

REPORT TO THE HEARING OFFICER

DATE ISSUED: May 8, 2025

HEARING DATE: May 20, 2025 AGENDA ITEM:3

PROJECT NUMBER: PRJ2023-002817-(5)

PERMIT NUMBER(S): Yard Modification No. RPPL2023006469
Oak Tree Permit No. RPPL2023004186

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 2653 Montrose Avenue, La Crescenta- Montrose

OWNER: Aykush Avakayan

APPLICANT: Aykush Avakayan

CASE PLANNER: Joshua Pereira, Regional Planner
jpereira@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2023-002817-(5), Yard Modification No. RPPL2023006469, and Oak Tree Permit No. RPPL2023004186 based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

CEQA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT(S):

I, THE HEARING OFFICER, APPROVE YARD MODIFICATION NUMBER RPPL2023006469 AND OAK TREE PERMIT RPPL2023004186 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

- Yard Modification to authorize a three-foot-six-inch west side yard setback in lieu of the required five-foot setback and zero rear yard setback in lieu of the required 15-foot setback in the R-2 (Two-Family Residence) Zone pursuant to County Code Section 22.196.010 (Applicability).
- Oak Tree Permit to authorize the removal of one non-heritage oak tree (Tree No. 1), and encroachment into the protected zone and crown reduction pruning of one non-heritage size oak tree, identified as Tree No. 2) pursuant to County Code Section 22.174.030 (Applicability).

B. Project

The Project is a request for a Yard Modification to authorize a reduction in the required west side yard setback and the required rear yard setback to allow for the development of a two-family residential use and the construction of an attached two-story accessory dwelling unit (“ADU”). The west side yard setback will be reduced from the required five feet to three feet six inches, and the rear yard setback will be reduced from required 20 feet to zero.

The subject property is currently developed with an existing one-story single-family residence (“SFR”) with an attached garage, a detached garage, and a guest house. Under a separate related ministerial review (Site Plan Review No. RPPL2023003860) (“related SPR”), the associated development is proposed as follows:

- Demolition of the existing guest house and detached garage (both damaged by house fire).
- Modification of the existing single-family residence and existing attached garage to become part of the new two-family residential building.
- Construction of a new primary residence with a new attached garage, which will be part of the new two-family residential building.

Construction of a new two-story ADU at the rear of the new two-family residence with a shared common open space located on the roof, with common amenities such as a bathroom and storage space.

The existing SFR is nonconforming due to standards because it is sited within the required five-foot west side yard setback and within the 15-foot rear yard setback. One portion of the existing SFR wall nearly touches the rear property line. Attaching a new primary structure to the existing nonconforming SFR will trigger the application of the current development standards of the zone. Pursuant to County Code Section 22.172.020 (Nonconforming Uses, Buildings and Structures), a nonconforming use or a building or structure nonconforming due to use and/or standards may be continuously maintained provided there is no alteration, enlargement, or addition to any building or structure; no increase in occupant load; nor any enlargement of area, space, or volume occupied by or devoted to such use. As such, the associated development results in the “alteration,

enlargement, or addition...” of the existing SFR and removes its legally nonconforming status. In order to maintain the SFR’s existing setbacks, which will not change as a result of modifications to the structure to convert from an SFR to a two-family residence, a yard modification will be required to reduce the now-applicable yard setback requirements.

The Project also includes an OTP to authorize the removal of one on-site non-heritage size oak tree (identified as Tree No. 1), and one encroachment into the protected zone and crown reduction pruning of an on-site non-heritage size oak tree (identified as Tree No. 2) associated with the proposed two-family residence and ADU (“associated development”), will be reviewed and approved under the separate SPR. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for each tree removed for a total of two (2) trees. In addition, the permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments

A third oak tree (identified as off-site Oak Tree) is located on an adjoining neighboring property with overhang onto the subject property. However, this off-site Oak Tree will not be affected by the associated development. The subject oak tree is shown on Appendix III of the oak tree report, included in the Exhibit A, and in the table below.

Oak Tree	DBH (Diameter at Breast Height)	Condition	Approximate Location	Request
Tree No.1	22 inches	Average	Near center of property	Removal due to proposed dwelling units
Tree No. 2	23 inches	Average	East side yard	Encroachment related to crown reduction pruning, new garage, and other ground-disturbing work associated with the development of the two-family residence
Off-Site Tree (at 2661	Approximately 24 inches	Fair	Canopy overhangs into	No impact

Montrose Ave property)			the west side yard	
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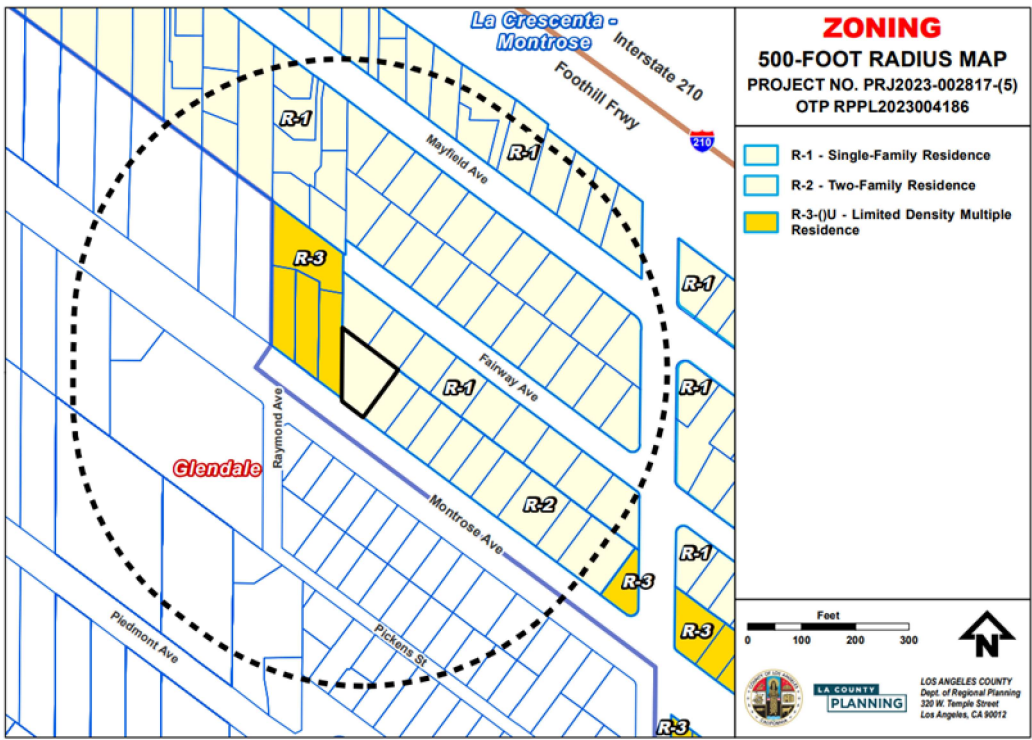
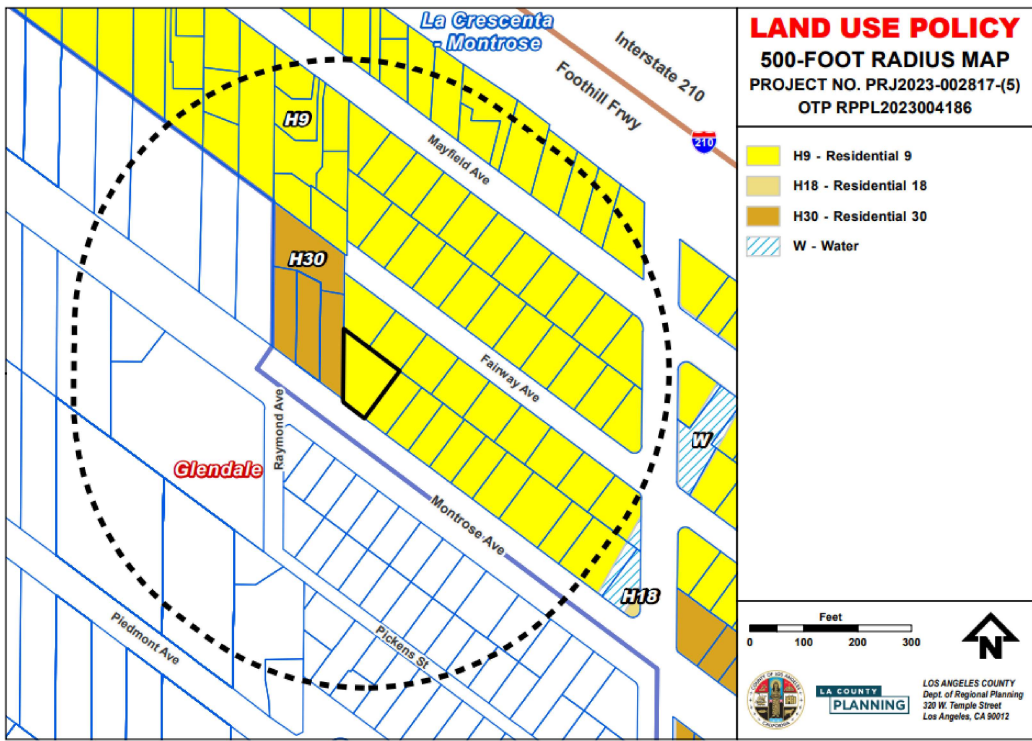
All oak trees are identified as coast live oak in an oak tree report prepared by Arsen Margossian, Consulting Arborist, dated May 2, 2023.

SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	GENERAL PLAN LAND USE POLICY* ¹	ZONING	EXISTING USES
SUBJECT PROPERTY	H9 (Residential 9 – 0 to 9 Dwelling Units per Acre)	R-2 (Two-Family Residence)	SFR with attached garage, detached garage, and a guest house (damaged).
NORTH	H9	R-1 (Single-Family Residence)	SFRs
EAST	H9	R-2	SFRs
SOUTH	City of Glendale	City of Glendale	SFRs
WEST	H30 (Residential 30 - 20-30 Dwelling Units per Acre) and City of Glendale	R-3 (Limited Density Multiple Residence) and City of Glendale	Multi-Family Residence (“MFR”)

¹ The application was deemed complete on December 7, 2023, before the West San Gabriel Valley Area Plan came into effect on March 11, 2025. As such, the Project is subject to and currently reviewed under the General Plan then in effect at the time the application was deemed complete.



PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
1494_1	Zone 7 (Unrestricted)	September 12, 1927
2781	R-3 (Limited Multiple Residence)	July 31, 1936
5290	R-2 (Two-Family Residence)	March 15, 1949

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
RPPL2023003701	Certificate of Compliance	Recorded July 26, 2023
Track 8541	Single Residential Building Record	Recorded/Built 1925

C. Violations

CASE NO.	VIOLATION	CLOSED/OPEN
RPCE2023001491	Fire damage; unpermitted patio/awning, junk and salvage	Pending related SPR review and approval

ANALYSIS

A. Land Use Compatibility

The subject property consists of an existing SFR that has been located on site since 1925. Surrounding land uses consist of other SFRs, two-family residences, MFRs as well as related accessory structures. While the proposed Project consists of a Yard Modification and an OTP, the associated development is continuing a residential use and new construction to establish a new two-family residence with attached two-story ADU. The two-family residence and attached ADU is compatible with surrounding residential land uses. The requested Yard Modification will not pose any significant changes to the surrounding area as the request allows for nonconforming setbacks of the existing SFR to remain, all new construction will meet the current Title 22 (Planning and Zoning) of County Code requirements. The OTP will authorize the encroachment into the protected zone of one non-heritage oak tree and the removal of one non-heritage oak tree, associated with the construction the two-family residence and attached ADU. The majority of the ADU will be located out of direct public view from Montrose Avenue. The removal of one oak tree will be mitigated by the planting of two replacement oak trees on the Project Site.

B. Neighborhood Impact (Need/Convenience Assessment)

While the Project consists of a Yard Modification and an OTP, the associated development will continue a residential use. The development of a two-family residence and attached ADU will maintain the residential character of the neighborhood and retaining Oak Tree No. 9 as well as the planting of two mitigation oaks on-site will ensure that oak tree resources continue to exist for the community to enjoy. As such, minimal impact to the community is expected.

C. Design Compatibility

The Project includes a request for a Yard Modification to allow a three-foot-six-inch west side yard setback in lieu of the required five-foot setback and zero rear yard setback in lieu of the required 15-foot setback to accommodate the development of the two-family residence and attached ADU through conversion and new construction on the site. The reduced setbacks are setbacks of the existing SFR to be developed, and compatible with other properties in the immediate area that benefit from a rear yard setback less than 20 feet. Surrounding properties, such as 2648 and 2642 Fairway Avenue directly north of the subject site currently have a zero or reduced rear yard setback. The properties abutting the side of the property to the west and east line also (2659 and 2647 Montrose) have encroachments into the required side yard setback, along with other homes located on the same block facing Montrose Avenue. The Project Site follows similar residential characteristics such as the properties directly east and west of it. These properties benefit from these reduced setbacks, allowing them to fully use the lot area. The associated development of the two-family residence and attached ADU, have been designed so the existing SFR on site is integrated with the new construction and therefore will be compatible with the surrounding area. The associated development will be reviewed and approved through the separate SPR.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with the applicable goals and policies of the General Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. The scope of the Project falls outside of the applicability of the Inclusionary Zoning Ordinance, which became effective on December 10, 2020, as the Project consists of fewer than five baseline units. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Section 22.196.030 (Findings and Decisions (Yard Modifications) and [Section 22.174.060 \(Oak Tree Permit Findings\)](#) of the County Code. The Burden of Proof with the applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this Project qualifies for a Categorical Exemption (Class 1 Exemption, Existing Facilities, Class 3 Exemption, New Construction or Conversion of Small Structures, and Class 4 Exemption, Minor Alterations to Land) under the California Environmental Quality Act ("CEQA") and the County environmental guidelines. The Project includes a request to authorize a Yard Modification to a three-foot-six-inch west side yard setback in lieu of the required five-foot setback and zero rear yard setback (zero feet) in lieu of the required 15-foot setback to accommodate the new construction on the site and an OTP to authorize the removal of one oak tree and encroachment into the protected zone and crown reduction pruning of another, identified as tree No. 1 (to be removed) and No. 2.

Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of existing or former use. The Project includes a request to authorize a Yard Modification to allow a reduced west side yard setback and zero rear yard setback. The Project will continue the property's existing residential use, and the development footprint will not substantially expand what was previously existing. The Project Site has been used as an SFR since 1925. The Project Site and the surrounding properties have been altered from their natural conditions and exist in a fully developed part of La Crescenta-Montrose. The Project Site is currently occupied by an SFR, a guest house, an attached garage, and a detached garage; the remains of an existing guest house were previously damaged by a fire. This Yard Modification approval will allow the existing SFR to remain in place in its current location.

Class 3 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The Project involves the proposed construction of a new two-family residence and ADU on the site, which includes modification of the existing single-family residence and existing attached garage to become part of the new two-family residence.

Class 4 exemptions typically consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed except for forestry or agricultural purposes. Pursuant to the Los Angeles County CEQA Reporting Procedures and Guidelines, the Class 4 exemption allows for the removal of one or two trees with a diameter less than 36 inches and not categorized as a heritage tree. The Project consists of one non-heritage oak tree removal and one non-heritage oak tree encroachment. Tree No. 1, which is proposed to be removed, has a 22-inch diameter; therefore, not categorized as a heritage tree. The Oak Tree identified as Tree No. 2 will be impacted with regular crown reductions and pruning, as stated in the Arborist report. Due to Project Site constraints, the proposed construction cannot be achieved without Tree No. 1 removal. Furthermore, this tree is not considered a scenic tree nor a scenic resource, which is intended to be viewed from the public realm. Other similarly sized oak trees exist in the Project vicinity. This tree is in average health condition as analyzed in the Arborist report. The oak trees on site and the surrounding neighbors create an oak

woodland. An oak woodland is made of the two oaks on-site and the neighbor's off-site tree, as noted in the site plan. The removal of two of the three oak trees would result in a potentially significant impact because the oaks "represent a significant portion of the existing population of the species"; however, conditions of the oak tree ordinance, which requires replacement at 2:1, would mitigate for this impact. Furthermore, the project only proposes the removal of one oak (oak tree number 1). Thus, not creating a significant effect/impact on the area.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is a developed residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated.

Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

The County Fire Department, Forestry Division ("Forester") in a letter dated August 6, 2024, recommended that the Project proceed to public hearing with required conditions of approval. The Forester confirmed that the Oak Tree Report submitted by the applicant is accurate and complete as to the location, size, condition and species of the oak trees on the Project Site and recommends conditions of approval which have been incorporated into this OTP.

No other County departments were consulted.

B. Other Agency Comments and Recommendations

Staff has not received any comments at the time of report preparation.

C. Public Comments

Staff has not received any comments at the time of report preparation.

Report
Reviewed By: Michele R. Bush
Michele R. Bush, Supervising Regional Planner

Report
Approved By: Susan Tae
Susan Tae, AICP, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Draft Findings
EXHIBIT D	Draft Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Oak Tree Report

NEW 2 STORY SECOND UNIT & ADU
2653 MONTROSE AVE.
MONTROSE,CA.91020

MATERIAL CONSERVATION & RESOURCE EFFICIENCY

1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATS AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.
2. PROVIDE AN APPROVED RECYCLING AND REUSE PLAN (RPR) FROM ENVIRONMENTAL PROGRAMS DIVISION SHOWING THAT THE REQUIRED AMOUNT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS WILL BE SALVAGED, RECYCLED, AND/OR REUSED.
 - a. FOUR OR FEWER UNITS COMPLY WITH A 50% DIVERSION.
 - b. FIVE OR MORE UNITS COMPLY WITH A 65% DIVERSION.
3. THE ATTACHED BUILDING OPERATIONS AND MAINTENANCE MANUAL MUST BE COMPLETED AND PROVIDED AT THE TIME OF FINAL INSPECTION AND PLACED IN THE BUILDING.
4. ANNULAR SPACES AROUND PIPES,ELECTRIC CABLES,CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTER, CONCRETE MASONRY OR SIMILAR METHODS. ~

ENVIRONMENTAL QUALITY NOTES

1. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM.
2. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 10% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
3. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING:
 - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - ii. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF <50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

FINISH MATERIAL POLLUTANT CONTROL

- 4*. FINISH MATERIAL POLLUTANT CONTROL VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF FINAL INSPECTION AND SHALL BE DOCUMENTED ON THE BUILDING OPERATIONS AND MAINTENANCE MANUAL.
 - a. ADHESIVES, SEALANTS AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.1 AND COMPLY WITH THE VOC LIMITS IN TABLES 4.504.1 AND 4.504.2 AS APPLICABLE.
 - b. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2 AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.3.
 - c. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3.
 - d. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR
 - ii. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS (SPEC 01350) OR
 - iii. NSF/ANSI 140 AT THE GOLD LEVEL OR
 - iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
 - e. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 50g/L.
 - f. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - i. PRODUCTS CERTIFIED AS A LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR
 - ii. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM OR
 - iii. CERTIFICATION UNDER THE RFCI FLOORSORE PROGRAM OR
 - iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS (SPEC 01350)
 - g. COMPOSITE WOOD PRODUCTS (HARDWOOD PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF INSPECTION.

GENERAL NOTES

1. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER OR IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS.
2. CONTRACTORS / SUBCONTRACTORS SHALL NOT SUBMIT A BID FOR THIS WORK UNLESS THEY ARE FULLY QUALIFIED AND LICENSED BY THE STATE IN WHICH THE WORK IS TO BE PERFORMED.
3. IF THE CONTRACT DRAWINGS APPEAR TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR / SUBCONTRACTOR MUST REQUEST CLARIFICATION FROM THE DESIGNER IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
4. THE DESIGNER SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED BY THE OWNER. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE DESIGNER, THE CONTRACTOR / SUBCONTRACTOR SHALL NOTIFY THE OWNER AND DESIGNER.
5. THE CONTRACTOR / SUBCONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND NATIONAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
6. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATION REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER / CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR / SUBCONTRACTOR'S RESPONSIBILITY.
7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING THE WORK.
8. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE THE FACE OF FINISH OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR / SUBCONTRACTOR SHALL SECURE PERMITS AND FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO SUBCONTRACTOR PERMITS, WATER, ELECTRIC, AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEYS AND INSPECTIONS.
10. SCOPE OF WORK: THE CONTRACTOR / SUBCONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE CONTRACTOR / SUBCONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR / SUBCONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING, AND HVAC.
11. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR / SUBCONTRACTOR.
12. CLEANING UP: THE CONTRACTOR / SUBCONTRACTOR, SHALL AT ALL TIMES KEEP THE PREMISES FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH.
13. THE CONTRACTOR SHALL PROVIDE TO THE OWNER A LIST COMPLETE WITH ADDRESSES, PHONE NUMBERS, AND COPIES OF ALL WARRANTIES PERTAINING TO THE SUBCONTRACTORS WORK.
14. THE CONTRACTOR / SUBCONTRACTOR SHALL BE RESPONSIBLE TO REVIEW BUILDING PERMIT APPROVED PLANS FOR ALL PERMIT REVISIONS AND CHANGES. NO WORK SHALL BEGIN PRIOR TO RECEIPT OF THE BUILDING PERMIT.

SCOPE OF WORK

- DEMO EXISTING STRUCTURE & GARAGE
- NEW ADDITION ON EXISTING SINGLE FAMILY HOUSE INCLUDING:
 - 1- NEW 3,908 SQ.FT. 3-STORY HOUSE SINGLE FAMILY UNIT WITH NEW 2 CAR GARAGE AREA 726 SQ.FT.
 - 2- NEW 2 STORY ADU 1,197 SQ.FT.

NOTES

- SEPARATE PERMITS ARE REQUIRED FOR
 - A. FIRE SPRINKLER
 - B. PHOTOVOLTAIC SYSTEM

ARCHITECTURAL PROJECTIONS NOTES:

1. PROJECTIONS BEYOND THE EXTERIOR WALL MUST NOT EXTEND BEYOND:
 - A. A POINT ONE-THIRD THE DISTANCE TO THE PROPERTY LINE FROM AN EXTERIOR WALL. CBC 503.2.1
 - B. A POINT ONE-THIRD THE DISTANCE FROM AN ASSUMED VERTICAL PLANE LOCATED WHERE FIRE-RESISTIVE PROTECTION OF OPENINGS IS FIRST REQUIRED DUE TO LOCATION ON PROPERTY. CBC 503.2.1, 705
 - C. A POINT MORE THAN 12 INCHES INTO AN AREA WHEN OPENINGS ARE PROHIBITED. CBC 503.2.1

BUILDING NOTE

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE -FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES,PULL-BOXES,TRANSFORMERS,VAULTS PUMPS,VALVES,METERS APPURTENANCES,ETC,)OR TO THE LOCATION OF THE HOOD-UP.
- THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

DRAINAGE NOTES:

- 1- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- 2- OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP TREE OF DEBRIS.
- 3- A PROPERTY LINE SURVEY,PREPARED BY A CA. LICENSED LAND SURVEYOR OR A CIVIL ENGINEER WITH A LICENSE NUMBER BELOW C33966, MAY BE REQUIRED BY THE BUILDING OFFICIAL BASED UPON SITE CONDITIONS IN ACCORDANCE WITH LACBC SECTION 108.1.
- 4- AN EXCAVATION / ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND/OR DISCHARGE OF DRAINAGE WITHIN PUBLIC ROAD R/W.
- 5- NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.
- 6- FINISHED FLOOR SHALL BE 8 INCHES MINIMUM ABOVE FINISHED GRADE.
- 7- TOTAL PROPOSED LANDSCAPE AREA 0 SQUARE FEET.
- 8- NO POOL/SPA ON THE PROPERTY.
- 9- NO EASEMENTS ON THE PROPERTY.
- 10- NO GRADING PROPOSED.

VICINITY MAP



ATTACHMENT A

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Development Construction Projects.Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Erosion sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, grades, area drains, natural drainage courses or wind.
- Spoilbanks of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their labeling and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-formerwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositors must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other _____

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name: BEDROS DANKJIAN
(Owner or authorized agent of the owner)

Signature: [Signature] Date: 10/16/2024
(Owner or authorized agent of the owner)

*The Storm Water Management Practices are required to be followed from the time Best Management Practices are initiated.

HERS FEATURE SUMMARY

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER:

- QUALITY INSULATION INSTALLATION(QII)
- INDOOE AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD
- MINIMUM AIRFLOW
- VERIFIED SEER/SEER2
- VERIFIED REFRIGERANT CHANGE
- FAN EFFICACY WATTS/CFM
- VERIFIED HSP2
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- DUCT LEAKAGE TESTING
- DUCT LOCATED ENIRELY IN CONDITIONED SPACE
- CONFIRMED BY DUCT LEAKAGE TESTING

PHOTOVOLTAIC SYSTEM NOTE

THE PHOTOVOLTAIC SYSTEM WILL BE UNDER A SEPARATE PERMIT AND PLAN CHECK AND BE SIZED PER THE TITLE 24 ENERGY REPORT ON THIS PERMIT.

TOTAL NUMBER OF UNITS ON LOT IS (3)

- EXISTING SINGLE FAMILY HOUSE TO REMAIN
- EXISTING GUEST HOUSE TO BE DEMOLISHED
- PROPOSED NEW 2 STOREY ADU
- PROPOSED 2 STOREY SINGLE FAMILY UNIT

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building

Calculation Description: Title 24 Analysis

Calculation Date/Time: 2024-10-10T21:45:18-07:00

Input File Name: 4346-2653 MONTROSE AVE.rbd22x

CFR-PHF-01-E

(Page 3 of 13)

ENERGY USE INTENSITY

	Standard Design (kBtu/h² · yr ·)	Proposed Design (kBtu/h² · yr ·)	Compliance Margin (kBtu/h² · yr ·)	Margin Percentage
Gross EUI¹	8.67	8.22	0.45	5.19
Net EUI²	8.67	8.22	0.45	5.19

Notes
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Cool roof
- Non-standard duct location (any location other than attic)

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

- Quality Insulation installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Minimum Airflow
- Verified SEER/SEER2
- Verified Refrigerant Change
- Fan Efficacy Watts/CFM
- Verified HSP2
- Verified heat pump rated heating capacity
- Duct leakage testing
- Ducts located entirely in conditioned space confirmed by duct leakage testing

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
FIRST FLOOR	Conditioned	3T Heat Pump1	2132	8	DHW Sys 1	New

Registration Number:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

HERS Provider:

Report Generated: 2024-10-10 21:45:46

PROJECT INFORMATION

- APN# 5610-029-050
- ZONE R-2
- LOT SIZE 9,952 SQ.FT.
- CONSTRUCTION TYPE V-B (FULLY SPRINKLERED)
- OCCUPANCY R-2/U
- EXISTING HOUSE 1,455 SQ. FT.
- EXISTING GARAGE 492 SQ. FT.
- EXISTING STRUCTURE TO BE DEMOLISHED 912 SQ. FT.
- EXISTING DETACHED GARAGE TO BE DEMOLISHED 408 SQ. FT.

