, CA 91384

PROJECT NO. 2019-003416-(5)
CONDITIONAL USE PERMIT NO. RPPL2019006034
31531 RIDGE ROUTE ROAD, CASTAIC
(APN 2865-010-024)

Dear Ms. Massey:

Hearing Officer Patricia Hachiya, by her action of **April 22, 2025**, has approved the above-referenced project. Enclosed are the Hearing Officer's Findings and Conditions of Approval. Please carefully review each condition. This approval is not effective until the appeal period has ended and the required documents and applicable fees are submitted to LA County Planning (see enclosed Affidavit of Acceptance Instructions).

Appeals:

The applicant or any other interested persons may appeal the Hearing Officer's decision. The appeal period for this project will end at 5:00 p.m. on **May 6, 2025**. Appeals must be submitted to appeal@planning.lacounty.gov before the end of the appeal period.

Upon completion of the appeal period, the notarized Affidavit of Acceptance and any applicable fees must be submitted to the planner assigned to your case. Please make an appointment to ensure that processing will be completed in a timely manner. Failure to submit these documents and applicable fees within 60 days will result in a referral to Zoning Enforcement for further action.

In addition, any applicable California Environmental Quality Act fees for the Department of Fish and Wildlife shall be paid, and a Notice of Determination, if applicable must be filed with the County Clerk according to the instructions with the enclosed Affidavit of Acceptance. A Notice of Exemption, if applicable, may also be filed according to the instructions in the enclosed Affidavit of Acceptance.

Ms. Jaime Massey
April 22, 2025
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For questions or for additional information, please contact Soyeon Choi of the North County Development Services Section at (213) 974-6443, or schoi@planning.lacounty.gov.

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Samuel Dea, Supervising Regional Planner
North County Development Services Section

SD:SC

Enclosures: Findings, Conditions of Approval, Affidavit of Acceptance (Permittee's Completion)

c: PW (Building and Safety)
Zoning Enforcement

CP_04222025_FINAL LETTER

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
FINDINGS OF THE HEARING OFFICER
AND ORDER
PROJECT NO. 2019-006034-(5)
CONDITIONAL USE PERMIT NO. RPPL2019006034

RECITALS

1. **HEARING DATE(S).** The Los Angeles County ("County") Hearing Officer conducted a duly-noticed public hearing in the matter of Conditional Use Permit ("CUP") No. **RPPL2019006034** on April 22, 2025.
2. **HEARING PROCEEDINGS.** A duly noticed public hearing on the Project was held on April 22, 2025 before the Hearing Officer. Staff gave a presentation of the CUP and addressed the Hearing Officer's question regarding the previous and proposed uses. After the presentation, the permittee's representative, Carlos Rocha, was available for further questions. There being no other speakers or questions, the Hearing Officer found that Project is categorically exempt under California Environmental Quality Act ("CEQA"), approved the CUP and closed public hearing.
3. **ENTITLEMENT(S) REQUESTED.** The Permittee, Castaic Auto Performance ("Permittee"), requests the CUP to authorize the operation of an automobile body and fender repair shop with painting and towing services, as well as a new business wall sign within a 2,200-square-foot tenant space within an existing multi-tenant automobile repair facility ("Project") on a property located at 31531 Ridge Route Road in the unincorporated community of Castaic ("Project Site") in the C-3 (General Commercial) Zone pursuant to Los Angeles County Code ("County Code") Sections 22.20.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R), 22.114.100 (Business Signs – In Commercial and Industrial Zones), and 22.114.110 (Wall Business Signs).
4. **PREVIOUS ENTITLEMENT(S).** Site Plan Review ("SPR") No. RPP200500372 authorized the construction of new auto repair facilities consisting of a 3,250-square-foot auto repair facility (Jiffy Lube) in the southern portion of the Project Site, a 7,000-square-foot auto repair and tire service in the northern portion, a total of 35 parking spaces, and 4,782-square-foot landscaping areas, along with hardscape features, pedestrian amenities, and tree planting pursuant to the Castaic Area Community Standards District ("CSD") requirements. There were five business license referrals signed off for auto repair at the Project Site (RBUS200600352, RBUS200600913, RBUS200600943, RBUS 201300115, and RBUS2018005152), one business license referral denied in 2014 for 31525 Ridge Route Road (RBUS201300453), and five SPRs approved for various signs for on-site businesses (RPP2006002301, RPP2006002302, RPP200700589, RPP201000680, and RPP201200454).

5. **LAND USE DESIGNATION.** The Project Site is located within the CM (Major Commercial) land use category of the Santa Clarita Valley Area Plan (“Area Plan”) Land Use Policy Map, a component of the General Plan.
6. **ZONING.** The Project Site is located in the Castaic Canyon Zoned District and is currently zoned C-3. Pursuant to County Code Section 22.20.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R), a CUP is required for an automobile body and fender repair shop and for an automobile painting and upholstering shop; the auto body and fender repair shop must be within a fully enclosed building. An SPR is required for an automobile repair garage, excluding body and fender work, painting, and upholstering. Automobile towing is an associated accessory use to the proposed business.

7. SURROUNDING LAND USES AND ZONING

LOCATION	AREA PLAN LAND USE POLICY	ZONING	EXISTING USES
NORTH	CM, IL (Light Industrial), OS-W (Open Space – Water)	C-3, M-1 (Light Manufacturing), O-S (Open Space)	Outdoor storage, hotel,
EAST	IL, OS-C (Open Space – Conservation), H30 (Residential 30 – 18 Dwelling Units per Acre)	M-1, O-S	Vacant, outdoor storage, recreational vehicle park
SOUTH	CM	C-3, M-1	Restaurant, motel, gas station
WEST	CM	C-3, M-1	Outdoor storage, retail, commercial, restaurant, gas station

8. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is 0.65 net acres in size (0.70 gross acres) and consists of one legal lot. The Project Site is irregular in shape with gentle-sloping topography and is developed with auto repair facilities.

B. Site Access

The Project Site is accessible via Ridge Route Road, a Secondary Highway in the County Master Plan of Highways, with a width of approximately 80 feet at the Project Site. Access to Ridge Route Road to the east of the Project Site is provided via a 30-foot-wide driveway serving the north building, including the Project, and a separate 30-foot-wide driveway serving the south building (Jiffy Lube). The primary access to the Project Site will be via the north entrance/exit driveway on Ridge Route Road.

C. Site Plan

The site plan depicts the Project Site with two existing enclosed automobile repair structures: a 7,000-square-foot one-story building in the northern portion and a 1,750-square-foot one-story building with a 1,500-square-foot basement (Jiffy Lube) in the southern portion of the lot. The proposed automobile body and fender repair shop with painting and towing services will occupy the 2,200-square-foot tenant space in the middle of the existing 7,000-square-foot auto repair building. A 382-square-foot spray booth is proposed to be installed within the tenant space. Additionally, a new 28-square-foot new business wall sign is proposed on the eastern building façade facing Ridge Route Road. The remaining tenant space of the building is currently used by other auto repair business and a tire shop with 941-square-foot mezzanine used for storage and a 1,080-square-foot office.

