

DIRECTOR'S REPORT TO THE REGIONAL PLANNING COMMISSION

DATE ISSUED:	September 5, 2024	
HEARING DATE:	September 18, 2024	AGENDA ITEM: 10
PROJECT NUMBER:	PRJ2024-002632-(1)	
PERMIT NUMBER:	Zoning Conformance Review No. RPPL2024003986	
SUPERVISORIAL DISTRICT:	1	
PROJECT LOCATION:	944 N. Eastman Ave, Los Angeles, CA 90063	
OWNER:	Davin Sov	
APPLICANT:	Yue Zhao	
CASE PLANNER:	Evan Sahagun, Planner ESahagun@planning.lacounty.gov	

PURPOSE

This agenda item is a Preliminary Application public meeting, pursuant to Senate Bill ("SB") 35, for a proposed multifamily residential development project. LA County Planning staff ("Staff") is not requesting that the Regional Planning Commission ("Commission") take any action during or after the public meeting.

PUBLIC MEETING REQUIREMENT PURSUANT TO SB 35

Pursuant to California Government Code Section 65913.4(q), the Commission must hold a Preliminary Application public meeting within 45 days after Staff receives an applicant's notice of intent regarding any proposed residential development project located in a census tract that is designated as any of the following areas on the most recent "Opportunity Map" published by the California Tax Credit Allocation Committee (CTCAC) and the California Department of Housing and Community Development (HCD):

- A moderate resource area;
- A low resource area; or
- An area of high segregation and poverty.

The purpose of the public meeting is for the Commission to receive written and verbal public comments regarding the proposed residential development project.

PROJECT DESCRIPTION

This proposed multifamily residential development project consists of an apartment building with four new dwelling units and seven attached one-car garages, an attached Accessory Dwelling Unit ("ADU"), and two detached ADUs ("Project"), on a vacant property located at 944 North Eastman Avenue ("Project Site") in the R-2 (Two-Family Residence) Zone within the Metro Planning Area.

The Project Site is located within a census tract that is designated as a low resource area on the 2024 “Opportunity Map” published by the CTCAC and the HCD. Therefore, a Preliminary Application public meeting is required.

ENVIRONMENTAL ANALYSIS

The Project is statutorily exempt from the California Environmental Quality Act (“CEQA”) pursuant to California Public Resources Code Section 21080(b)(1) and State CEQA Guidelines Section 15268 because it requires ministerial approval.

No application for streamlined ministerial review of the Project shall be accepted until the required public meeting has been held. No action is required by the RPC on this item.

Report
Reviewed By: Carmen Sainz
Carmen Sainz, Supervising Planner

Report
Approved By: M. Glaser
Mitch Glaser, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Proposed Plans and Renderings
EXHIBIT B	Project Summary Sheet

944 N EASTMAN AVE MULTI-FAMILY RESIDENCES

NEW CONSTRUCTION | LOS ANGELES, CA 90063



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

3108 Glendale Blvd, #635
Los Angeles, CA 90039
(213) 476-7960

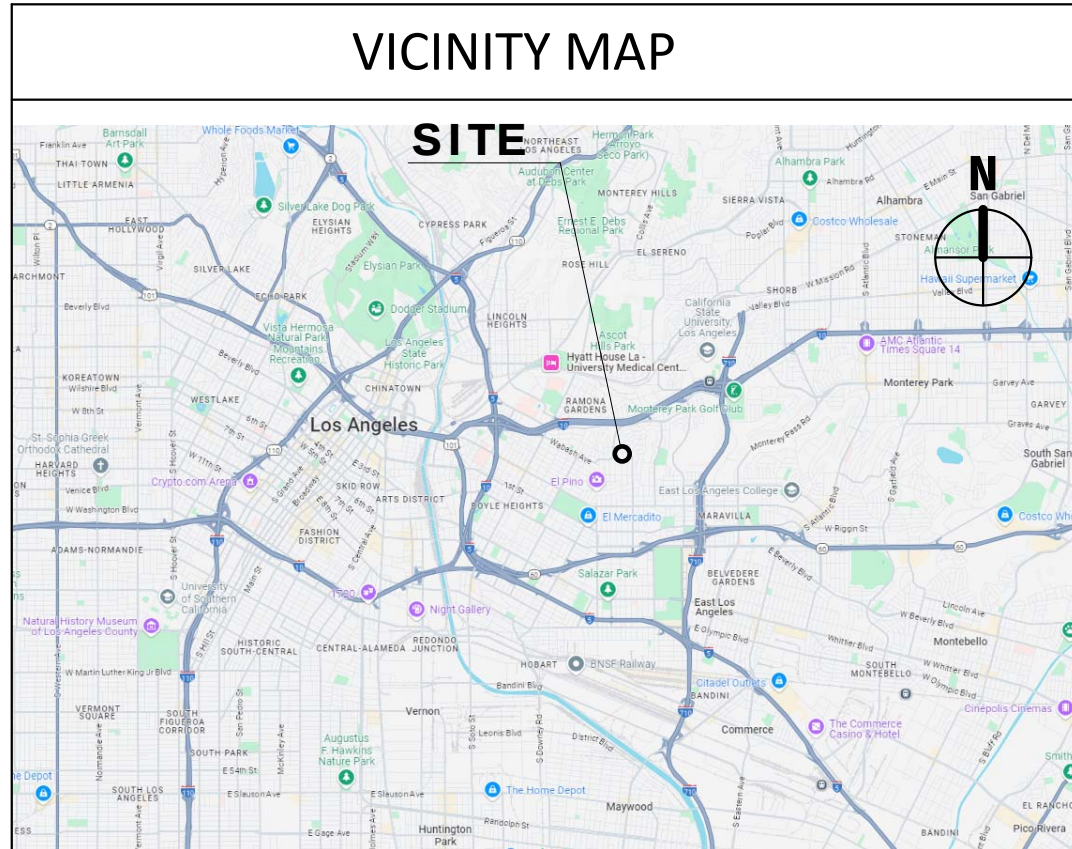
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

G-001

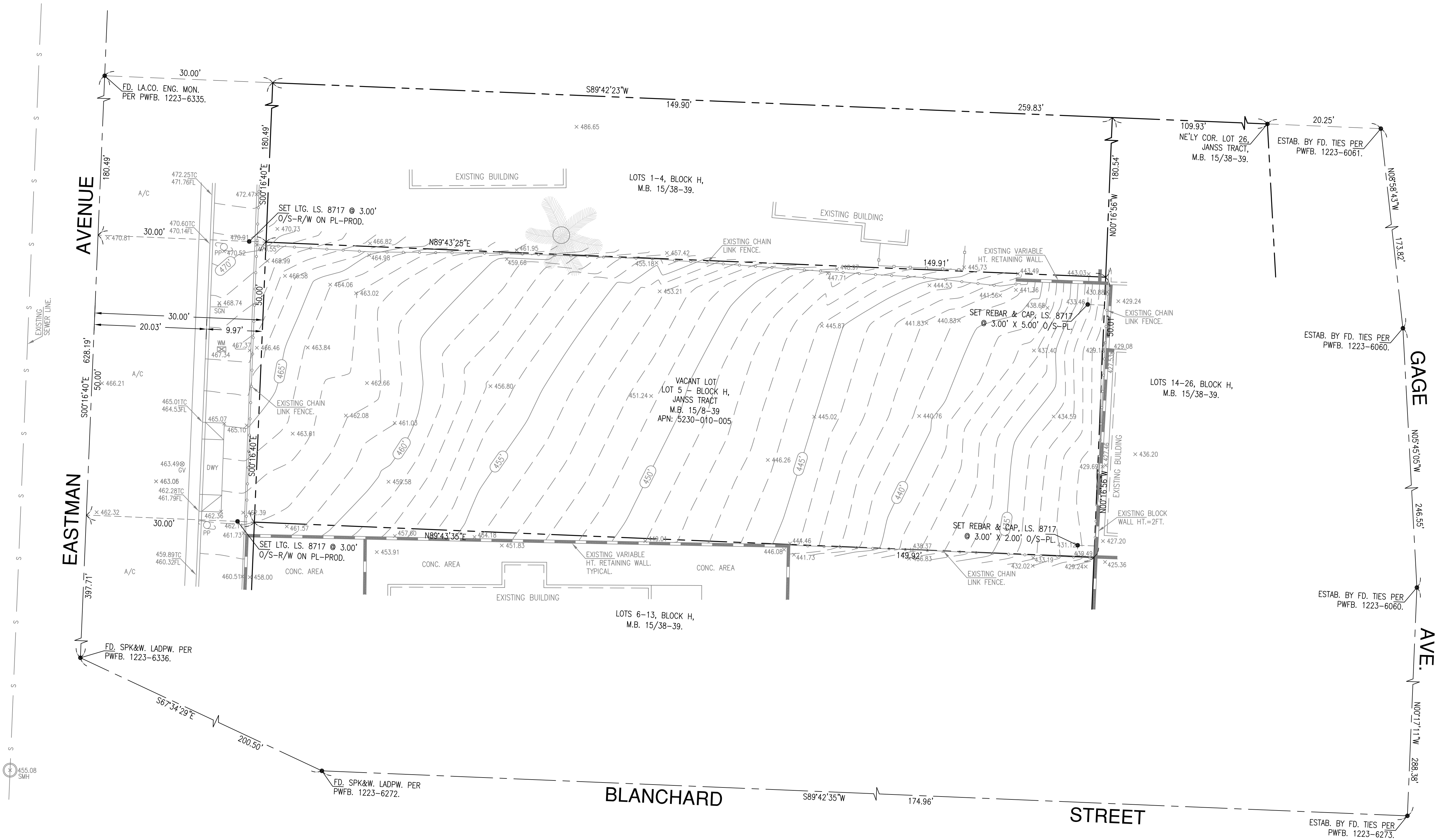
SHEET INDEX		PROJECT INFORMATION																																																																		
SHEET NUMBER SHEET NAME		PROJECT TEAM																																																																		
G-001	COVER SHEET	OWNER: DAVIN SOV, PRINCIPAL BROKER REAL ESTATE SERVICES OREA LICENSE # 201219426 CA BRE # 01383270 E: DAVINSOV@GMAIL.COM (503) 980-4440 (310) 806-1203		<u>ZONING</u> PROPERTY ZONE: R-2 SETBACKS: FRONT: 20 FT REAR: 15 FT SIDE: 5 FT BUILDING HEIGHT: 35 FT MAX. (30'-2" MAX PROPOSED) PARKING: - VEHICLE PARKING: NOT REQUIRED (7 PROVIDED) - BICYCLE PARKING: (3) LONG-TERM AND (2) SHORT-TERM PARKINGS REQUIRED; (3) LONG-TERM AND (2) SHORT-TERM PARKINGS PROVIDED. - MOTORCYCLE PARKING: NOT REQUIRED NOTE: NO MINIMUM PARKING REQUIRED PER AB 2097; PROJECT IS IN A HIGH-QUALITY TRANSIT AREA. REFUSE & RECYCLING WASTE: REFUSE & RECYCLABLE MATERIALS STORAGE AREAS: ALTERNATIVE COMPLIANCE BY AGREEMENT WITH PRIVATE HAULER FOR REFUSE, RECYCLABLE MATERIALS, & ORGANIC WASTE - 1-1/2 CU.YD. REFUSE DUMPSTER, 1-1/2 CU.YD. RECYCLING DUMPSTER & 1-1/2 CU.YD. ORGANIC WASTE DUMPSTER PROPOSED.																																																																
G-002	SITE PHOTOGRAPHS	ARCHITECT: SZA - STUDIO ZHAO ARCHITECTURE 3108 GLENDALE BLVD, #635 LOS ANGELES, CA 90039 T: 213.476.7960 E: ZHAO@SZA-ARCH.COM																																																																		
G-003	CONTEXTUAL SITE PLAN	CIVIL & GEOTECHNIC ENGINEER: JASON LEE CAL LAND ENGINEERING & ASSOCIATES, INC. 574 E. LAMBERT RD. BREA, CA 92821 T: (OFFICE)714. 671. 1050 EXT. 121 M: (657) 221-5512 E: JASON@CALLANDENG.COM		<u>BUILDING INFORMATION</u> USE: PROPOSED MULTIFAMILY RESIDENTAIL PROPOSED OCCUPANCY: R-2: PROPOSED 7-UNIT DWELLING BUILDING CONSTRUCTION TYPE: - V-B, SPRINKLERED PER NFPA 13 - I-A PORDIUM AT GARAGE																																																																
G-004	ENLARGED CONTEXTURAL SITE PLAN	SURVEYOR: DP. MAPPING & DRAFTING 300 E 4TH ST, #304, LONG BEACH, CA 90802 T: (562) 523-0747																																																																		
G-005	SETBACKS & CIRCULATION DIAGRAMS	PROPERTY INFORMATION		<u>BUILDING AREA CALCS</u> <table><tr><th></th><th>ROOM NAME/ UNIT NUMBER</th><th>FLOOR LEVEL</th><th colspan="2">FLOOR AREA (GROSS)</th><th>TOTAL FLOOR AREA (GROSS)</th></tr><tr><td rowspan="2">ACCESSORY FLOOR AREA</td><td rowspan="2">ELEC. ROOM, LONG-TERM BIKE PARKING, TRASH ROOM GARAGES & STAIRS</td><td rowspan="2">GROUND LEVEL/ PORDIUM</td><td colspan="2">516 SF</td><td rowspan="2">1,894 SF</td></tr><tr><td colspan="2">1,378 SF</td></tr><tr><td rowspan="14">DWELLING UNITS FLOOR AREA</td><td rowspan="2">UNIT #1 (MFD)</td><td>1ST FLOOR LEVEL</td><td>553 SF</td><td rowspan="2">= 1,145 SF</td><td rowspan="14">7,774 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>592 SF</td></tr><tr><td rowspan="2">UNIT #2 (MFD)</td><td>1ST FLOOR LEVEL</td><td>531 SF</td><td colspan="2" rowspan="2">= 1,141 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>610 SF</td></tr><tr><td rowspan="2">UNIT #3 (MFD)</td><td>1ST FLOOR LEVEL</td><td>559 SF</td><td colspan="2" rowspan="2">= 1,151 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>592 SF</td></tr><tr><td rowspan="2">UNIT #4 (MFD)</td><td>1ST FLOOR LEVEL</td><td>534 SF</td><td colspan="2" rowspan="2">= 1,064 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>611 SF</td></tr><tr><td rowspan="2">UNIT #5 (ADU)</td><td>1ST FLOOR LEVEL</td><td>532</td><td colspan="2" rowspan="2">= 1,064 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>532</td></tr><tr><td rowspan="2">UNIT #6 (ADU)</td><td>1ST FLOOR LEVEL</td><td>532</td><td colspan="2" rowspan="2">= 1,064 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>532</td></tr><tr><td rowspan="2">UNIT #7 (ADU)</td><td>1ST FLOOR LEVEL</td><td>532</td><td colspan="2" rowspan="2">= 1,064 SF</td></tr><tr><td>2ND FLOOR LEVEL</td><td>532</td></tr></table>		ROOM NAME/ UNIT NUMBER	FLOOR LEVEL	FLOOR AREA (GROSS)		TOTAL FLOOR AREA (GROSS)	ACCESSORY FLOOR AREA	ELEC. ROOM, LONG-TERM BIKE PARKING, TRASH ROOM GARAGES & STAIRS	GROUND LEVEL/ PORDIUM	516 SF		1,894 SF	1,378 SF		DWELLING UNITS FLOOR AREA	UNIT #1 (MFD)	1 ST FLOOR LEVEL	553 SF	= 1,145 SF	7,774 SF	2 ND FLOOR LEVEL	592 SF	UNIT #2 (MFD)	1 ST FLOOR LEVEL	531 SF	= 1,141 SF		2 ND FLOOR LEVEL	610 SF	UNIT #3 (MFD)	1 ST FLOOR LEVEL	559 SF	= 1,151 SF		2 ND FLOOR LEVEL	592 SF	UNIT #4 (MFD)	1 ST FLOOR LEVEL	534 SF	= 1,064 SF		2 ND FLOOR LEVEL	611 SF	UNIT #5 (ADU)	1 ST FLOOR LEVEL	532	= 1,064 SF		2 ND FLOOR LEVEL	532	UNIT #6 (ADU)	1 ST FLOOR LEVEL	532	= 1,064 SF		2 ND FLOOR LEVEL	532	UNIT #7 (ADU)	1 ST FLOOR LEVEL	532	= 1,064 SF		2 ND FLOOR LEVEL	532
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G-006	FIRE HOSE PULL DIAGRAM & GROUND FLOOR EGRESS PLAN	LEGAL DESCRIPTION: LOT 5, BLOCK H, JANSS TRACT M.B. 15, PAGE 38-39		<u>VICINITY MAP</u> 																																																																
G-007	1ST & 2ND FLOOR EGRESS PLANS	A.P.N: 5230-010-005																																																																		
V-1	AERIAL VIEW	LOT AREA: 7,500 SF (0.172 ACRES), VACANT LOT																																																																		
V-2	PERSPECTIVE VIEWS	PROJECT SCOPE																																																																		
V-3	PERSPECTIVE VIEWS	1. CONSTRUCT (4) NEW MULTI-FAMILY DWELLING UNITS 2. CONSTRUCT (1) ATTACHED ADU AND (2) DETACHED AUDs																																																																		
V-4	PERSPECTIVE VIEWS	DEFERRED/SEPARATE SUBMITTALS																																																																		
A-101.0	SITE PLAN - EXISTING	1. NEW NFPA-13 FIRE SPRINKLERS SUBMITTAL BY OTHERS. 2. SEPARATE SUBMITTAL ON PHOTOVOLTAIC AND BATTERY STORAGE SYSTEM PROVIDED BY OTHERS.																																																																		
A-101.1	SITE PLAN - PROPOSED	CODES																																																																		
A-102.0	GROUND FLOOR PLAN	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BLDG STANDARDS CODE 2022 CALIFORNIA FIRE CODE LOS ANGELES COUNTY TITLE 22																																																																		
A-102.1	1ST FLOOR PLAN																																																																			
A-102.2	2ND FLOOR PLAN																																																																			
A-102.3	ROOF PLAN																																																																			
A-103.0	ENLARGED FLOOR PLANS- UNIT 1																																																																			
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A-103.3	ENLARGED FLOOR PLANS-UNIT 4																																																																			
A-103.4	ENLARGED FLOOR PLANS-UNIT 5																																																																			
A-103.5	ENLARGED FLOOR PLANS-UNIT 6																																																																			
A-103.6	ENLARGED FLOOR PLANS-UNIT 7																																																																			
A-201.0	ELEVATION - SOUTH																																																																			
A-201.1	ELEVATION - NORTH																																																																			
A-201.2	ELEVATION - EAST & WEST																																																																			