- NEW GARAGE
- NEW 2 CAR GARAGE AREA 683 SQ.FT.

- NEW PROPOSED HOUSE
- NEW 1ST FLOOR AREA 1,515 SQ.FT.
- NEW 2ND FLOOR AREA 2,191 SQ.FT.
- NEW 3RD FLOOR AREA 200 SQ.FT.
- TOTAL NEW HOUSE AREA 3,906 SQ.FT.
- NEW COVERED PORCH AREA 55 SQ.FT.
- NEW BALCONY#1 AREA 139 SQ.FT.
- NEW BALCONY#2 AREA 42 SQ.FT.
- NEW COVERED PATIO ON ROOFTOP 378 SQ.FT.

- NEW ADU
- NEW 1ST FLOOR AREA 617 SQ.FT.
- NEW 2ND FLOOR AREA 580 SQ.FT.
- TOTAL ADU AREA 1,197 SQ.FT.
- NEW COVERED PORCH 123 SQ.FT.
- NEW 2ND FLOOR BALCONY#3 138 SQ.FT.

NUMBER OF UNITS: 1 EXISTING HOUSE,1 NEW SINGLE FAMILY UNIT & 1 NEW ADU

APPLICABLE CODES

2022 LA COUNTY RESIDENTIAL CODES,W/LA COUNTY AMMANDMENTS ,BASED ON CBC
2022 CALIFORNIA RESIDENTIAL CODES,
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 GREEN BUILDING CODE

FIRE SPRINKLER NOTE

(R309.6, R313.1, 313.2, R313.3)
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13R FOR R-2 OCCUPANCY TO BE INSTALLED
3 UNITS MULTI FAMILY DWELLINGS W/ GARAGES ARE ATTACHED

PLANS PREPARED BY:

DARKJIAN ASSOCIATES
CONTACT : BEDROS DARKJIAN
2411 E. FOOTHILL BLVD.
PASADENA,CA.91107
TEL. (626) 215-4826

OWNER

AYKUSH AVAKYAN
2653 MONTROSE AVE.
MONTROSE,CA.91020
(818)425-0650

STRUCTURAL:

JYC SERVICE
CONTACT PERSON: MACK YENJAI
8780 19TH ST. #401
ALTA LOMA,CA.91701
TEL. (626) 241-8552

TITLE 24

SKDESIGNLA.COM
CONTACT PERSON: SEVAG KURDIAN
TEL. (818) 512-9231

SHEET CONTENT

ARCHITECTURAL		STRUCTURAL PLANS	
T-0	COVER SHEET	ST-1	TITLE SHEET
N 1.0	NOTES	SN-1	NOTES
		SN-2	STRUCTURAL NOTES
A1.0	EXISTING SITE PLAN/ NEW SITE PLAN	S-1	FOUNDATION PLAN
A1.1	FIRST FLOOR PLAN	S-2	FLOOR FRAMING PLAN
A1.2	SECOND FLOOR PLAN	S-3	ROOF DECK FRAMING PLAN
A1.3	ROOF PLAN	S-4	ROOF FRAMING PLAN
A2.0	ELEVATIONS	SD1.1	STRUCTURAL STANDARD DETAIL
A2.1	ELEVATIONS	SD1.2	STRUCTURAL STANDARD DETAIL
A3.0	SECTIONS	SD1.3	STRUCTURAL STANDARD DETAIL
A4.0	DETAILS	SD2.1	STRUCTURAL STANDARD DETAIL
A4.1	DETAILS	SD2.2	STRUCTURAL STANDARD DETAIL
A4.2	DETAILS	SD2.3	STRUCTURAL STANDARD DETAIL
L-1	1ST FLOOR LIGHTING	SD3.1	STRUCTURAL STANDARD DETAIL
L-2	2ND FLOOR LIGHTING	SD3.2	STRUCTURAL STANDARD DETAIL
L-3	ROOF TOP LIGHTING	WSWH1	STRONG WALL DETAILS
	TITLE -24	WSWH2	STRONG WALL DETAILS
	TITLE -24	WSWH4	STRONG WALL DETAILS

DARKJIAN ASSOCIATES

527 TANCANYON RD.
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COVER SHEET

NEW 2 STOREY SECOND UNIT & ADU

2653 MONTROSE AVE.
MONTROSE,CA.91020

Rev.:

Date:

Scale: .

Drawn: .

Job: .

Sheet:

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Of Sheets

WINDOW SCHEDULE							U-FACTOR	SHGC
		WINDOW SIZE		LOCATION	TYPE	REMARKS		
		WIDTH	HEIGHT					
A	Ⓐ	9'-0"	6'-0"	LIVING	FIX	NEW	0.29	0.19
B	Ⓑ	2'-0"	6'-0"	LIVING/FAMILY	FIX/CASEMENT	NEW	0.29	0.19
C	Ⓒ	6'-0"	6'-0"	FAMILY/HOUSE,ADU	FIX/SLIDING	NEW (TEMPERED)	0.29	0.19
D	Ⓓ	18"	8'-0"	ENTRY DOOR	FIX	NEW (TEMPERED)	0.29	0.19
E	Ⓔ	4'-0"	6'-0"	DINING	FIX/SLIDING	NEW (TEMPERED)	0.29	0.19
F	Ⓕ	3'-0"	1'-0"	BATHROOM	SLIDING	NEW (TEMPERED)	0.29	0.19
G	Ⓖ	4'-0"	3'-6"	ADU KITCHEN	SLIDING	NEW	0.29	0.19
H	Ⓗ	3'-0"	5'-0"	ADU FAMILY	FIX	NEW	0.29	0.19
I	Ⓘ	2'-0"	4'-0"	GARAGE/BEDROOMS/BATH.	CASEMENT	NEW(TEMP. IN BATH.)	0.29	0.19
J1	Ⓝ	6'-0"	5'-0"	ADU BEDROOM	SLIDING	NEW	0.29	0.19
K	Ⓚ	4'-0"	5'-0"	GAME ROOM	FIX/SLIDING	NEW	0.29	0.19
L	Ⓛ	2'-0"	7'-0"	M. BEDROOM	FIX	NEW	0.29	0.19
M	Ⓜ	3'-0"	4'-0"	STAIRCASE	FIX	NEW (TEMPERED)	0.29	0.19

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS, MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

WINDOW NOTES

- IN EVERY BEDROOM PROVIDE ONE OPENABLE ESCAPE WINDOW MEETS ALL OF THE FOLLOWING:
 - A. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7-SF EX GRADE FLOOR NET CLEAR OPENING AREA NOT LESS THAN 5.0 SF.
 - B. A MIN.CLEAR HEIGHT OF 24"
 - C. A MIN.CLEAR WIDTH OF 20"
 - D. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN MEASURED FROM THE FLOOR.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS, MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED
- ALL WINDOWS TO HAVE BUG SCREEN
- * MULTI-PANE GLAZING UNITS

DOOR SCHEDULE							REMARKS
NO.	DOOR SIZE	MATERIAL	FRAME	LOCATIONS			
	WIDTH HEIGHT THICKNESS						
1	3'-0" 8'-0"	WOOD /GLASS		ENTRY DOOR			TEMPERED GLASS * EGRESS DOOR
2	2'-8" 8'-0"	WOOD		LAUNDRY / BATHROOMS			
3	3'-0" 8'-0"	WOOD		KITCHEN TO GARAGE			20 MIN. DOOR W/ SELF CLOSER
4	3'-0" 8'-0"	WOOD/GLASS		GAME ROOM/ADU BEDROOM			
5	3'-0" 8'-0"	WOOD /GLASS		ADU ENTRY DOOR			TEMPERED GLASS
6	14'-0" 7'-0"	METAL/GLASS		GARAGE DOOR			TEMPERED GLASS
7	3'-0" 7'-0"	WOOD		HOUSE BEDROOM/BATHROOMS			TEMPERED GLASS SLIDING
8	6'-0" 7'-0"	FIBER/GLASS		BEDROOM#3			TEMPERED GLASS
9	6'-0" 7'-0"	FIBER/GLASS		M. BEDROOM			TEMPERED GLASS
10	5'-6" 7'-0"	WOOD		LAUNDRY			LOUVER TYPE DOOR FOLDING DOOR

- DOOR NOTE
- EXTERIOR DOORS SHALL BE SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4" THICK (EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION)
 - EGRESS DOORS SHALL NOT SWING OVER A LANDING THAT IS MORE THAN 1.5'-IN. IN HEIGHT. BELOW THE THRESHOLD.

- DOOR THRESHOLD NOTE
- 3/4" MAX. AT SIDING DOORS
 - 1/2" FOR OTHER DOORS
 - 7 3/4" MAXIMUM THRESHOLD DROP FOR EXTERIOR DOORS THAT ARE NOT COMPONENT OF THE MEANS OF EGRESS AND DO NOT SWING OVER A LANDING OR STEP
 - THRESHOLDS >1/4" SHALL BE BEVELED AT 1:2

- GLAZING NOTES
- GLAZING AREAS SHALL HAVE A U-FACTOR OF 0.35 AND A SHGC OF 0.18 TO MATCH THE VALUES USED IN THE CALCULATIONS.
- EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MIN. OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MIN.20 MIN. RATED OR COMPLIES W/SFM 12-7A-2(708A/R327.8.2.1)

- SMOKE ALARM NOTE
- SMOKE ALARMS SHALL BE TESTED & MAINTAINED IN ACCORDANCE W/ MANUFACTURER INSTRUCTIONS.
 - SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURED MARKED ON THE UNIT.
 - CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED W/A 10 YEARS BATTERY AND HAVE A SILENCE FEATURE.
 - SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE W/NFPA 72.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL OR SLEEPING UNIT,THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.RESIDENTIAL CODE R314.5

WHOLE HOUSE VENTILATION CALCULATION

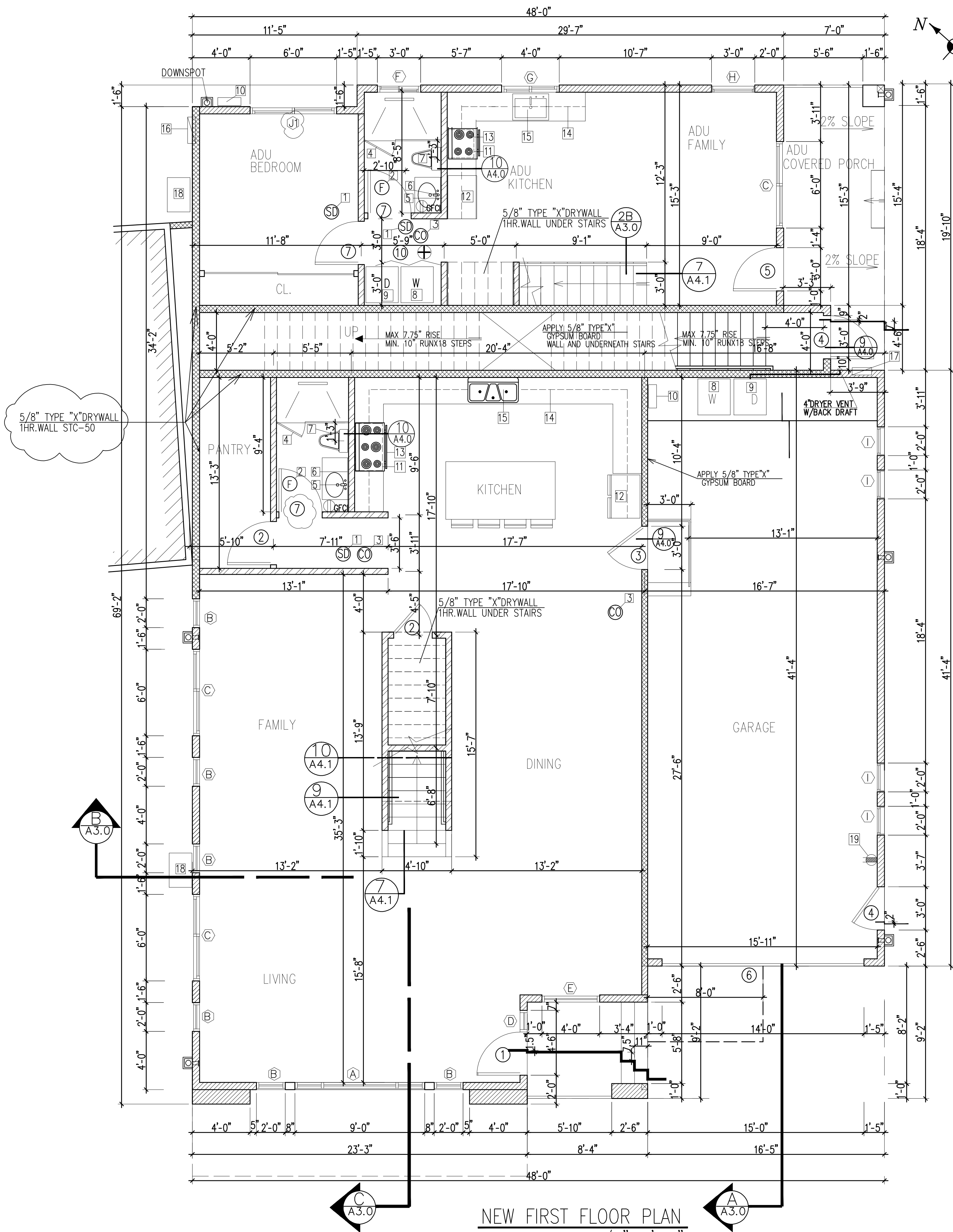
REQUIRED VENTILATION
QR=0.03(3,908)+7.5(4+1)
QR=154.74 CFM

1. SONE MAX.
EXHAUST FAN TO BE USED "AIR KING"
QUIET EXHAUST FAN,ESP. 80" CEILING MOUNTED
2X80=160 CFM @0.1"S.P. MORE THAN 154.74 CFM
- BATHROOM FANS=50 CFM SWITCH OR 20CFM CONTINUOUS
- KITCHEN HOODS= 100 CFM (NON-RECIRCULATING)
- 3 SONES MAX
- DUCT SIZE AND LENGTH

- NOTE:
- PROVIDE A CONTINUOUS OPERATING EXHAUST FAN OR INTERMITTENTLY OPERATED VENTILATION FANS THAT SHALL BE RATED AT 1.0 SONE OR LESS.
 - INTERMITTENTLY OPERATED LOCAL EXHAUST FANS SHALL BE RATED AT 3.0 SONES OR LESS.
 - THE SOUND REQUIREMENT IS NOT REQUIRED IF THE FAN IS SEPARATED FROM THE HABITABLE SPACE BY AT LEAST 4'-0" OF DUCTWORK.
 - THE CONTROLS FOR CONTINUOUSLY-RUNNING FANS TO E MARKED "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY". INSTALLER TO COMPLETE CF-6R-MECH-05 CERTIFYING VENTILATION SYSTEM MEETS ASHRAE 62.2 STANDARDS.
 - WHOLEHOUSE EXHAUST FANS INSTALLED SHALL HAVE INSULATED LOUVERS OR COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF.
 - THE INSTALLED (WHF'S) TOTAL AIR FLOW CFM AS LISTED IN THE CEC DIRECTORY IS AT LEAST 1.5 CFM/SQ.FT. OF CONDITIONED FLOOR AREA AND TO HAVE AT LEAST 1 SQ.FT. OF ATTIC VENT FREE AREA FOR EACH 750 CFM OF RATED WHOLE HOUSE FAN AIR FLOW CFM,AND PROVIDE THE OWNERS W/A ONE PAGE "HOW TO OPERATE YOUR WHOLE HOUSE FAN INFORMATIONAL SHEET."

ASHRAE Std. 62.2 Table 5.3: Prescriptive Duct Sizing Chart											
Maximum Length in Feet Fan Rating in cfm Certified @ 0.25 in. w.g.											
Rise Duct (feet)				Smooth Duct (feet)							
Duct Diameter (inches)	50	80	100	125	50	80	100	125			
3	no limit	no limit	no limit	no limit	no limit	no limit	no limit	no limit			
4	no limit	70	3	no limit	no limit	105	35	5	no limit		
5	no limit	70	35	20	no limit	135	85	35			
6	no limit	no limit	135	85	no limit	no limit	no limit	145			
7 and above	no limit	no limit	no limit	no limit	no limit	no limit	no limit	no limit			

Note: no limit. No use of this duct diameter will meet ASHRAE Standard 62.2 requirements. This table assumes no elbows. Ducts 15 feet (5 m) or of alternate duct lengths for each elbow.



- WALL LEGEND
- NEW WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ 5/8" GYPSUM BOARD ON INSIDE & STUCCO ON OUTSIDE
 - NEW WALL OF 2X4 @ 16" O.C. WOOD STUDS W/ 5/8" GYPSUM BOARD ON BOTH SIDE
 - NEW WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDE FOR INTERIOR WALLS TYPE "X" GYPSUM BOARD ON INSIDE AND STUCCO ON OUTSIDE 1HR. WALL STC-50

CONSTRUCTION NOTES:

- INDICATES NOTE NUMBER
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP "INSTALLED IN ACCORDANCE W/NFPA 72.. SMOKE ALARMS SHALL BE TESTED& MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
 - ELECTRIC FAN (50 CFM)ENERGY STAR W/ HUMIDTY CONTROL AT 0.25IN.W.C. W/RATED AT 1 SONE OR LESS
 - "CARBON MONOXIDE ALARM. SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP "
 - SHOWER DOOR TEMPERED "SWING OUT" (22" MIN.)
 - MIRROR 3'-6" HIGH BY 4'-0" WIDE
 - LAVATORY, FAUCET SET AS SELECTED BY OWNER
 - AMERICAN STANDARD HERITAGE 1.28 GALLON PER FLUSH AS SELECTED BY OWNER
 - WASHER
 - DRYER TO BE VENTED TO OUTSIDE
 - TANKLESS WATER HEATER (MIN. 5" ABOVE GROUND) DHW SYS1-1/1" 0.95 UEF /200,000 BTU/HR.
 - SINGLE FAMILY UNIT KITCHEN HOOD (180CFM)TO BE VENTED TO OUTSIDE BY 6" DUCT ADU KITCHEN HOOD (250 CFM)TO BE VENTED TO OUTSIDE BY 6" DUCT (NON CIRCULATING) 3 SONES MAX.
 - CONTRACTOR TO PROVIDE ELECTRICAL AND WATER HOOK-UPS FOR REFRIGERATOR.
 - CONTRACTOR TO PROVIDE ELECTRICAL AND GAS HOOK-UPS AND INSTALL OVEN AND COOK TOP.
 - UPPER AND LOWER KITCHEN CABINETS,STYLE AND FINISH MATERIAL AS SELECTED BY OWNER.
 - SINK WITH FAUCET SET,GARBAGE DISPOSAL AND HOOK-UPS,MANUFACTURER,MODEL AND COLOR AS SELECTED BY OWNER.
 - ELECTRICAL SUB PANEL FOR ADU
 - ELECTRICAL PANEL FOR HOUSE
 - CENTRAL SPLIT HEAT PUMP(HEATING ,COOLING UNITS)
 - ELECTRICAL VEHICLE CHARGER "INSTALL A LISTED, TRADE SIZE 1(NOMINAL 1" INSIDE DIAMETER)RACEWAY TO ACCOMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT FROM THE MAIN SERVICE OR SUBPANEL TO A LISTED CABINET BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER.

- * BALCONIES WATERPROOFING WATERPROOFING MEMBRANE "MAEGUARD WP 200" FOR FLOORING ICC-ESR-3474 DEX-0-TEX ESR-1757
- + PROVIDE 100 SQ.IN. OF MAKEUP AIR TO LAUNDRY ROOM PER CMC205.504.4.1 AND 701.3. PROVIDE LOUVERED DOOR OR TRANSFER AIR OPENING INTO DWELLING
- MAX. PLUMBING FIXTURE FLOW RATES
- WATER CLOSET 1.28 GPF.
 - SHOWER HEAD 1.8 GPM. AT 80 PSI
 - KITCHEN FAUCET 1.8 GPM.
 - LAVATORY FAUCET 1.2 GPM.
 - INSULATION OF ALL HOT WATER PIPING 3/4" OR LARGER

- EXHAUST DUCTS
- EXHAUST DUCTS SHALL TERMINATE 3'-0" FROM OPENINGS INTO THE BUILDING. CMC502.2.1
- BATHROOM NOTES
- LOW CONSUMPTION WATER CLOSETS SHALL BE INSTALLED (1.28 GALLON).SHOWER HEADS SHALL BE ADAPTED WITH LOW WATER CONSUMPTION DEVICES.
 - GLASS DOOR,ADJACENT PANELS,AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OFF GLASS APPROVED FOR IMPACT HAZARD.
 - WALLS IN SHOWER AND TUB AREA SHELL BE OF MARBLE,OR TILE TO A MIN.HEIGHT OF 72" ABOVE THE DRAIN.GLASS DOOR MUST BE SHATTER PROVE LABELED CATEGORY II.
 - ALL SHOWERS & TUB SHOWERS SHALL HAVE A PRESSURE BALANCE,THERMOSTATIC MIXING VALVE OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE (PC408.3)

- ELECTRICAL NOTES
- PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS (GFI) PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY120-VOLT,SINGLE PHASE,15-AND 20- AMP BATHROOM, GARAGE
 - ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT,SINGLE PHASE,15-AND20-AMP RECEPTACLE,OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS
 - ALL LUMINARIES IN KITCHEN, GARAGE, BATHROOMS, SHALL BE OF HIGH EFFICACY
 - ALL LUMINARIES IN OTHER ROOMS SHALL BE CONTROLLED BY DIMMERS EXCEPT CLOSETS LESS THAN 70 SQ. FT.
 - ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES
 - HIGH EFFICACY LUMINARIES MUST BE PIN BASED
 - ALL EXTERIOR DOORS TO HAVE SENSORED LIGHTS
 - ALL 120 VOLT,SINGLE PHASE,15-AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT,KITCHENS,FAMILY DINING,LIVING,PARLORS, LIBRARIES,DENS, BEDROOMS,SUNROOMS,RECREATION ROOMS,CLOSETS, HALLWAYS, LAUNDRY AREAS ARE TO BE PROTECTED BY A LISTED AFCI BREAKERS OR OTHER MEANS AS DESCRIBED IN CEC210.12(A)(1)THROUGH (6) BATHROOMS,AND BASEMENTS ARE EXEMPT FROM THIS REQUIREMENT.[CEC210.12(A)].
 - THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION
 - GFCI = GROUND-FAULT CIRCUIT INTERRUPTERS (GFCI) PROTECTION
 - AFCI = ARC FAULT CIRCUIT INTERRUPTERS

DARKJIAN ASSOCIATES

527 TANCANYON RD.
DUARTE,CA.91010
TEL: (626)215-4826

NEW FIRST FLOOR PLAN

NEW 2 STOREY SECOND UNIT & ADU

2653 MONTROSE AVE.
MONTROSE,CA.91020

Rev.:
Date:
Scale: .
Drawn: .
Job:
Sheet:

A1.1

Of Sheets

WINDOW SCHEDULE							
		WINDOW SIZE		LOCATION	TYPE	REMARKS	U-FACTOR SHGC
		WIDTH	HEIGHT				
A	(A)	9'-0"	6'-0"	LIVING	FIX	*NEW	0.29 0.19
B	(B)	2'-0"	6'-0"	LIVING/FAMILY	FIX/CASEMENT	*NEW	0.29 0.19
C	(C)	6'-0"	6'-0"	FAMILY/HOUSE,ADU	FIX/SLIDING	*NEW (TEMPERED)	0.29 0.19
D	(D)	18"	8'-0"	ENTRY DOOR	FIX	*NEW (TEMPERED)	0.29 0.19
E	(E)	4'-0"	6'-0"	DINING	FIX/SLIDING	*NEW (TEMPERED)	0.29 0.19
F	(F)	3'-0"	1'-0"	BATHROOM	SLIDING	*NEW (TEMPERED)	0.29 0.19
G	(G)	4'-0"	3'-6"	ADU KITCHEN	SLIDING	*NEW	0.29 0.19
H	(H)	3'-0"	5'-0"	ADU FAMILY	FIX	*NEW	0.29 0.19
I	(I)	2'-0"	4'-0"	GARAGE/BEDROOMS/BATH.	CASEMENT	*NEW(TEMP. IN BATH.)	0.29 0.19
J	(J)	6'-0"	4'-0"	HOUSE BEDROOM#1,2	SLIDING	*NEW	0.29 0.19
K	(K)	4'-0"	5'-0"	GAME ROOM	FIX/SLIDING	*NEW	0.29 0.19
L	(L)	2'-0"	7'-0"	M. BEDROOM	FIX	*NEW	0.29 0.19
M	(M)	3'-0"	4'-0"	STAIRCASE	FIX	*NEW (TEMPERED)	0.29 0.19

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS, MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED
- WINDOW NOTES**
- IN EVERY BEDROOM PROVIDE ONE OPENABLE ESCAPE WINDOW MEETS ALL OF THE FOLLOWING:
- A. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7-SF EX. GRADE FLOOR NET CLEAR OPENING AREA NOT LESS THAN 5.0 SF.
- B. A MIN. CLEAR HEIGHT OF 24"
- C. A MIN. CLEAR WIDTH OF 20"
- D. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN MEASURED FROM THE FLOOR.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS, MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED
- ALL WINDOWS TO HAVE BUG SCREEN
- * MULTI-PANE GLAZING UNITS

DOOR SCHEDULE						
NO.	DOOR SIZE	MATERIAL	FRAME	LOCATIONS	REMARKS	
WIDTH	HEIGHT	THICKNESS				
1	3'-0"	8'-0"	WOOD /GLASS	ENTRY DOOR	TEMPERED GLASS	
2	2'-8"	8'-0"	WOOD	LAUNDRY / BATHROOMS	EGRESS DOOR	
3	3'-0"	8'-0"	WOOD	ADU BEDROOM / UNDER STAIRS		
4	3'-0"	8'-0"	WOOD	KITCHEN TO GARAGE	20 MIN. DOOR	
5	3'-0"	8'-0"	WOOD/GLASS	GARAGE /STAIRCASE	W/ SELF CLOSER	
6	3'-0"	8'-0"	WOOD/GLASS	GAME ROOM/ADU BEDROOM	TEMPERED GLASS	
7	3'-0"	8'-0"	WOOD /GLASS	ADU ENTRY DOOR	TEMPERED GLASS	
8	14'-0"	7'-0"	METAL/GLASS	GARAGE DOOR	TEMPERED GLASS	
9	3'-0"	7'-0"	WOOD	BEDROOM/BATHROOMS		
10	6'-0"	7'-0"	FIBER/GLASS	SECOND FLOOR	TEMPERED GLASS	
11	6'-0"	7'-0"	FIBER/GLASS	BEDROOM#3	SLIDING	
12	6'-0"	7'-0"	FIBER/GLASS	M. BEDROOM	TEMPERED GLASS	
13	5'-6"	7'-0"	WOOD	LAUNDRY	FRENCH DOOR/FIX	
					LOUNGER TYPE DOOR	
					FOLDING DOOR	

⊕ PROVIDE 100 SQ.IN. OF MAKEUP AIR TO LAUNDRY ROOM PER CMC205.504.4.1 AND 701.3. PROVIDE LOUVERED DOOR OR TRANSFER AIR OPENING INTO DWELLING

- DOOR NOTE**
1. EXTERIOR DOORS SHALL BE SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4" THICK (EXTERIOR DOORS ASSEMBLIES SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION)
2. EGRESS DOORS SHALL NOT SWING OVER A LANDING THAT IS MORE THAN 1.5-IN. IN HEIGHT. BELOW THE THRESHOLD.
- DOOR THRESHOLD NOTE**
1. 3/4" MAX. AT SIDING DOORS
2. 1/2" FOR OTHER DOORS
3. 7 3/4" MAXIMUM THRESHOLD DROP FOR EXTERIOR DOORS THAT ARE NOT COMPONENT OF THE MEANS OF EGRESS AND DO NOT SWING OVER A LANDING OR STEP
4. THRESHOLDS >1/4" SHALL BE BEVELED AT 1:2

GLAZING NOTES

GLAZING AREAS SHALL HAVE A U-FACTOR OF 0.35 AND A SHGC OF 0.18 TO MATCH THE VALUES USED IN THE CALCULATIONS.