The existing development was approved with a total of 4,782 square feet of landscaping, hardscape features, pedestrian amenities, and tree planting pursuant to the Castaic Area Community Standards District ("CSD") requirements. The previously approved elements that have not been developed, including two (2) pedestrian amenities and planting of one (1) 15-gallon tree along the part of eastern portion of the subject property, are also proposed as part of the Project. Additional improvements include an automated gate, a trash container, and a compact parking space in the western portion of the subject property. The proposed automated gate will remain open during the hours of operation, from 8:00 a.m. to 6:00 p.m. Monday through Friday and from 8:00 a.m. to 4:00 p.m. on Saturday. The gate will be closed after these hours for security purposes.

D. Parking

The existing development requires 26 parking spaces and a total of 35 parking spaces are provided on site, including seven (7) compact spaces and two (2) accessible parking spaces. Out of nine (9) surplus parking spaces, five (5) spaces located in the northwestern corner of the parking lot will be designated for the towing service. Four (4) parking spaces will be used for temporary storage of towed vehicles waiting for repair and one (1) will be used for parking for a towing vehicle.

9. CEQA DETERMINATION.

Prior to the Hearing Officer's public hearing on the Project, LA County Planning staff determined that the Project qualified for Class 1, Existing Facilities and Class 3, New Construction or Conversion of Small Structures, categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County, because the Project consists of the operation of automobile body and fender repair with painting and towing services within an existing enclosed structure. A new spray booth will be installed within the existing structure to minimize any potential impacts on air quality in the immediate vicinity. The towing service does not require any structures or modifications to the Project Site other than utilizing surplus parking for temporary parking of towed vehicles and a towing vehicle. No new construction or expansion is being proposed.

No exception to the Categorical Exemption is found to apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a hazardous waste site, historical resources, environmentally sensitive areas, or scenic drives. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated. An environmental determination was issued for the Project.

10. **PUBLIC COMMENTS.** Staff has received no public comments at the time of preparation of this report.

11. AGENCY RECOMMENDATIONS.

A. County Fire Department: Recommended clearance to public hearing with conditions in a letter dated August 27, 2024.

B. County Department of Public Health: Recommended clearance to public hearing with conditions in a letter dated March 6, 2024.

12. **LEGAL NOTIFICATION.** Pursuant to Section 22.222.120 (Public Hearing Procedure) of the County Code, the community was properly notified of the public hearing by mail, and newspaper [The Signal], and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On February 27, 2025, a total of 35 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as 25 notices to those on the courtesy mailing list for the Castaic Canyon Zoned District and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

13. **LAND USE POLICY.** The Hearing Officer finds that the Project is consistent with the goals and policies of the Area Plan because the CM designation is intended for a range of commercial, entertainment and cultural uses serving the general public and drawing from a large market area. Specific allowable uses are determined by the underlying zoning designation, which in this case allows the existing and proposed uses with an SPR and CUP, respectively. The Hearing Officer further finds that the Project is part of a regional focal point of commercial and vehicle-related uses serving the general public and drawing from a large market area.

14. **GOALS AND POLICIES.** The Hearing Officer finds that the Project is consistent with the goals and policies in the Area Plan:

- Policy LU-4.1.4: Promote economic opportunity for all segments of the community, including small businesses and new businesses.
- Policy LU-4.2.3: Encourage businesses to locate in all appropriate areas of the community to encourage job creation in closer proximity to workforce housing.

The auto body and fender repair shop with painting and towing services will be located in an existing auto repair facility. The vicinity is developed with commercial and light industrial uses, which are also in proximity to residential areas, approximately 300 feet to the north, 820 feet to the west, and 1,500 feet to the south. As a small business, it provides a convenient location for local residents to have their automobiles repaired and painted. The facility is well maintained with a neat appearance, appropriately scaled, and with all repair and paint work conducted within an enclosed space in a building.

ZONING CODE CONSISTENCY FINDINGS

- 15. PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the C-3 zoning classification, as an auto body and fender repair shop with painting and towing services is permitted in such zone with a CUP pursuant to County Code Section 22.22.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R).
- 16. REQUIRED YARDS.** The Hearing Officer finds that the Project is consistent with the standards identified in County Code Sections 22.20.050 (Development Standards for Zones C-H, C-1, C-2, C-3, and C-M) and 22.312.070.B (Castaic Area CSD, Zone Specific Development Standards, Commercial and Industrial Zones). While the request is for a new auto body repair and fender shop within an existing building, there are two existing multi-tenant auto repair buildings: a 7,000-square-foot one-story building where the proposed Project is located in the northern portion; and a 1,750-square-foot one-story building with a 1,500-square-foot basement in the southern portion. Both buildings are at least 20 feet from the front lot line on Ridge Route Road, which is in compliance with the 20-foot front yard setback requirement pursuant to the CSD requirements. There is no contiguous residential or agricultural zone. Therefore no other setback is required for the Project Site.
- 17. HEIGHT.** The Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.20.040 (Development Standards for Commercial Zones). While the request is for a new auto body repair and fender shop within an existing building, the existing building where the proposed business will be located is 21 feet in height, which adequately meets the maximum height of 13 times buildable area.
- 18. PARKING.** The Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces). Auto services, including any repair work, require one (1) space per 500 square feet of buildings. For office area associated with auto services and repair, one (1) space per 250 square feet of building area was applied at the time of the SPR approval in 2005. The total auto service area at the premise is 8,558 square feet, which requires 18 spaces. The total office area is 1,692 square feet, which requires eight (8) parking spaces. A total of 26 parking spaces were required, and 35 parking spaces are provided on-site, including seven (7) compact spaces and two (2) accessible parking spaces. Out of nine (9) surplus parking spaces, five (5) spaces located in the northwestern corner of the parking lot will be designated for towing service. Four (4)

spaces will be used for temporary storage of towed vehicles waiting for repair and one (1) will be used for parking of a towing vehicle.

19. LANDSCAPING. The Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.20.040 (Development Standards for Commercial Zones) and 22.312.070 (Castaic Area CSD, Zone Specific Development Standards). While the request is for a new auto body repair and fender shop within an existing building, general landscaping requirement for commercial development is minimum 10 percent of the lot area. The lot area is 31,241 square feet, and a total of 4,782 square feet of landscaping area, or approximately 15.3 percent of the lot area, is provided on Project Site. Additionally, the CSD requires the 20-foot front yard setback to be landscaped with a minimum of one (1) 15-gallon tree for every 150 square feet of setback landscaped area. The setback landscaped area on the subject property is approximately 1,660 square feet, and 11 trees are required. A total of 13 15-gallon trees were approved in 2005, and 10 are currently provided. One (1) additional tree is required and is proposed as part of this Project.

20. SIGNS. The Hearing Officer finds that the Project is consistent with the standards identified in County Code Sections 22.114.100 (Business Signs – In Commercial and Industrial Zones), 22.114.110 (Wall Business Signs) and 22.312.070.B.1.c and d (Castaic CSD-Wall Business Signs & Freestanding Business Signs). While the request is for a new auto body repair and fender shop within an existing building, all existing wall signs and the freestanding sign were approved through SPRs from 2007 to 2012, including RPP2006002301, RPP2006002302, RPP200700589, RPP201000680, and RPP201200454 in accordance with the applicable sign requirements of the CSD. A new wall cabinet sign is proposed on the eastern building façade facing Ridge Route Road. County Code Section 22.114.110 (Wall Business Signs) limits the maximum sign area for signs in C-3 zone to three (3) square feet per linear foot of building frontage, whereas Section 22.312.070.B.1.c (Castaic CSD – Wall Business Signs & Freestanding Business Signs) requires more restrictive maximum sign area of one and a half square foot per linear foot of the building frontage. For the 48-foot-long building length on the street frontage, the maximum allowable sign area for a wall sign is 72 square feet pursuant to the CSD sign requirements. The proposed wall cabinet sign is 28 square feet in sign area and does not exceed the building height, therefore satisfying all applicable sign requirements.