LEGEND

- C— CENTERLINE
—P— PROPERTY LINE
===== EXISTING STRUCTURE
===== EXISTING WALL AS NOTED
—□— EXISTING FENCE AS NOTED
----- FINISHED SURFACE LINE
—(98)— EXISTING CONTOUR ELEV.

- AC ASPHALT CONCRETE
TC TOP OF CURB
FL FLOW LINE
SGN STREET SIGN
FF FINISHED FLOOR
UT UTILITY
SMH SEWER MANHOLE
PP POWER POLE
DWW DRIVEWAY APPROACH
WM WATER METER
TG TOP OF GRATE
HT HEIGHT
GV GAS VALVE
EX EXISTING
LP LIGHT POLE
PP POWER POLE
FH FIRE HYDRANT
x105.50 EXISTING ELEVATION
EXISTING UTILITY AS NOTED
EXISTING CONCRETE AREA
EXISTING TREE

TOPOGRAPHIC SURVEY EXHIBIT
944 N. EASTMAN AVENUE
LOS ANGELES, CA. 90063
APN: 5230-010-005



BENCHMARK

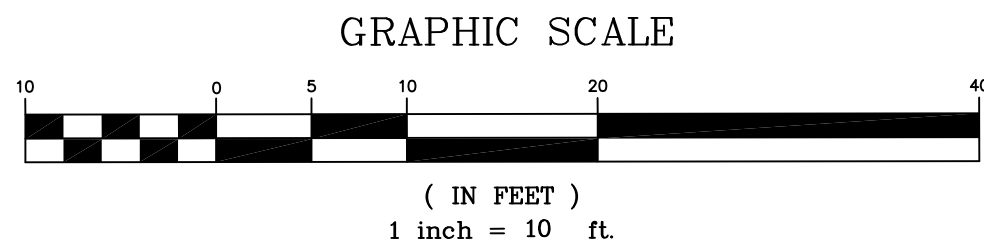
BM NUMBER: LY4583
DATUM: NAVD-88

YEAR BASE ELEVATION (ft) ELEVATION (m)
2013 420.305 128.109

DESCRIPTION:
L&T. IN CONC. RET WALL @ SE. COR. BLANCHARD ST.
& ROWAN AVE. 29.5FT E/O & 26.2FT S/O C/L INT.

LEGAL DESCRIPTION

LOT 5, BLOCK H, OF THE JANSSE TRACT, IN THE CITY OF LOS ANGELES,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN
M.B. 15, PAGE 38-39 OF MAPS, IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.
APN: 5230-010-005



PREPARED BY:

DP.MAPPING & DRAFTING

300 E. 4TH STREET - #304
LONG BEACH, CA. 90802
PH: 562-523-0747

JACOB R. WRIGHT
PLS. 8717, EXP. 6/30/24

DATE



TOPOGRAPHIC SURVEY EXHIBIT

ADDRESS: 944 N. EASTMAN AVENUE
LOS ANGELES, CA. 90063
APN: 5230-010-005

SCALE: 1"=10'

SURVEYED BY: D.P.

REVIEWED BY: J.R.W.

CITY OF LOS ANGELES

JOB NO:

DPLA023-1128

DATE: 11/27/23

SHEET 1 OF 1

LEGEND

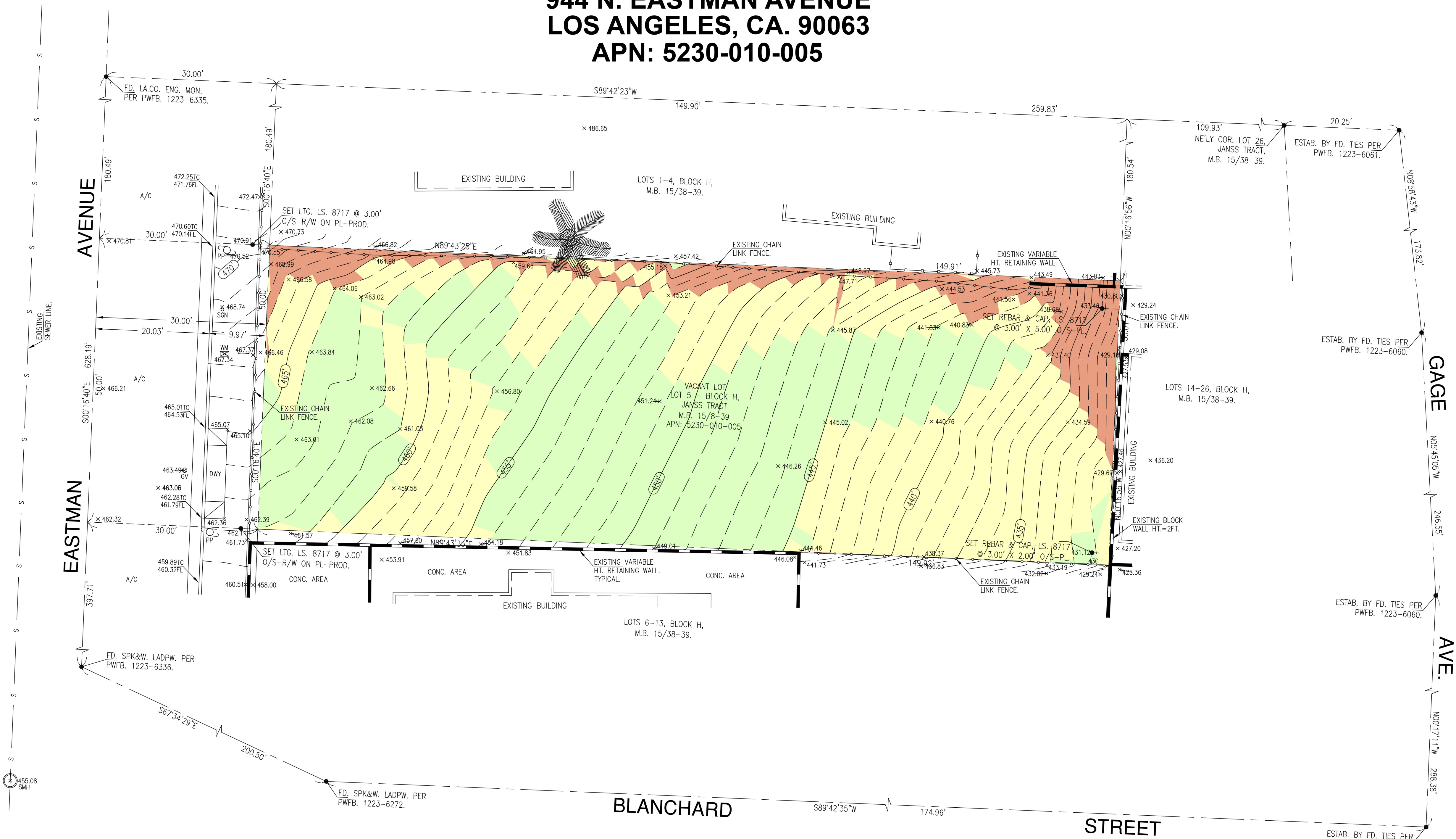
- C— CENTERLINE
—P— PROPERTY LINE
— EXISTING STRUCTURE
— EXISTING WALL AS NOTED
— EXISTING FENCE AS NOTED
— FINISHED SURFACE LINE
—(98)— EXISTING CONTOUR ELEV.

- AC ASPHALT CONCRETE
TC TOP OF CURB
FL FLOW LINE
SGN STREET SIGN
FF FINISHED FLOOR
UT UTILITY
SMH SEWER MANHOLE
PP POWER POLE
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x105.50 EXISTING ELEVATION
EXISTING UTILITY AS NOTED
EXISTING CONCRETE AREA
EXISTING TREE

SLOPE BAND ANALYSIS EXHIBIT

944 N. EASTMAN AVENUE
LOS ANGELES, CA. 90063

APN: 5230-010-005



BENCHMARK

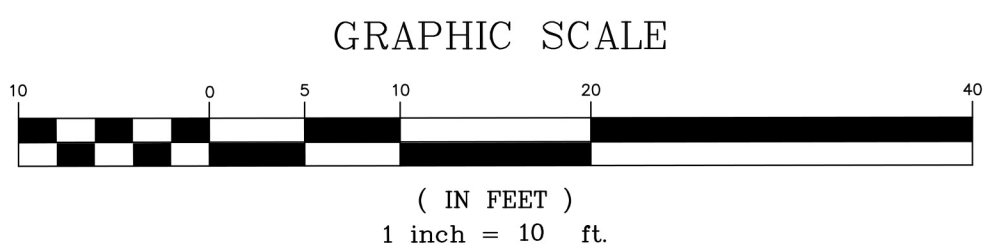
BM NUMBER: LY4583
DATUM: NAVD-88
YEAR BASE 2013
ELEVATION (ft) 420.305
ELEVATION (m) 128.109

DESCRIPTION:
L&T. IN CONC. RET WALL @ SE. COR. BLANCHARD ST.
& ROWAN AVE. 29.5FT E/O & 26.2FT S/O C/L INT.

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M.B. 15, PAGE 38-39 OF MAPS, IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.
APN: 5230-010-005

SLOPE AREAS AND MAXIMUM FAR CALCULATION			
SLOPE BANDS	AREAS	MAXIMUM ALLOWABLE FAR FOR "R2" ZONE	
SLOPE BAND 0% TO 24.99%	3,527.8 SQ. FT.	0.45	1587.5 SQ. FT.
SLOPE BAND 25% TO 49.99%	3,245.1 SQ. FT.	0.40	1298.0 SQ. FT.
SLOPE BAND 50% & GREATER	723.9 SQ. FT.	0.35	253.4 SQ. FT.



PREPARED BY:

DP.MAPPING & DRAFTING

300 E. 4TH STREET - #304
LONG BEACH, CA. 90802

JACOB R. WRIGHT
PLS. 8717, EXP. 6/30/24
DATE



SLOPE BAND ANALYSIS EXHIBIT

ADDRESS: 944 N. EASTMAN AVENUE
LOS ANGELES, CA. 90063
APN: 5230-010-005

JOB NO:

DATE: 07/28/24

SHEET 1 OF 1

SCALE: 1"=10'

SURVEYED BY: L.R.

REVIEWED BY: J.R.W.

CITY OF LOS ANGELES



5



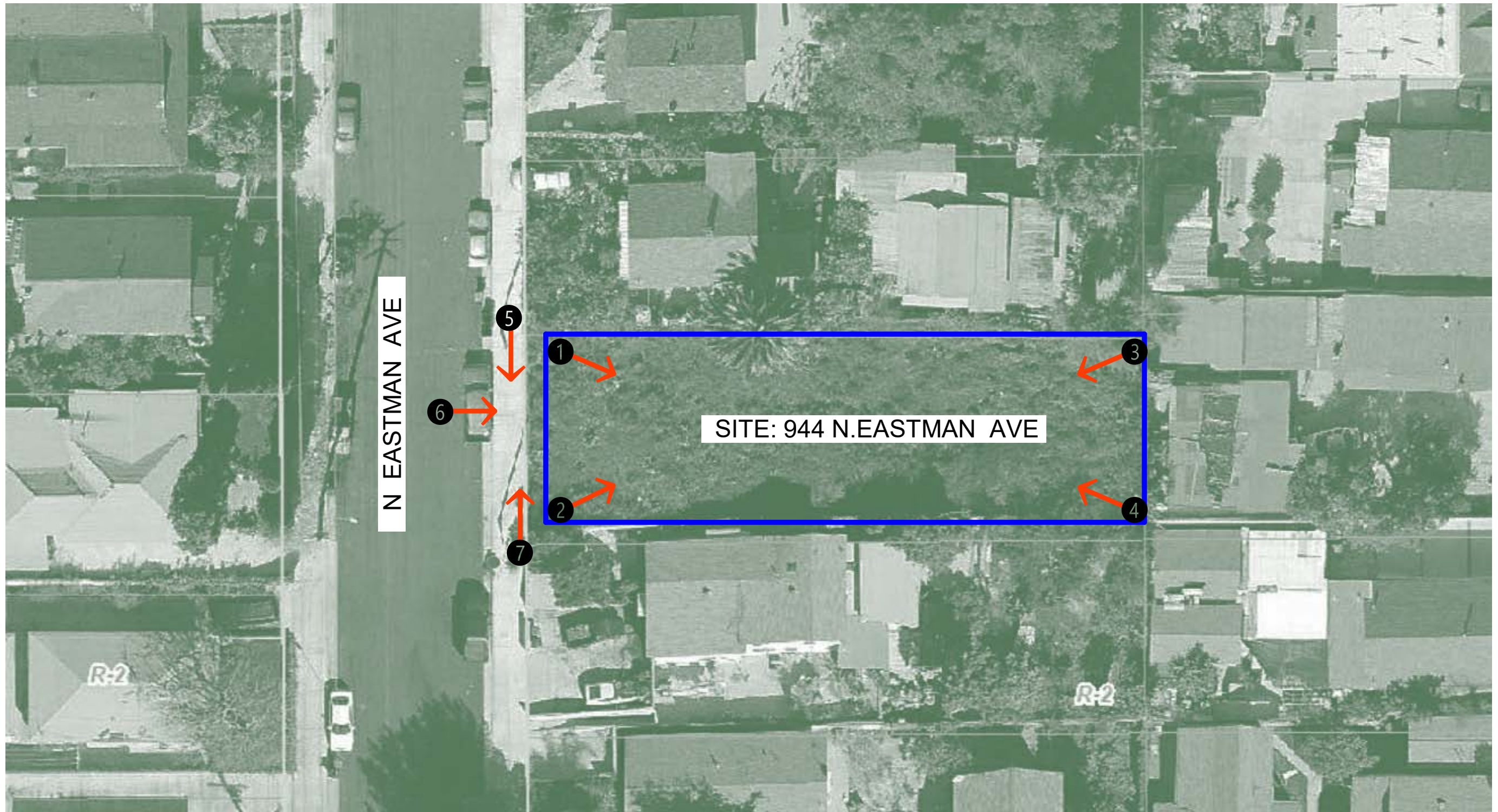
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3