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MIN. OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR MIN.20 MIN. RATED OR COMPLIES W/SFM 12-7A-2(708A;R327.8.2.1)

- SMOKE ALARM NOTES**
1. SMOKE ALARMS SHALL BE TESTED & MAINTAINED IN ACCORDANCE W/ MANUFACTURER INSTRUCTIONS.
2. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT.
3. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED W/A 10 YEARS BATTERY AND HAVE A SILENCE FEATURE.
4. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE W/NFPA 72.
5. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL OR SLEEPING UNIT,THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.RESIDENTIAL CODE R314.5

WHOLE HOUSE VENTILATION CALCULATION

REQUIRED VENTILATION

QR=0.03(3,908)+7.5(4+1)

QR=154.74 CFM

1 SONE MAX.

EXHAUST FAN TO BE USED "AIR KING"

QUIET EXHAUST FAN:"ESB 80 S" CEILING MOUNTED

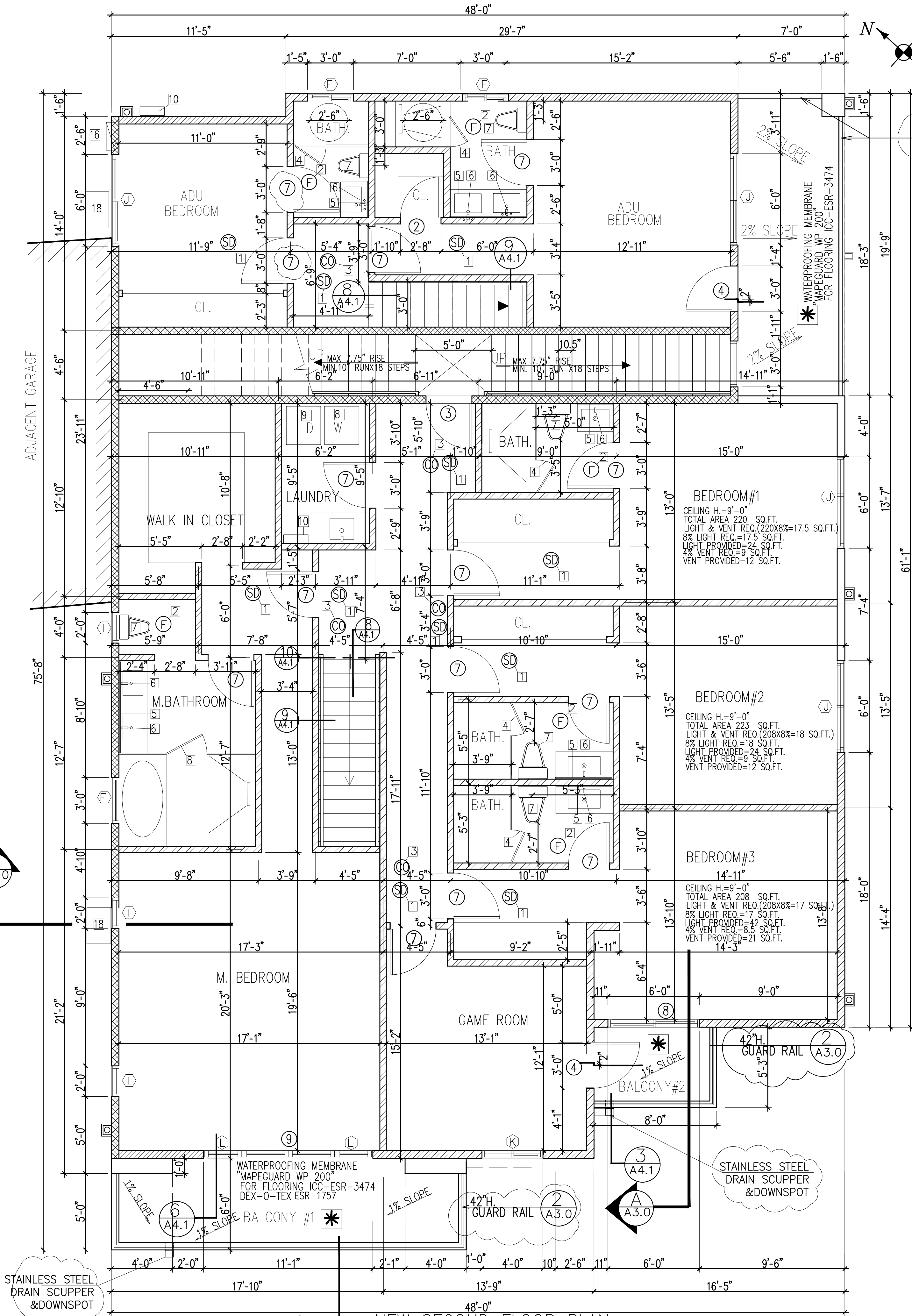
2X80=160 CFM @0.1"S.P. MORE THAN 154.74 CFM

- BATHROOM FANS=50 CFM SWITCH OR 20CFM CONTINUOUS
- KITCHEN HOODS=100 CFM (NON-RECIRCULATING)
- 3 SONES MAX
- DUCT SIZE AND LENGTH
- NOTE**

- 1-PROVIDE A CONTINUOUS OPERATING EXHAUST FAN OR INTERMITTENTLY OPERATED VENTILATION FANS THAT SHALL BE RATED AT 1.0 SONE OR LESS.
- INTERMITTENTLY OPERATED LOCAL EXHAUST FANS SHALL BE RATED AT 3.0 SONES OR LESS.
- THE SOUND REQUIREMENT IS NOT REQUIRED IF THE FAN IS SEPARATED FROM THE HABITABLE SPACE BY AT LEAST 4'-0" OF DUCTWORK
- 2-THE CONTROLS FOR CONTINUOUSLY-RUNNING FANS TO E MARKED "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY". INSTALLER TO COMPLETE CE-OR-MECH-05 CERTIFYING VENTILATION SYSTEM MEETS "ASHRAE 62.2 STANDARDS.
- 3-WHOLE HOUSE EXHAUST FANS INSTALLED SHALL HAVE INSULATED LOUVERS OR COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF.
- 4-THE INSTALLED (WHF'S) TOTAL AIR FLOW CFM AS LISTED IN THE CEC DIRECTORY IS AT LEAST 1.5 CFM/SQ.FT. OF CONDITIONED FLOOR AREA AND TO HAVE AT LEAST 1 SQ.FT. OF ATTIC VENT FREE AREA FOR EACH 750 CFM OF RATED WHOLE HOUSE FAN FLOW CFM AND PROVIDE FAN OWNERS W/A ONE PAGE "HOW TO OPERATE YOUR WHOLE HOUSE FAN INFORMATIONAL SHEET."

ASHRAE Std. 62.2 Table 5.3: Prescriptive Duct Sizing Chart											
Maximum Length in Feet Fan Rating in cfm Certified @ 0.25 in. w.g.											
Duct Diameter (inches)	Flex Duct (cfm)				Smooth Duct (cfm)						
	50	80	100	125	50	80	100	125			
3	n/a	n/a	n/a	n/a	n/a	5	n/a	n/a			
4	75	3	n/a	n/a	100	35	5	n/a			
5	n/a/n/a	70	35	20	n/a/n/a	135	80	35			
6	n/a/n/a	n/a/n/a	135	85	n/a/n/a	n/a/n/a	n/a/n/a	145			
7 and above	n/a/n/a	n/a/n/a	n/a/n/a	n/a/n/a	n/a/n/a	n/a/n/a	n/a/n/a	n/a/n/a			

Note: n/a = not allowed. No use of this duct diameter will meet ASHRAE Standard 62.2 requirements. This table assumes no elbows. Ducts 15 feet or less in length are subject to derating for each elbow.



WALL LEGEND	
	NEW WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ 5/8" GYPSUM BOARD ON INSIDE & STACCO ON OUTSIDE
	NEW WALL OF 2X4 @ 16" O.C. WOOD STUDS W/ 5/8" GYPSUM BOARD ON BOTH SIDE
	NEW WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDE FOR INTERIOR WALLS TYPE "X" GYPSUM BOARD ON INSIDE AND STUCCO ON OUTSIDE 1HR. WALL STC-50

CONSTRUCTION NOTES:

INDICATES NOTE NUMBER

- SMOKE ALARM SHELL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP "INSTALLED IN ACCORDANCE W/NFPA 72.. SMOKE ALARMS SHALL BE TESTED& MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
- ELECTRIC FAN (50 CFM)ENERGY STAR W/ HUMIDITY CONTROL AT 0.25IN.W.C. W/RATED AT 1 SONE OR LESS
- "CARBON MONOXIDE ALARM. SHELL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP "
- SHOWER DOOR TEMPERED "SWING OUT" (22" MIN.)
- MIRROR 3'-6" HIGH BY 4'-0" WIDE
- LAVATORY, FAUCET SET AS SELECTED BY OWNER
- AMERICAN STANDARD HERITAGE 1.28 GALLON PER FLUSH AS SELECTED BY OWNER
- WASHER
- DRYER TO BE VENTED TO OUTSIDE
- TANKLESS WATER HEATER (MIN. 5' ABOVE GROUND) DHW SYS1-1/1 0.95 UEF /200,000 BTU/HR.
- SINGLE FAMILY UNIT KITCHEN HOOD (180CFM)TO BE VENTED TO OUTSIDE BY 6" DUCT ADU KITCHEN HOOD (250 CFM)TO BE VENTED TO OUTSIDE BY 6" DUCT (NON CIRCULATING) 3 SONES MAX.
- CONTRACTOR TO PROVIDE ELECTRICAL AND WATER HOOK-UPS FOR REFRIGERATOR
- CONTRACTOR TO PROVIDE ELECTRICAL AND GAS HOOK-UPS AND INSTALL OVEN AND COOK TOP.
- UPPER AND LOWER KITCHEN CABINETS,STYLE AND FINISH MATERIAL AS SELECTED BY OWNER.
- SINK WITH FAUCET SET,GARBAGE DISPOSAL AND HOOK-UPS MANUFACTURER MODEL AND COLOR AS SELECTED BY OWNER.
- ELECTRICAL SUB PANEL FOR ADU
- ELECTRICAL PANEL FOR HOUSE
- CENTRAL SPLIT HEAT PUMP(HEATING ,COOLING UNITS)
- ELECTRICAL VEHICLE CHARGER INSTALL A LISTED TYPE 1(NOMINAL 1" INSIDE DIAMETER)RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT FROM THE MAIN SERVICE OR SUBPANEL TO A LISTED CABINET,BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER.
- BALCONIES WATERPROOFING**
- * WATERPROOFING MEMBRANE "MAPEGUARD WP 200" FOR FLOORING ICC-ESR-3474

MAX. PLUMBING FIXTURE FLOW RATES

- WATER CLOSET 1.28 GPF.
- SHOWER HEAD 1.8 GPM. AT 80 PSI
- KITCHEN FAUCET 1.8 GPM.
- LAVATORY FAUCET 1.2 GPM.
- INSULATION OF ALL HOT WATER PIPING 3/4" OR LARGER

EXHAUST DUCTS

- EXHAUST DUCTS SHALL TERMINATE 3'-0" FROM OPENINGS INTO THE BUILDING. CMC502.2.1

BATHROOM NOTES

- LOW CONSUMPTION WATER CLOSETS SHALL BE INSTALLED (1.28 GALLON)SHOWER HEADS SHALL BE ADAPTED WITH LOW WATER CONSUMPTION DEVICES.
 - GLASS DOOR,ADJACENT PANELS,AND ALL GLAZED OPENINGS WITHIN 18"OF THE ADJACENT FLOOR SHALL BE OFF GLASS APPROVED FOR IMPACT HAZARD.
 - WALLS IN SHOWER AND TUB AREA SHALL BE OF MARBLE,OR TILE TO A MIN.HEIGHT OF 72" ABOVE THE DRAIN.GLASS DOOR MUST BE SHATTER PROVE LABELED CATEGORY II.
 - ALL SHOWERS & TUB SHOWERS SHALL HAVE A PRESSURE BALANCE,THERMOSTATIC MIXING VALVE OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE (PC408.3)
- ELECTRICAL NOTES**
- PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS (GFI) PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY120-VOLT,SINGLE PHASE,15-AND 20- AMP BATHROOM, GARAGE OF A KITCHEN SINK AND WHITIN 6' OF A WET BAR SINK
 - ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT,SINGLE PHASE,15-AND20-AMP RECEPTACLEOUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS
 - ALL LUMINARIES IN KITCHEN, GARAGE, BATHROOMS, SHALL BE OF HIGH EFFICACY
 - ALL LUMINARIES IN OTHER ROOMS SHALL BE CONTROLLED BY DIMMERS EXCEPT CLOSETS LESS THAN 70 SQ. FT.
 - ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES
 - HIGH EFFICACY LUMINARIES MUST BE PIN BASED
 - ALL EXTERIOR DOORS TO HAVE SENSORED LIGHTS
 - ALL 120 VOLT,SINGLE PHASE,15-AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT,KITCHENS,FAMILY,DINING,LIVING,PARLORS, LIBRARIES,DENS,BEDROOMS,SUNROOMS,RECREATION ROOMS,CLOSETS, HALLWAYS, LAUNDRY AREAS ARE TO BE PROTECTED BY A LISTED AFCI BREAKERS OR OTHER MEANS AS DESCRIBED IN CEC210.12(A)(1)THROUGH (6).
 - BATHROOMS,AND BASEMENTS ARE EXEMPT FROM THIS REQUIREMENT.[CEC210.12(A)]. THE AREC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
 - GFCI = GROUND-FAULT CIRCUIT INTERRUPTERS (GFCI) PROTECTION
 - AFCI = ARC FAULT CIRCUIT INTERRUPTERS

DARKJIAN ASSOCIATES

527 TANCANYON RD.
DUARTE,CA.91010
TEL: (626)215-4826

NEW SECOND FLOOR PLAN

NEW 2 STOREY SECOND UNIT & ADU

2653 MONTROSE AVE.
MONTROSE,CA.91020

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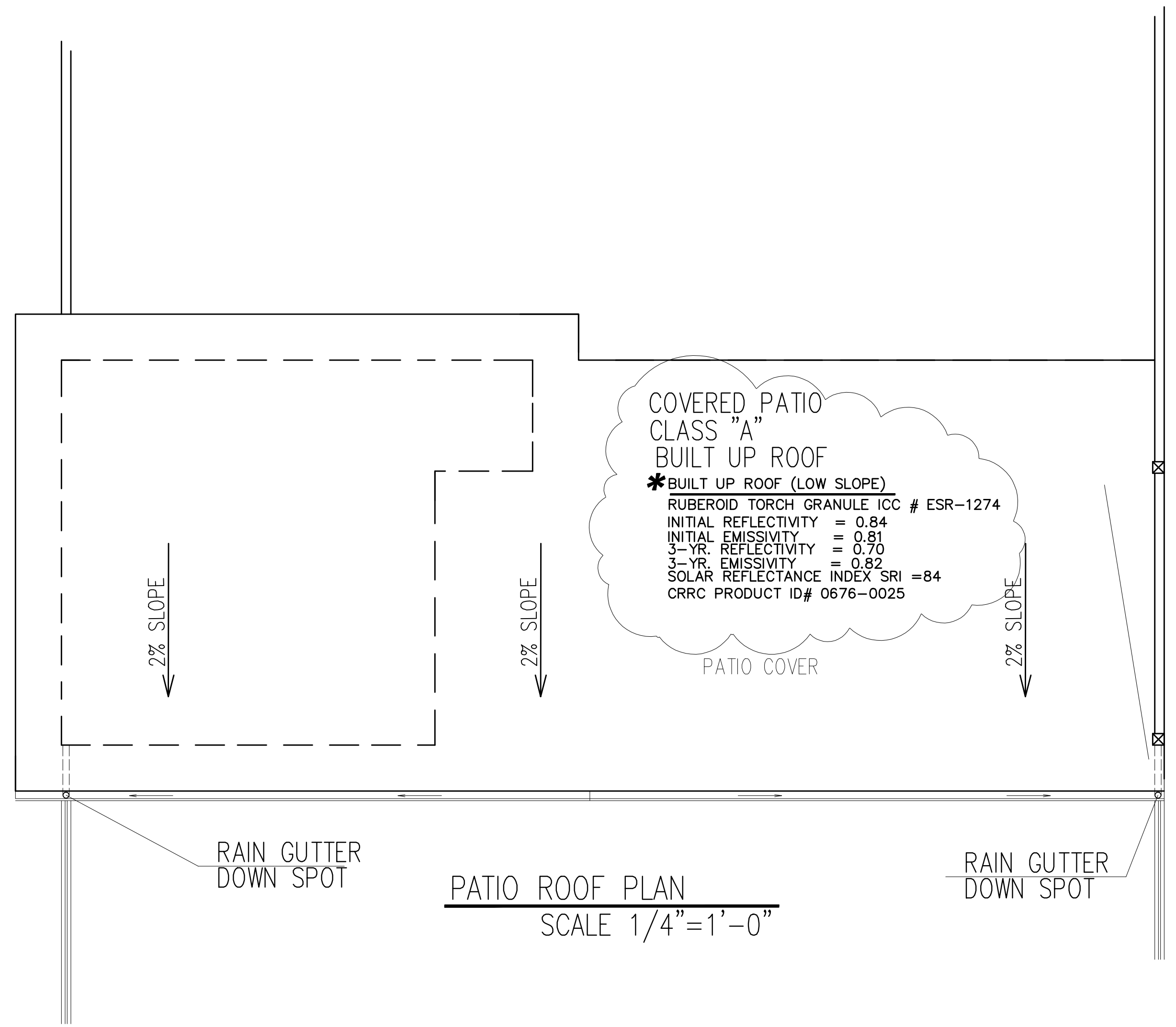
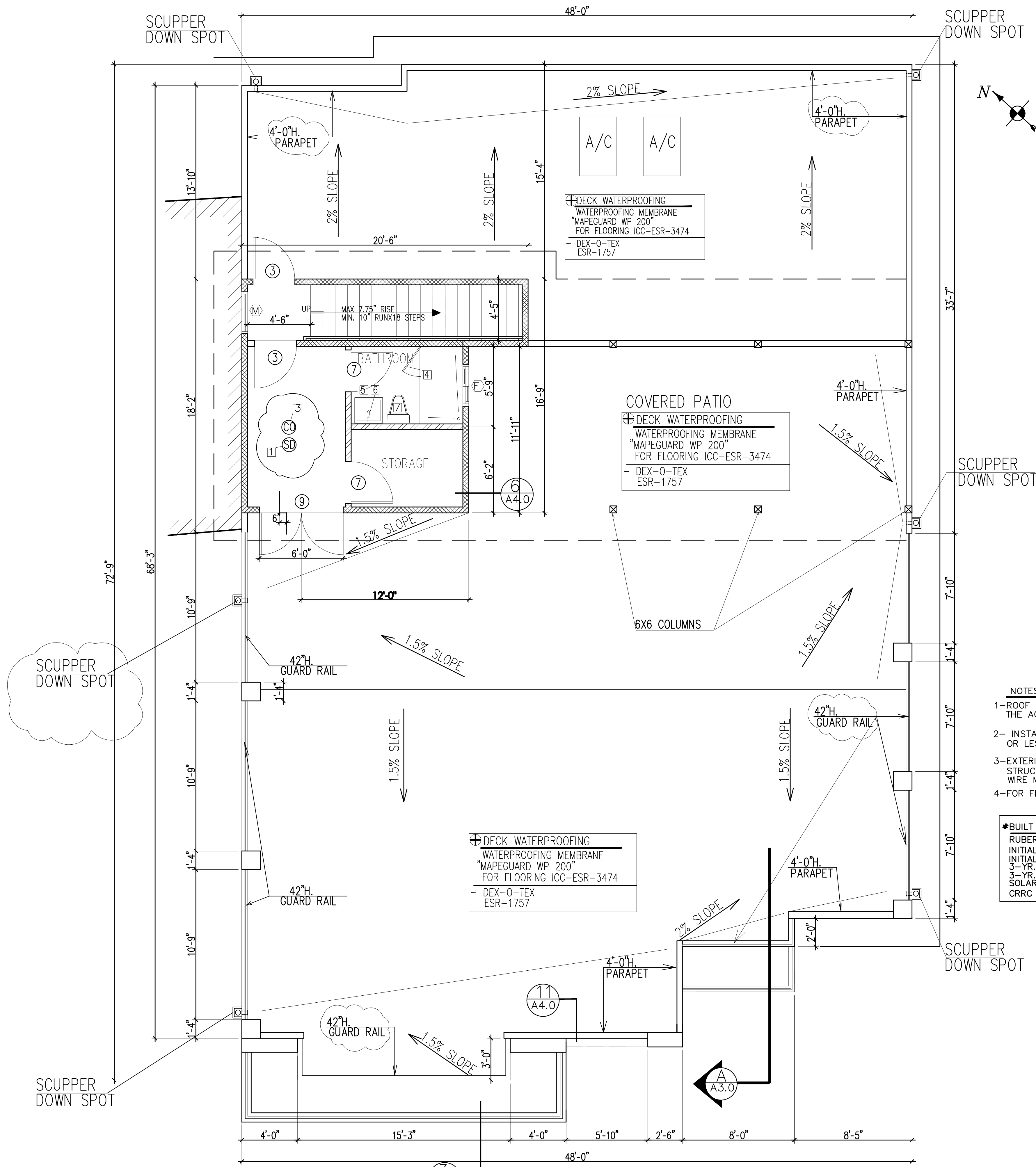
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- NOTES**
- 1-ROOF DOWN SPOTS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
 - 2- INSTALL RADIANT ROOF BARRIER W/ AN EMITTANCE OF 0.05 OR LESS
 - 3-EXTERIOR WALL VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENT OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH A MIN. 1/16TH. INCH OPENINGS AND SHALL NOT EXCEED 1/8TH INCH.
 - 4-FOR FLAT ROOF CONSEALED PANELS SPRAY INSULATION WILL BE USED
- *BUILT UP ROOF (LOW SLOPE)**
RUBEROID TORCH GRANULE ICC # ESR-1274
INITIAL REFLECTIVITY = 0.84
INITIAL EMISSIVITY = 0.81
3-YR. REFLECTIVITY = 0.70
3-YR. EMISSIVITY = 0.82
SOLAR REFLECTANCE INDEX SRI = 84
CRRC PRODUCT ID# 0676-0025

NEW ROOF PLAN
SCALE 1/4"=1'-0"

PATIO ROOF PLAN
SCALE 1/4"=1'-0"