21. CASTAIC AREA CSD. The Hearing Officer finds that the Project is consistent with the standards identified in County Code Chapter 22.312 (Castaic Area CSD), specifically County Code Section 22.312.070.B (CSD Zone Specific Development Standards for Commercial and Industrial Zones). While the request is for a new auto body repair and fender shop within an existing building, the Project complies with the following:

- a. **Paving:** the CSD requires paving of pedestrian circulation areas and driveway entrances, pedestrian amenities, and 20-foot setbacks for buildings, structures, and circulation areas. The Project Site provides paver tiles for the two (2) access driveway entrances as well as a pedestrian walkway connected to the public sidewalk along Ridge Route Road.

- b. Pedestrian Amenities: The CSD requires at least two pedestrian amenities to be provided at commercial development. Seating areas with tables will be provided in two (2) places on Project Site as previously approved, one adjacent to the street and another on the west of the southerly structure. Landscaped buffers are also provided along the street frontage with 10 trees and bushes, with an additional 15-gallon trees to be planted in compliance with CSD requirements.
- c. Trucking District Area: The subject property is also located within the Trucking District Area within the CSD. Since the Project and the existing auto repair uses are not related to tractors or trucks, there are no additional area-specific development standards applicable to the Project.

CONDITIONAL USE PERMIT FINDINGS

22. **The Hearing Officer finds that the proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare.** The Project Site is well maintained and buffered from neighboring uses with landscaping, fencing, and setbacks, and the proposed use will not adversely affect the surrounding uses. While the request is for a new auto body repair and fender shop within an existing building, the underlying auto repair facility has existed at the location for about 20 years without problems. Surrounding uses include other commercial and light industrial uses such as outdoor storage that are compatible with the auto body and fender repair, painting, and towing business. Additionally, all repair and painting will be conducted entirely within an existing enclosed structure. A paint spray booth will be installed in compliance with applicable local and State requirements and will minimize impacts on air quality and public health.
23. **The Hearing Officer finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.** The proposed use will utilize the existing development without any significant physical changes to the subject Project Site. The existing development was authorized in 2005 through SPR No. RPP200500372 and meets all applicable development standards in Title 22 (Planning and Zoning) of the County Code, including landscaping, parking, and CSD requirements. The 32,241-square-foot subject property provides approximately 15.3-percent landscaped area, or 4,782 square feet, where a minimum 10 percent of landscaping is required for the zone. The existing development with the proposed Project requires 26 parking spaces and a total of 35 parking spaces are provided on site. Five (5) of nine (9) surplus parking spaces will be designated for towing business to park towed vehicles while waiting for repair as well as to park a towing vehicle. Additionally, the Project Site provides a 20-foot front setback with partial landscaping area along the street frontage with 10 15-gallon trees and one (1) additional tree proposed, differentiated paving materials for driveway entrances, and pedestrian amenities such as seating with tables pursuant to the CSD requirements.

Therefore, the Project Site with the existing development and as conditioned is adequate in size to accommodate the required development features and would integrate with the uses in the surrounding area.

- 24. The Hearing Officer finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.** The subject property is served by 80-foot-wide Secondary Highway as designated in County Master Plan of Highways. Other streets in the immediate vicinity include Interstate-5 (Golden State Freeway) as well as Castaic Road, a Major Highway on the County Master Plan of Highways, and The Old Road, a Secondary Highway on the County Master Plan of Highways. Since the proposed auto body and fender repair shop with painting and towing services intends to serve the local needs from the surrounding communities, the streets and highways are sufficient to provide access for the potential customers and accommodate the traffic that would be generated by the Project.
25. The Hearing Officer finds that to ensure continued compatibility between the Project and the surrounding land uses, it is necessary to limit the CUP to 15 years.

ENVIRONMENTAL FINDINGS

26. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15301 (Class 1, Existing Facilities categorical exemption) and 15303 (Class 3, New Construction or Conversion of Small Structures). The Project, which consists of the operation of an automobile body and fender repair with painting and accessory towing services, would be conducted entirely within an existing enclosed structure. A new spray booth will be installed within the existing structure to minimize any potential impacts on air quality in the immediate vicinity. The towing service does not require any structures or modifications to the Project Site other than utilizing surplus parking for temporary parking of towed vehicles and a towing vehicle. No new construction or expansion is being proposed. No exceptions to the Categorical Exemptions are found to apply to the Project per Section 15300.2 of the California Code of Regulations. The Project Site is not located within or near a hazardous waste site, historical resources, environmentally sensitive areas, or scenic drives. There is no significant effect due to unusual circumstances and no cumulative impacts are anticipated. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA.

ADMINISTRATIVE FINDINGS

- 27. LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and

materials shall be the Section Head of the North County Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed use with the attached conditions will be consistent with the adopted General Plan.
- B. The proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- D. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.

THEREFORE, THE HEARING OFFICER:

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15301 (Class 1, Existing Facilities categorical exemption) and 15303 (Class 3, New Construction or Conversion of Small Structures); and
- 2. Approves **CONDITIONAL USE PERMIT NO. RPPL2019006034**, subject to the attached conditions.

ACTION DATE: April 22, 2025

SD:SC

c: Hearing Officer, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

CONDITIONS OF APPROVAL
PROJECT NO. 2019-006034-(5)
CONDITIONAL USE PERMIT NO. RPPL2019006034

PROJECT DESCRIPTION

The project is to authorize a new automobile body and fender repair shop with painting and towing services, including a new 382-square-foot spray booth, to operate within an existing multi-tenant automobile repair building subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 6, and until all required monies have been paid pursuant to Condition No. 9. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 8 shall be effective immediately upon the date of final approval of this grant by the County.
3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring

the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Prior to the use of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk (i.e. Recorder's Office). In addition, upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. **This grant shall terminate on April 22, 2040.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the Permittee intends to continue operations after such date, whether or not the Permittee proposes any modifications to the use at that time, the Permittee shall file a new Conditional Use Permit application with LA County Planning, or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least twelve months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the Permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
8. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
9. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum **\$3,648.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for

eight (8) inspections. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$456.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

10. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
11. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department ("Fire").
12. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
13. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
14. The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
15. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

16. The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **a digital copy of a modified Exhibit "A"** shall be submitted to LA County Planning by **June 22, 2025**.
17. In the event that subsequent revisions to the approved Exhibit "A" are submitted, the Permittee shall submit **a digital copy of** the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.
18. The conditions of this grant shall always be retained on the premises and shall be immediately produced upon request by any County Sheriff, LA County Planning Zoning Enforcement ("Zoning Enforcement") inspector. The manager and all employees of the facility shall be knowledgeable of the conditions herein. Violation of the conditions herein may subject the use to the provisions of County Code Chapter 22.238 (Modifications and Revocations).