6

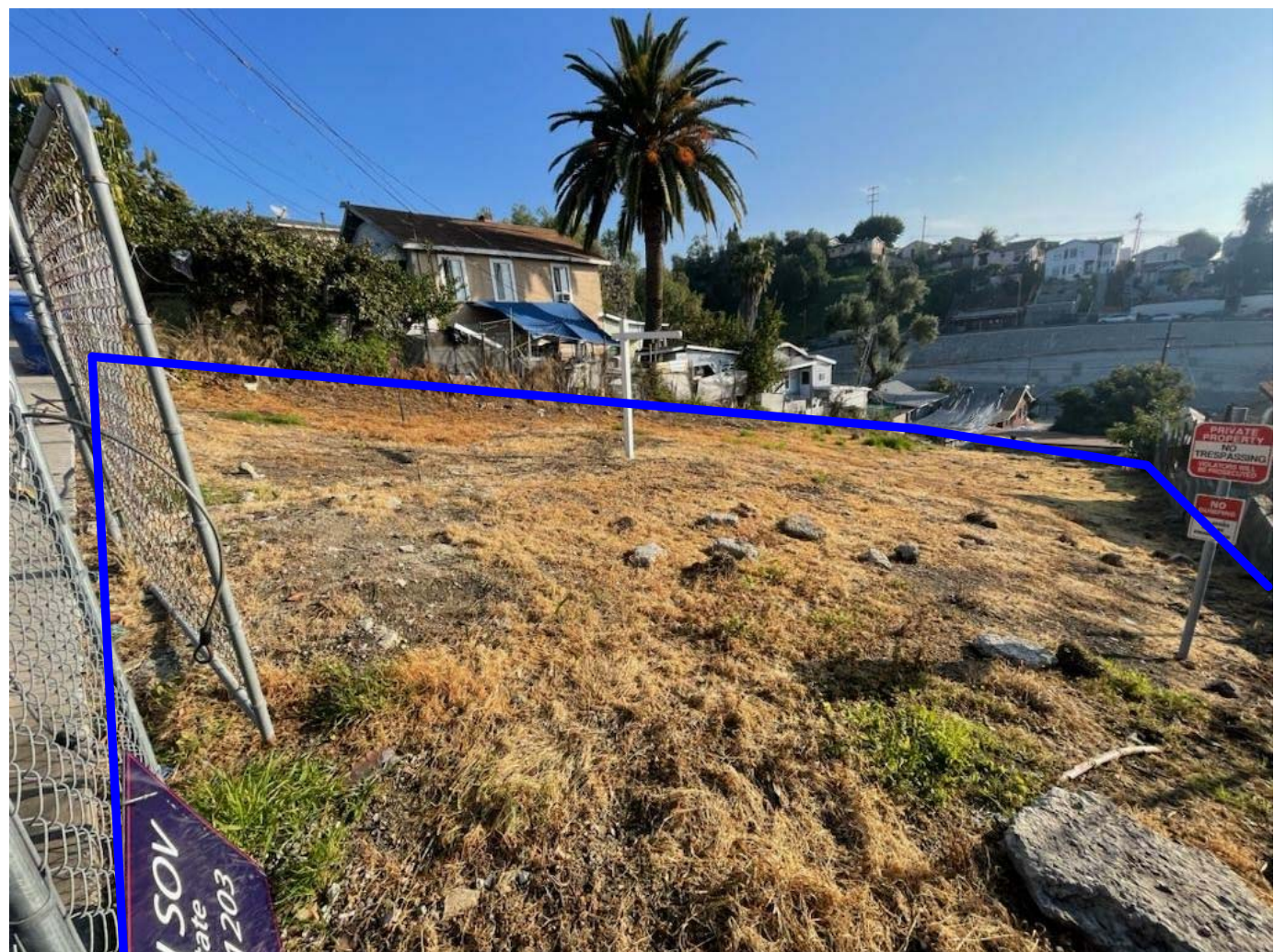


LEGEND

PROPERTY LINE



7



2



4



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

3108 Glendale Blvd, #635
Los Angeles, CA 90039
(213) 476-7960

944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

G-002



1 CONTEXTUAL SITE PLAN
1" = 40'-0"



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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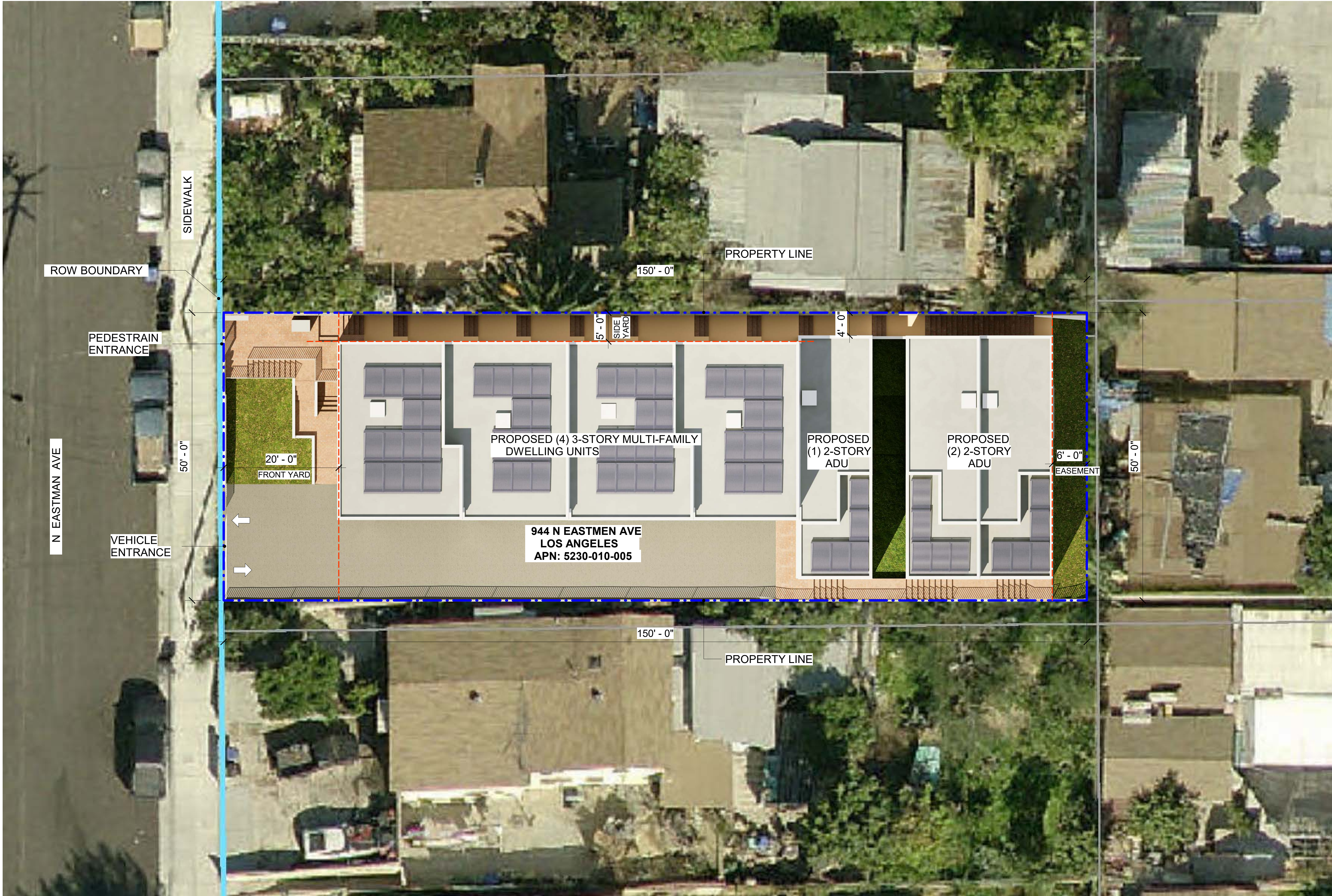
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

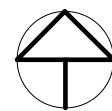


DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

G-003



1 ENLARGED CONTEXTUAL SITE PLAN
1/8" = 1'-0"



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Los Angeles, California

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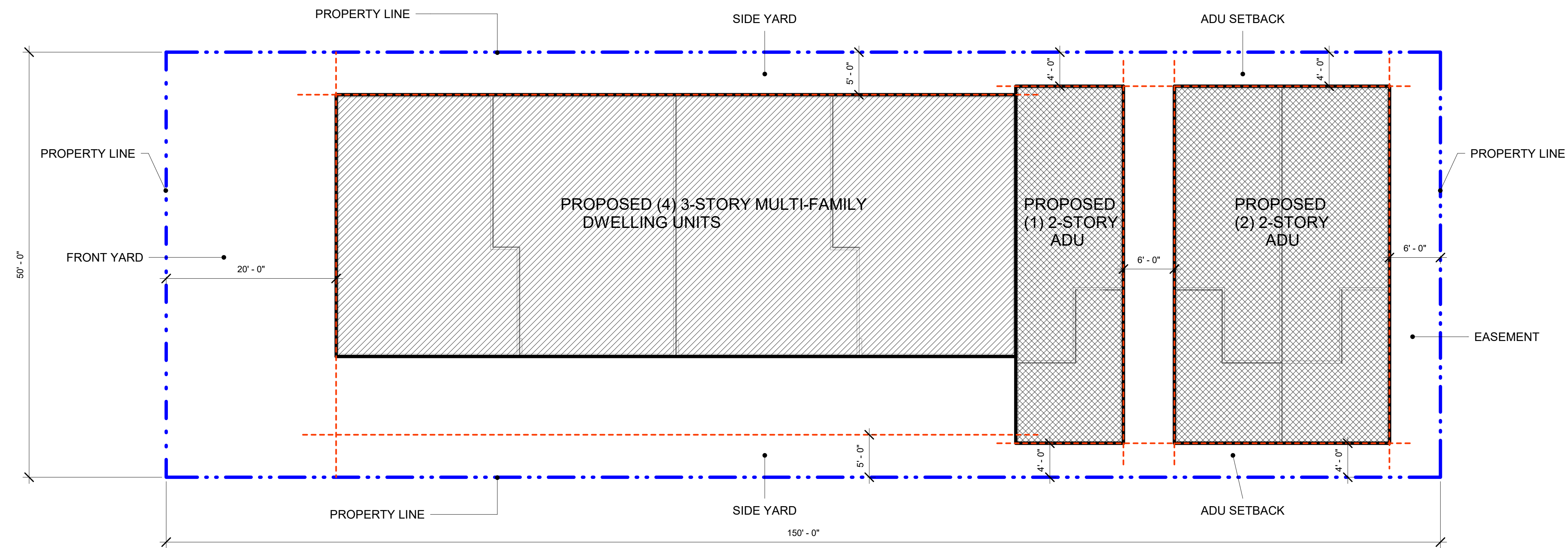
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

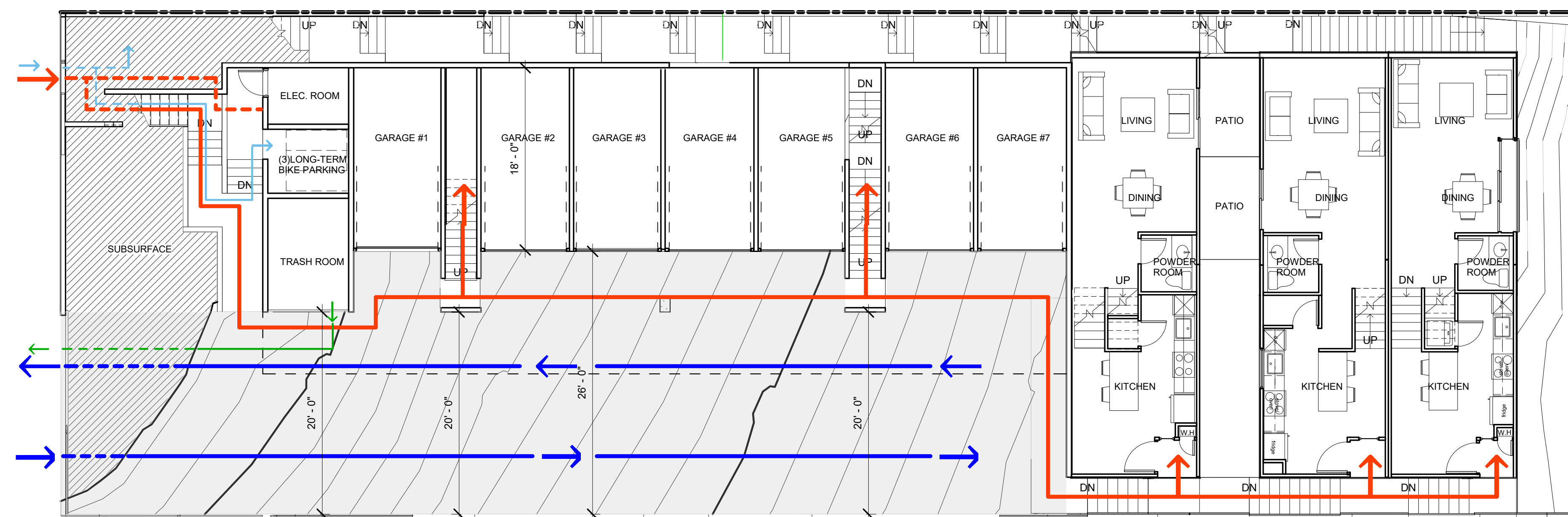


DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

G-004



① DIAGRAM - SETBACKS
1/8" = 1'-0"



② DIAGRAM - CIRCULATION
1/8" = 1'-0"

LEGEND

- VEHICLES
- PEDESTRAINS
- TRASH & RECYCLING CONTAINERS
- BICYCLES



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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944 N. EASTMAN AVE MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