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NEW ROOF PLAN

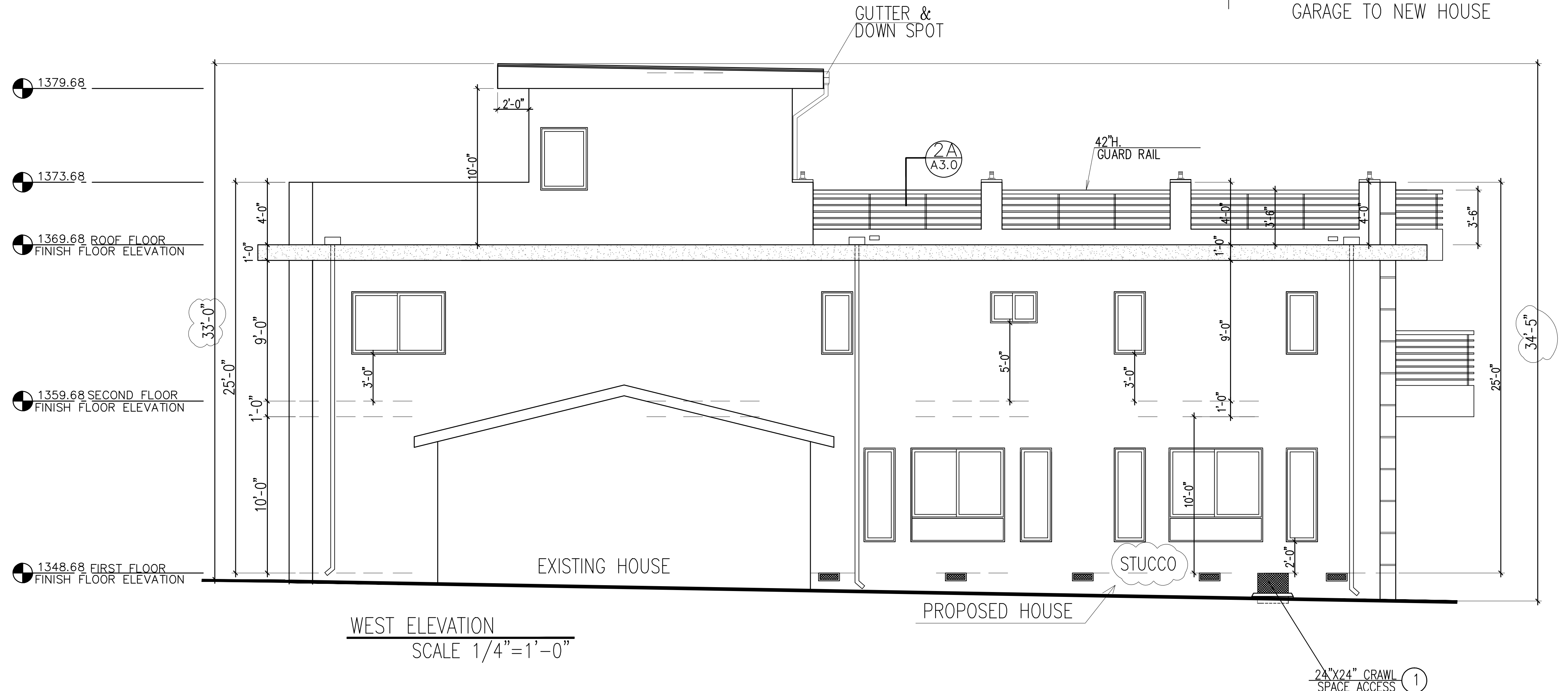
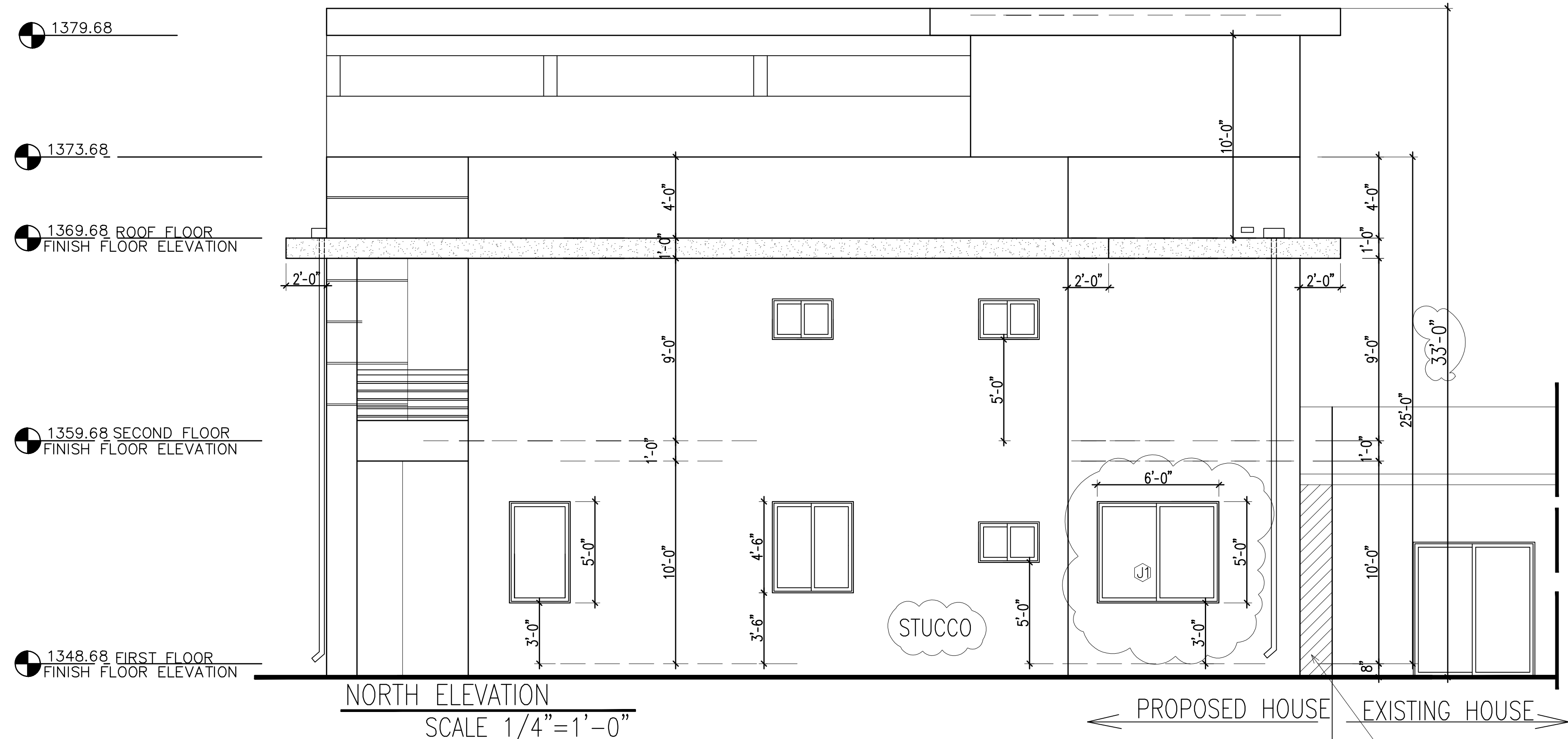
NEW 2 STOREY SECOND UNIT & ADU

2653 MONTROSE AVE.
MONTROSE, CA 91020

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ELEVATIONS

NEW 2 STOREY SECOND UNIT & ADU

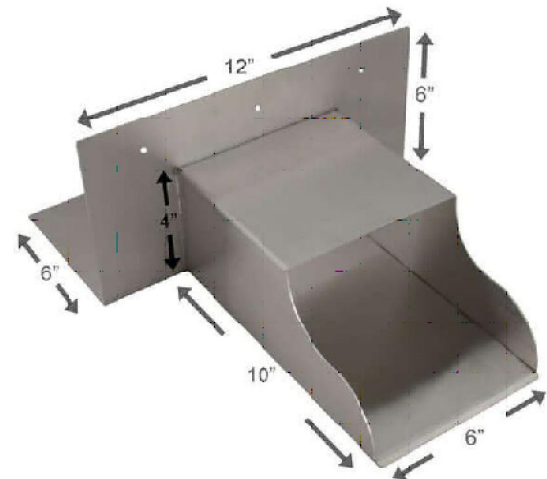
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MONTROSE, CA 91020

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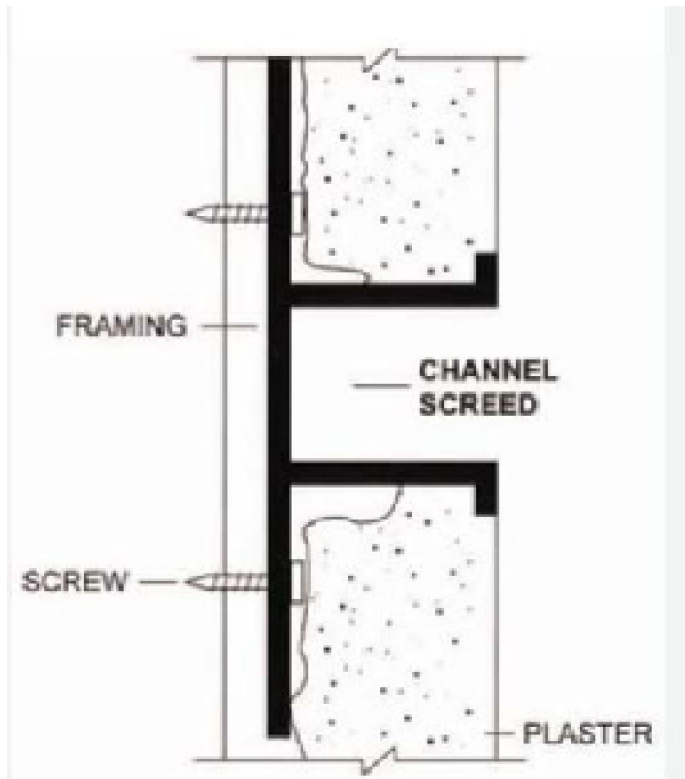
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AMATI
6" ROOF DRAINAGE SCUPPER -
STAINLESS STEEL



MAJESTIC
WATER SPECIALTIES

BALCONY DRAIN
STAINLESS STEEL ①



REVEAL & STUCCO
DETAILS ②



1379.68

1373.68

1369.68 ROOF FLOOR
FINISH FLOOR ELEVATION

1359.68 SECOND FLOOR
FINISH FLOOR ELEVATION

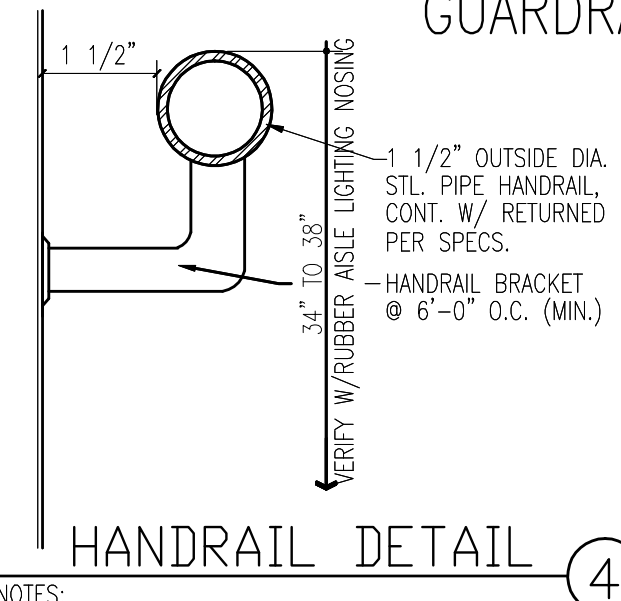
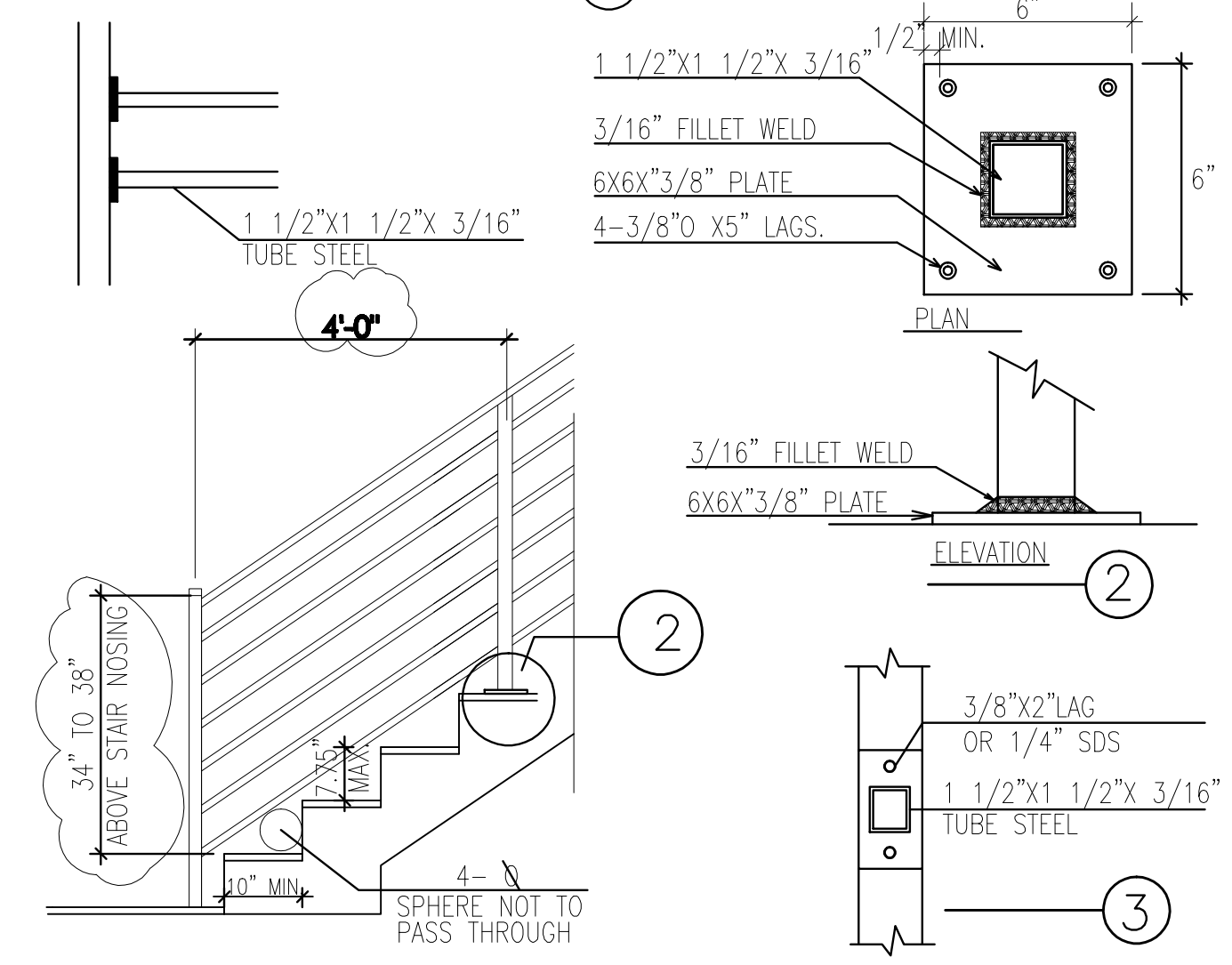
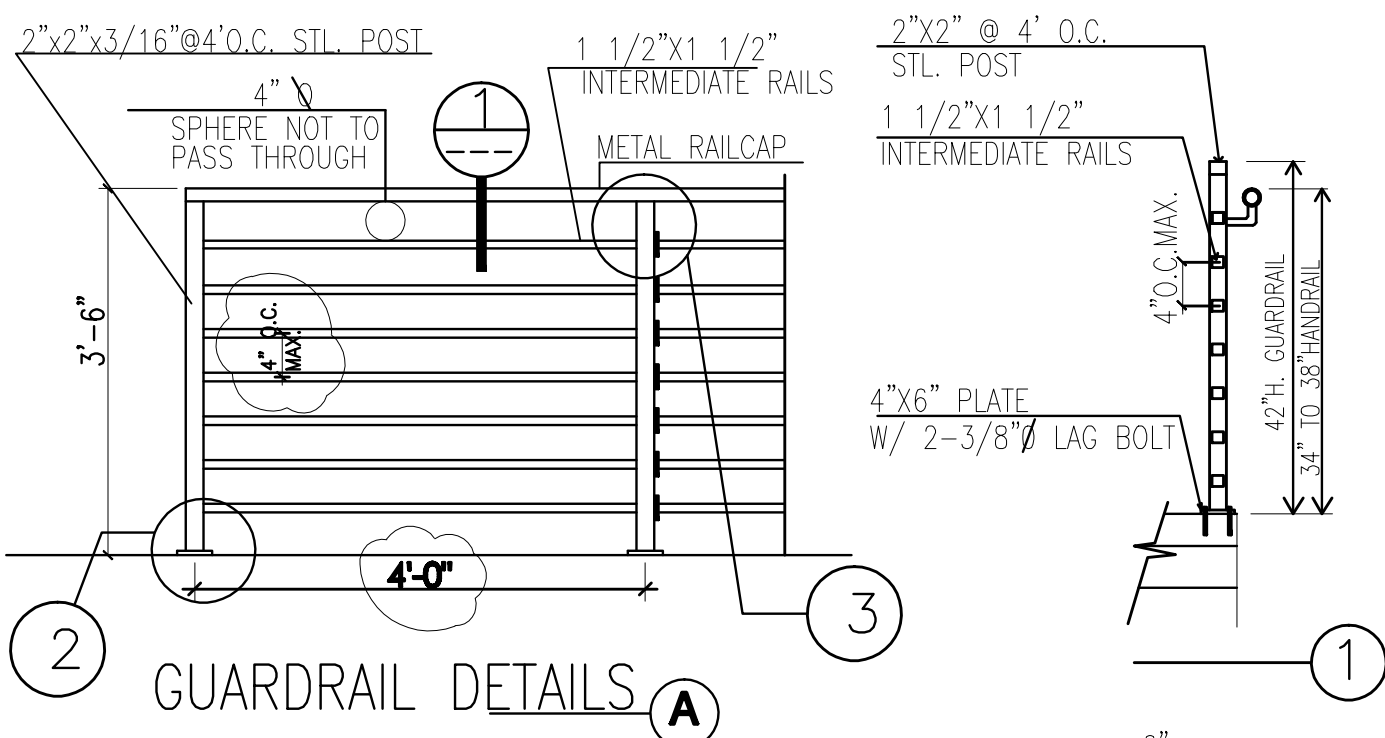
1348.68 FIRST FLOOR
FINISH FLOOR ELEVATION

1346.68 FIRST FLOOR
FINISH FLOOR ELEVATION



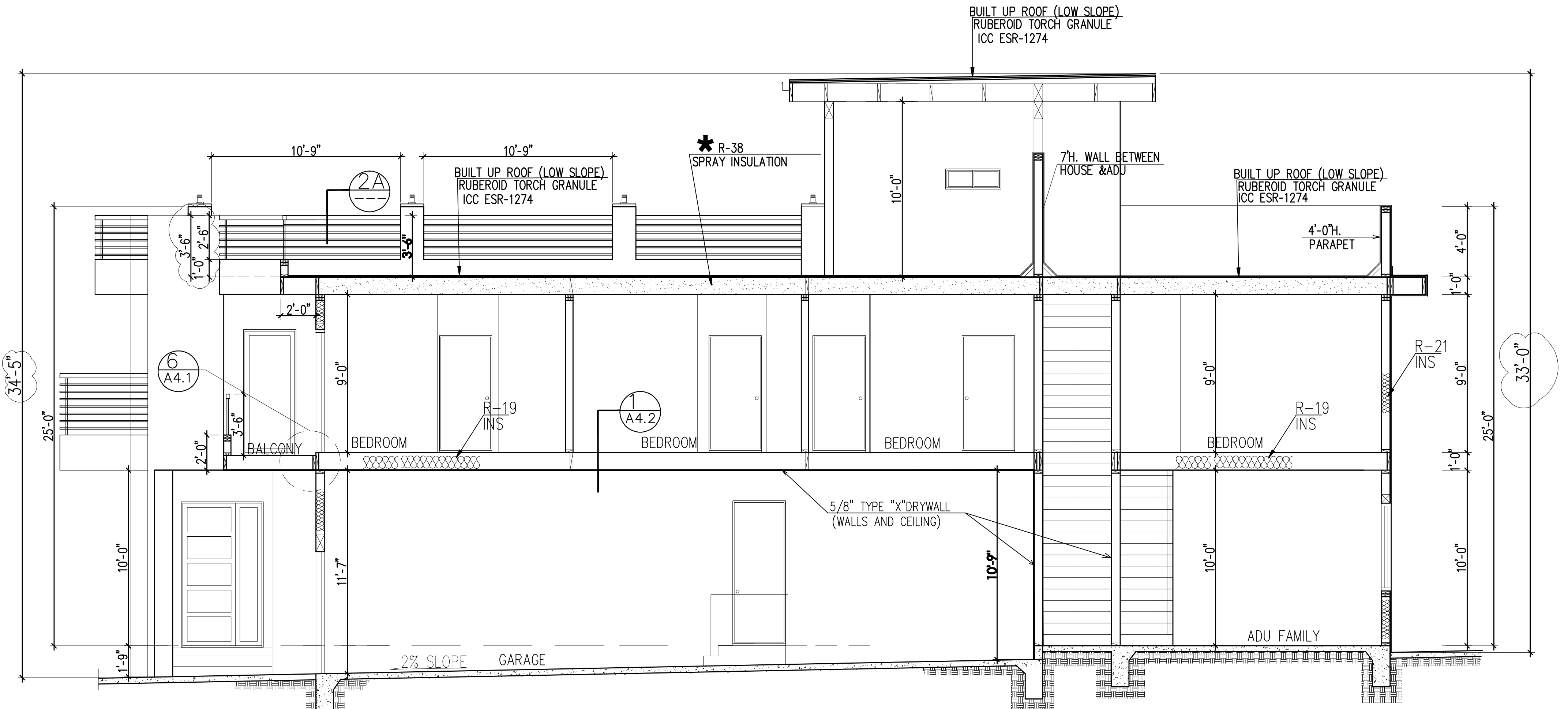
CRAWL VENT
TOTAL AREA TO BE VENTED 1,515 SQ.FT.

1,515 / 150 = 10.1 SQ.FT.
PROVIDED 10-14"x4" = 3.8 SQ.FT.
PROVIDED CRAWL SPACE ACCESS 24"x24"=4 SQ.FT.
TOTAL VENT PROVIDED 7.88 SQ.FT.

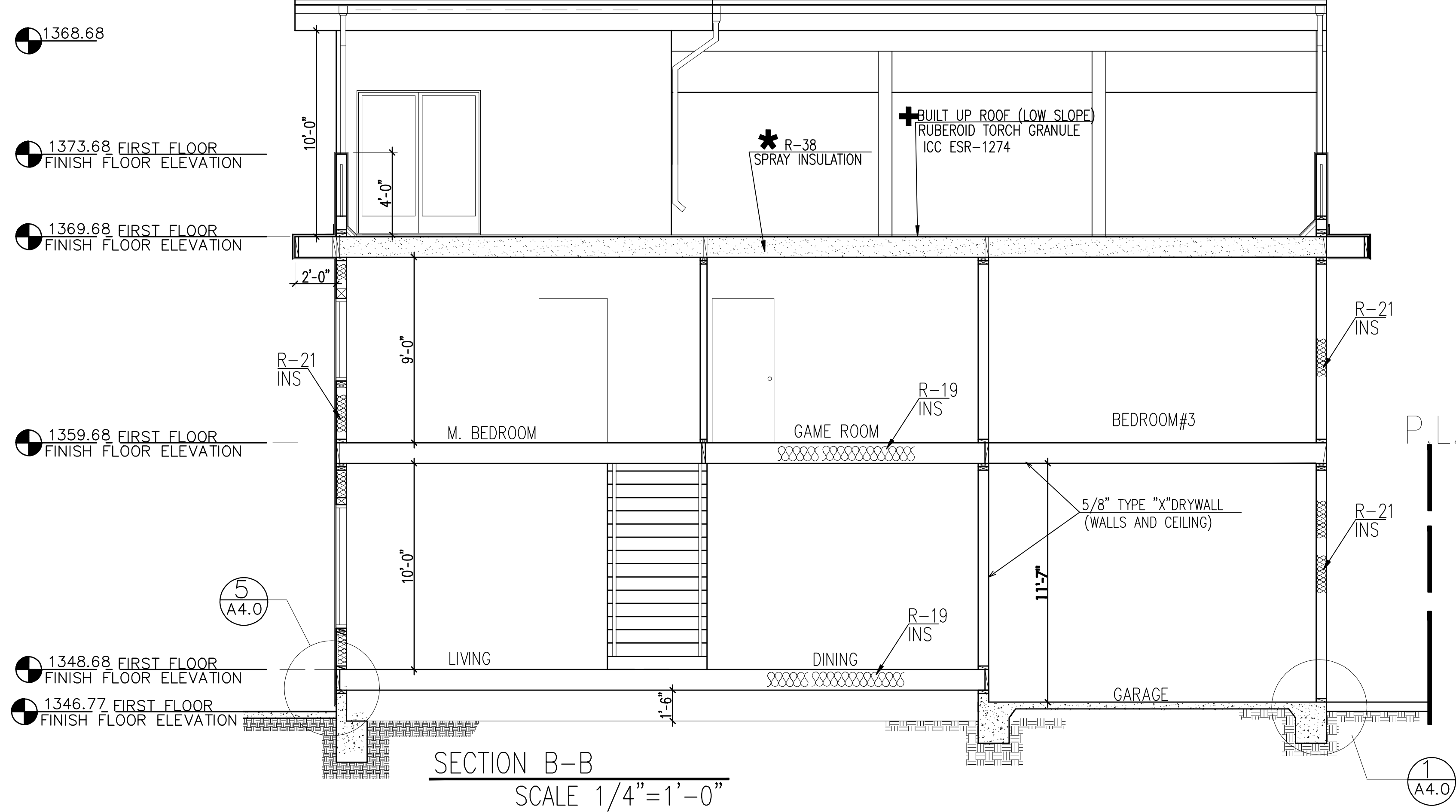


NOTES:
1. ALL WELDS TO BE GROUND SMOOTH TO RECEIVE PAINT FINISH.

HANDRAIL/GUARDRAIL DETAILS
2



* ICC-ES REPORT FOR SPRAY INSULATION
DEMILEC (USA) INC. SELECTION 500 SPRAY-APPLIED POLYURETHANE FOAM INSULATION ESR-1172
+ BUILT UP ROOF (LOW SLOPE) RUBEROID TORCH GRANULE ICC # ESR-1274
INITIAL REFLECTIVITY = 0.84
INITIAL EMISSIVITY = 0.81
3-YR. REFLECTIVITY = 0.70
3-YR. EMISSIVITY = 0.82
SOLAR REFLECTANCE INDEX SRI = 84
CRRC PRODUCT ID# 0676-0025



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SECTIONS

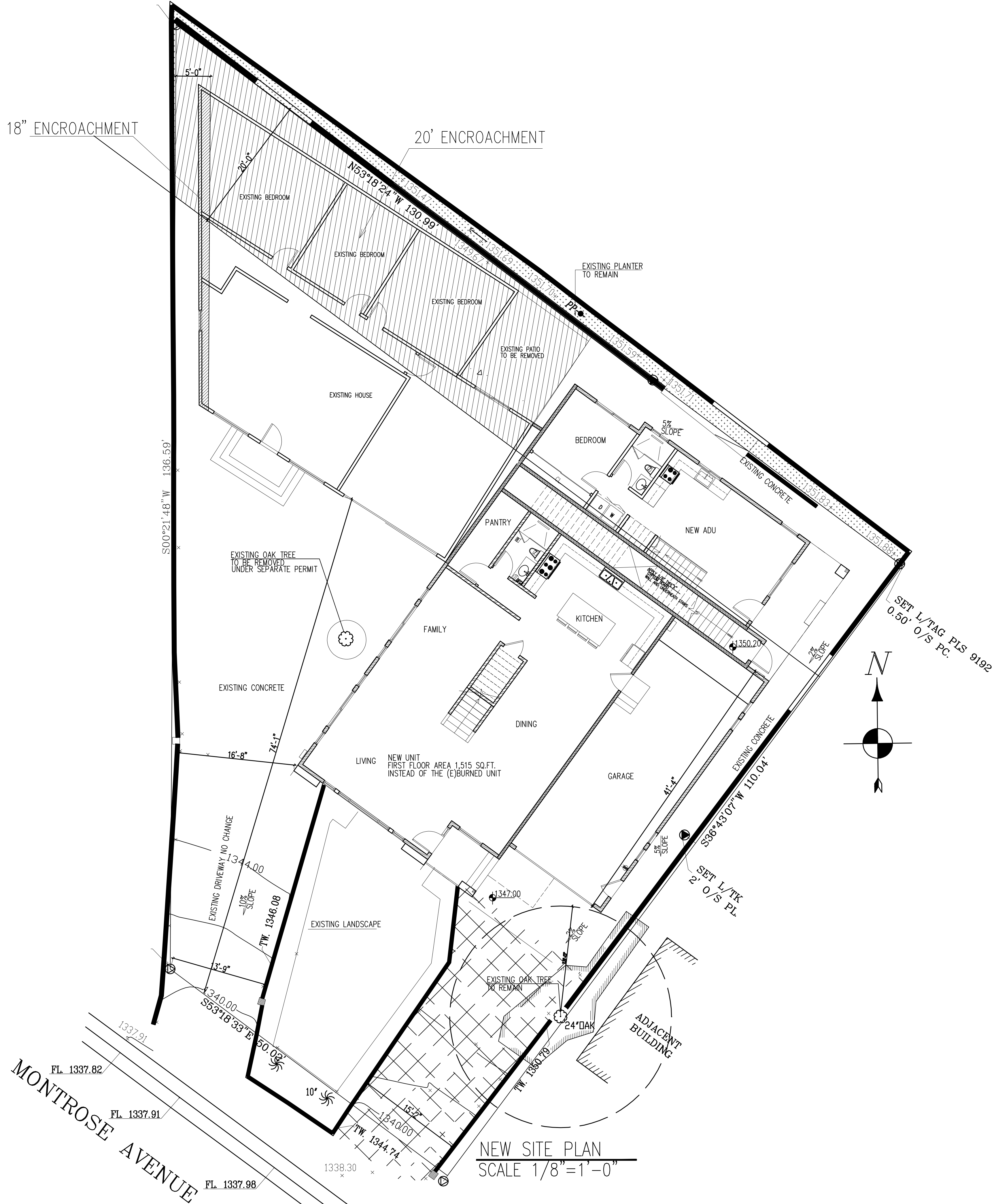
NEW 2 STOREY SECOND UNIT & ADU
2653 MONTROSE AVE.
MONTROSE, CA 91020

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EXISTING SITE PLAN



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EXISTING SITE PLANS

NEW 2 STOREY SECOND UNIT & ADU

2653 MONTROSE AVE.
MONTROSE, CA 91020

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SET L/TAG PLS 9192
PC.