PROJECT SITE-SPECIFIC CONDITIONS

19. This grant shall authorize a new automobile body and fender repair shop with painting and towing services, subject to the following restrictions:
 - a. All repair activities shall be conducted within an enclosed structure.
 - b. The painting activities shall be conducted within the designated spray booth.
 - c. The hours of operation shall be from 8:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 4:00 p.m. on Saturday. No Sunday operations shall be permitted.
 - d. A new 28-square-foot wall business sign on the street frontage as shown on the Exhibit "A".
20. The towing service shall utilize one (1) towing vehicle only and may store the vehicle in one of the four (4) surplus parking spaces as designated on the Exhibit "A". No off-site storage for both towing vehicle and towed vehicles shall be utilized and no impound services shall be provided. Towing service shall not be advertised to the public. Towed vehicles that do not require repairs shall not be stored on site.
21. Towing service shall be provided as accessory to the subject business only. The permittee shall maintain a log of vehicles towed for automobile repair on-site. The vehicle log shall include information such as the vehicle owner's name, license plate number, date in/date out, and which repair service was/were needed. The log shall also be available electronically and shall be submitted to LA County Planning staff upon request.
22. Required parking spaces shall be continuously available for vehicular parking only and shall not be used for storage, except for the four (4) surplus parking spaces, which can be used for temporary storage of the towed vehicles waiting repair.

Automobile repair, body repair, or body paint shall not be conducted within the parking spaces and/or outside of the approved enclosed building.

23. As agreed by the permittee, one (1) additional 15-gallon tree shall be installed within the landscaped setback area within 90 days of the permit approval. A new Exhibit "A" shall be submitted depicting this area as landscaped.
24. The permittee shall comply with all conditions set forth in the attached Fire letter dated August 27, 2024 and County Department of Public Health letter dated March 6, 2025.

Attachments:

Exhibit D-1 Fire Letter dated August 27, 2024

Exhibit D-2 County Department of Public Health Letter dated March 6, 2025



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

EPIC-LA NUMBER:	RPPL2019006034	PROJECT NUMBER:	2019-003416
CITY/COMMUNITY:	Castaic	STATUS:	Cleared
PROJECT ADDRESS:	31531 Ridge Route Road Castaic, CA 91384	DATE:	08/27/2024

CONDITIONS

1. All fire lanes shall be clear of all encroachments and shall be maintained in accordance with Section 503 of County of Los Angeles Fire Code, Title 32, which requires all weather access. All weather access may require paving.
2. All on-site Fire Apparatus Access Roads shall be labeled as "Private Driveway and Fire Lane" on the site plan along with the widths clearly depicted on the plan. Labeling is necessary to assure the access availability for Fire Department use. The designation allows for appropriate signage prohibiting parking. Fire Apparatus Access Roads must be installed and maintained in a serviceable manner prior to and during the time of construction in accordance too Fire Code Section 501.4
3. For buildings where the vertical distance between the access roadway and the highest roof surface does not exceed 30 feet, provide a minimum unobstructed width of 26 feet, exclusive of shoulders and an unobstructed vertical clearance "clear to sky" Fire Apparatus Access Roads to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved route around the exterior of the building. The highest roof surface shall be determined by measurement of the vertical distance between the access roadway and the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Fire Code 503.1., 503.2.1.2 & 503.2.1.2.1
4. The dimensions of the approved Fire Apparatus Access Roads shall be maintained as originally approved by the fire code official. Fire Code 503.2.2.1
5. Fire Apparatus Access Roads shall be designed and maintained to support the imposed load of fire apparatus weighing 75,000 pounds and shall be surfaced to provide all-weather driving capabilities. Fire Code 503.2.3
6. The Fire Apparatus Access Roads shall be provided with a minimum of a 32-foot centerline turning radius. Fire Code 503.2.4
7. Dead-end Fire Apparatus Access Roads more than 150 feet in length shall be provided with an approved Fire Department turnaround. Refer to Figure 503.2.5 (1) in Chapter 5 of the Fire Code. The turnaround shall be orientated on the access roadway in the proper direction of travel. Fire Code 503.2.5
8. Provide approved signs or other approved notices or markings that include the words "NO PARKING - FIRE LANE" shall be provided for Fire Apparatus Access Roads. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance to such road, or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. A no-parking designation shall meet the requirements of California Vehicle Code Section 22500.1 and be approved by the fire code official. Fire Code 503.3
9. A minimum 5-foot-wide approved firefighter access walkway leading from the Fire Department Access Road to all required openings in the building's exterior walls shall be provided for firefighting and rescue purposes. Fire Code 504.1
10. Security barriers, visual screen barriers or other obstructions shall not be installed on the roof of any building in such a manner as to obstruct firefighter access or egress in the event of fire or other emergency. Parapets shall not exceed 42 inches from the top of the parapet to the roof surface on more than two sides. These sides should face an access roadway or yard sufficient to accommodate ladder operations. Fire Code 504.5
11. Approved building address numbers, building numbers or approved building identification shall be provided and maintained to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches high with

- a minimum stroke width of 0.5 inch. Fire Code 505.1
12. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Code.
 13. The required fire flow for the public fire hydrants for this project is 2250 GPM at 20 psi residual pressure for 2 hours. Two (2) public fire hydrants flowing simultaneously may be used to achieve the required fire flow. Fire Code 507.3 & Appendix B

For any questions regarding the report, please contact Wally Collins at (323) 890-4243 or Wally.Collins@fire.lacounty.gov.



A handwritten signature in black ink, appearing to read 'Wally Collins', is written over a light blue rectangular background.

REVISED
EPIC-LA# FLDU2019006034
PROJECT #2019-003416

COUNTY OF LOS ANGELES
FIRE DEPARTMENT
FIRE PREVENTION DIVISION
LAND DEVELOPMENT UNIT
CLEARED FOR
PUBLIC HEARING
By: Wally Collins
Fire Prevention Engineer
Date: 08/27/2024

NO
PARKING
FIRE LANE
LA CO. FIRE CODE
TITLE 32 SEC 10.208

SIGN:

1. METAL REFLECTORIZED SIGN
2. SIZE: MIN. 12" x 18"
3. MIN. 3" LETTERING
4. WHITE BACKGROUND WITH RED LETTERS
5. BOTTOM OF SIGN SHALL BE 7'-0" ABOVE GROUND LEVEL

PROJECT DATA:

BUILDING #2:
OCCUPANCY: S-3
CONSTRUCTION TYPE: V-B (NON-SPRINKLERED)
STORIES: 1 (w/ BASEMENT)
COMMERCIAL BUILDING:
OCCUPANCY: M
CONSTRUCTION TYPE: V-B (NON-SPRINKLERED)
STORIES: 1
CODE: 2022 - CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 - CALIFORNIA BUILDING CODE
2022 - CALIFORNIA ENERGY CODE TITLE 24
2022 - CALIFORNIA PLUMBING CODE
2022 - CALIFORNIA MECHANICAL CODE
2022 - CALIFORNIA ELECTRICAL CODE
2022 - COUNTY OF LOS ANGELES FIRE CODE
ZONE:
NOTE:
ALL WORK SHALL CONFORM TO THE ABOVE CODES

All hydrants shall measure 6"x4"x2-1/2", brass or bronze, conform to current AWWA Standard C503, or approved equal. Hydrants shall be installed per specification of the Los Angeles County Water Ordinance #7834, (Title 20) Utility Manual, Section 4.0 to 4.6.