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G-005

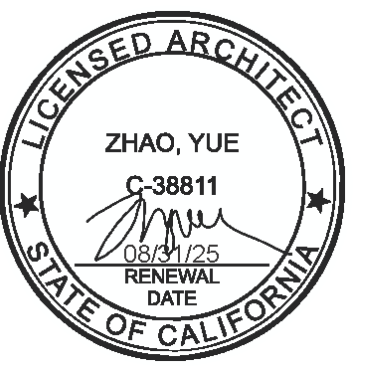


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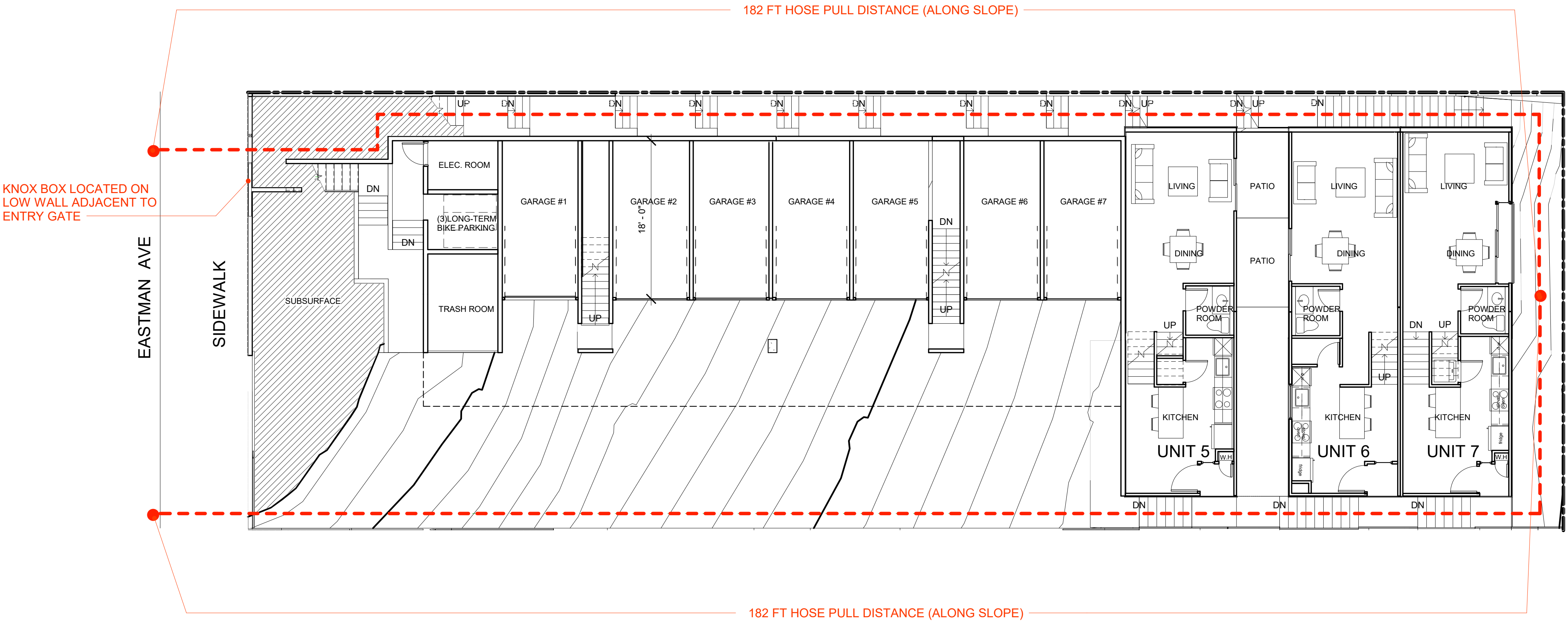
**944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES**

LOS ANGELES, CA 90063
APN: 5230-010-005

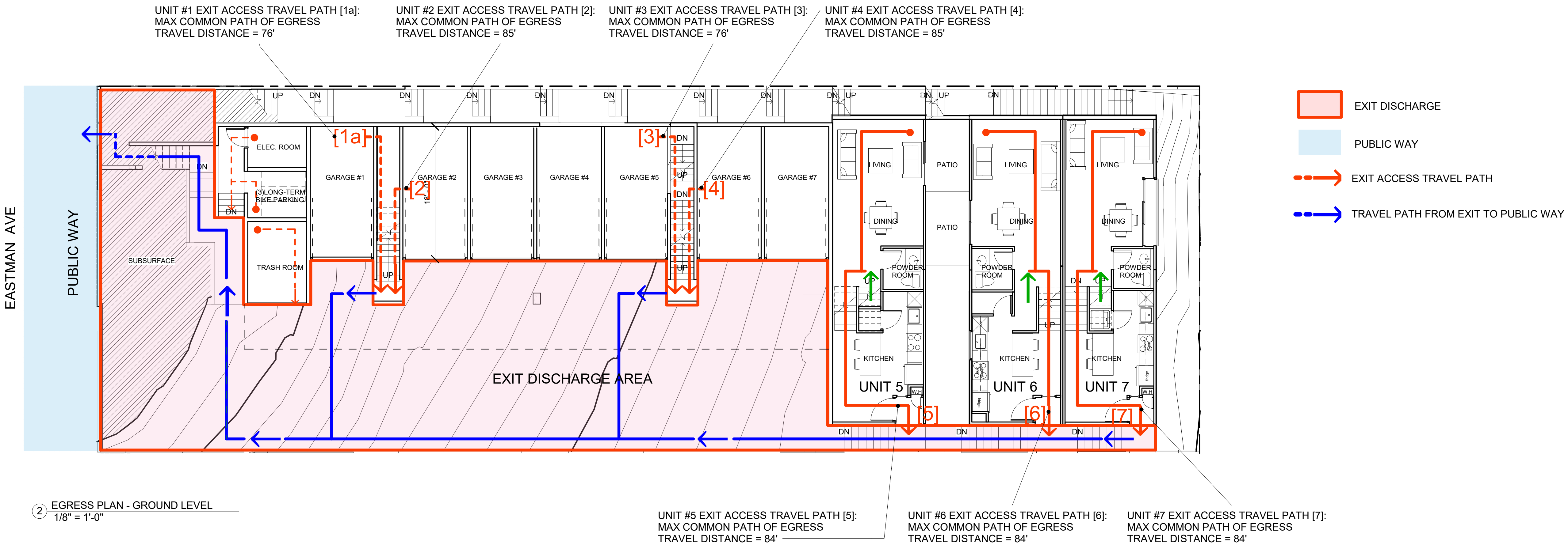


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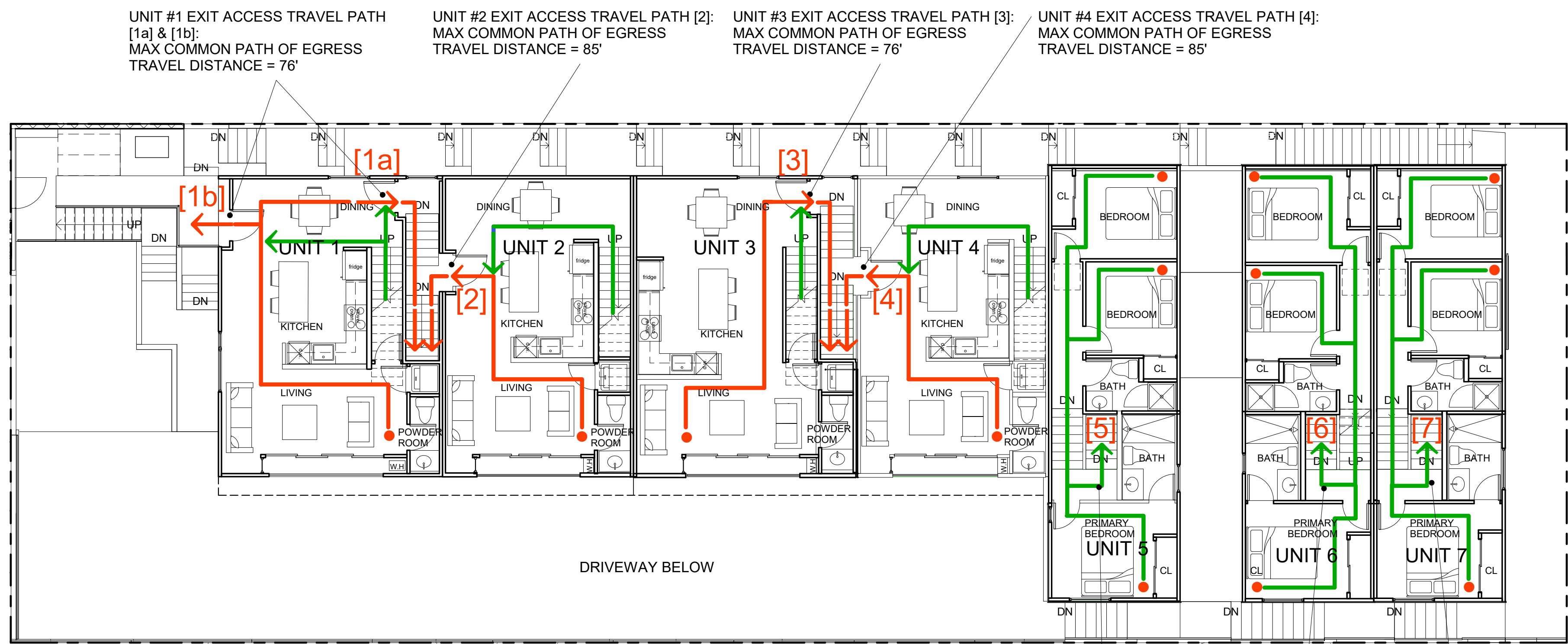
G-006



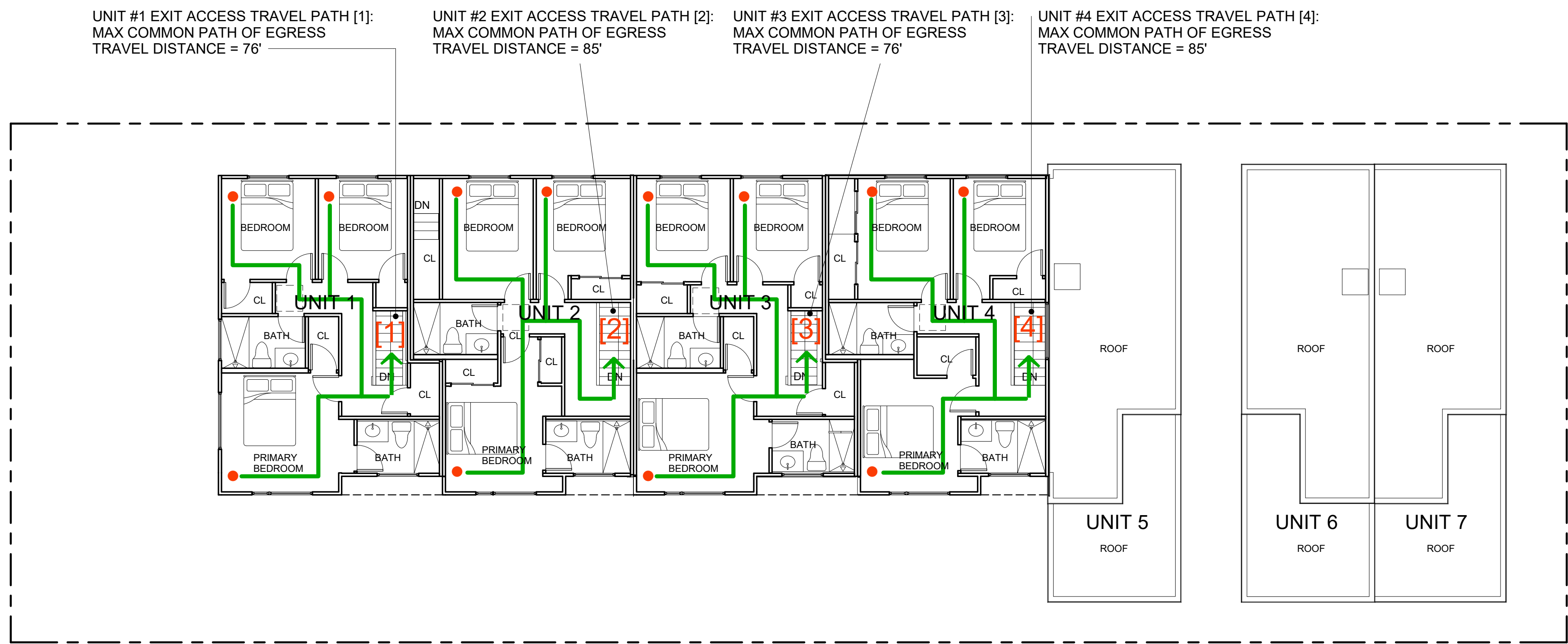
① FIRE HOSE PULL DIAGRAM
1/8" = 1'-0"



② EGRESS PLAN - GROUND LEVEL
1/8" = 1'-0"



① EGRESS PLAN - 1ST FLOOR
1/8" = 1'-0"



② EGRESS PLAN - 2ND FLOOR
1/8" = 1'-0"

LEGEND

- EXIT ACCESS TRAVEL PATH AT THE 1ST LEVEL OF THE UNIT
- EXIT ACCESS TRAVEL PATH AT THE 2ND LEVEL OF THE UNIT



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Los Angeles, California

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G-007



AERIAL VIEW



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

3108 Glendale Blvd, #635
Los Angeles, CA 90039
(213) 476-7960

944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

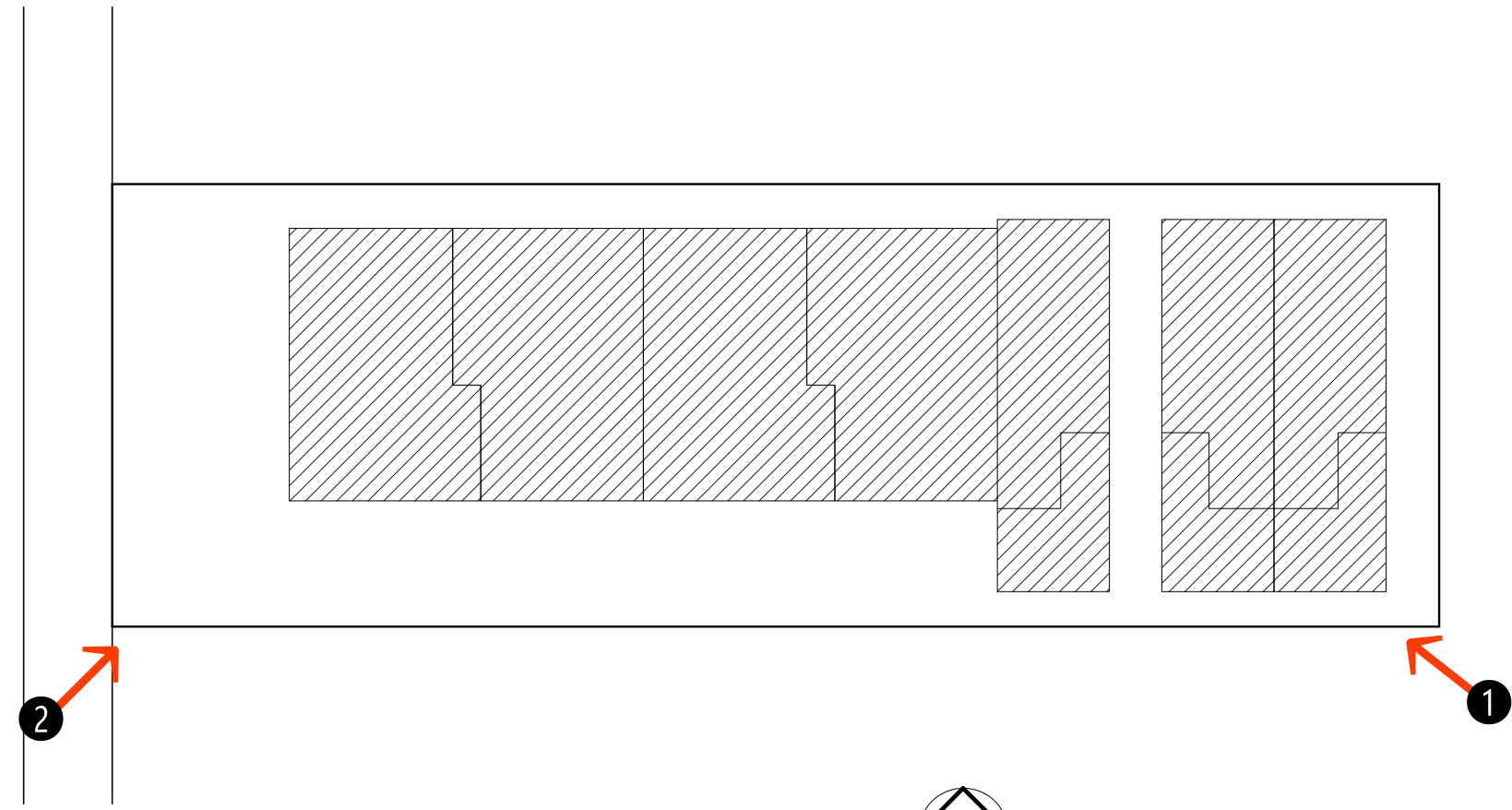
LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL



N EASTMAN AVE



KEY MAP - PERSPECTIVE VIEWS

VIEW 1

VIEW 2



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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



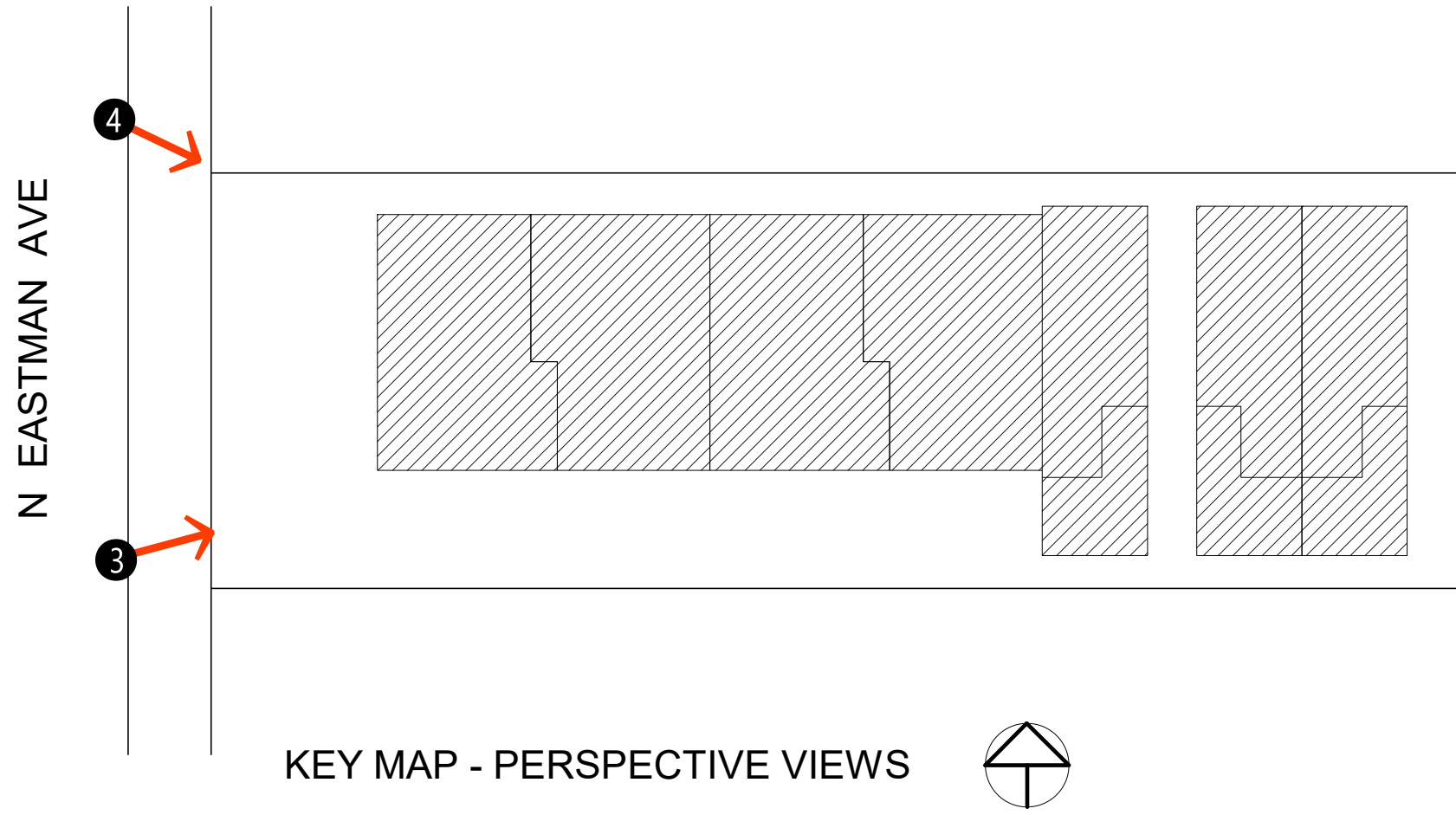
DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL



VIEW 3



VIEW 4



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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MULTI-FAMILY RESIDENCES

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APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

V-3

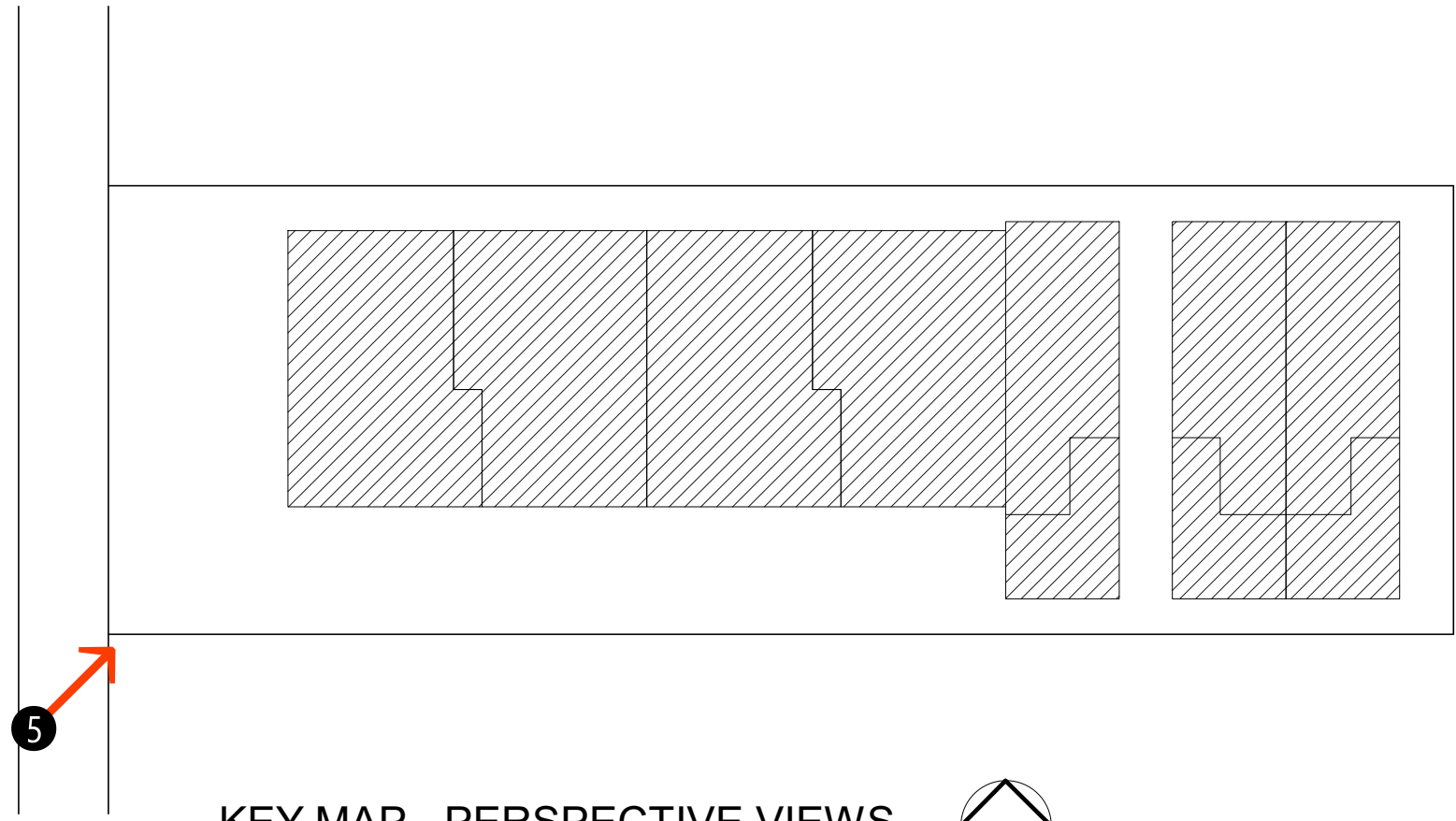


VIEW 5

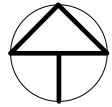


VIEW 6

N EASTMAN AVE



KEY MAP - PERSPECTIVE VIEWS



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

3108 Glendale Blvd, #635
Los Angeles, CA 90039
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**944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES**

LOS ANGELES, CA 90063
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MULTI-FAMILY RESIDENCES

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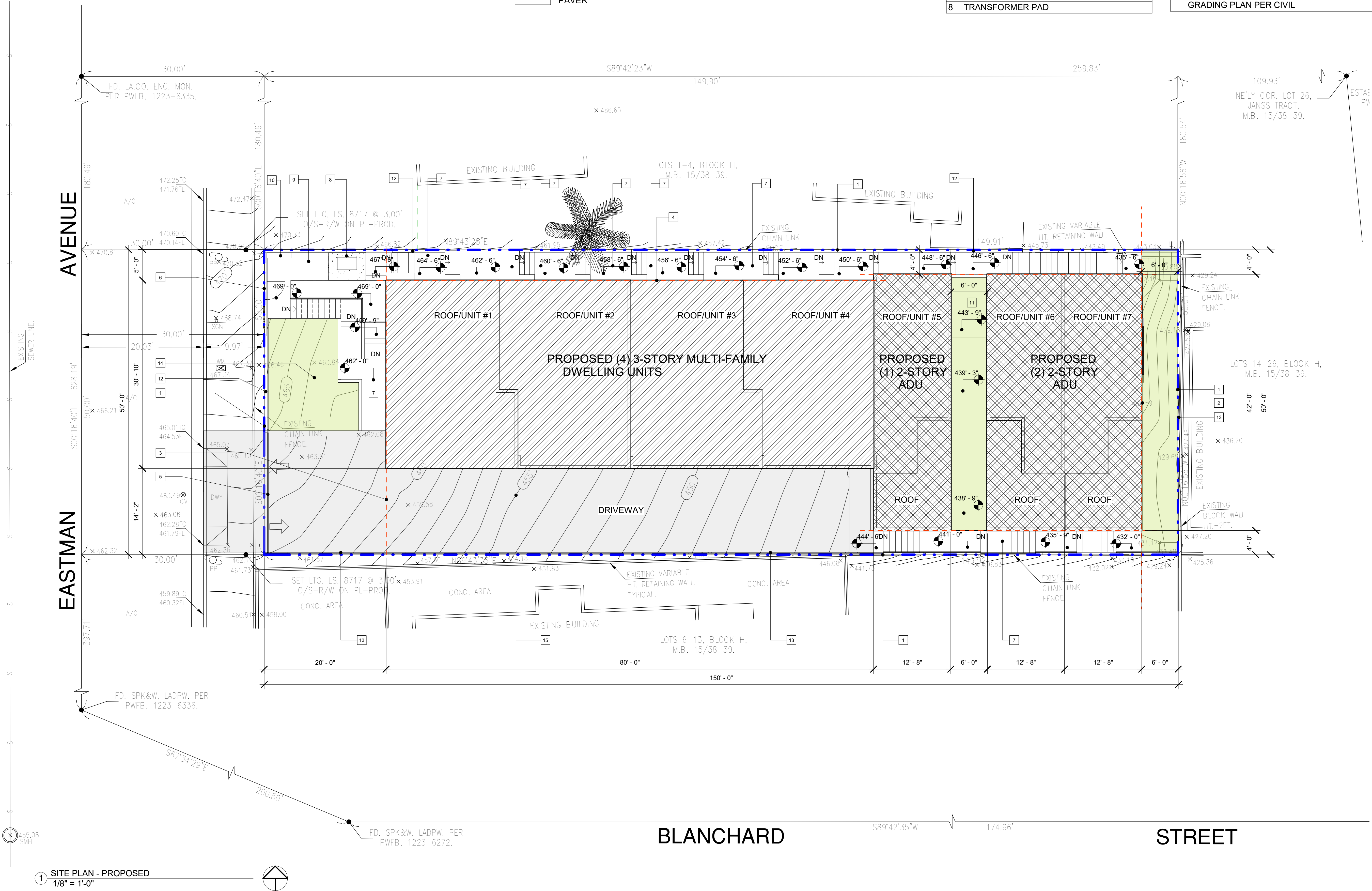
A-101.1

LEGEND

	LANDSCAPING		MULTI-FAMILY DWELLING UNITS
	ASPHALT DRIVEWAY		ACCESSORY DWELLING UNITS
	CONCRETE SLAB / PAVER		

KEYNOTES

1	PROPERTY LINE	9	(2) SHORT-TERM BIKE PARKING
2	EASEMENT - 6FT	10	MAILBOX
3	FRONT YARD - 20FT	11	PATIO, UNCOVERED
4	SIDE YARD - 5FT	12	RETAINING WALL
5	SLIDING GATE - DRIVEWAY	13	FENCE
6	GATE - PEDESTRAIN	14	LANDSCAPING AREA
7	PAVER PER CIVIL	15	CONTOUR LINE OF EXISTING TOPO; GRADING PLAN PER CIVIL
8	TRANSFORMER PAD		



1 SITE PLAN - PROPOSED
1/8" = 1'-0"





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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

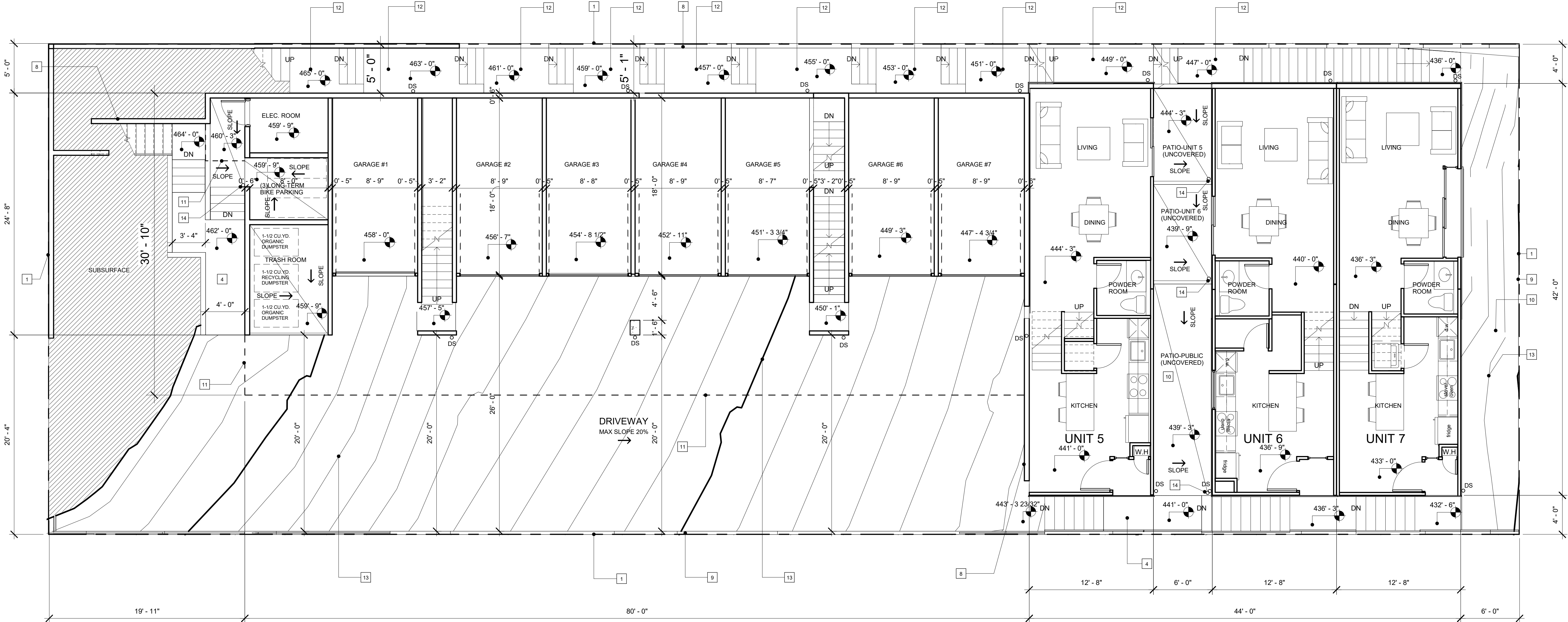


DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-102.0

KEYNOTES

1	PROPERTY LINE
2	SLIDING GATE-DRIVEWAY
3	GATE-PEDESTRAIN
4	CONC. PATHWAY
5	TRANSFORMER PAD
6	(2) SHORT-TERM BIKE PARKING
7	MAILBOX
8	RETAINING WALL
9	FENCE
10	LANDSCAPING
11	BUILDING OTLN. ABOVE
12	PAVER PER CIVIL
13	CONTOUR LINE OF EXISTING TOPO; GRADING PLAN PER CIVIL
14	PAVER DRAIN