TOP OF RIDGE
ELEV. 1364.30

ONE STORY
BUILDING

FINISH FLOOR
ELEV. 1350.05

FINISH SURFACE
ELEV. 1348.34

ONE STORY
BUILDING

EXISTING SITE PLAN
SCALE 1/8"=1'-0"

SET L/TAG PLS 9192
PC.

TOP OF RIDGE
ELEV. 1364.30

ONE STORY
BUILDING

FINISH FLOOR
ELEV. 1350.05

FINISH SURFACE
ELEV. 1348.34

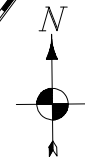
OAK TREE #1

OFF-SITE OAK TREE

OAK TREE #2

- NOTES
- NO EXISTING POOL ON SITE
 - NO EASEMENTS ON SITE
 - NO SLOPES 3:1 OR STEEPER WITHIN 4' OF PROPOSED ADDITION.
 - EXISTING OAK TREES ON THE PROPERTY TO BE REMOVED BY PERMIT
 - NO GRADING PROPOSAL.

OAK TREE MAP
BY
ARSEN MARGOSSIAN
CONSULTING ARBORIST (WE-7233A)
818 669 6469, ARSEN@PACBELL.NET



DARKJIAN ASSOCIATES
527 TANCANYON RD.
DUARTE, CA 91010
TEL: (818) 215-4828

SITE PLAN

SINGLE FAMILY HOUSE NEW ADU
2653 MONTROSE AVE.
MONTROSE, CA 91020

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Date: _____
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PROJECT NUMBER PRJ2023-002817-(5)
HEARING DATE 5/20/2025
REQUESTED ENTITLEMENT(S)
Yard Modification No. RPPL2023006469
Oak Tree Permit ("OTP") No. RPPL2023004186

PROJECT SUMMARY

OWNER / APPLICANT
Aykush Avakayan (Owner)

MAP/EXHIBIT DATE
July 18, 2024

PROJECT OVERVIEW

A request for a Yard Modification to authorize a three-foot-six inch west side yard setback in lieu of the required five-foot setback and a zero rear yard setback in lieu of the required 15-foot setback, and an OTP to authorize the removal of one non-heritage oak tree, and encroachment into the protected zone and crown reduction pruning of one non-heritage oak tree, identified as tree nos. 1 and 2 respectively, associated with the construction of a two-family residence with an attached accessory dwelling unit (to be approved under separate related ministerial Site Plan Review No. RPPL2023003860). Both oak trees are identified as coast live oak in an oak tree report prepared by Arsen Margossian, Consulting Arborist, dated May 2, 2023.

LOCATION
2653 Montrose Avenue, La Crescenta- Montrose

ACCESS
Montrose Avenue

ASSESSORS PARCEL NUMBER(S)
5610-029-050

SITE AREA
0.23 Acre

GENERAL PLAN / LOCAL PLAN
General Plan

ZONED DISTRICT Montrose
PLANNING AREA West San Gabriel Valley

LAND USE DESIGNATION
H9 (Residential 9: 0 to 9 Dwelling Units per Acre)

ZONE
R-2 (Two-Family Residence)

PROPOSED UNITS N/A
MAX DENSITY/UNITS N/A

COMMUNITY STANDARDS DISTRICT ("CSD")
La Crescenta- Montrose

ENVIRONMENTAL DETERMINATION (CEQA)

Class 1 Categorical Exemption – Existing Facilities
Class 3 Categorical Exemption – New Construction or Conversion of Small Structures
Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the General Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.174.060 (Oak Tree Permit Findings)
 - Section 22.196.030 (Yard Modification Findings and Decision Requirements)
 - Chapter 22.328 (La Crescenta- Montrose CSD)
 - Section 22.18.040 (Development Standards for Residential Zones)
 - Section 22.140.640 (Accessory Dwelling Units and Junior Accessory Dwelling Units)

CASE PLANNER:
Joshua Pereira

PHONE NUMBER:
(213) 893 - 7029

E-MAIL ADDRESS:
jpereira@planning.lacounty.gov

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
DRAFT FINDINGS OF THE HEARING OFFICER
AND ORDER
PROJECT NO. PRJ2023-002817-(5)
YARD MODIFICATION NO. RPPL2023006469
OAK TREE PERMIT NO. RPPL2023004186**

RECITALS

1. **HEARING DATE(S).** The Los Angeles County ("County") Hearing Officer conducted a duly noticed public hearing on May 20, 2025, in the matter of Project No. **PRJ2023-002817-(5)**, consisting of Yard Modification No. RPPL2023006469 and Oak Tree Permit ("OTP") No. RPPL2023004186 ("Project").
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT(S) REQUESTED.** The Permittee, Aykush Avakayan ("Permittee"), requests the Yard Modification to allow a reduced west side yard setback from the required five feet to three-foot-six-inch, and a reduced rear yard setback from the required 20 feet to zero in the R-2 (Two-Family Residence) Zone, associated with the development of a two-family residence and an attached accessory dwelling unit ("ADU") on a property located at 2653 Montrose Avenue, in the unincorporated community of La Crescenta-Montrose (Assessor's Parcel Number: 5610-029-050) ("Project Site") pursuant to County Code Section 22.196.010 (Yard Modifications Applicability)
4. **ENTITLEMENT(S) REQUESTED.** The Permittee requests an OTP to authorize the removal of one non-heritage oak tree (identified as Tree No. 1) and encroachment into the protected zone and crown reduction pruning of one non-heritage oak tree (identified as Tree No. 2) pursuant to County Code 22.174.030 (Oak Tree Permits Applicability).
5. **RELATED ENTITLEMENT(S):** The Project is associated with the development of a two-family residence and proposed two-story attached accessory dwelling unit ("ADU") ("associated development"), which will be authorized and reviewed under the separate Site Plan Review No. RPPL2023003860 ("related SPR").
6. **PREVIOUS ENTITLEMENT(S).** Certificate of Compliance No. 2023003701 was recorded on July 26, 2023.
7. **LAND USE DESIGNATION.** The Project Site is located within the H9 (Residential 9: 0-9 Dwelling Units per Acre) land use category of the County General Plan Land Use Policy Map.
8. **ZONING.** The Project Site is located in the West San Gabriel Valley Area Planning Area and within La Crescenta-Montrose Community Standard District ("CSD"), and is currently zoned R-2.

9. SURROUNDING LAND USES AND ZONING

LOCATION	GENERAL PLAN LAND USE POLICY*1	ZONING	EXISTING USES
NORTH	H-9	R-1 (Single-Family Residence)	Single-Family Residences ("SFRs")
EAST	H-9	R-2	SFRs
SOUTH	City of Glendale	City of Glendale	SFRs
WEST	H30 (Residential 30 - 20-30 dwelling units per acre) and City of Glendale	R-3 (Limited Density Multiple Residence) and City of Glendale	Multi-Family Residence ("MFR")

10. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is approximately 0.23 gross acre in size and consists of one legal lot. The Project Site is irregular in shape with gently sloping topography and is developed with a one-story SFR with an attached garage, and guest house and detached garage. The site currently has one oak tree on the premises (oak tree number 1), another oak tree on the neighboring property (oak tree number 2) and lastly, oak tree number three, which is not within the scope of work and off-site.

B. Site Access

The Project Site is accessible via Montrose Avenue, a 90-foot-wide Major Highway on the County Master Plan of Highways to the north. Primary access to the Project Site will be from Montrose Avenue.

C. Site Plan

The site plan depicts the Project Site with an existing one-story, 1,455 square-foot ("SF") SFR with an attached garage, a 912 SF guest house and a 492 SF detached garage. The guest house and garage are proposed to be demolished due to a prior house fire. Oak Tree No. 1 is a non-heritage oak tree located toward the center of the property and marked for removal. Oak Tree No. 2 is a non-heritage oak tree located along the eastern property line and will be maintained on the Project Site. The site plan depicts the proposed two-family residence consisting of the existing SFR unit and existing attached garage as well as a new two-story attached unit with new attached garage. Attached to the two-family residence is a new two-story ADU at the rear of the new two-family residence with a shared common open space located on the roof, with common amenities such as a bathroom and storage

¹ The application was deemed complete on December 7, 2023, before the West San Gabriel Valley Area Plan came into effect on March 11, 2025. As such, the Project is subject to and currently reviewed under the General Plan then in effect at the time the application was deemed complete

space. The construction depicted on the site plan will be separately reviewed and approved under the related SPR.

11. CEQA DETERMINATION.

Prior to the Hearing Officer's public hearing on the Project, LA County Planning staff ("Staff") determined that the Project qualified for Class 1 - Existing Facilities, Class 3- New Construction or Conversion of Small Structures, and Class 4 - Minor Alterations to Land categorical exemptions under the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA") the State CEQA Guidelines, and the County Environmental Document Reporting Procedures and Guidelines for the County.

Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of existing or former use. The Project includes a request to authorize a Yard Modification to allow a reduced west side yard setback and zero rear yard setback. The Project will continue the property's existing residential use, and the development footprint will not substantially expand what was previously existing. The Project Site has been used as an SFR since 1925. The Project Site and the surrounding properties have been altered from their natural conditions and exist in a fully developed part of La Crescenta-Montrose. The Project Site is currently occupied by an SFR, a guest house, an attached garage, and a detached garage; the remains of an existing guest house were previously damaged by a fire. This Yard Modification approval will allow the existing SFR to remain in place in its current location.

Class 3 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The Project involves the proposed construction of a new two-family residence and ADU on the site, which includes modification of the existing single-family residence and existing attached garage to become part of the new two-family residence.

Class 4 exemptions typically consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed except for forestry or agricultural purposes. Pursuant to the Los Angeles County CEQA Reporting Procedures and Guidelines, the Class 4 exemption allows for the removal of one or two trees with a diameter less than 36 inches and not categorized as a heritage tree. The Project consists of one non-heritage oak tree removal and one non-heritage oak tree encroachment. Tree No. 1, which is proposed to be removed, has a 22-inch diameter; therefore, not categorized as a heritage tree. The Oak Tree identified as Tree No. 2 will be impacted with regular crown reductions and pruning, as stated in the Arborist report. Due to Project Site constraints, the proposed construction cannot be achieved without Tree No. 1 removal. Furthermore, this tree is not considered a scenic tree nor a scenic resource, which is intended to be viewed from the public realm. Other similarly sized

oak trees exist in the Project vicinity. This tree is in average health condition as analyzed in the Arborist report. The oak trees on site and the surrounding neighbors create an oak woodland. An oak woodland is made of the two oaks on-site and the neighbor's off-site tree, as noted in the site plan. The removal of two of the three oak trees would result in a potentially significant impact because the oaks "represent a significant portion of the existing population of the species"; however, conditions of the oak tree ordinance, which requires replacement at 2:1, would mitigate for this impact. Furthermore, the project only proposes the removal of one oak (oak tree number 1). Thus, not creating a significant effect/impact on the area.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is a developed residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated.

12. **COMMUNITY OUTREACH.** No community outreach was conducted at the time of the report preparation.
13. **PUBLIC COMMENTS.** Staff has not received any comments at the time of the report preparation.
14. **AGENCY RECOMMENDATIONS.** The County Fire Department, Forestry Division ("Forester") recommended that the Project proceed to public hearing with required conditions of approval, in a letter dated August 6, 2024. The Forester also confirmed that the Oak Tree Report submitted by the Permittee is accurate and complete as to the location, size, condition and species of the oak trees on the Project Site and recommends several conditions of approval, which have been incorporated into this OTP.
15. **LEGAL NOTIFICATION.** Pursuant to Sections 22.228.040 (Public Hearing) and 22.174.040.E (Application with a Public Hearing) of the County Code, the community was properly notified of the public hearing by newspaper (*Glendale Independent*). On April 1, 2025, a total of 443 Notices of Public Hearing were mailed to those on the La Crescenta-Montrose Zoned District and OTP courtesy lists, and any additional interested parties within a 300-foot radius buffer. Additionally, case materials were available on LA County Planning's website

GENERAL PLAN CONSISTENCY FINDINGS

16. **LAND USE POLICY.** The Hearing Officer finds that the Project is consistent with the General Plan's Land Use Policy Map. The Project Site is designated H9, which is intended for single-family residences with a maximum residential density of nine units

per net acre. This Project is a request for a yard modification and oak tree permit to allow for the associated development of a new two-family residence and an ADU.

17. GOALS AND POLICIES. The Hearing Officer finds that the Project is consistent with the goals and policies of the General Plan. The following General Plan policies apply to the Project:

- *Goal LU 4: Infill development and redevelopment that strengthens and enhances communities.*
- *Policy LU 4.1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites*
- *Goal LU 7: Compatible land uses that complement neighborhood character and the natural environment.*

This Project is a request for a yard modification and OTP to allow the associated development of a two-family residence and attached ADU. The Project enhances the existing residential use by creating an additional unit and maximizing the development of a parcel within a developed area.

By maintaining a residential use on the Project Site, the Project and the associated development will contribute to the preservation of the neighborhood's residential character and is, therefore, consistent with the uses of the underlying land use category. The Project will be required to plant two mitigation oak trees as a result of removing one non-heritage oak tree and encroaching into the protected zone of one other non-heritage oak tree; a third oak tree with a canopy over the Project Site will not be affected by the associated development.

ZONING CODE CONSISTENCY FINDINGS

18. PERMITTED USE IN ZONE. The Hearing Officer finds that while the Project is a request for a yard modification for reduced side and rear yard setbacks and an OTP for one non-heritage removal and one non-heritage encroachment, the Project is consistent with the R-2 zoning classification as the associated development of a two-family residence with attached ADU is permitted in the R-2 Zone pursuant to County Code Section 22.18.030 (Regulations for Residential Zones), 22.196.010 (Yard Modifications Applicability) and 22.174.030 (Oak Tree Permits Applicability). The proposed use will be reviewed and approved by the related SPR.

19. YARD SETBACKS. The Hearing Officer finds that the Project is consistent with the setback standards identified in County Code Section 22.18.040 (Development Standards for Residential Zones) after the approval of the requested Yard Modification. The existing SFR is nonconforming due to standards because it is sited within the required five-foot west side yard setback and within the 15-foot rear yard setback. One portion of the existing SFR wall nearly touches the rear property line. Attaching a new primary structure to the existing nonconforming SFR will trigger the application of the current development standards of the R-2 Zone. Pursuant to County Code Section

22.172.020 (Nonconforming Uses, Buildings and Structures), a nonconforming use or a building or structure nonconforming due to use and/or standards may be continuously maintained provided there is no alteration, enlargement, or addition to any building or structure; no increase in occupant load; nor any enlargement of area, space, or volume occupied by or devoted to such use. As the associated development results in the “alteration, enlargement, or addition...” of the existing SFR, the legal nonconforming status of its existing setbacks no longer applies. Therefore, a yard modification is required to reduce the now-applicable R-2 Zone yard setback requirements. While the project is requesting a yard modification, the proposed development of a two-family residence and the construction of a new accessory dwelling unit complies with the current height, parking, side yard setback to the east, and the overall design of the County Code. Pursuant to Sections 22.140.580 (Single-Family Residences), 22.18.040 (Development Standards for Residential Zones) and 22.140.520 (Residential Design Standards). The proposed structures will maintain a 5-foot side yard setback (located to the east) and the ADU will be 5 feet away from the rear yard property line as an ADU can be located within 4 feet of the rear yard property line pursuant of County Code Section 22.140.640 (Accessory Dwelling Units). All yard setbacks will be reviewed and approved under separate permit (SPR No. RPPL2023003860).

20. MAXIMUM HEIGHT

The Hearing Officer finds that while the Project is a request for a yard modification for reduced side and rear yard setbacks and an OTP for one non-heritage removal and one non-heritage encroachment, the Project is consistent with the height requirements identified in County Code Section 22.18.044 D. (Development Standards for Residential Zones – Maximum Height), as the maximum height allowed is 35 feet and the height of the proposed structure is 34 feet-six-inches, below the maximum allowed. The proposed construction will be reviewed under separate permit.

21. RESIDENTIAL DESIGN STANDARDS

The Hearing Office finds that while the Project is a request for a yard modification for reduced side and rear yard setbacks and an OTP for one non-heritage removal and one non-heritage encroachment, the Project is consistent with residential design standards identified in County Code Section 22.140.520 (Residential Design Standards) in that:

- a. 22.140.520 3. (Building and Site Access) All buildings shall have a minimum of one direct pedestrian pathway from an adjoining street sidewalk or public right-of-way where sidewalks are not present to the front entrance of the building(s) or courtyard. The proposed Project will be designed to provide pedestrian access to the property. The proposed construction will be reviewed under separate permit.
- b. 22.140520 4. (Front Yards and Building Orientation) The primary dwelling unit of all single-unit buildings shall have at least one primary pedestrian entrance along the frontage oriented toward the primary adjoining street. The proposed Project has been designed to provide primary pedestrian entrance along the

frontage, oriented toward Montrose Avenue, the primary adjoining street. The proposed construction will be reviewed under separate permit.

YARD MODIFICATION FINDINGS

22. **The Hearing Officer finds that topographic features, subdivision plans, or other site conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirement or setback line.** The Project proposes to reduce the west side yard setback from five feet to three feet six inches for its new but existing setback and the rear yard setback from 20 feet to nearly zero feet to accommodate the associated development of a two-family residence and attached ADU. The associated development incorporates the existing SFR's setbacks, and no changes to the setbacks are proposed. Currently, Two-family residence is permitted within this zone, pursuant of County Code, section 22.18.030 (Regulations for Residential Zones) However, due to the development of the structure as a two-family residence, the existing setbacks are no longer legal nonconforming and require the Yard Modification for the structure to continue its setbacks. The Project proposes associated development without any other encroachments into the required yards.
23. **The Hearing Officer finds that the proposed structure is similar to the setbacks of other legally-built structures on adjacent or neighboring properties.** The Project includes a request to authorize the reduction of the required side and rear yard setbacks. Surrounding properties, such as 2648 and 2642 Fairway Avenue directly north of the subject site currently have a zero or reduced rear yard setback. The properties abutting the side of the property to the west and east line also (2659 and 2647 Montrose) have encroachments into the required side yard setback, along with other homes located on the same block facing Montrose Avenue. The Project Site follows similar residential characteristics such as the properties directly east and west of it. These properties benefit from these reduced setbacks, allowing them to fully use the lot areaenjoy the benefit of a reduced side and rear yard setback, allowing them to utilize more of the property.
24. **The Hearing Officer finds that the use, development of land, and application of development standards is in compliance with all applicable provisions of this [Title 22](#).** The Project Site is located within the R-2 Zone, where a two-family residence and an accessory structure are permitted within this zoning classification. The associated development is continuing a residential use and new construction to establish a new two-family residence with an attached two-story ADU. The two-family residence and attached ADU is compatible with surrounding residential land uses. The requested Yard Modification will not pose any significant changes to the surrounding area as the request allows for nonconforming setbacks of the existing SFR to remain, all new construction will meet the current Title 22. (Planning and Zoning).
25. **The Hearing Officer finds that the use, development of land, and application of development standards, when considered on the basis of the suitability of the site for**

the particular use or development intended, is so arranged as to avoid traffic congestion, provide for the safety and convenience of bicyclists and pedestrians, including children, senior citizens, and persons with disabilities, insure the protection of public health, safety, and general welfare, prevent adverse effects on neighboring property and is in conformity with good zoning practice. The Project Site has been used for residential purposes for nearly 100 years. The Project includes a request for a yard modification to reduce the west side and rear yard setback. No other required yard setbacks will be modified as a result of this request. The existing SFR is nonconforming due to standards because it is sited within the required five-foot west side yard setback and within the 15-foot rear yard setback. Attaching a new primary structure to the existing nonconforming SFR requires the application of the current development standards of the R-2 Zone. Pursuant to County Code Section 22.172.020 (Nonconforming Uses, Buildings and Structures), a nonconforming use or a building or structure nonconforming due to use and/or standards may be continuously maintained provided there is no alteration, enlargement, or addition to any building or structure; no increase in occupant load; nor any enlargement of area, space, or volume occupied by or devoted to such use. As the associated development results in the “alteration, enlargement, or addition...” of the existing SFR, the legal nonconforming status of its existing setbacks no longer applies. Therefore, a yard modification is required to reduce the now applicable R-2 Zone yard setback requirements. The Project along with the associated development will continue the residential use on the Project Site. The proposed two-family residence and ADU will maintain the neighborhood’s existing residential character and will be developed to meet all County requirements necessary to ensure public health and safety.

26. **The Hearing Officer finds that the use, development of land, and application of development standards is suitable from the standpoint of functional developmental design.** While the Project is a request for a Yard Modification, the two-family residence and attached ADU are a continuation of the residential use of the Project Site and has been designed to adhere to County development standards. The Project is consistent with the height requirements identified in County Code Section 22.18.044 D. (Development Standards for Residential Zones – Maximum Height), as the maximum height allowed is 35 feet and the height of the proposed structure is 34 feet-six-inches, below the maximum allowed. The Project is also consistent with residential design standards identified in County Code Section 22.140.520 (Residential Design Standards) related to building and site access, and front yards and building orientation, as all buildings shall have a minimum of one direct pedestrian pathway from an adjoining street sidewalk or public right-of-way where sidewalks are not present to the front entrance of the building(s) or courtyard. The proposed Project will be designed to provide pedestrian access to the property, and as the primary dwelling unit of all single-unit buildings shall have at least one primary pedestrian entrance along the frontage oriented toward the primary adjoining street. The proposed Project has been designed to provide primary pedestrian entrance along the frontage, oriented toward Montrose Avenue, the primary adjoining street. The development will be suitable for the Project Site as two-family residences are permitted with the R-2 Zone...

OAK TREE PERMIT FINDINGS

27. **The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.** The OTP is to authorize the removal of one non heritage sized oak tree, and encroachment into the protected zone and crown reduction pruning of another non heritage sized oak tree, identified as Tree No. 1 (to be removed) and Tree No. 2 on the site plan and Oak Tree Report. The associated construction activities are not expected to endanger the health of the remaining trees, as indicated in the oak tree report and no impact will occur on the off-site Oak Tree No. 3. Trenching will be conducted using hand tools to avoid cutting roots. Any exposed roots will be covered with wet burlap and kept moist until the soil is replaced. Conditions of approval have been assigned to the Project, requiring the Permittee to provide mitigation trees should the tree specified die as a result of the approved encroachments. The property owner will be required to replace a dead oak tree at a 2:1 ratio on the Project Site and follow-up monitoring will continue to be required to ensure survival.
28. **The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.** The removal of one non-heritage oak tree on the Project Site is proposed as a part of the Project, identified as Oak Tree No. 1. The OTP also includes a request to authorize encroachment and pruning into the protected zone of one non-heritage oak tree, designated as Oak Tree No. 2. The development of the related two-family residence and ADU will include measures to mitigate any soil erosion and manage the flow of surface waters at the Project Site.
29. **The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.** One oak tree will be removed as part of the proposed Project (oak tree No. 1). As the Project includes maintenance and proposed structures to the existing site, it would be infeasible to relocate the Project entirely outside of the protected area, as proposing to move the addition would further impact oak tree number 2 and possibly encroach into the front yard setback. The existing SFR uses much of the existing space, putting a limit on where the new SFR and ADU can be proposed. The proposed two-family residence is allowed, by right, within the R-2 Zone additionally, the encroachment of oak tree No. 2 will require the reduction of its crown and routine pruning. Oak Tree No. 2 will be closely monitored and will have conditions as part of the OTP.
30. **The Hearing Officer finds that the removal of the oak tree proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.** One non-heritage sized oak tree is proposed to be removed (oak tree No. 1) and another oak tree will be encroached upon (oak tree No. 2) as a result of this Project. Due to the irregular shape of the Project Site, the location of the existing SFR and oak trees, and the proposed new two-family residence, removal of the tree is

necessary in order to properly site this Project. Proposing to move the addition would further impact oak tree No. 2 and possibly encroach into the front yard setback. The existing SFR uses much of the existing space, putting a limit on where the new SFR and ADU can be proposed. As mitigation for the removal of the tree, the Permittee will be required to plant two replacement trees on the Project Site. Oak tree No. 2 will be encroached upon by the Project and should not suffer ill effects as a result of the Project. Conditions included with the project are measures to mitigate any potential harms to the remaining trees, including the erection of barrier fencing during construction of the two-family residence and ADU. The Project will comply with the OTP requirements and will mitigate for any tree that may die at a rate of two to one (2:1) pursuant to the OTP conditions.

ENVIRONMENTAL FINDINGS

31. The Hearing Officer finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines section 153031 Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of existing or former use. The Project includes a request to authorize a Yard Modification to a three-foot-six-inch west side yard setback in lieu of the required five-foot setback and zero rear yard setback (zero feet) in lieu of the required 15-foot setback to accommodate the new construction on the site and an OTP to authorize the removal of one oak tree and encroachment into the protected zone and crown reduction pruning of another, identified as tree No. 1 (to be removed) and No. 2.

Class 3 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The Project involves the proposed construction of a new two-family residence and ADU on the site, which includes modification of the existing single-family residence and existing attached garage to become part of the new two-family residence.

Class 4 exemptions typically consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed except for forestry or agricultural purposes. Pursuant to the Los Angeles County CEQA Reporting Procedures and Guidelines, the Class 4 exemption allows for the removal of one or two trees with a diameter less than 36 inches and not categorized as a heritage tree. The Project consists of one non-heritage oak tree removal and one non-heritage oak tree encroachment. Tree No. 1, which is proposed to be removed, has a 22-inch diameter; therefore, not categorized as a heritage tree. The Oak Tree identified as Tree No. 2 will be impacted with regular crown reductions and pruning, as stated in the Arborist report. Due to Project Site constraints, the proposed construction cannot be achieved without Tree No. 1 removal. Furthermore, this tree is not considered a scenic tree nor a scenic resource, which is intended to be viewed from the public realm. Other similarly sized oak trees exist in the Project vicinity. This tree is in average health condition as

analyzed in the Arborist report. The oak trees on site and the surrounding neighbors create an oak woodland. An oak woodland is made of the two oaks on-site and the neighbor's off-site tree, as noted in the site plan. The removal of two of the three oak trees would result in a potentially significant impact because the oaks "represent a significant portion of the existing population of the species"; however, conditions of the oak tree ordinance, which requires replacement at 2:1, would mitigate for this impact. Furthermore, the project only proposes the removal of one oak (oak tree number 1). Thus, not creating a significant effect/impact on the area.