The required fire flow for Public fire hydrants at this location is 2250 gallons per minute at 20 PSI for a duration of 2 hours over & above maximum daily domestic demand.

"B" PRIVATE ON-SITE

FH "B"
2250 G.P.M.
© 20 PSI 5 HR.

FIRE DEPT. NOTES

1. ALL FIRE LANES SHALL BE CLEAR OF ALL ENCROACHMENTS AND SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 503 OF COUNTY OF LOS ANGELES FIRE CODE, TITLE 32, WHICH REQUIRES ALL WEATHER ACCESS. ALL WEATHER ACCESS MAY REQUIRE PAVING.
2. ALL ON-SITE FIRE APPARATUS ACCESS ROADS SHALL BE LABELED AS "PRIVATE DRIVEWAY AND FIRE LANE" ON THE SITE PLAN ALONG WITH THE WIDTHS CLEARLY DEPICTED ON THE PLAN. LABELING IS NECESSARY TO INSURE THE ACCESS AVAILABILITY FOR FIRE DEPARTMENT USE. THE DESIGNATION ALLOWS FOR APPROPRIATE SIGNAGE PROHIBITING PARKING. FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION IN ACCORDANCE WITH FIRE CODE SECTION 501.4
3. FOR BUILDINGS WHERE THE VERTICAL BETWEEN THE ACCESS ROADWAY AND THE HIGHEST ROOF SURFACE DOES NOT EXCEED 30 FEET, PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY". FIRE APPARATUS ACCESS ROADS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT OF THE VERTICAL DISTANCE BETWEEN THE ACCESS ROADWAY AND THE EAVE OF PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER. FIRE CODE 503.1, 503.2.1.2, 503.2.1.2.1
4. THE DIMENSIONS OF THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED AS ORIGINALLY APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.1
5. FIRE APPARATUS ACCESS ROAD SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS AND SHALL BE SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. FIRE CODE 503.2.3
6. THE FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH A MINIMUM OF A 32-FOOT CENTER LINE TURNING RADIUS. FIRE CODE 503.2.4
7. DEAD END FIRE APPARATUS ACCESS ROADS MORE THAN 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE DEPARTMENT TURNAROUND. REFER TO FIGURE 503.2.5 (1) AND FIGURE 503.2.5 (2) IN CHAPTER 5 OF THE FIRE CODE. THE TURNAROUND SHALL BE ORIENTATED ON THE ACCESS ROADWAY IN THE PROPER DIRECTION OF TRAVEL. FIRE CODE 503.2.5
8. PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE" SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR. A NO PARKING DESIGNATION SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA VEHICLE CODE SECTION 22600.1 AND BE APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.3

9. A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE DEPARTMENT ACCESS ROAD TO ALL REQUIRED OPENINGS IN THE BUILDINGS EXTERIOR WALLS SHALL BE PROVIDED FOR FIREFIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1

10. SECURITY BARRIERS, VISUAL SCREEN BARRIERS OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE ROOF OF ANY BUILDING IN SUCH A MANNER AS TO OBSTRUCT FIRE FIGHTER ACCESS OR EGRESS IN THE EVENT OF FIRE OR OTHER EMERGENCY. PARAPETS SHALL NOT EXCEED 42" FROM THE TOP OF THE PARAPET TO THE ROOF SURFACE ON MORE THAN TWO SIDES. THESE SIDES SHOULD FACE AN ACCESS ROADWAY OR YARD SUFFICIENT TO ACCOMMODATE LADDER OPERATIONS. FIRE CODE 504.5

11. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS AND ALPHABET LETTERS, AND BE MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5". FIRE CODE 505.1

12. ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2 1/2" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE CODE.

13. THE REQUIRED FIRE FLOW FOR THE FIRE HYDRANTS FOR THIS PROJECT IS 2250 GALLONS AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS. TWO (2) PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW. FIRE CODE 507.3 AND APPENDIX B.

SITE PLAN

SCALE:
1" = 10'-0"

REVISIONS TO EXISTING DEVELOPMENT



PROJECT ADDRESS:
31531 Ridge Rte Rd, Castaic, CA 91384

APN: 2865-010-024

APPLICANT:
Spm Center Llc c/o Rob Sjoberg
31744 Castaic Rd, Castaic, CA 91384
(661) 810-3615

ROCHA NUEZ
ASSOCIATES
ARCHITECTS ENGINEERS
28025 DOROTHY DRIVE AGOURA HILLS CA 91301
TEL 818 575 9400 FAX 818 575 9411

CUP to add Automobile Body Automobile Body and Fender Repair, Painting, and Upholstering.

SITE CALCULATIONS

LOT AREA: 31,241 sf
LANDSCAPED AREA: 4,782 sf (15.3%)

PARKING MATRIX

BUILDING AREA:
BUILDING #1: 7,000 sf
BUILDING #2: 3,250 sf
TOTAL: 10,250 sf
LOT COVERAGE: 33.6%

BUILDING #1 PARKING REQUIRED:
5,920 SF SERVICE AREA (1:500)=
11.84 = 12 SPACES
1,080 SF OFFICE AREA (1:250)=
4.32 = 4 SPACES
BUILDING #2 PARKING REQUIRED:
2,639 SF SERVICE AREA (1:500)=
5.28 = 5 SPACES
612 SF OFFICE AREA (1:250)=
2.4 = 2 PARKING SPACES
REQUIRED

TOTAL 23 SPACES REQUIRED

4 FOR IMPOUND/TOW TRUCK
27 TOTAL REQUIRED

35 SPACES PROVIDED
8 SURPLUS

PARKING PROVIDED:
STANDARD (8.5'x18'): 26 STALLS
COMPACT (7.5'x15'): 7 STALLS
HANDICAP (9'x18'): 2 STALLS
TOTAL: 35 STALLS

LEGAL DESCRIPTION

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25 T5N, R17W, S.B.M. IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

rev.	date	description
00	06/10/18	Date of plan
01	08/04/21	Edits
02	11/15/21	Edits