1 GROUND LEVEL PLAN
3/16" = 1'-0"





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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
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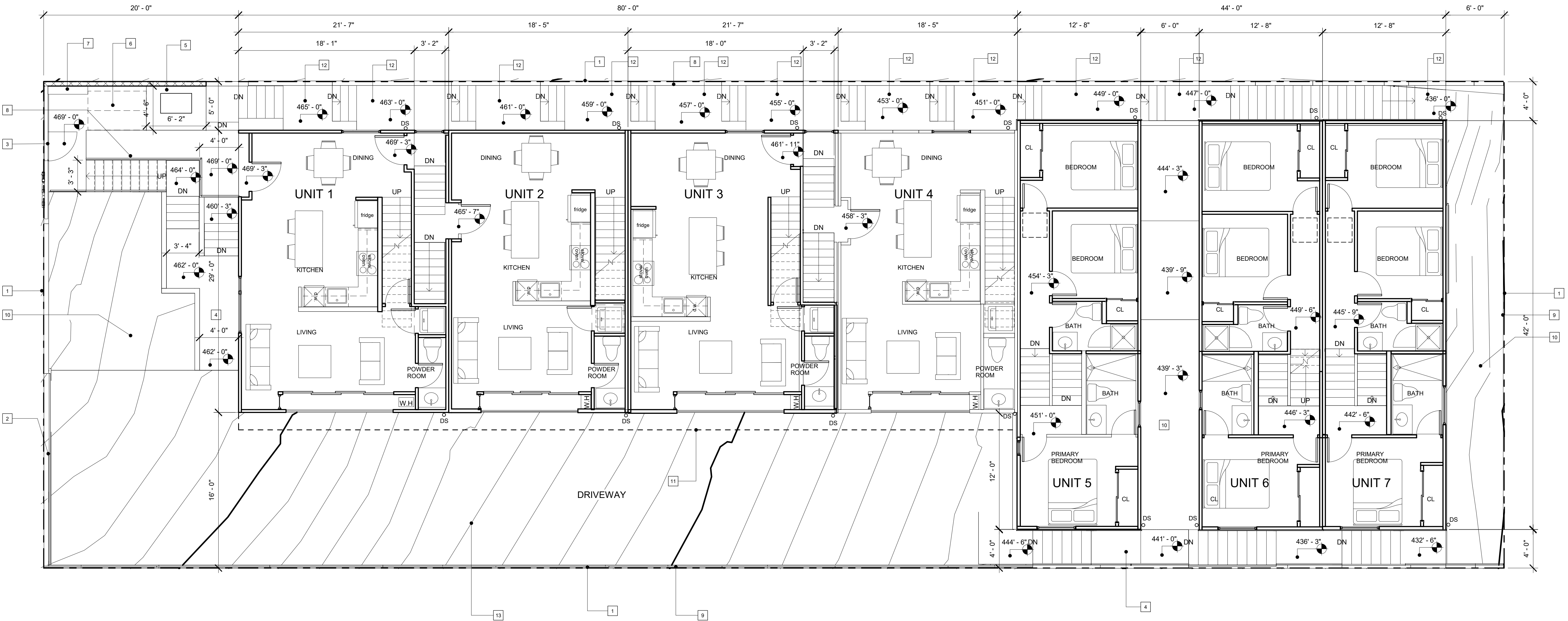


DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-102.1

KEYNOTES

1	PROPERTY LINE
2	SLIDING GATE-DRIVEWAY
3	GATE-PEDESTRAIN
4	CONC. PATHWAY
5	TRANSFORMER PAD
6	(2) SHORT-TERM BIKE PARKING
7	MAILBOX
8	RETAINING WALL
9	FENCE
10	LANDSCAPING
11	BUILDING OTLN. ABOVE
12	PAVER PER CIVIL
13	CONTOUR LINE OF EXISTING TOPO; GRADING PLAN PER CIVIL



1 1ST FLOOR PLAN
3/16" = 1'-0"





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**944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES**

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-102.2



1 2ND FLOOR PLAN
3/16" = 1'-0"

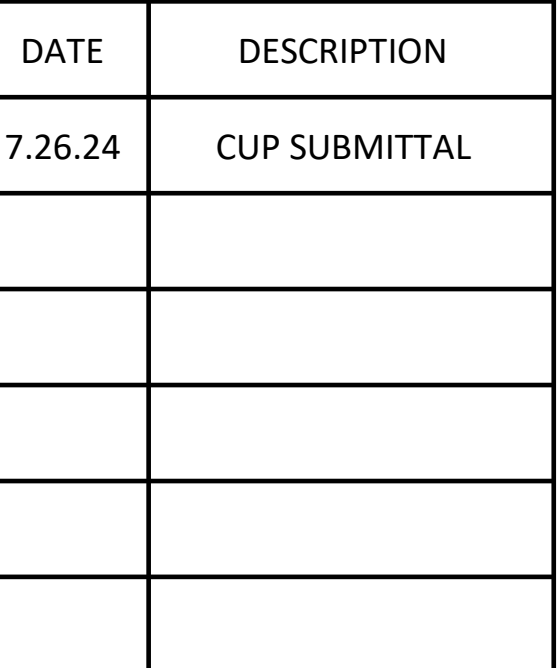


1	ROOF DRAIN & OVERFLOW DRAIN
2	SOLAR PANELS, SEPARATE PERMIT BY OTHERS



944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



A-102.3





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Los Angeles, California

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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



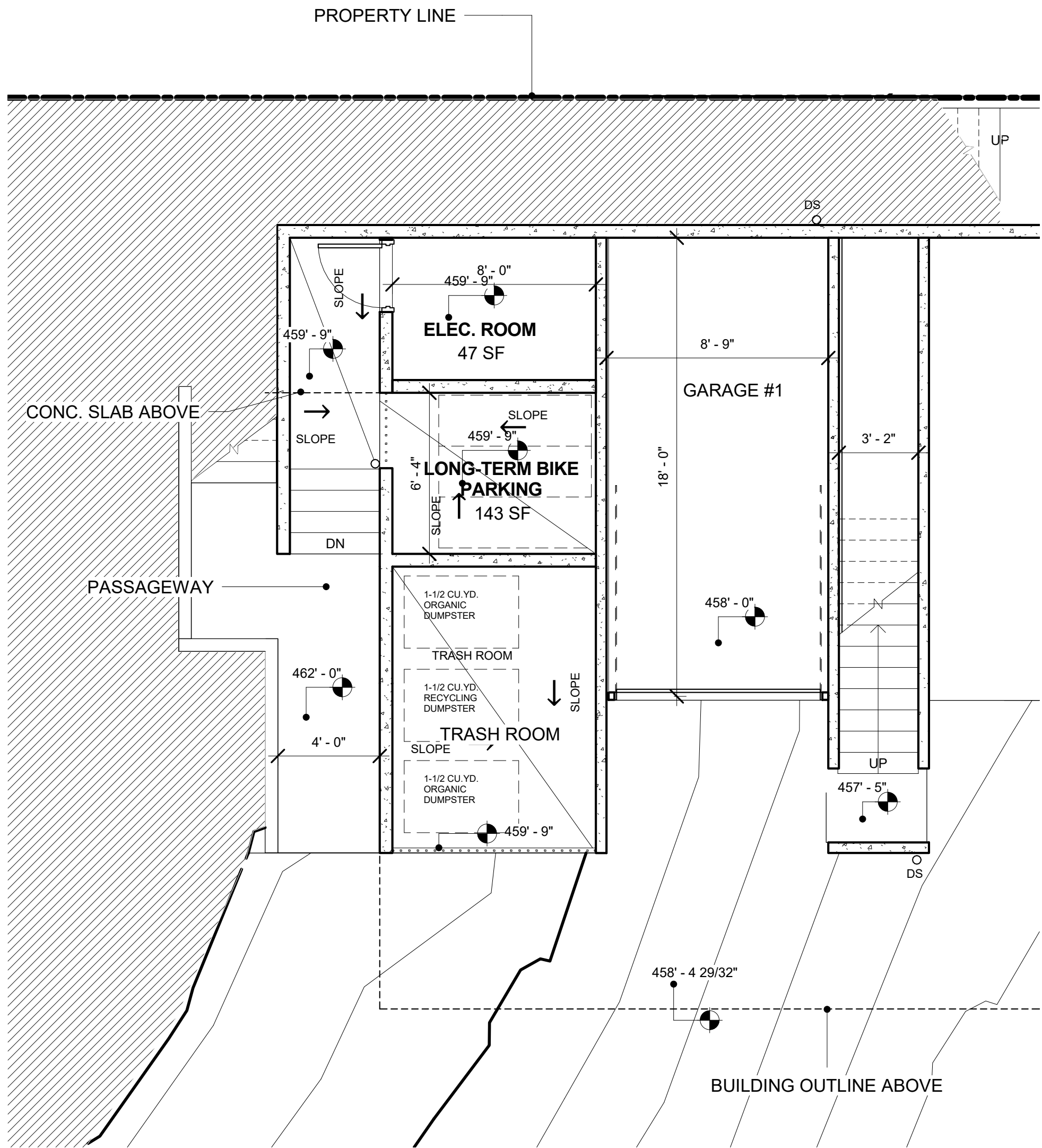
DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-103.0

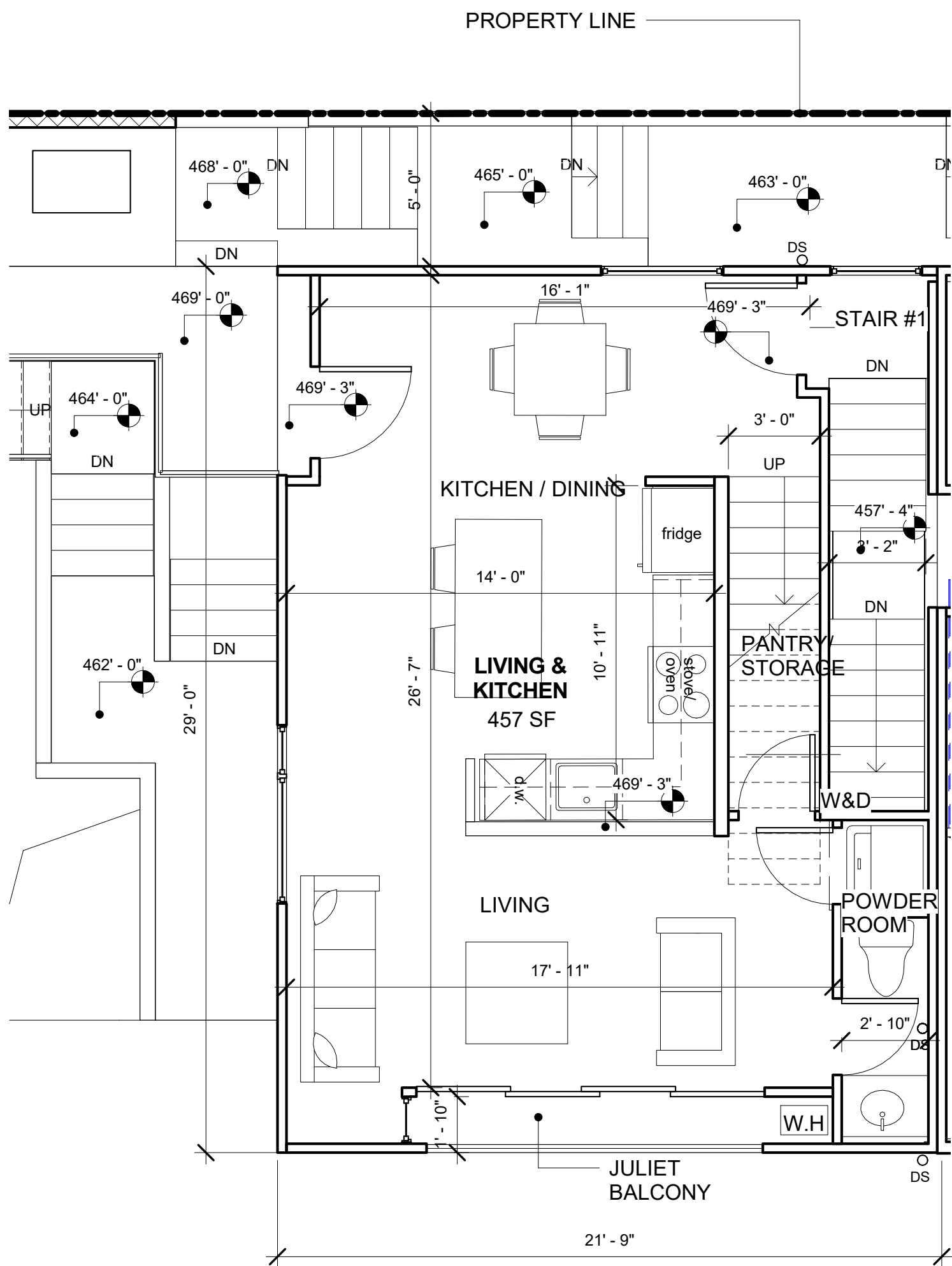
N EASTMAN AVE

UNIT #1
(MFD)