ADMINISTRATIVE FINDINGS

32. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed structure is similar to the setbacks of other legally-built structures on adjacent or neighboring properties.
- B. The use, development of land, and application of development standards is in compliance with all applicable provisions of this Title 22.
- C. The use, development of land, and application of development standards, when considered on the basis of the suitability of the site for the particular use or development intended, is so arranged as to avoid traffic congestion, provide for the safety and convenience of bicyclists and pedestrians, including children, senior citizens, and persons with disabilities, insure the protection of public health, safety, and general welfare, prevent adverse effects on neighboring property and is in conformity with good zoning practice.
- D. The use, development of land, and application of development standards is suitable from the standpoint of functional developmental design.
- E. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.
- F. The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

- G. The encroachment of the oak trees proposed is necessary as their present location(s) frustrate the planned improvement or proposed use of the subject property.

THEREFORE, THE HEARING OFFICER:

1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15301 (Class 1 - Existing Facilities), 15302 (Class 3 Exemption - New Construction or Conversion of Small Structures), and 15304 (Class 4 Exemption - Minor Alterations to Land), and
2. Approves **YARD MODIFICATION NO. RPPL2023006469** and **OAK TREE PERMIT No. RPPL2023004186**, subject to the attached conditions.

ACTION DATE: May 20, 2025

MRB:JP

5/20/2025

c: Hearing Officer, Zoning Enforcement, Building and Safety

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING**

**DRAFT CONDITIONS OF APPROVAL
PROJECT NO. PRJ2023-002817-(5)
YARD MODIFICATION NO. RPPL2023006469
OAK TREE PERMIT NO. RPPL20230004186**

PROJECT DESCRIPTION

The project is a request for a Yard Modification to allow a three-foot-six-inch west side yard setback in lieu of the required five-foot setback, and zero rear yard setback in lieu of the required 20-foot setback in the R-2 (Two-Family Residence) Zone. The project also includes an Oak Tree Permit to authorize the removal of one non-heritage oak tree (Oak Tree No. 1), and encroachment into the protected zone and crown reduction pruning of one non-heritage oak tree (Oak Tree No. 2), associated with the development of a two-family residence with an attached accessory dwelling unit, subject to the following conditions of approval:

GENERAL CONDITIONS

1. **Permittee.** Unless otherwise apparent from the context, the term “Permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. **Affidavit of Acceptance.** This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
3. **Indemnification.** The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. **Litigation Deposit.** In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the

defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. **Invalidation.** If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. **Transfer.** Upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. **Grant Term.** This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. **Inspections.** The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for any inspection shall be **\$456.00** per inspection, or the current recovery cost established by LA County Planning at the time any inspections are required, whichever is greater.

Inspections may be unannounced. Inspections may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS). Use of a UAS requires the consent of the Permittee pursuant to LA County Planning's UAS policy, which may be updated from time to time, and which shall be provided to the Permittee upon request.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$456.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. **Revocation.** Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
10. **Fire Code.** All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
11. **County Department of Public Works Requirements.** All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. **Exhibit "A".** All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").

PERMIT SPECIFIC CONDITIONS – YARD MODIFICATION

13. **Grant.** This grant shall authorize the reduction of the side yard by one-foot-three inches and the zero rear yard setback associated with the development of a two-family residence and the construction of new accessory dwelling unit.

PERMIT SPECIFIC CONDITIONS – OAK TREE PERMIT

14. **Grant.** This grant shall authorize the removal of one non-heritage oak tree (identified as Tree No. 1) and encroachment into the protected zone of and crown reduction pruning of another non-heritage oak tree (identified as Tree No. 2), as depicted on Exhibit "A", associated with the development of a two-family residence and the construction of new accessory dwelling unit.
15. **County Forester.** The Permittee shall comply with all conditions and requirements contained in the County Forester ("Forester") letter dated August 6, 2024 (attached hereto), to the satisfaction of said Forester, except as otherwise required by the Forester and by these conditions.

16. **Consulting Arborist.** Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director and the Forester stating that he or she has been retained by the Permittee to perform or supervise the work, and that he or she agrees to report to the Director and the Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
17. **Replacement Ratio.** The Permittee shall provide mitigation trees of the Oak genus at a ratio of two to one (2:1) for any tree removal specified above and any tree specified above that dies as a result of the approved encroachments.
18. **Replacement Trees.** All required replacement trees shall be planted on native undisturbed soil and shall be the same species of oak (*Quercus* sp.) as the removed or dead tree. The location of the replacement tree shall be in the vicinity of other oak trees of the same species. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
19. **Rooting Zones of Replacement Trees.** When replacement trees are planted on disturbed soil or are not in the vicinity of the same species of oak (*Quercus* sp.) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

Attachments:

Fire Letter dated August 6, 2024

Oak Trees: Care and Maintenance Guide

Oak Tree Report prepared by Arsen Margossian, MS, Consulting Arborist



COUNTY OF LOS ANGELES

FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

"Proud Protectors of Life, Property, and the Environment"

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FOURTH DISTRICT

KATHRYN BARGER
FIFTH DISTRICT

August 6, 2024

Sean Donnelly, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Sean Donnelly:

OAK TREE PERMIT NUMBER RPPL2023004186 2653 MONTROSE AVENUE, MONTROSE

We have reviewed the "Request for Oak Tree Permit #RPPL2023004186." The project is located at 2653 Montrose Avenue in the unincorporated area of Montrose. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Arsen Margossian, the consulting arborist, dated May 2, 2023.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS	CARSON	EL MONTE	INGLEWOOD	LAWNDALE	PICO RIVERA	SIGNAL HILL
ARTESIA	CERRITOS	GARDENA	IRVINDALE	LOMITA	POMONA	SOUTH EL MONTE
AZUSA	CLAREMONT	GLENDORA	LA CANADA-FLINTRIDGE	LYNWOOD	RANCHO PALOS VERDES	SOUTH GATE
BALDWIN PARK	COMMERCE	HAWAIIAN GARDENS	LA HABRA	MALIBU	ROLLING HILLS	TEMPLE CITY
BELL	COVINA	HAWTHORNE	LA MIRADA	MAYWOOD	ROLLING HILLS ESTATES	VERNON
BELL GARDENS	CUDAHY	HERMOSA BEACH	LA PUENTE	NORWALK	ROSEMEAD	WALNUT
BELLFLOWER	DIAMOND BAR	HIDDEN HILLS	LAKEWOOD	PALMDALE	SAN DIMAS	WEST HOLLYWOOD
BRADBURY	DUARTE	HUNTINGTON PARK	LANCASTER	PALOS VERDES ESTATES	SANTA CLARITA	WESTLAKE VILLAGE
CALABASAS		INDUSTRY		PARAMOUNT		WHITTIER

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE REMOVAL AND ENCROACHMENT:

7. This grant allows the removal of one (1) tree of the Oak genus (*Quercus agrifolia*) identified as Tree Number 1 on the applicant's site plan and Oak Tree Report. This grant allows encroachment within the protected zone of one (1) tree of the Oak genus identified as Tree Number 2 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with

the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for each tree removed for a total of two (2) trees. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of Quercus agrifolia, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.
17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,



KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION
PREVENTION SERVICES BUREAU

KT:jl

Enclosure



OAK TREES: Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

The Oak Tree

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

http://lacofd.org/Forestry_folder/otordin.htm

Or contact:

Department of Regional Planning
320 W. Temple Street, 13th floor
Los Angeles, CA 90012-3284
(213) 974-6411
TDD: (213) 617-2292
<http://planning.co.la.ca.us>

Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.



Valley Oak
QUERCUS LOBATA

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG: PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS: FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERELY BY AGRICULTURE AND URBAN DEVELOPMENT.



Coast Live Oak
QUERCUS AGRIFOLIA

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG: SPINY, ROUNDED, AND HOLLY-LIKE BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.



Interior Live Oak
QUERCUS WIGLIZENII

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

OTHER COMMON OAKS:

CALIFORNIA BLACK OAK: *QUERCUS KELLOGGII*
CANYON LIVE OAK: *QUERCUS CHRYSOLEPIS*
ENGELMANN OAK: *QUERCUS ENGELMANNII*

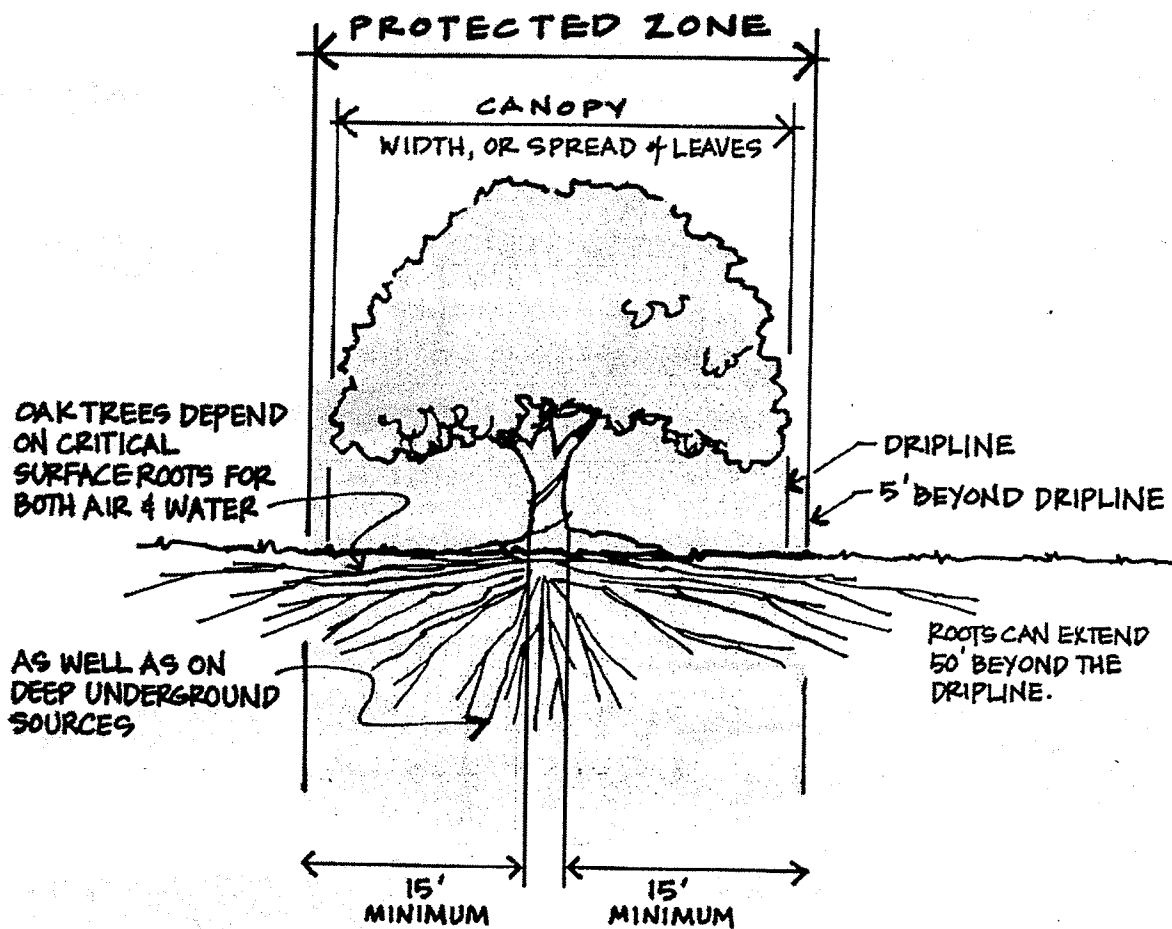
THE PROTECTED ZONE

The **protected zone** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

"The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater."



CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should be avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

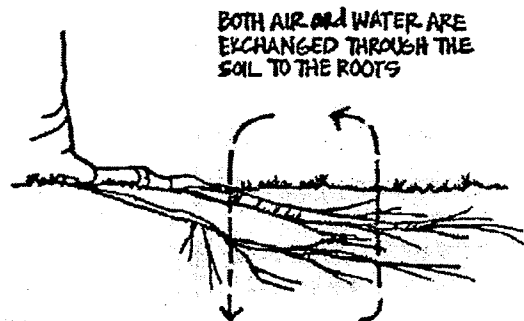
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

Soil Compaction and Paving

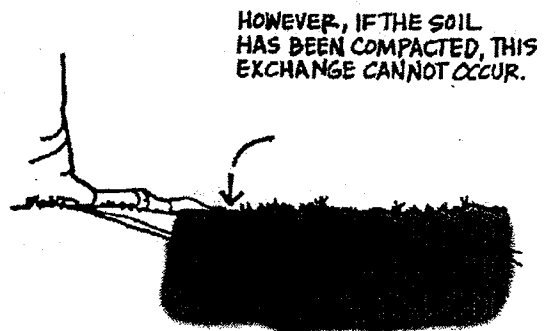
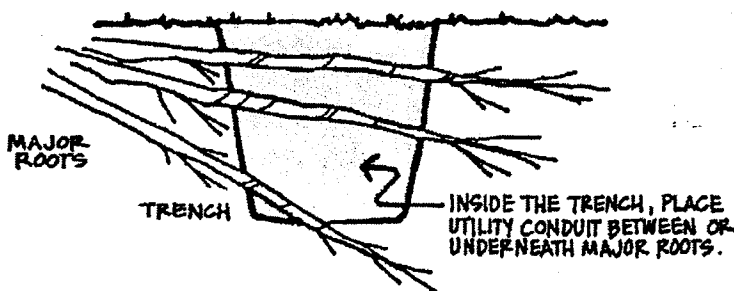
The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).

SOIL COMPACTION



TRENCHING



MAINTENANCE

Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

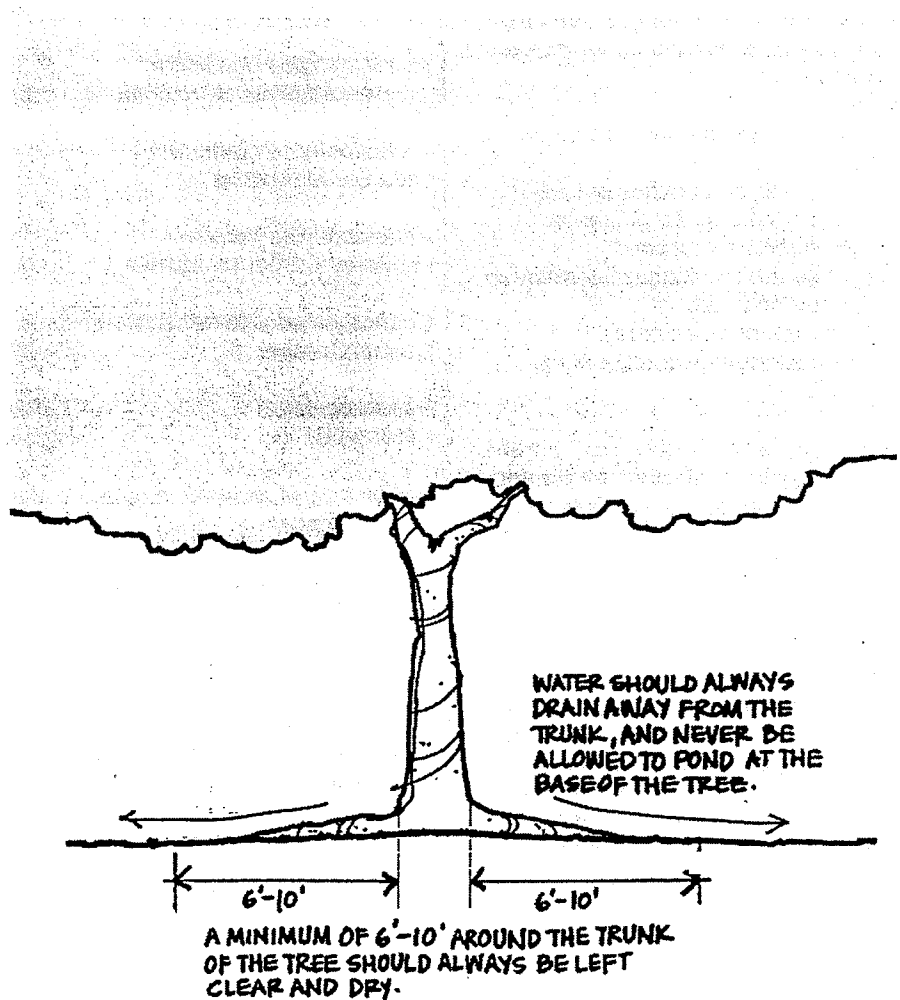
Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for "dry shade." Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

PLANTS TO CONSIDER:

Plant Name	Description
<i>Arctostaphylos densiflora</i> 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
<i>Arctostaphylos edmundsii</i> Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
<i>Ceanothus griseus horizontalis</i> Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
<i>Heuchera</i> spp. Coral Bells	2-4' mound. Flowers on an upright stem 2-3" high and spotted with red or pink.
<i>Mahonia aquifolium compacta</i> Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
<i>Ribes viburnifolium</i> Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

NOTES:

Before deciding on plants, check a source such as the Sunset Western Garden Book to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

ADDITIONAL RESOURCES and Places to Visit

Public Agencies

County of Los Angeles Fire Department
Prevention Bureau, Forestry Division
5823 Rickenbacker Road, Rm #123
Commerce, CA 90040-3027
(323) 890-4330
<http://lacofd.org/forestry.htm>

University of California
Integrated Hardwood Range Management Program
163 Mulford Hall, Berkeley, CA 94720-3114
<http://danr.ucop.edu/ihrmp>

Private Organizations

The Theodore Payne Foundation
10459 Tuxford Street
Sun Valley, CA 91352-2126
(818) 768-1802
www.theodorepayne.org

California Native Plant Society
1722 J Street, Suite 17
Sacramento, CA 95814-3033
(916) 447-2677
www.cnps.org

The California Oak Foundation
1212 Broadway, Suite 810
Oakland, CA 94612-1810
(510) 763-0282
www.californiaoaks.org

Arboretums and Botanic Gardens

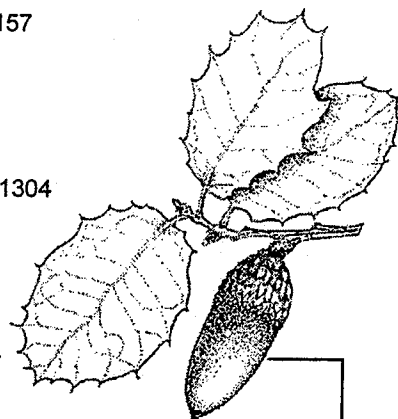
Los Angeles County Arboreta and Botanic Gardens
301 N. Baldwin Ave.
Arcadia, CA 91007-2697
(626) 821-3222
www.arboretum.org

Los Angeles County South Coast Botanic Garden
26300 Crenshaw Blvd.
Palos Verdes Peninsula, CA 90274-2515
(310) 544-6815
www.southcoastbotanicgarden.org

Los Angeles County Descanso Gardens
1418 Descanso Drive
La Canada-Flintridge, CA 91011-3102
(818) 949-4200
www.descansogardens.org

Rancho Santa Ana Botanic Garden
1500 North College
Claremont, CA 91711-3157
(909) 625-8767
www.rsabg.org

The Lummis Home
200 E. Avenue 43
Los Angeles, CA 90031-1304
(213) 222-0546



Publications

Compatible Plants Under and Around Oaks. Bruce W. Hagen... [et al]. The California Oak Foundation. 2000.

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Regenerating Rangeland Oaks in California. University of California Integrated Range Management Program. 2001.



County of Los Angeles Fire Department Forestry Division

County of Los Angeles Board of Supervisors

Gloria Molina, First District
Yvonne Brathwaite Burke, Second District
Zev Yaroslavsky, Third District
Don Knabe, Fourth District
Michael D. Antonovich, Fifth District

County of Los Angeles Fire Department

P. Michael Freeman, Fire Chief

Brush Clearance Unit
605 N. Angeleno Avenue
Azusa, CA 91702-2904
(626) 969-2375

Camp 17
6555 Stephens Ranch Road
La Verne, CA 91750-1144
(909) 593-7147

Environmental Review Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5719

Fire Plan/Interpretive Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5783

Fuel Modification Unit
605 N. Angeleno Avenue
Azusa, CA 91702-2904
(626) 969-5205

Henninger Flats Forestry Unit
2260 Pinecrest Drive
Altadena, CA 91001-2123
(626) 794-0675

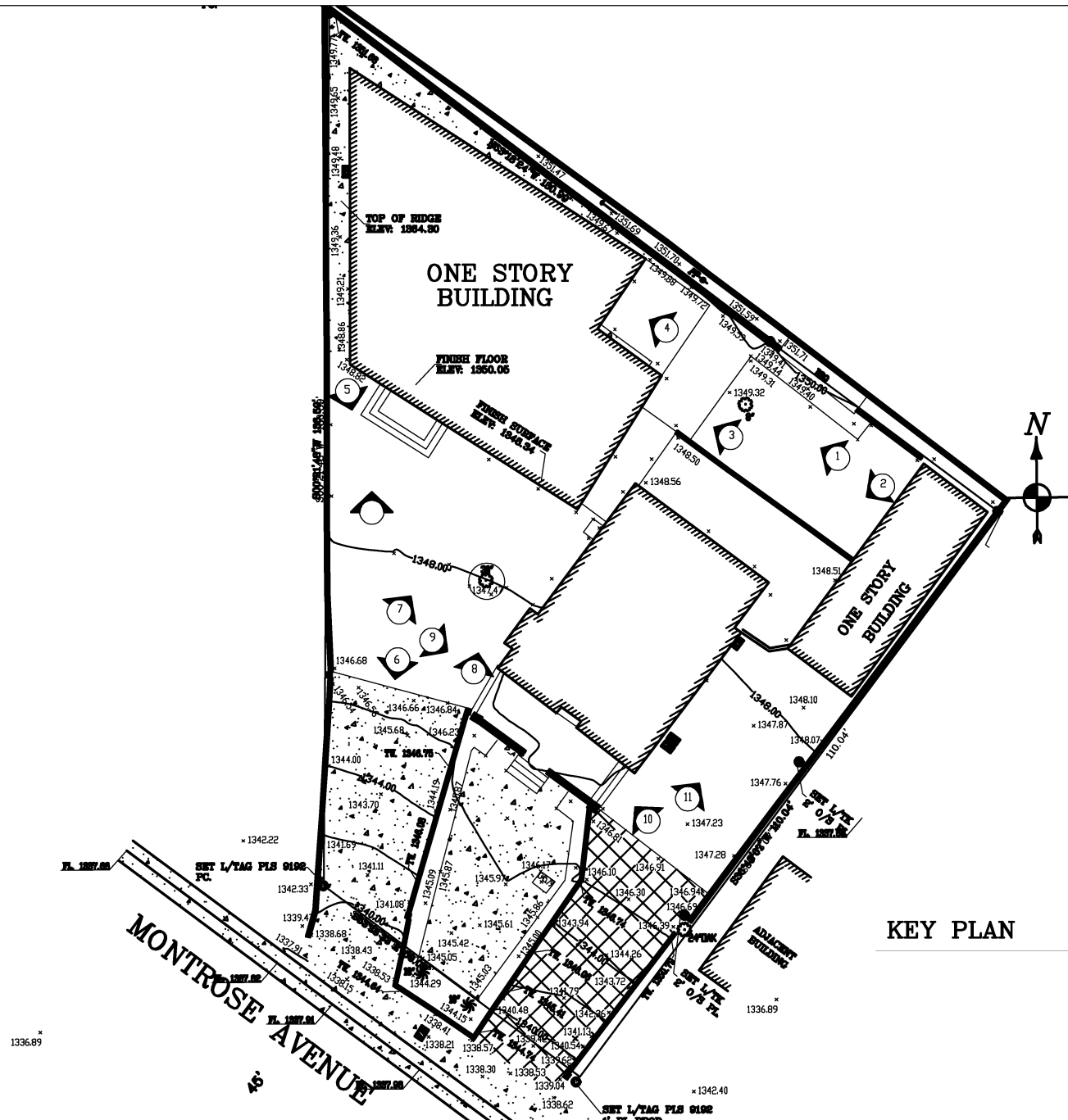
Lake Hughes Forestry Unit
42150 N. Lake Hughes Road
Lake Hughes, CA 93532-9706
(661) 724-1810

Malibu Forestry Unit
942 N. Las Virgenes Road
Calabasas, CA 91302-2137
(818) 222-1108

San Dimas Forestry Unit
1910 N. Sycamore Canyon Road
San Dimas, CA 91773-1220
(909) 599-4615

Saugus Forestry Unit
28760 N. Bouquet Canyon Road
Saugus, CA 91390-1220
(661) 296-8558

Vegetation Management Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5720



KEY PLAN

























2655



OAK TREE PERMIT WITH PUBLIC HEARING
STATEMENT OF FINDINGS

Please identify the number of oak trees proposed for:

1 Removal Encroachment To Remain Total existing oak trees

Pursuant to County Code Section [22.174.060](#): Findings, the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

B.1 The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.

THE NEW CONSTRUCTION WILL HAVE NO IMPACT ON THE TREE.
THE TREE IS BLOCKING ACCESS TO THE TWO CAR GARAGE AND
MUST BE REMOVED FOR FULL ACCESS

B.2 The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

NO. THE TREE IS ON A FLAT LAND AND SURROUNDED
BY CONCRETE.

B.3 In addition to the above facts, at least one of the following findings apply:

- a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that:
 - i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or
 - ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized;
- b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or
- c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.

FINDING 2c APPLY. BECAUSE THE TREE IS IN THE
CENTRAL OF THE GARAGE DOOR.

B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

THE REMOVAL IS LIMITED TO ONE TREE
THEREFORE IT'S NOT IN SUBSTANTIAL CONFLICT WITH
INTENT AND PURPOSE OF THE OAK TREE PERMIT
PROCEDURE.

YARD MODIFICATION
STATEMENT OF FINDINGS

Pursuant to County Code Section 22.196.030: Findings and Decision, the applicant shall substantiate the following facts:

(Do not repeat the statements or provide one word or Yes/No responses. If necessary, attach additional pages.)

- B.1. Topographic features, subdivision plans, or other site conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirement or setback line.

THE MAIN STRUCTURE WAS BUILT IN THE 1930'S AND THE ADDITION WAS DONE IN AN UNKNOWN YEAR. THE HISTORIC AERIALS MAP FROM 1987 SHOWS THE SITE AS IS TODAY. THE EXISTING SETBACK OF 3'-8" IS (E) NON-CONFORMING AND BEEN THERE FOR MORE THAN 40 YEARS.