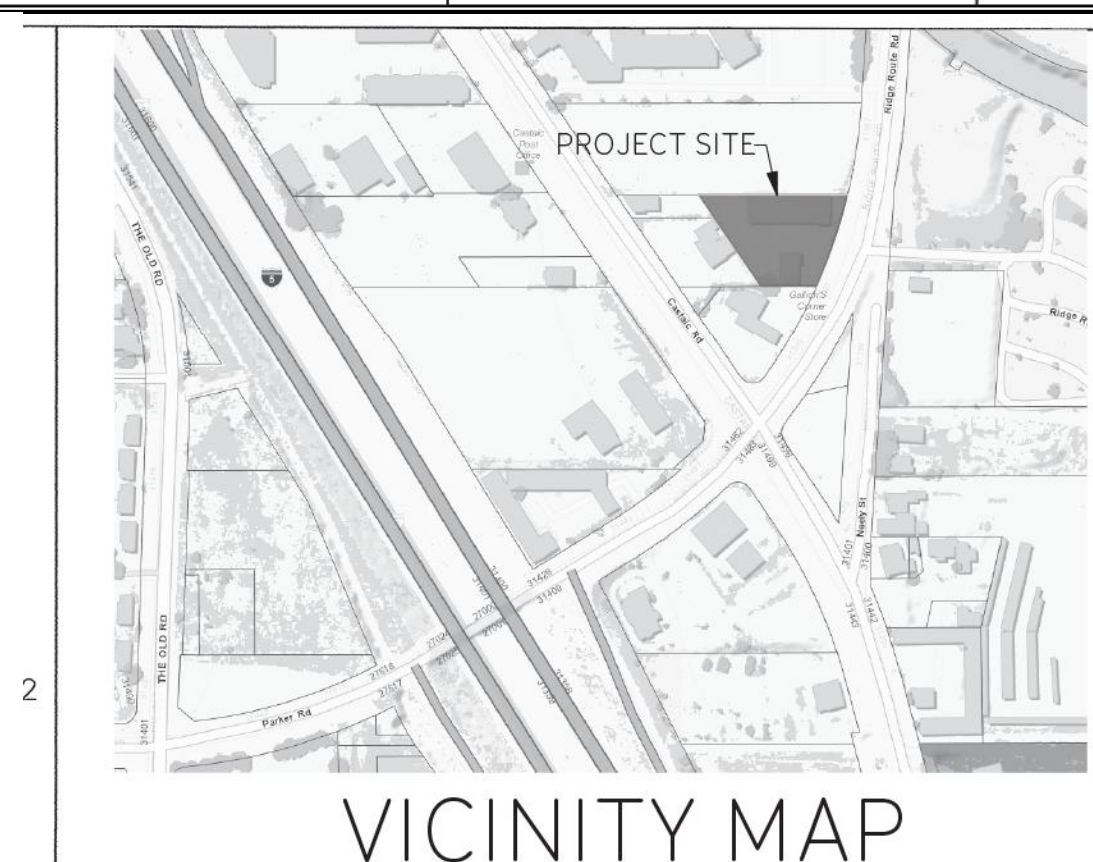
PROJECT NUMBER
233200

PROJECT ADDRESS:
31531 RIDGE RTE RD
CASTAIC, CA 91384

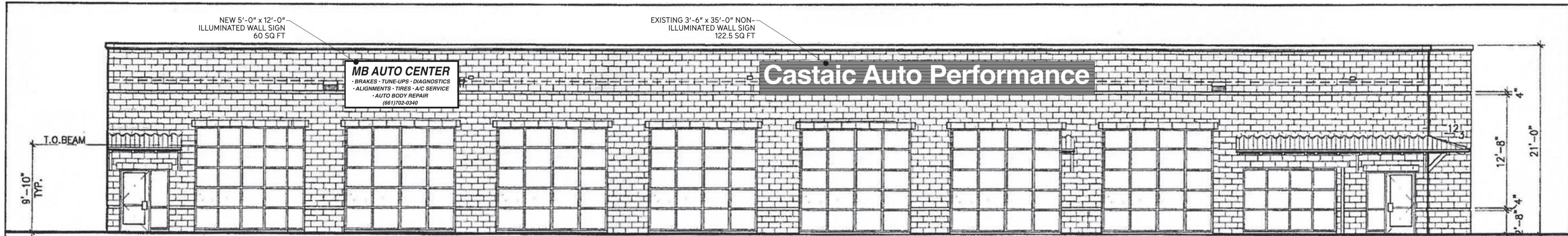
project
SPM CENTER LLC
31744 CASTAIC RD
CASTAIC, CA 91384
client

SITE PLAN

title	date
drawn	AS NOTED
checked	scale
job no.	A1 sheet



VICINITY MAP

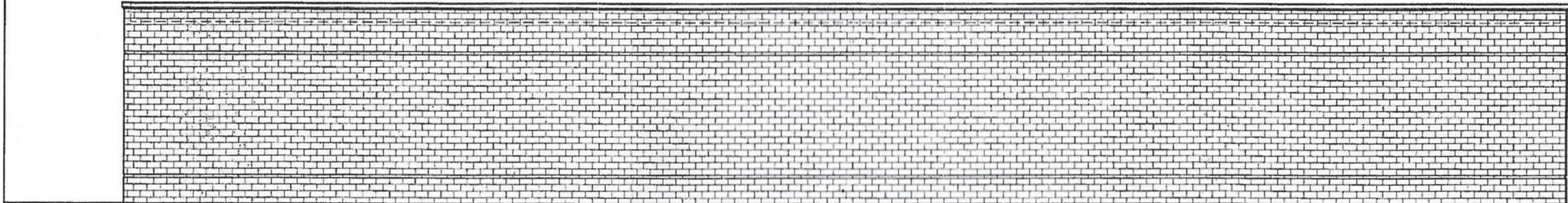


SOUTH ELEVATION

SCALE:

3/16" = 1'-0"

1

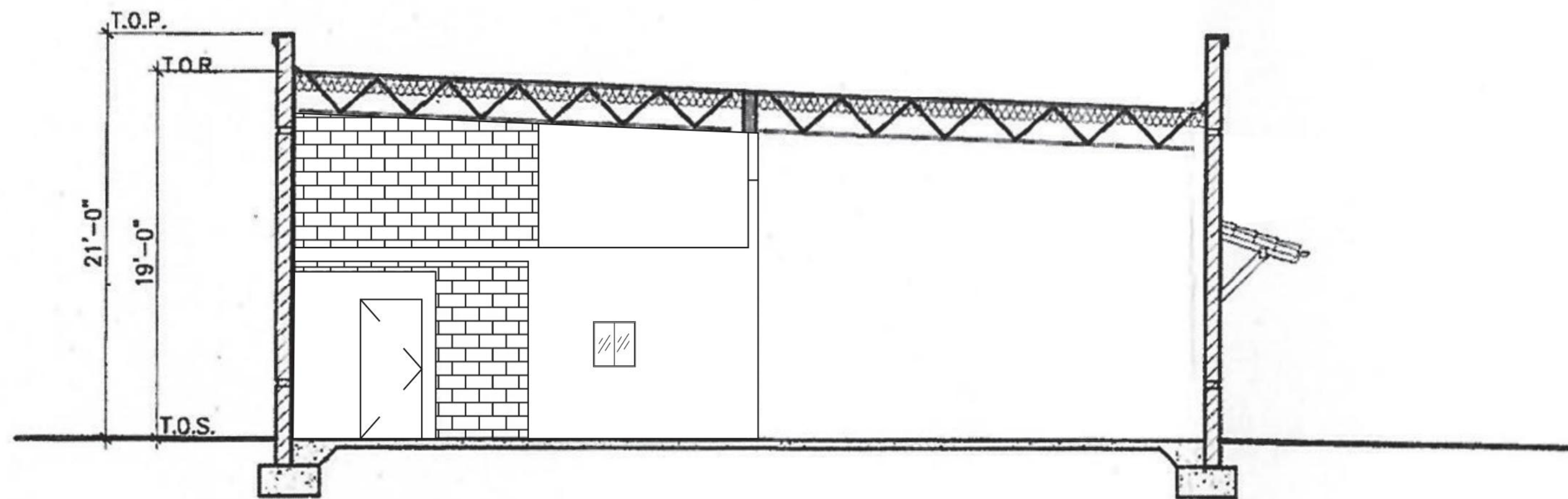


NORTH ELEVATION

SCALE:

3/16" = 1'-0"