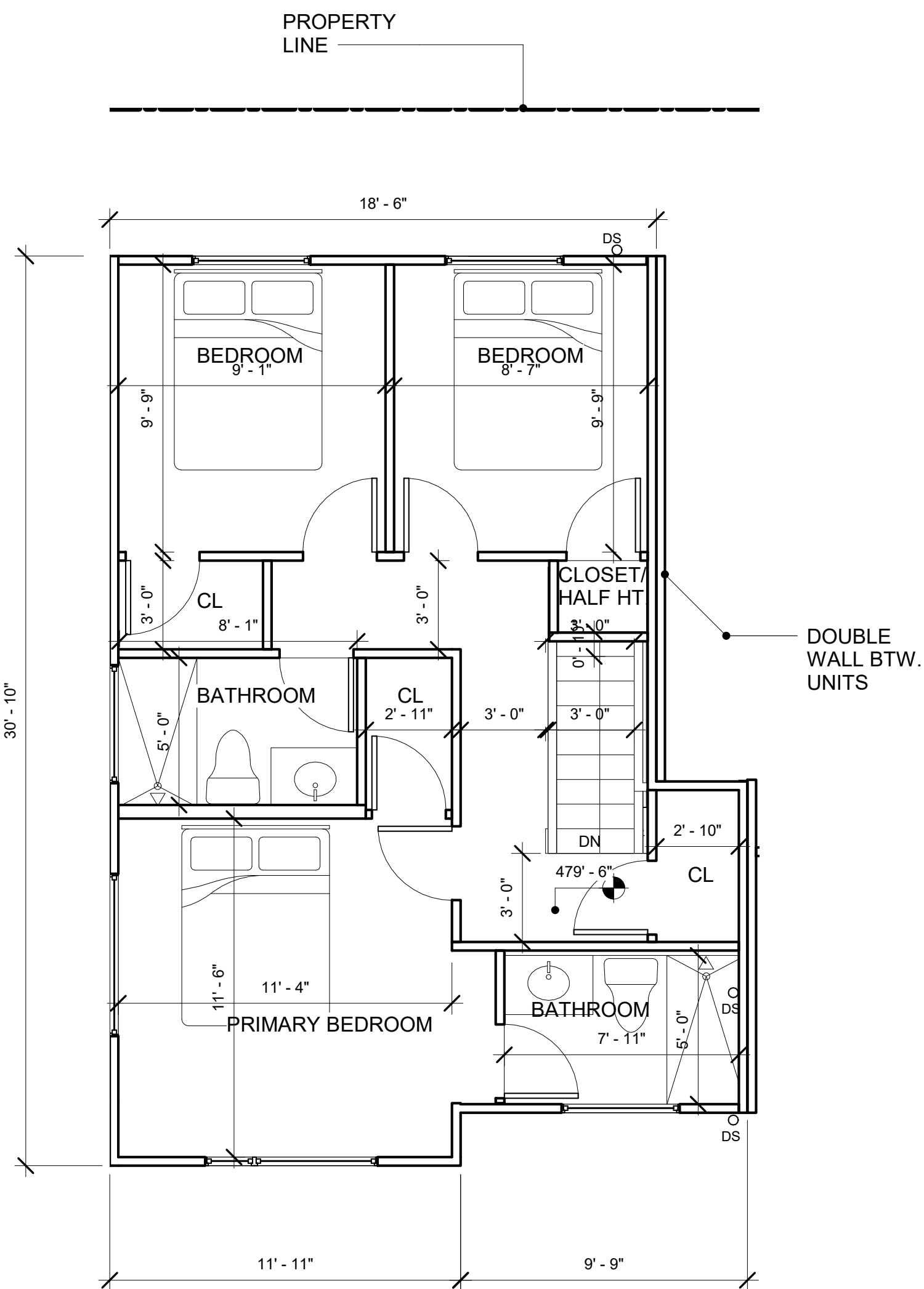
KEY PLAN



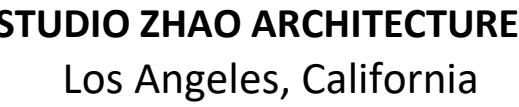
2 GROUND LEVEL PLAN-UNIT 1
1/4" = 1'-0"



3 1ST LEVEL PLAN-UNIT 1
1/4" = 1'-0"



4 2ND LEVEL PLAN-UNIT 1
1/4" = 1'-0"

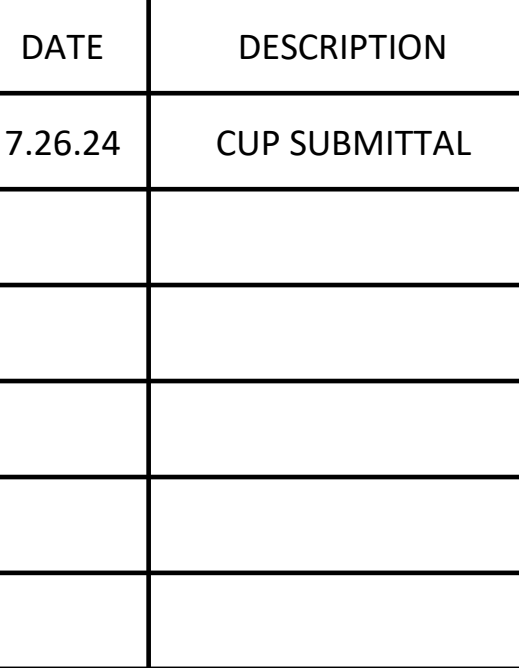


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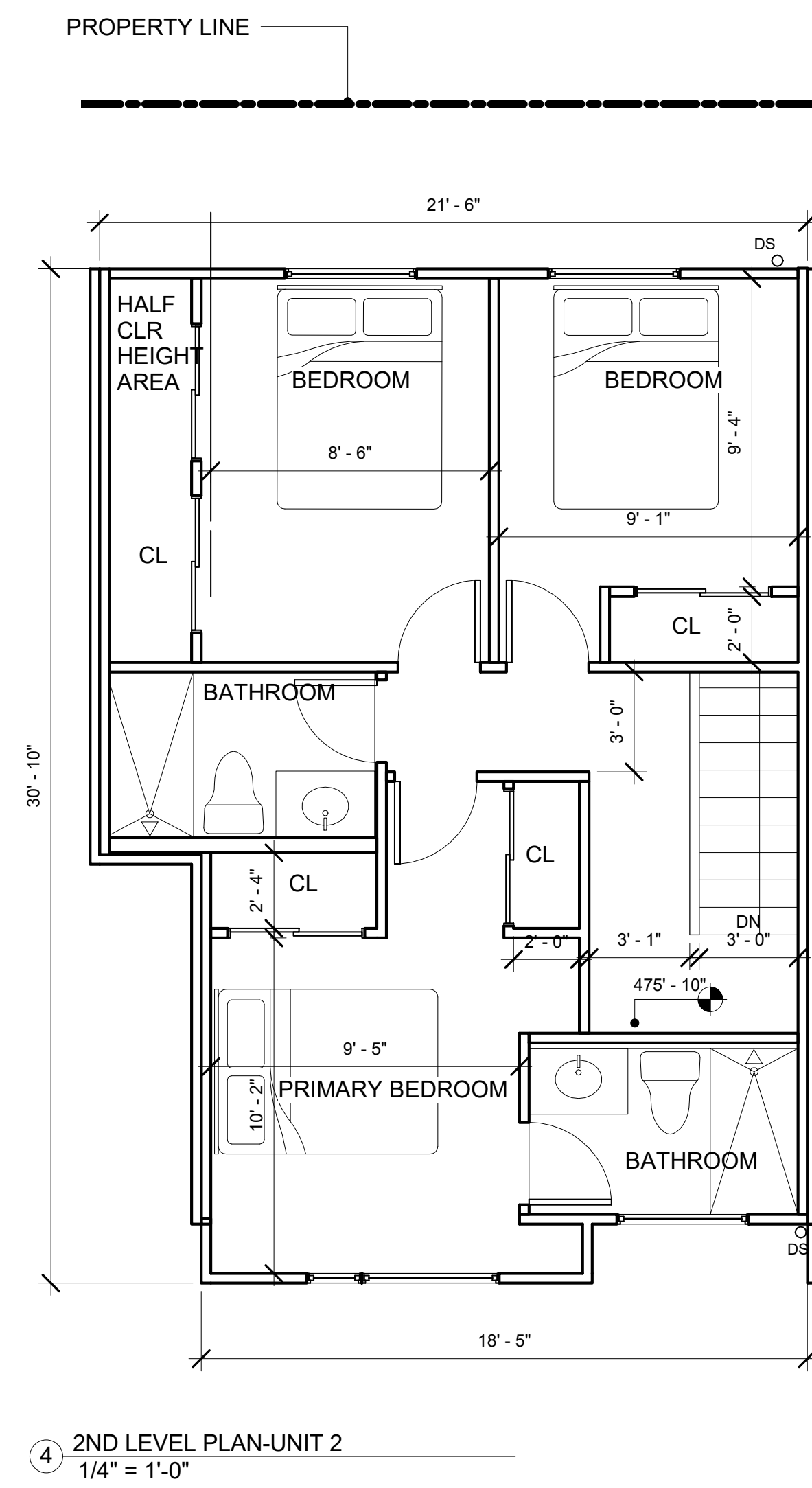
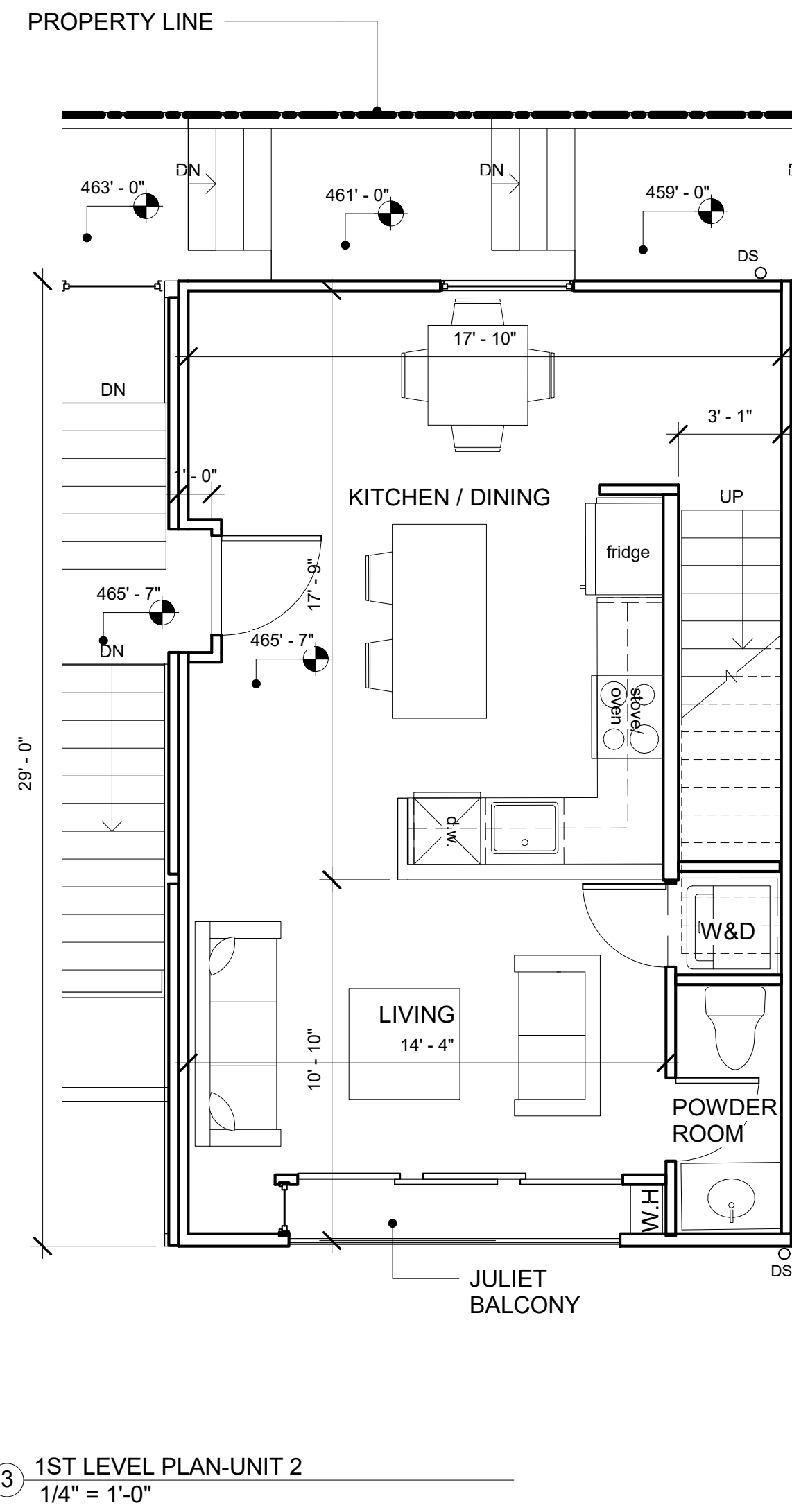
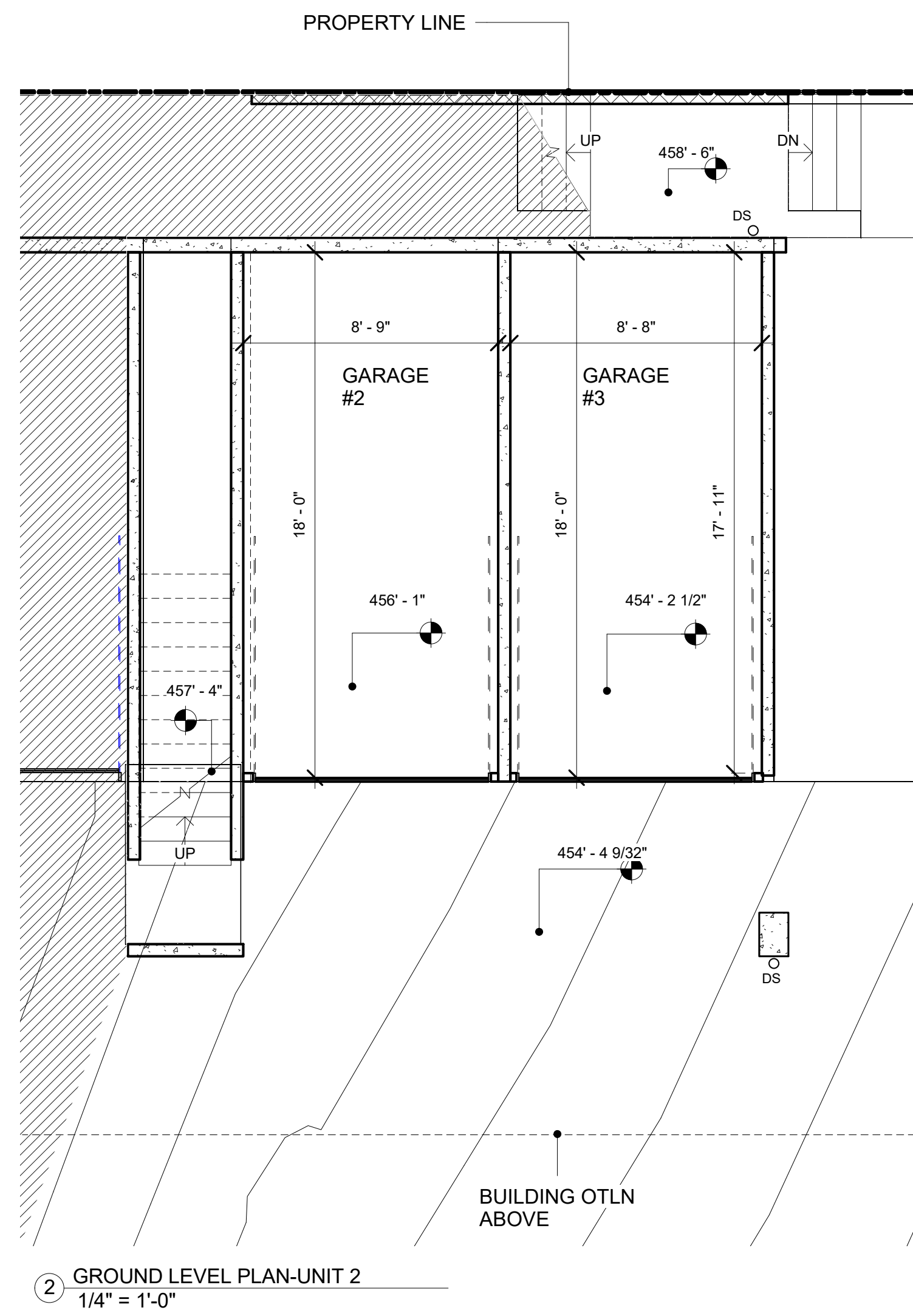
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