- B.2. The proposed structure is similar to the setbacks of other legally-built structures on adjacent or neighboring properties.

THE PROPERTY ON THE NORTH (2661 MONTROSS AVE) SETBACK FOR BOTH FRONT AND REAR UNITS IS 4'-3" WHICH IS LESS THAN 5'-0"

- B.3. The use, development of land, and application of development standards is in compliance with all applicable provisions of this Title 22.

THE USE IS S-F-D WAS BUILT IN THE 1930'S AND EXPANDED SOME TIMES AGO IN COMPLIANCE OF TITLE 22 WITH THE SIDE SETBACK EXCEPTION.

B.4. The use, development of land, and application of development standards, when considered on the basis of the suitability of the site for the particular use or development intended, is so arranged as to avoid traffic congestion, provide for the safety and convenience of bicyclists and pedestrians, including children, senior citizens, and persons with disabilities, insure the protection of public health, safety, and general welfare, prevent adverse effects on neighboring property and is in conformity with good zoning practice.

THE HOUSE IS LOCATED AT THE REAR OF THE LOT AND 70' AWAY FROM THE STREET. THE NON-CONFORMING ADDITION WILL NOT HAVE ANY IMPACT ON THE SAFETY AND CONVENIENCE OF PEOPLE RESIDING IN THE AREA. THE ENCROACHMENT BEEN THERE FOR AT LEAST 40 YEARS WITHOUT ANY COMPLAINT FROM ANYONE.

B.5. The use, development of land, and application of development standards is suitable from the standpoint of functional developmental design.

THE ENCROACHED PART OF THE HOUSE IS THE KITCHEN NOW AND REMOVING IT WILL HAVE A SIGNIFICANT FINANCIAL IMPACT TO THE OWNERS BECAUSE THEY HAVE TO REDISIGN THE HOUSE.

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: May 20, 2025
 PROJECT NUMBER: PRJ2023-002817-(5)
 PERMIT NUMBER(S): YARD MODIFICATION NO. RPPL2023006469
 OAK TREE PERMIT ("OTP") RPPL2023004186
 SUPERVISORIAL DISTRICT: 5
 PROJECT LOCATION: 2653 Montrose Avenue, La Crescenta- Montrose
 OWNER: Aykush Avakayan
 Applicant: Aykush Avakayan
 CASE PLANNER: Joshua Pereira, Regional Planner
 Jpereiraa@planning.lacounty.gov

Los Angeles County ("County") completed an initial review for the above-mentioned project. Based on an examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The project qualifies as a Categorical Exemption (Class 1 Exemption, Existing Facilities, Class 3 Exemption, New Construction or Conversion of Small Structures, Class 4 Exemption, Minor Alterations to Land under the California Environmental Quality Act (CEQA) and the County environmental guidelines.

Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of existing or former use. The Project includes a request to authorize a Yard Modification to allow a reduced west side yard setback and zero rear yard setback. The Project will continue the property's existing residential use, and the development footprint will not substantially expand what was previously existing. The Project Site has been used as an SFR since 1925. The Project Site and the surrounding properties have been altered from their natural conditions and exist in a fully developed part of La Crescenta-Montrose. The Project Site is currently occupied by an SFR, a guest house, an attached garage, and a detached garage; the remains of an existing guest house were previously damaged by a fire. This Yard Modification approval will allow the existing SFR to remain in place in its current location.

Class 3 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor

modifications are made in the exterior of the structure. The Project involves the proposed construction of a new two-family residence and ADU on the site, which includes modification of the existing single-family residence and existing attached garage to become part of the new two-family residence.

Class 4 exemptions typically consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed except for forestry or agricultural purposes. Pursuant to the Los Angeles County CEQA Reporting Procedures and Guidelines, the Class 4 exemption allows for the removal of one or two trees with a diameter less than 36 inches and not categorized as a heritage tree. The Project consists of one non-heritage oak tree removal and one non-heritage oak tree encroachment. Tree No. 1, which is proposed to be removed, has a 22-inch diameter; therefore, not categorized as a heritage tree. The Oak Tree identified as Tree No. 2 will be impacted with regular crown reductions and pruning, as stated in the Arborist report. Due to Project Site constraints, the proposed construction cannot be achieved without Tree No. 1 removal. Furthermore, this tree is not considered a scenic tree nor a scenic resource, which is intended to be viewed from the public realm. Other similarly sized oak trees exist in the Project vicinity. This tree is in average health condition as analyzed in the Arborist report. The oak trees on site and the surrounding neighbors create an oak woodland. An oak woodland is made of the two oaks on-site and the neighbor's off-site tree, as noted in the site plan. The removal of two of the three oak trees would result in a potentially significant impact because the oaks "represent a significant portion of the existing population of the species"; however, conditions of the oak tree ordinance, which requires replacement at 2:1, would mitigate for this impact. Furthermore, the project only proposes the removal of one oak (oak tree number 1). Thus, not creating a significant effect/impact on the area.

Due to site constraints, the proposed construction cannot be achieved without the Tree No. 1 removal, and furthermore, it is not considered a scenic tree nor a scenic resource, which is intended to be viewed from the public realm. Other similarly sized oak trees exist in the project vicinity. This tree is in average health condition as illustrated in the Arborist report.

The two affected onsite oak trees, along with the offsite oak tree, do not constitute an intact woodland, but a severely degraded woodland. According to the Los Angeles Oak Woodland Conservation Management Plan, the proposed activities in a severely degraded woodland or moderately degraded woodland are considered low-level impacts, and there is no further loss of ecosystem services considered. The subject property is disturbed and developed with a single-family residence, a guesthouse, garages, and other accessory structures.

The Los Angeles County Fire Department – Forestry Division ("Forester") has reviewed the Project for the requested removal, encroachment, and pruning. The Forester will require the implementation of protective measures to ensure the continued survival of Tree No. 2. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by using hand tools or small hand-held power tools. The arborist's tree protection measures and tree care instructions during construction will also be required. If an

oak tree should die from the construction impacts, the applicant will be required to replace a dead oak tree at a 2:1 ratio. Two replacement oaks and subsequent monitoring by County Forester to ensure the survival of the replacement trees will be required as part of the conditions of approval for the OTP for this one tree removal to ensure there is no net loss of oak trees in the ecosystem. These recommended conditions of approval by the Forester and the recommendations provided in the Oak Tree Report are incorporated by reference in the OTP. The Forester has determined them to be sufficient to recover any losses to trees.

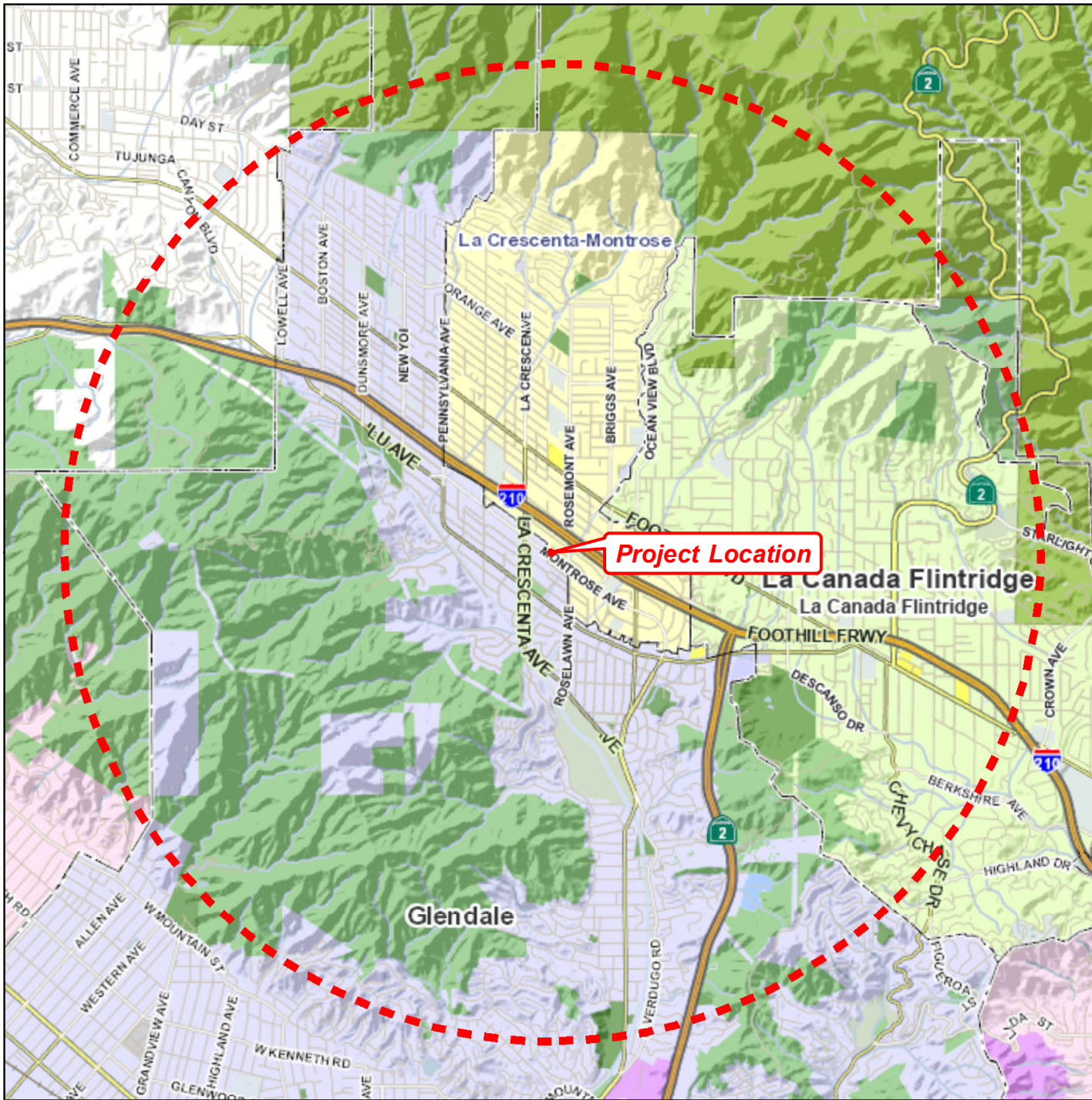
Oak Tree No. 1 is proposed to be removed in part of the new two- family residence. Although Tree No. 1 is proposed to be removed, it is not considered a scenic tree, and other similarly sized oak trees exist in the project vicinity. Furthermore, two replacement oaks and subsequent monitoring to ensure the survival of the replacement trees will be required as part of the conditions of approval for the OTP for this one tree removal to ensure there is no net loss of oak trees in the ecosystem.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations.

- a) Location: The Project Site does not contain any identified environmental resource of hazardous or critical concern as designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.
- b) Cumulative Impacts: The Project involves the removal of one non-heritage oak tree (identified as Tree No. 1) and encroachment into the protected zone of and crown reduction pruning of another non-heritage oak tree (identified as Tree No. 2), associated with the development of a two-family residence and the construction of new accessory dwelling unit in addition to the existing SFR.
- c) "Unusual Circumstances" or Significant Effects: The Project is to authorize encroachment into the protected zone of one oak tree and removal of one oak tree, in order to construct a new two-family residence, and a new 1,197 square-foot attached ADU. Adequate utilities and roadway infrastructure already exist to serve the Project Site, and no environmentally sensitive areas will be impacted as none exist.
- d) Scenic Highways: According to California's Scenic Highway Program, which is administered by Caltrans, the Project Site is not located within or near an officially designated state scenic highway.
- e) Hazardous Waste Sites: The Project Site is not located on a site that is included on any list compiled pursuant to Government Code Section 65962.5. According to the California Department of Toxic Substances Control's EnviroStor and State Water Resources Control Board's GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List-Site Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts

with the lists compiled by the California Department of Health Services. Finally, the Project Site is not included in any Water Board's list of solid waste disposal sites, list of "active" orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).

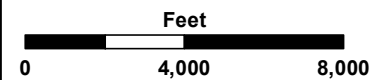
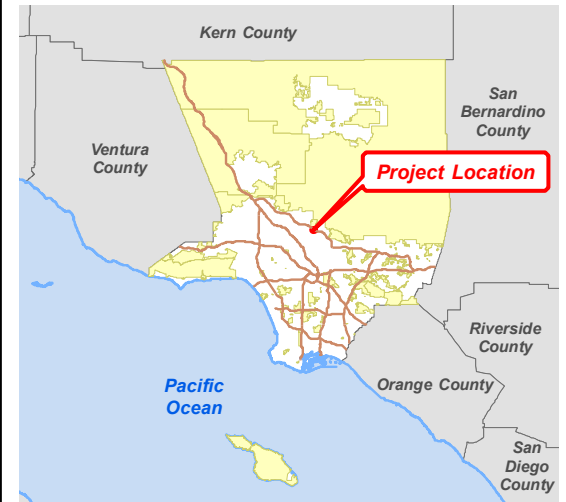
- f) Historical Resources: The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources or included in a local register of historical resources. According to the County's Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1.



3-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2023-002817-(5)
OTP RPPL2023004186



LA COUNTY
PLANNING

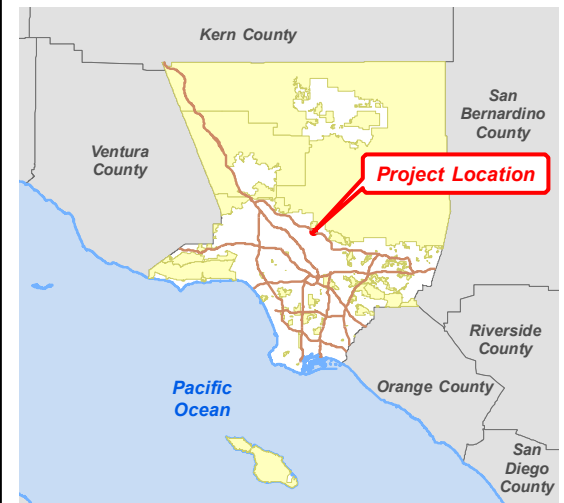
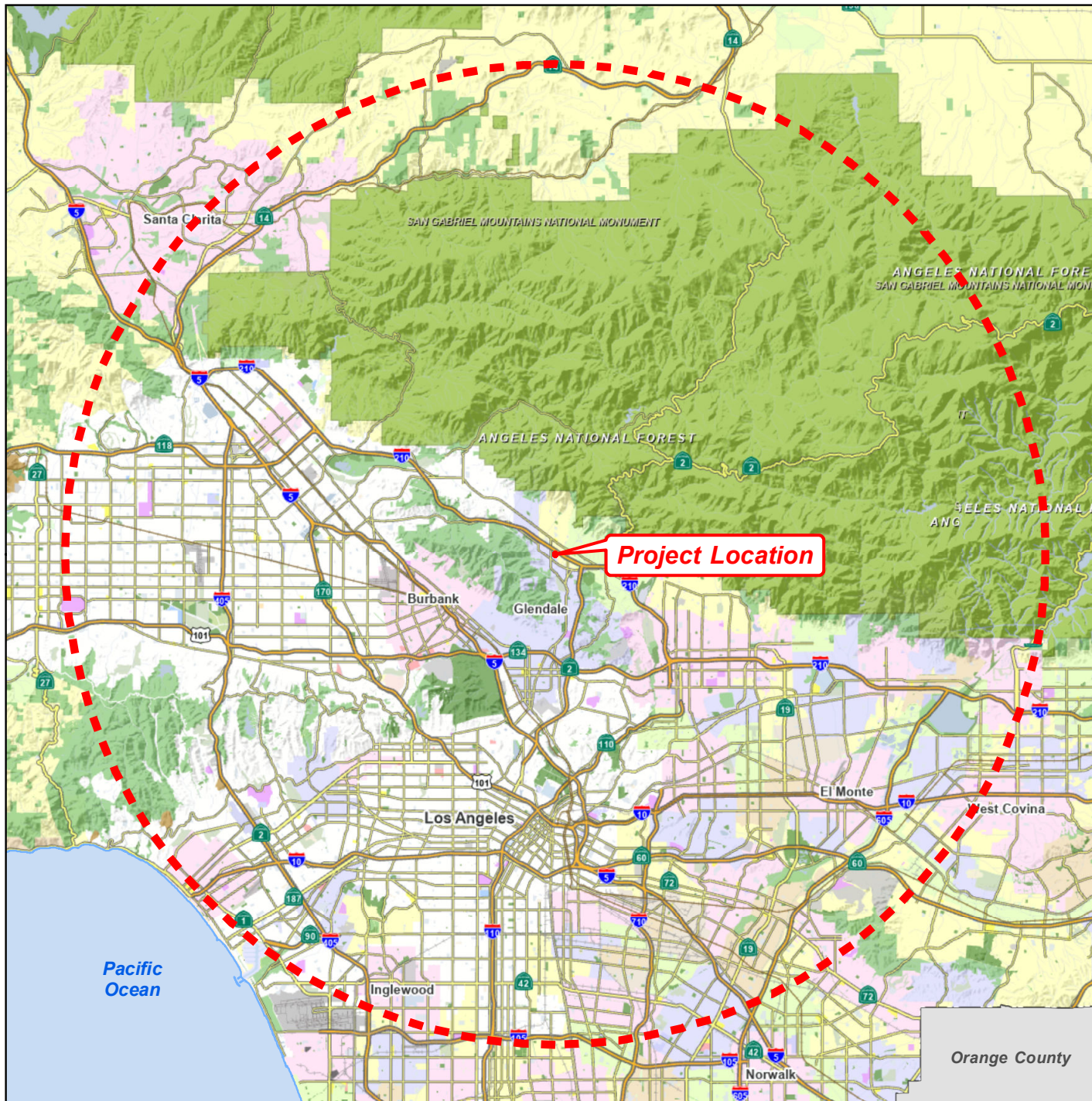
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

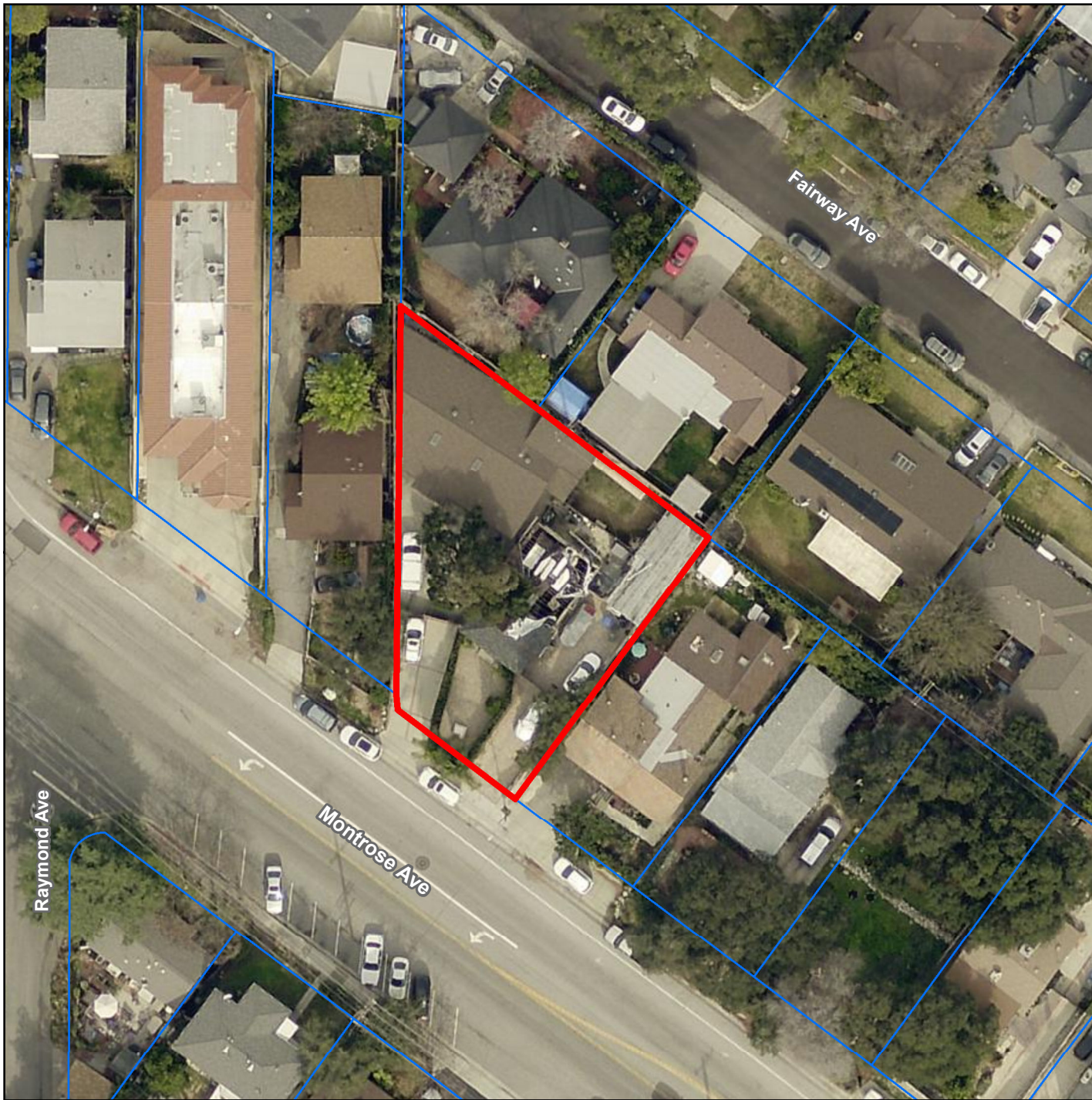
PROJECT NO. PRJ2023-002817-(5)

OTP RPPL2023004186



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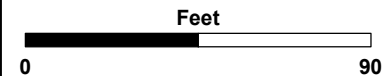


AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2023-002817-(5)
OTP RPPL2023004186

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2023



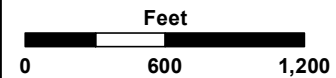
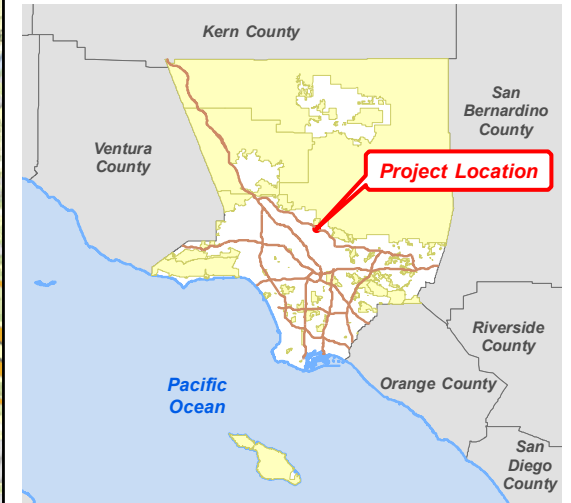
LA COUNTY
PLANNING

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Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



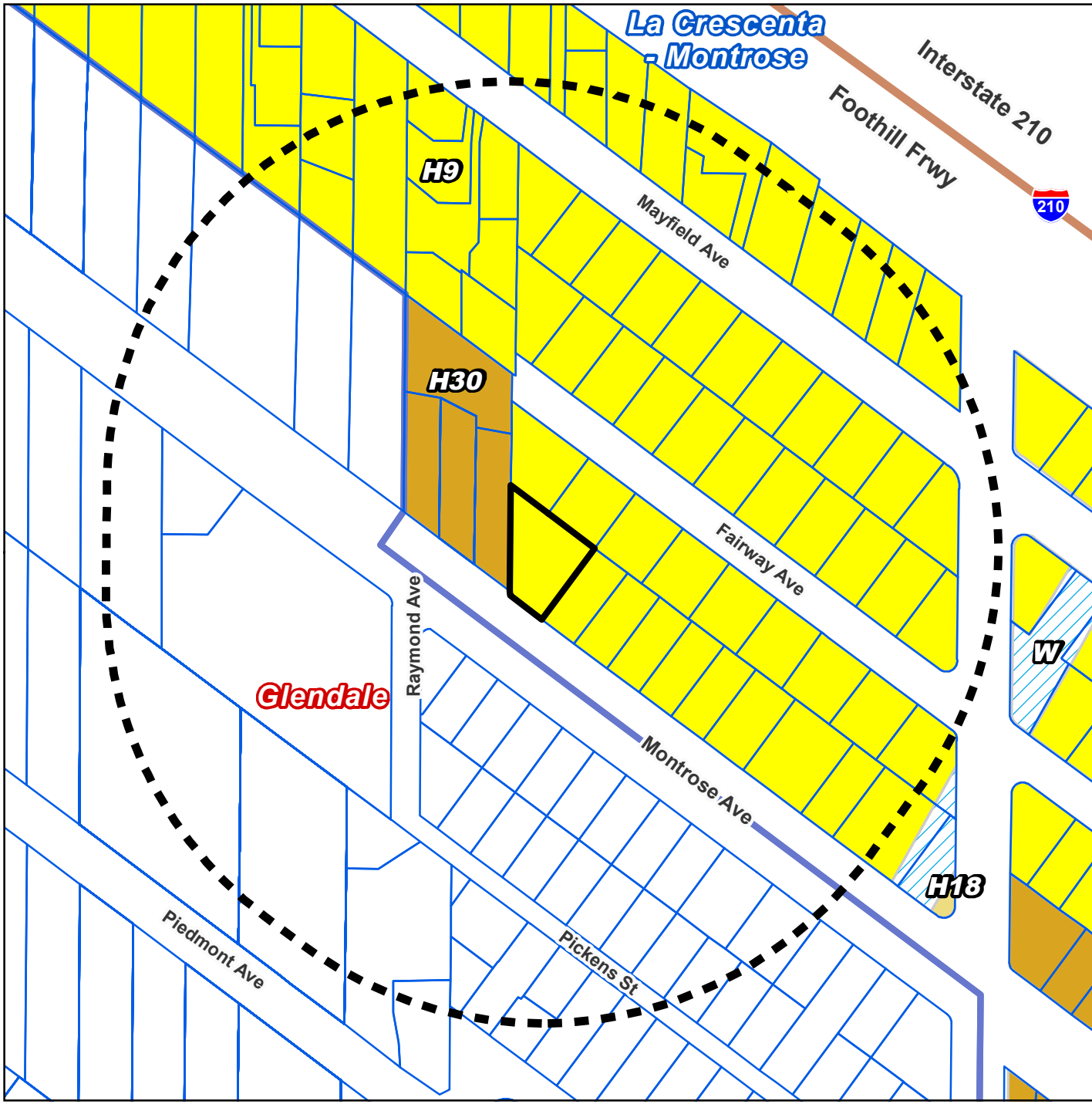
HALF-MILE RADIUS LOCATOR MAP

PROJECT NO. PRJ2023-002817-(5)
OTP RPPL2023004186



LA COUNTY
PLANNING





LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

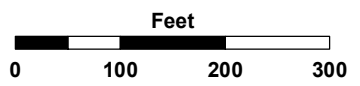


LAND USE POLICY

500-FOOT RADIUS MAP

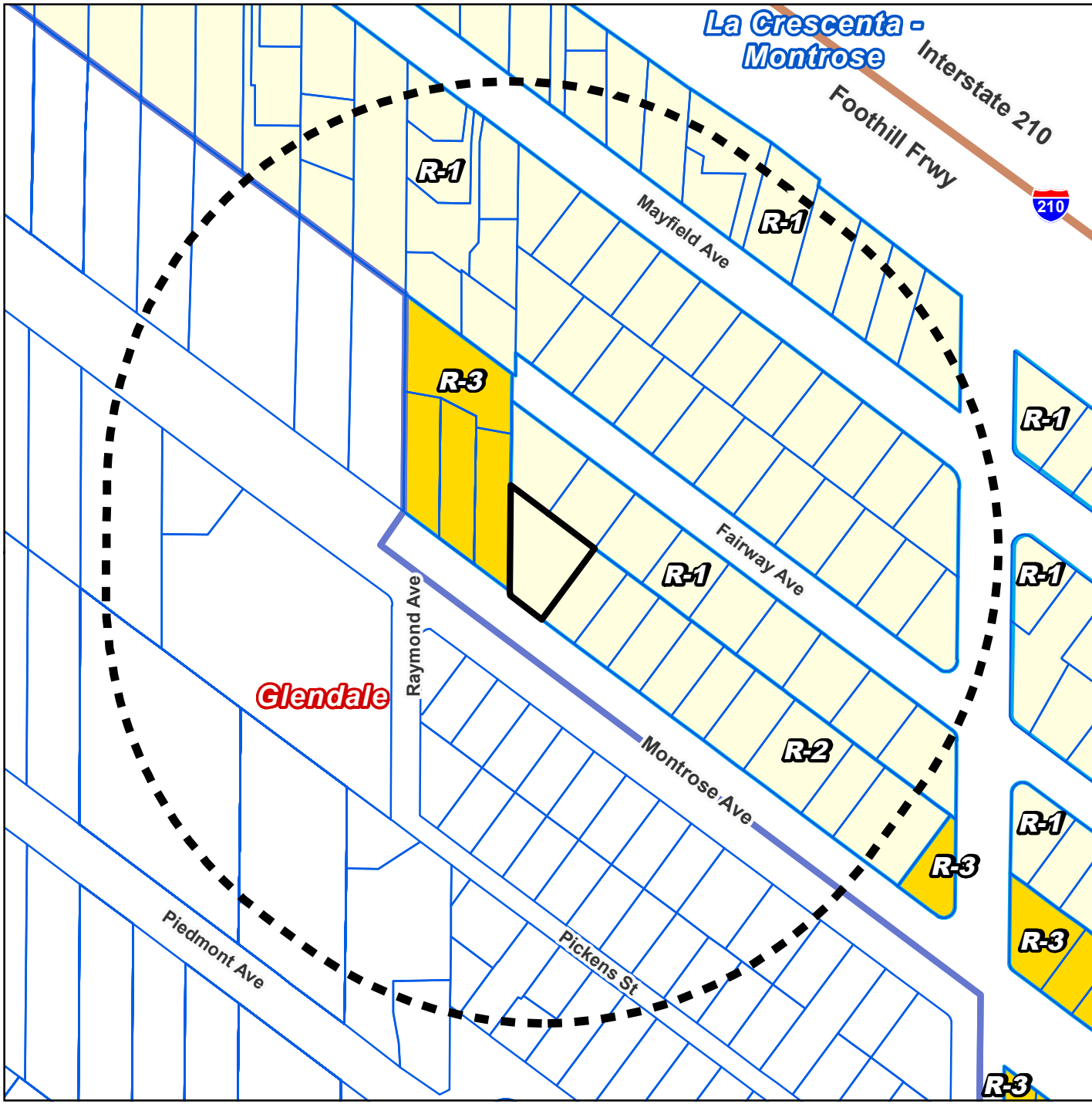
PROJECT NO. PRJ2023-002817-(5)
OTP RPPL2023004186