2

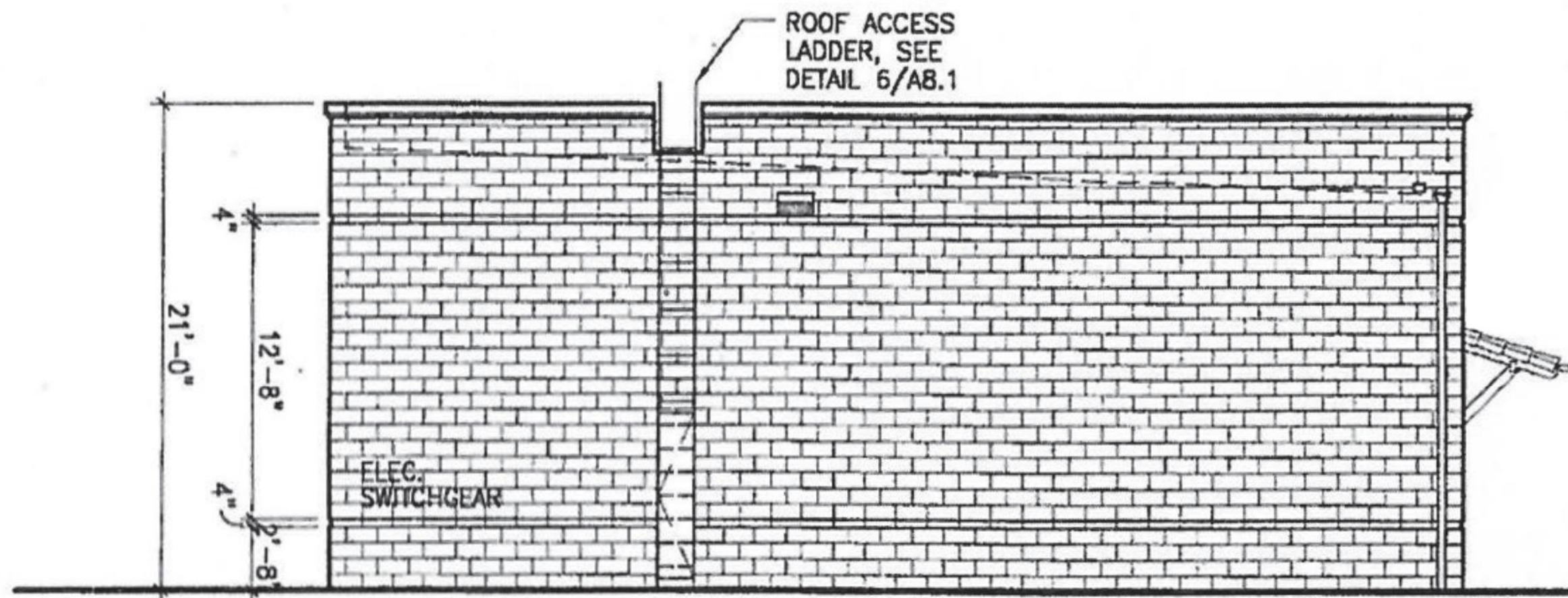


BUILDING SECTION

SCALE:

3/16" = 1'-0"

5



WEST ELEVATION

SCALE:

3/16" = 1'-0"

3

PROJECT ADDRESS:
31531 Ridge Rte Rd, Castaic, CA 91384

APN: 2865-010-024

APPLICANT:
Spm Center Llc c/o Rob Sjoborg
31744 Castaic Rd, Castaic, CA 91384
(661) 810-3615

PREPARED BY:
Mitch Chemers
18960 Ventura Blvd #127, Tarzana, CA 91356
(818) 468-2955

CUP to add Automobile Body Au-
tomobile Body and Fender Repair,
Painting, and Upholstering.

BUILDING #1 ELEVATIONS

rev.	date	description
00	06/10/18	Date of plan
01	08/04/21	Edits
02	11/15/21	Edits

PROJECT NUMBER
233200





PROJECT ADDRESS:
31531 RIDGE RTE RD
CASTAIC, CA 91384

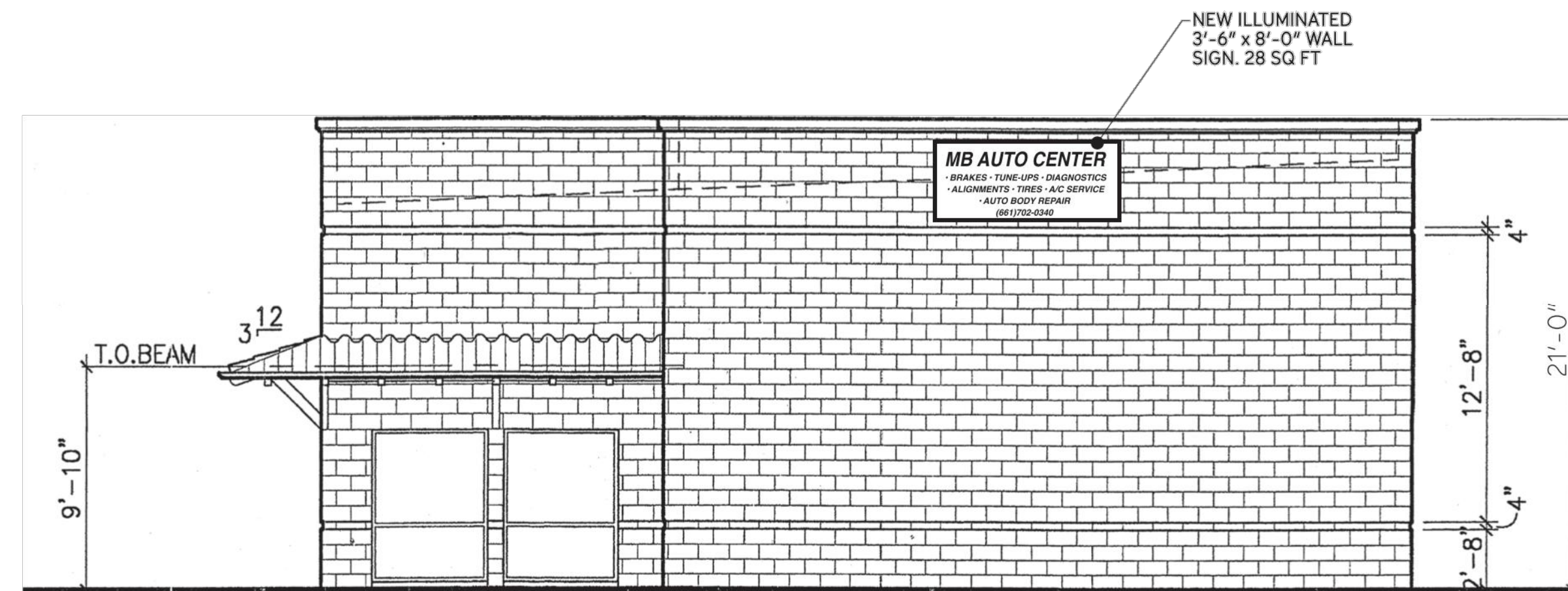
project
SPM CENTER LLC
31744 CASTAIC RD
CASTAIC, CA 91384
client