-  H9 - Residential 9
-  H18 - Residential 18
-  H30 - Residential 30
-  W - Water



LA COUNTY
PLANNING




LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012




ZONING


500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-002817-(5)
OTP RPPL2023004186


-  R-1 - Single-Family Residence
-  R-2 - Two-Family Residence
-  R-3-(U) - Limited Density Multiple Residence



0 100 200 300 Feet



N



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

**OAK TREE REPORT
FOR
PROPERTY**

AT

**2653 MONTROSE AVENUE
MONTROSE, CA 91020
(APN: 5610-029-050)**

Prepared for:

AYKUSH AVAKYAN
2653 Montrose Ave.
Montrose, CA 91020
818 425 0650

May 2, 2023

Prepared by:

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ASCA Academy Graduate (2007)
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SUMMARY

I was contacted by homeowner Ms. Aykush Avakyan, to write an Oak Tree Report, and assess the impact of a construction project to mature oak trees, at her residence, at 2653 Montrose Ave., in Montrose, California.

The existing burnt-out house will be demolished, and a new two-story house with attached Accessory Dwelling Unit (ADU) will be built on site.

There are two existing mature oak trees on site, one very close to the footprint of the proposed possible design, which is in conflict and must be removed. The other oak tree can be retained, but it should be pruned to provide clearance for the second story of the new house. This tree should be protected during the construction period.

And another nearby oak tree should not be impacted by the proposed construction.

INTRODUCTION

Background

I was contacted by Ms. Aykush Avakyan, who inquired if I would be interested to prepare an Oak Tree Report, for a planned construction project.

She informed me that a plan has been prepared to replace the burnt house with a new one, and build an attached Accessory Dwelling Unit (ADU) at its rear side. And because of the presence of nearby oak trees, an oak tree permit is needed from the Los Angeles County Department of Planning.

After discussing my fees, I was retained to prepare the Oak Tree Report.

Assignment

I agreed to perform the following:

- Inspect and evaluate any protected oak tree on site and close proximity.
- Submit a written report of my observations and findings.
- Make appropriate recommendations if needed, based on my findings.

Limits of the Assignment

This report and the observations included herein are based on my visit to the site on April 19, 2023.

This arborist report was performed entirely at ground level. The inspection and evaluation of the trees were limited to visual examination of accessible items without dissection, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future.

Purpose and Use of the Report

Ms. Aykush Avakyan contacted me and indicated that site improvements have been planned at her residence, located at 2653 Montrose Ave., in Montrose, California, 91020.

Of the two dwellings on site, one is burnt out, which will be demolished, and a new single-family dwelling with an attached ADU will be built on site. A total of three dwellings will be on site.

The purpose of this report is to present the evaluation and possible impact from the planned construction to any protected oak tree on site. This report is intended for the exclusive use of Ms. Avakyan and her representatives. Upon submission, this report will become their property and its use will be at their discretion.

OBSERVATIONS

General Site Observations

The residential property is located at 2653 Montrose Ave., in the unincorporated area of Montrose, County of Los Angeles, California, 91020. The Assessor's Parcel Number (APN) is: **5610-029-050**. A second dwelling on the same lot has the 2655 Montrose Ave. address.

The lot is irregular in shape, located on the north side of the road, on a gentle hill, in the north-to-south direction. The nearest cross-street is Raymond Ave., and La Crescenta Ave., Honolulu Ave. and Rosemont Ave are the nearby major roads.

Access to the area is from the Foothill (210) Freeway, off from Ocean View Ave. or La Crescenta Ave. exits.

There are two mature Coast Live oak (*Quercus agrifolia*) trees on site, and another one is observed on the abutting property toward the west side.

I took photographs of the oak trees and the lot (**Appendix II**), and took measurements of their **canopy** spread. The latter is drawn to scale on the Oak Tree Map (**Appendix III**.)

Tree Evaluation.

The County of Los Angeles Oak Tree Ordinance, article 22.56.2060, specifically indicates: (**....a person shall not cut, destroy, remove, relocate, inflict damage or encroach into a protected zone of any tree of the oak genus which is eight inches in diameter as measured four and one-half feet above mean natural grade, and in the case of an oak with more than one trunk, whose combined diameter is 12 inches....**)

As indicated, there are two mature oak trees on the property; one is to some extent centrally located, and the other is on the east property line. They both are of protected size. A third oak tree on the abutting property is close to the west property line.

I measured tree **DBH** (Diameter at Breast Height or at 54 inches from grade) with a Lufkin diameter tape. Other dimensions were measured with a DEWALT measuring tape. Tree height was estimated.

Physical characteristics and health evaluation of the oak trees are summarized in the Oak Tree Inventory (**Appendix I.**) All three oak trees must be naturally occurring, because it is the dominant native tree species in the area.

Tree #1

This is a native Coast Live oak (*Quercus agrifolia*) tree, located in the front side of the 2655 Montrose Dr dwelling and west side of the 2653 Montrose Dr. dwelling. Located in a five-foot diameter circular planter, concrete covers the areas of its **drip line** outside the two dwellings.

The single trunk leans slightly into the south direction. It has a DBH of 22 inches. The trunk starts dividing at about ten feet over grade; one stem extends northward, and the other eastward.

Buttress roots are covered with small rocks, installed in the area around the tree trunk and the brick edge of the round planter.

Alternating main **scaffold branches** extend into various directions, ranging in distances from 15 to 25 feet away from the trunk base. The resulting **crown** is somehow evenly-spread; the longest canopy spread is of 47 feet, in the northwest-southeast direction.

The tree crown is well-structured, with no weak attachments or competing branches. Tree height is about 30 feet.

Foliage is of the characteristic dark-green color and looks healthy. No **decay cavities** are observed on the main trunk or scaffold branches. Some **deadwood** of smaller branches is present in the inner crown.

Overall, the tree looks healthy and its **vigor** is average.

On a 0 to 5 scale (0 being dead and 5 being excellent), the **condition rating** for this tree is 3 (Average).

Tree #2

This is also a mature Coast Live oak tree, located toward the southeast side of the property, and as surveyed, it is located on the property line with the abutting property toward the east side, at 2647 Montrose Ave.

A CMU masonry wall has been built on both sides of the tree's trunk, quite close to north and south side edges, and along the property line.

The tree has an erect trunk, with a DBH of 23 inches. The trunk divides to three at about seven feet over grade, but one has been cut on the neighbor's side close to the division fork.

The tree height is about 30 feet.

The crown of the tree has been controlled and it is quite uneven; branches along most of the east side of the trunk have been cut at five feet distance from the trunk base, to keep it away from the neighboring structure. In the other directions, the spread of the crown is of 14 to 24 feet, with the longest canopy spread of 40 feet in the north-south directions.

Buttress roots are visible only on the east side of the trunk base, since the masonry wall and hardscape cover the remaining sides.

Foliage looks healthy on this tree too. There is a decay cavity on the main trunk, quite high, which should be further investigated. But overall, the tree looks healthy and its vigor is average.

On a 0 to 5 scale (0 being dead and 5 being excellent), the condition rating for this tree is 3 (Average).

Off-Site Tree

There is a visible mature Coast Live oak tree on the abutting property toward the west side, at 2661 Montrose Ave.

Since I did not have access to that property, I estimated its DBH to be around 24 inches. Its crown height is about 25 feet, and its crown has also been controlled over the 2655 Montrose Ave. driveway, extending only by 10 feet from the trunk base.

This tree should not be impacted, and it is at the back of a CMU wall.

CONSTRUCTION IMPACT

As discussed, Tree #1 is very close to the planned new single-family dwelling. Although most of the west foundation matches that of the existing one, however, additional excavation will definitely severe major roots of the tree. Also, the second story of the new house will not be possible without the significant removal of a good section of the tree's crown, which will make the tree structurally unstable. Symmetrical reduction will be necessary, and the result could well jeopardize the health of the tree. Accordingly, Tree #1 must be removed.

As for Tree #2, it can be retained, but some crown reduction pruning will be necessary to provide clearance for the second story of the proposed house. This reduction will in fact correct the uneven crown of the tree. This tree should be protected.

And as for the off-site tree, because of its distance, it will not be impacted.

TREE PRESERVATION PLAN

As discussed above, oak Tree #1 has to be removed. Oak Tree #2 is on the property line and there are sections of a CMU wall on its north and south sides. And the Off-Site oak tree is at behind a CMU wall. The only tree protection that could be applicable to Tree #2 is to install sand bags on the west side of the tree trunk, and a semi-circular chain link fence, to prevent encroachment into its trunk base area.

The following guidelines should be adopted and executed during the entire construction period.

- **Tree Protection Zone (TPZ):** Before and during the construction phase, a Tree Protection Zone (TPZ) should be established as far possible away from the trunk of each retained tree. Plastic orange colored fencing or chain-link fence must be erected along the perimeter of the protection zone to prevent access. A “WARNING - Tree Protection Zone” sign will be prominently displayed on each fence. See illustration of the TPZ fence on the Site Plan.
- **Storage and Disposal:** Supplies and materials, including paint, lumber, concrete overflow, etc., shall not be stored or discarded within the tree protection zone. All foreign debris within the protection zone should be removed; it is important to leave duff, mulch, chips, and leaves around the retained tree for water retention and nutrients. Draining or leakage of equipment fluids, i.e. oils, hydraulics, gasoline, paint, paint thinners, etc., shall be avoided.
- **Pruning:** Because cutting-back of some branches of Tree #2 will be necessary to accommodate the structure, all pruning shall be done under the direction of an ISA Certified Arborist and using ANSI & ISA guidelines.
- **Root Pruning:** If root pruning will be necessary, they should be pruned using a Dosko root pruner or equivalent. All cuts shall be clean and sharp, to minimize ripping, tearing, and fracturing of the root system. If trenching within the tree protection zone is unavoidable, an air spade shall be used rather than mechanical trenching equipment. Any underground line within the tree protection zone shall curve so that no roots are impacted.
- **Chemical Treatment:** If insects or other organisms are present, a licensed pest control adviser should direct the treatment by a licensed applicator.

- **Inspection:** During construction, an ISA Certified Arborist shall inspect the tree on a monthly basis. A report comparing tree health and condition to the original, pre-construction baseline shall be submitted following each inspection. The inclusion of photographs is advised. After construction is done, the inspection of the tree should continue for at least the next six months and even more, if the tree shows signs of stress.

Any mitigation procedures proposed by the Certified Arborist, i.e. fertilizing, spraying, washing the foliage, mulching, etc., should be performed without any delay.

CONCLUSION

It is my professional opinion that the proposed construction cannot be achieved without the removal of Oak Tree #1, and the crown reduction of Oak Tree #2. The latter should not be significantly impacted by the crown reduction.

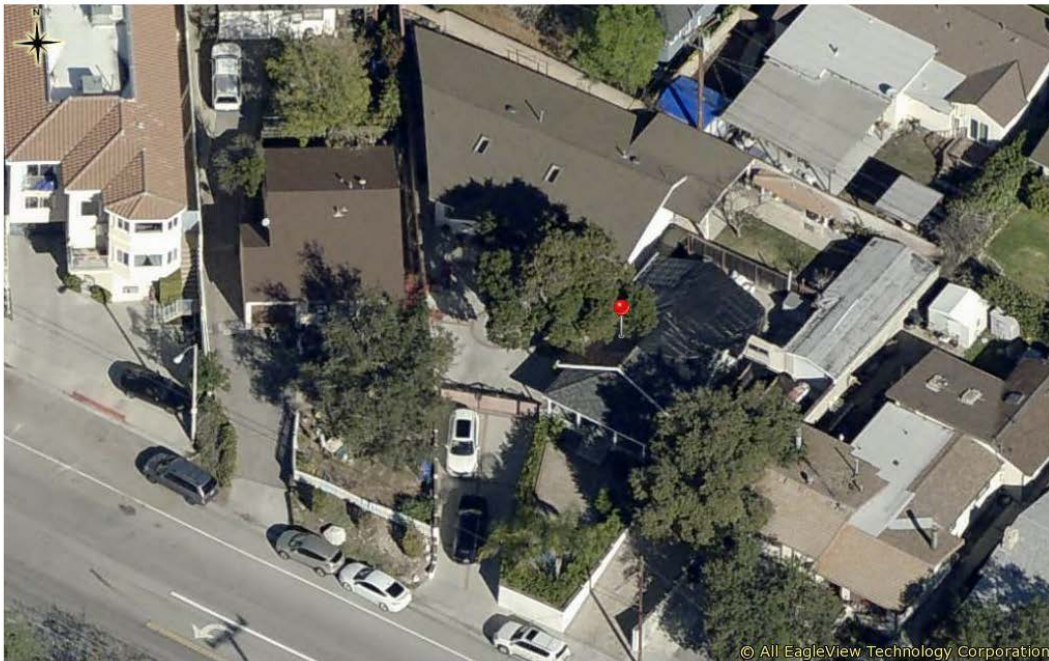
This report will be reviewed by the Forestry and the Regional Planning Departments of the County of Los Angeles. They both can have additional guidelines for the preservation of the retained tree.

Appendix I

TREE INVENTORY

2653 MONTROSE AVE., MONTROSE, CA 91020								
ARSEN MARGOSSIAN, MS								
ISA CONSULTING ARBORIST (WE-7233A), CA DPR PEST CONTROL ADVISOR (71429)								
818 669 6469 , ARSENM@PACBELL.NET								
May 1, 2023								
TREE NO	SPECIES	DESIGNATION	DIAMETER (DBH)	HEIGHT	SPREAD	CONDITION RATING	IMPACT	STATUS
1	COAST LIVE OAK (<i>QUERCUS AGRIFOLIA</i>)	NATIVE/PROTECTED	22"	30'	47'	3	PROPOSED DWELLING	REMOVE
2	COAST LIVE OAK (<i>QUERCUS AGRIFOLIA</i>)	NATIVE/PROTECTED	23"	30'	40'	3	SECOND STORY CONFLICT	PRUNE/ RETAIN/ PROTECT
OFF - SITE	COAST LIVE OAK (<i>QUERCUS AGRIFOLIA</i>)	NATIVE/PROTECTED	24" (EST.)	25'	30' (EST.)	2 (EST.)	NO IMPACT	N/A
TREE CONDITION: 0=DEAD , 1=POOR, 2=FAIR, 3=AVERAGE, 4=GOOD, 5=EXCELLENT								

Appendix II
PHOTOGRAPHS



01/03/2022

The property as seen on the County Assessor's website (Dated 2022.)



Tree #1 seen from the street.

(This and the following photographs were taken on April 19, 2023.)



Tree #1 seen from the south side.



Lower section of Tree #1 seen from the west side.



Partial view of Tree #1 crown with respect to the existing burnt house on the right side, which will be replaced.



Oak Tree #2 seen from the west side.

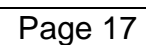


Oak Tree #2 seen from the south side.



Off-Site Tree.

OAK TREE MAP



Glossary

Buttress Root	Roots at the base of the trunk; trunk flare.
Canopy	The cover formed by the leafy upper branches of a tree.
Cavity	An open wound or hollow within a tree, associated usually with decay.
Condition Rating	The condition of a tree expressed as percentage of ideal for that species.
Crown	Parts of the tree above the trunk that includes the leaves and branches.
Deadwood	Dead branches remaining attached within the canopy of the tree.
Decay	The gradual decomposition of organic matter.
Diameter at Breast Height	Basic measure of tree girth usually at 4.5 feet above ground level.
Drip Line	Perimeter of the area under a tree delineated by the crown.
Foliage	The leaves in the canopy of the tree.
Scaffold Branch	The permanent or structural branches of a tree.
Vigor	Overall health of a tree; the capacity to grow and resist physiological stress.

Assumptions and Limiting Conditions

This arborist report and any values expressed herein represent my personal opinion and my fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

The information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection.

I certify that I have no personal interest in or bias with respect to the subject matter of this report. I have inspected the subject trees, and to my knowledge and belief, all statements and information in this report are true and correct.

This arborist report was performed entirely at ground level. The inspection and evaluation of the trees were limited to visual examination of accessible items without dissection, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future.

Certification of Performance


I, Arsen Margossian, certify:

- That I have personally inspected the trees and/or property referred to in the report, and have stated my findings accurately. The extent of the evaluation is stated in the attached report and the Limits of Assignment;
- That I have no current or prospective interest in the vegetation on the property that is the subject of this report and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts;
- That my analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;
- That no one provided significant professional assistance to me, except as indicated within the report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assignment, the attainment of stipulated results, or the occurrence of any subsequent events.

I am an ISA Certified Arborist (#WE-7233A), I hold ISA Tree Risk Assessment Qualification (TRAQ), I am California Licensed Pest Control Advisor (#71429) and California Licensed Forestry Pesticide Applicator (#121525). I also am a 2007 graduate of ASCA Academy.

I further certify that I am a member in good standing of the American Society of Consulting Arborists (ASCA), International Society of Arboriculture (ISA) and California Association of Pest Control Advisers (CAPCA).

Signed:



Date: May 2, 2023.

Copies of Licenses



The International Society of Arboriculture

Hereby Announces That

Arsen Margossian

Has Earned the Credential

ISA Certified Arborist®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Polihun
Caitlyn Polihun
CEO & Executive Director

5 March 2005

30 June 2026

WB-7233A

Issue Date

Expiration Date

Certification Number



The International Society of Arboriculture

Hereby Announces That

Arsen Margossian

Has Earned the Credential

ISA Tree Risk Assessment Qualification®

By successfully meeting ISA Tree Risk Assessment Qualification certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Polihun
Caitlyn Polihun
CEO & Executive Director

1 February 2015

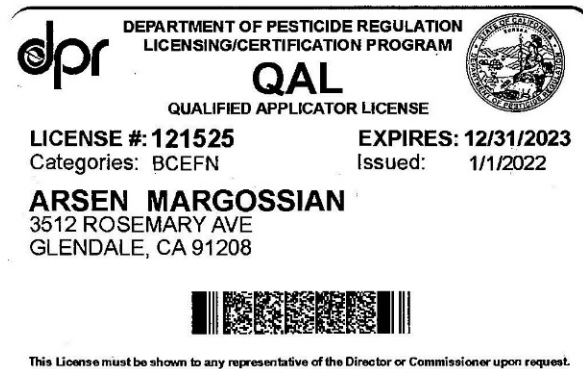
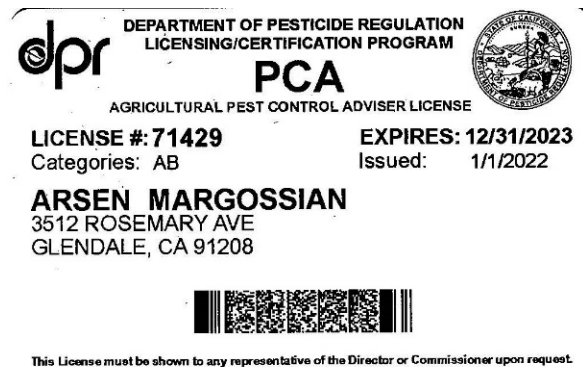
31 December 2026

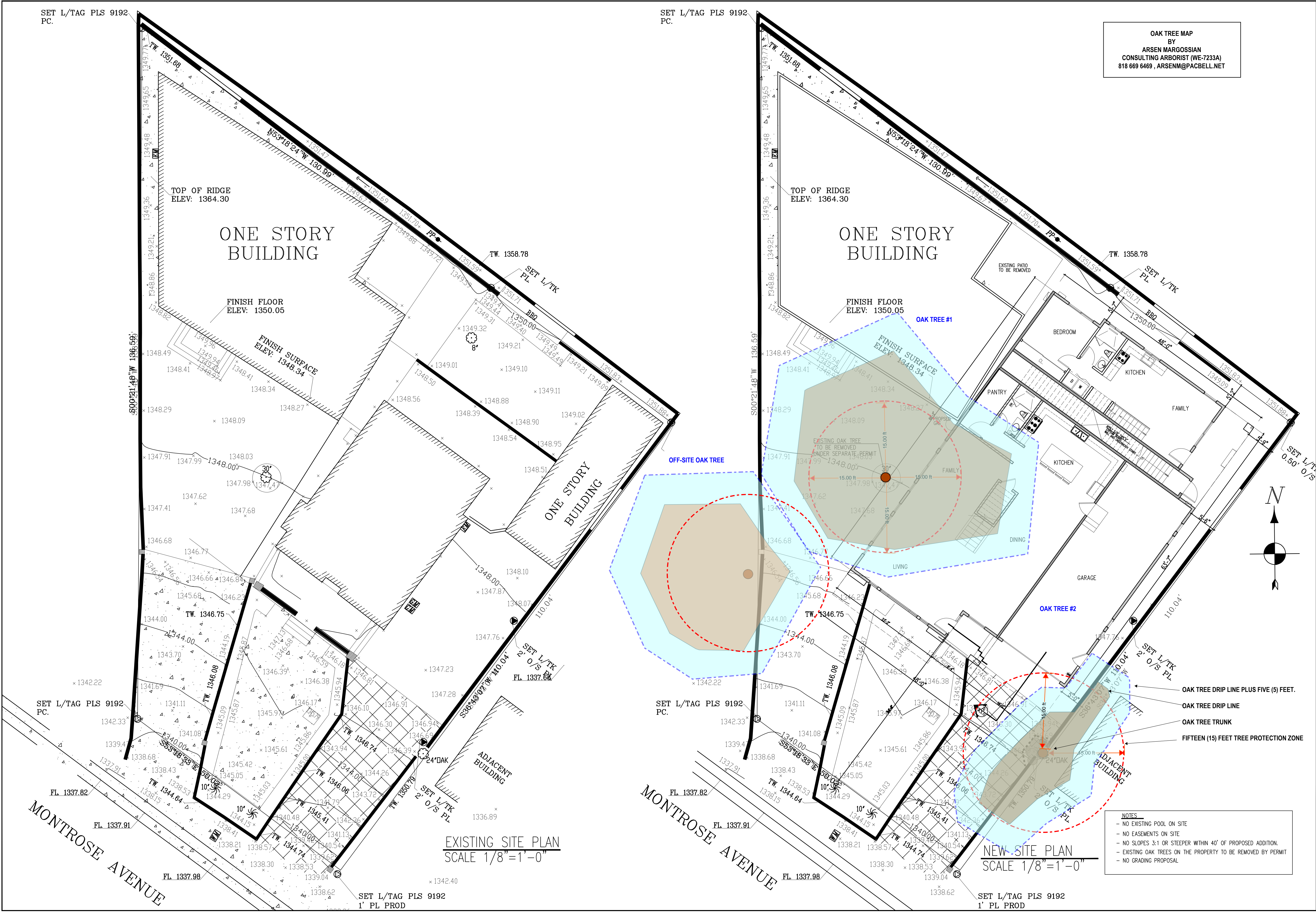
Issue Date

Expiration Date



Copies of Licenses





OAK TREE MAP
BY
ARSEN MARGOSSIAN
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527 TANCANYON RD.
DUARTE, CA 91010
TEL: (626) 215-4826

SITE PLAN

SINGLE FAMILY HOUSE / NEW ADU
2653 MONTROSE AVE.
MONTROSE, CA 91020

Rev: .
Date: .
Scale: .
Drawn: .
Job: .
Sheet: .
A1.0
Of Sheets