ELEVATIONS

title	
drawn	date
checked	AS NOTED scale
job no.	A2 sheet

WALL SCHEDULE

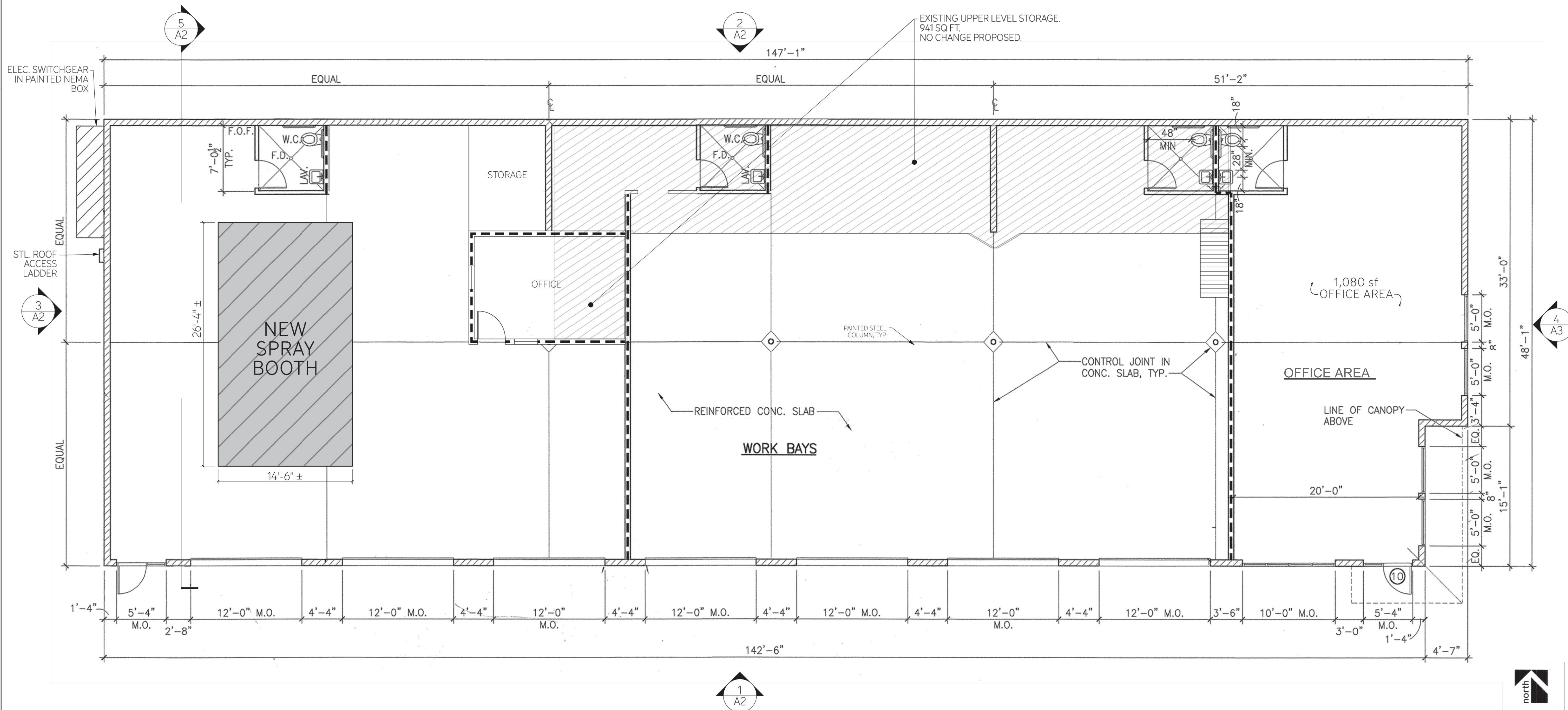
-  8" SPLIT-FACE C.M.U. WALL. PROVIDE PRECISION BLOCK & WATERPROOFING SYSTEM BELOW GRADE. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFO.
-  INTERIOR METAL STUD WALL w/ 5/8" TYPE X GYP. BOARD, EACH SIDE, PROVIDE WATER RESISTANT GYP. BOARD AT WET LOCATIONS. SEE DETAIL 2/A9.1
-  6" METAL STUD WALL w/ 5/8" TYPE X WATER-RESISTANT GYP. BOARD, EACH SIDE. SEE DETAIL: 5/A9.1
-  INTERIOR WINDOW



BUILDING #1 EAST ELEVATION

SCALE
3/16" = 1'-0"

4



BUILDING #1 FLOOR PLAN

SCALE
3/16" = 1'-0"

1

PROJECT ADDRESS:
31531 Ridge Rte Rd, Castaic, CA 91384

APN: 2865-010-024

APPLICANT:
Spm Center Llc c/o Rob Sjoberg
31744 Castaic Rd, Castaic, CA 91384
(661) 810-3615PREPARED BY:
Mitch Chemers
18960 Ventura Blvd #127, Tarzana, CA 91356
(818) 468-2955CUP to add Automobile Body Au-
tomobile Body and Fender Repair,
Painting, and Upholstering.

rev.	date	description
00	06/10/18	Date of plan
01	08/04/21	Edits
02	11/15/21	Edits
03	12/13/21	Edits

PROJECT NUMBER
233200PROJECT ADDRESS:
31531 RIDGE RTE RD
CASTAIC, CA 91384project
SPM CENTER LLC
31744 CASTAIC RD
CASTAIC, CA 91384
client

FLOOR PLAN

title	
drawn	date
checked	AS NOTED scale
job no.	A3 sheet



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

SCOTT ABBOTT, REHS, M.P.A.
Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/



BOARD OF SUPERVISORS

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First District

Holly J. Mitchell
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Third District


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Fourth District

Kathryn Barger
Fifth District

March 06, 2024

TO: Samuel Dea
Supervising Regional Planner
Department of Regional Planning

Attention: Soyeon Choi

FROM: Charlene Contreras 
Director, Community Protection Branch
Department of Public Health

SUBJECT: CONDITIONAL USE PERMIT (CUP) REQUEST
CASE: RPPL2019006034
31531 RIDGE ROUTE ROAD CASTAIC CA 91384

Thank you for the opportunity to review the application and project located at the subject property. This project proposes the allowance of an automobile body and fender repair shop with all operations conducted within an enclosed building. The Land Division application indicates that the project will be connected to public water and public sewer.

Public Health provide clearance of the aforementioned project. The applicant provided a water bill from Santa Clarita Valley Water- Newhall Division with a due date of April 21, 2023. In addition, the applicant provided a copy of the Annual Secured Property Tax Bill for fiscal year July 01, 2023, to June 30, 2024, which indicates a consolidated sewer fee is listed as one of the property direct assessments.

- ☒ Public Health recommends the approval of the aforementioned project with the following conditions to be fulfilled at the permitting stage.

- ☐ Public Health requires that the conditions or information requested below are addressed prior to agency approval; therefore, the Department **DOES NOT** recommend clearance of this project until the following conditions are met:

1. Community Protection Branch: Environmental Hygiene

Please Note: The following are general requirements for Noise and Air Quality recommendations for the proposed project.

1.1 Noise

- 1.1.1 The applicant shall abide by the requirements contained in Title 12, Section 12.08, Noise Control Ordinance for the County of Los Angeles (reference available at municode.com). The sections in Title 12 that apply to this project include but are not limited to: 12.08.390 Exterior Noise Standards.

For questions regarding above comments, please contact Makkaphoeum Em of Public Health, Environmental Hygiene Program at (626) 430-5201 or mem@ph.lacounty.gov.

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Planning & Land Use Liaison at (626) 430-5201 or varanda@ph.lacounty.gov.