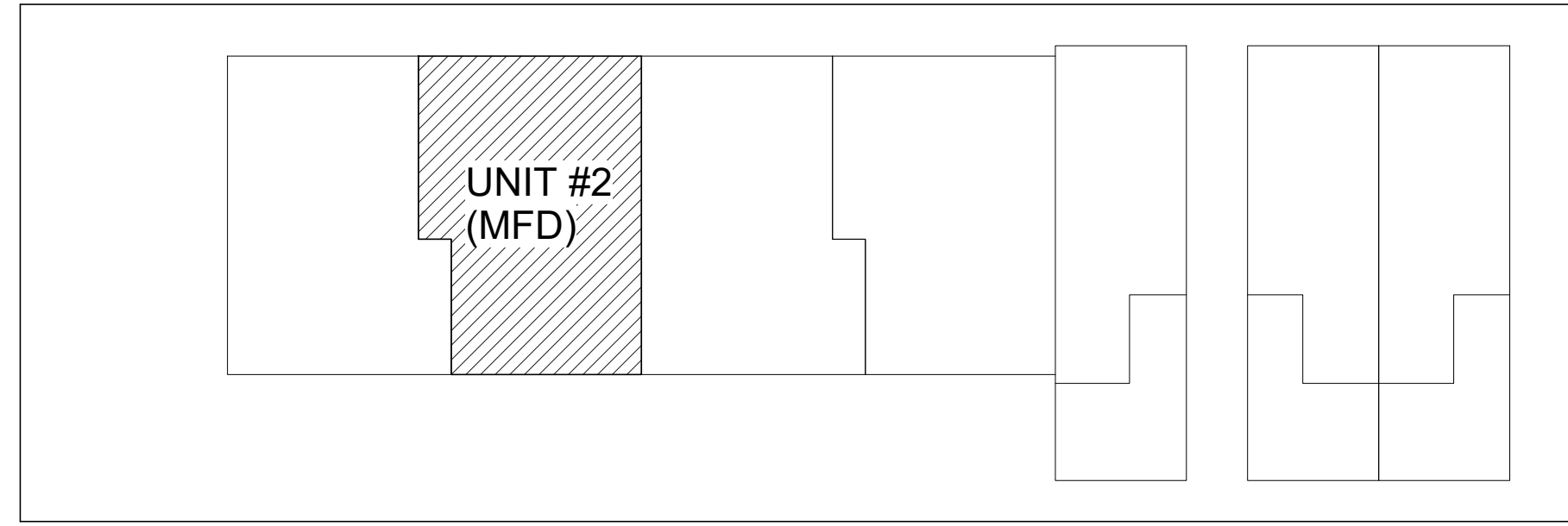
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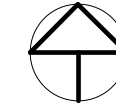
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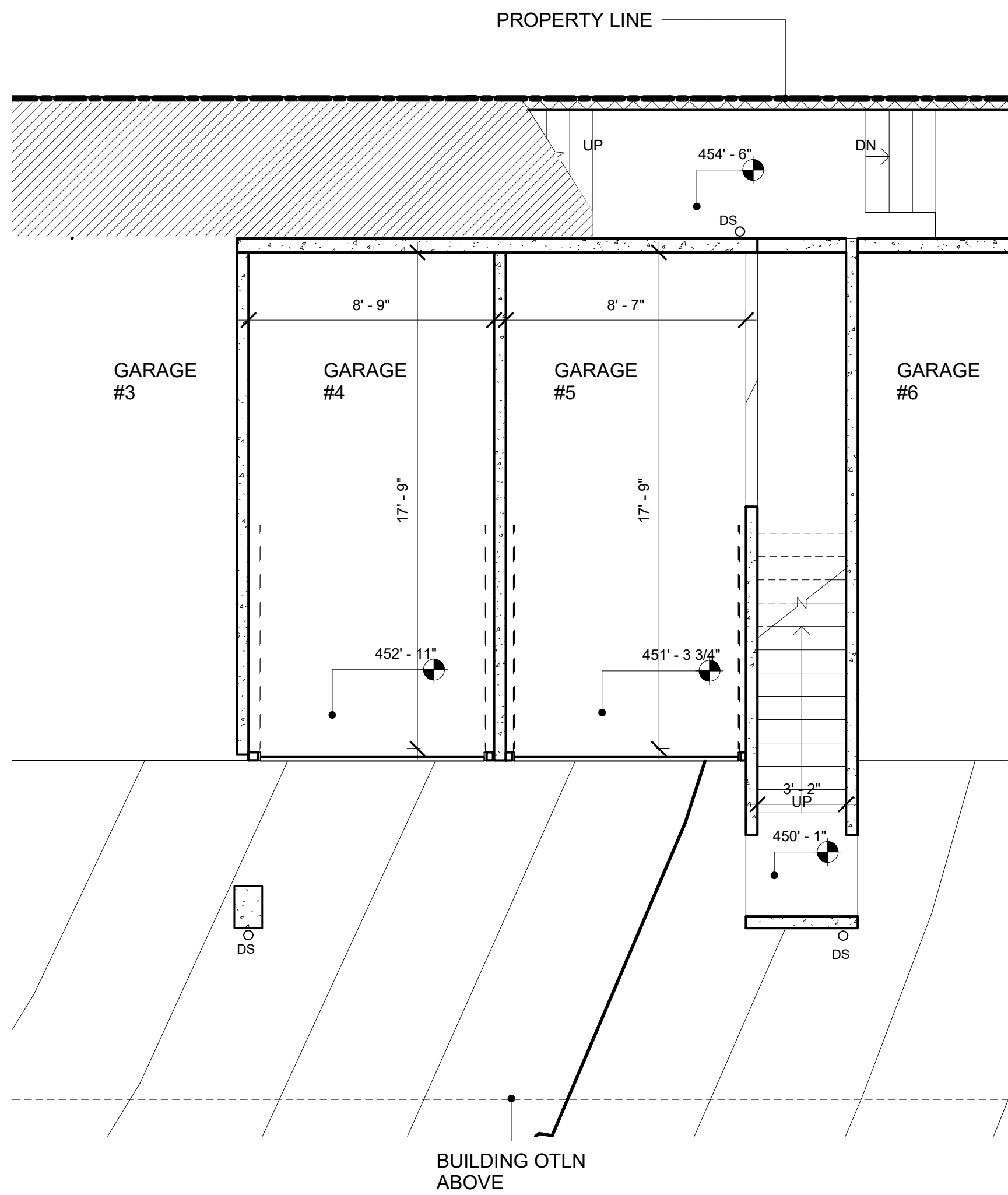


N EASTMAN AVE

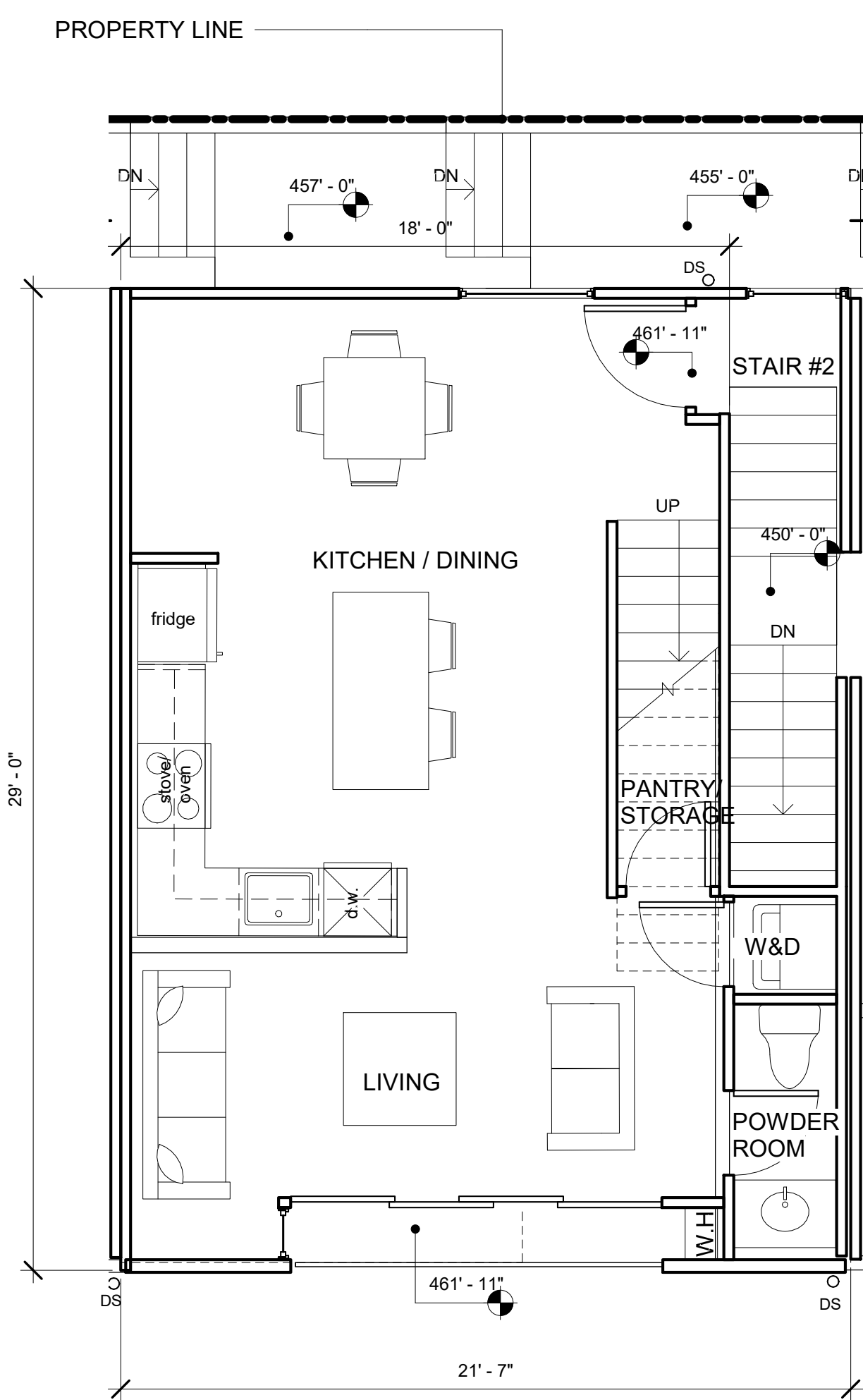


KEY PLAN

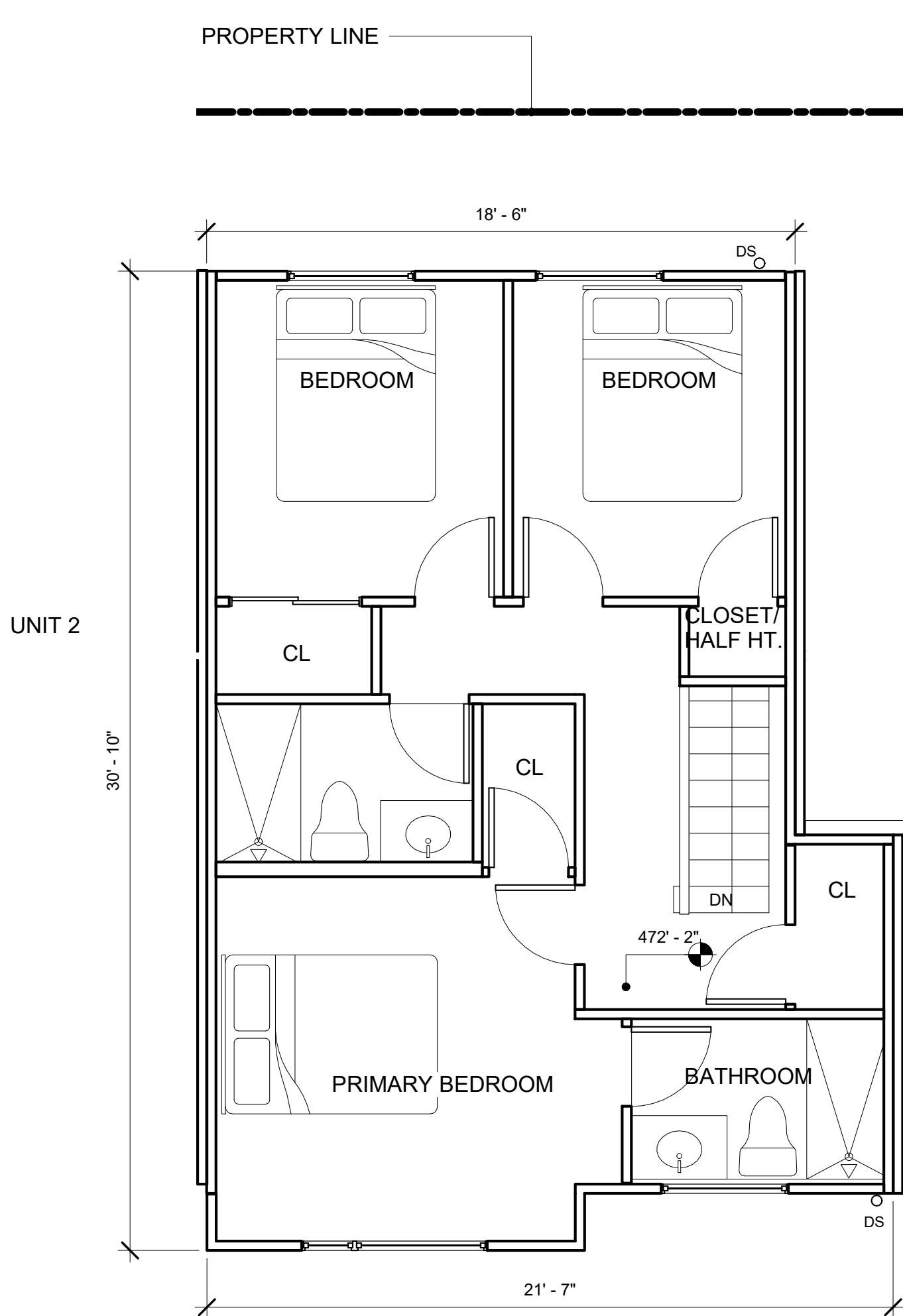




2 GROUND LEVEL PLAN-UNIT 3
1/4" = 1'-0"

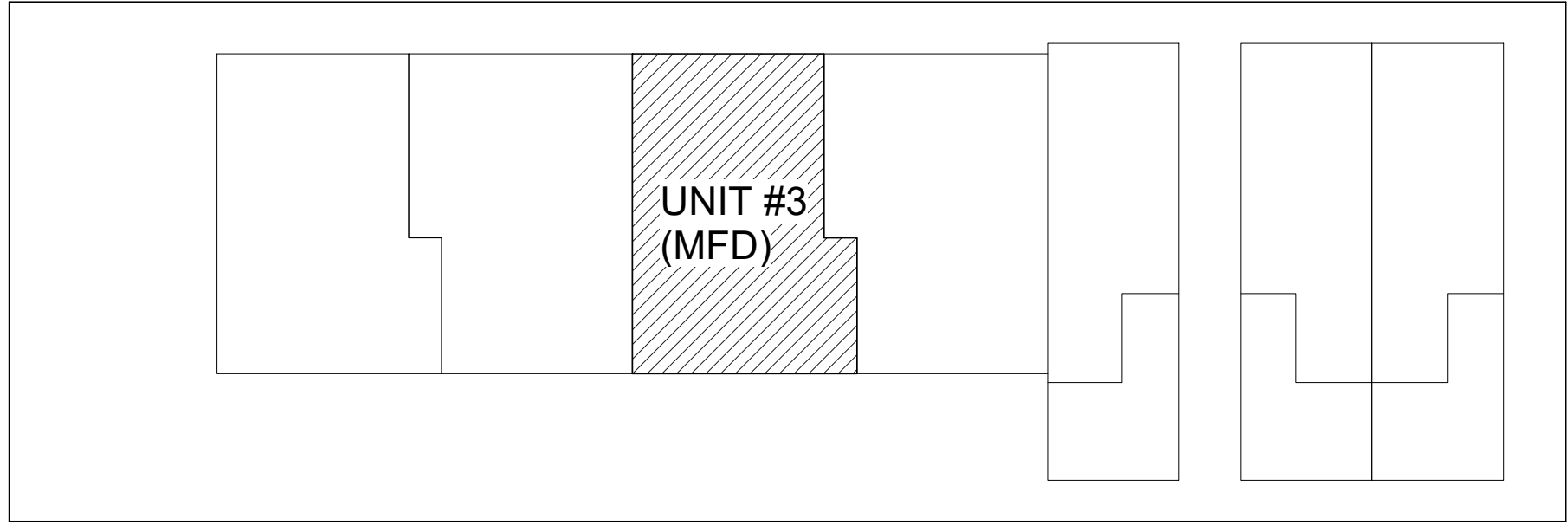


3 1ST LEVEL PLAN-UNIT 3
1/4" = 1'-0"

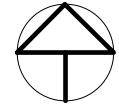


4 2ND LEVEL PLAN-UNIT 3
1/4" = 1'-0"

N EASTMAN AVE



KEY PLAN



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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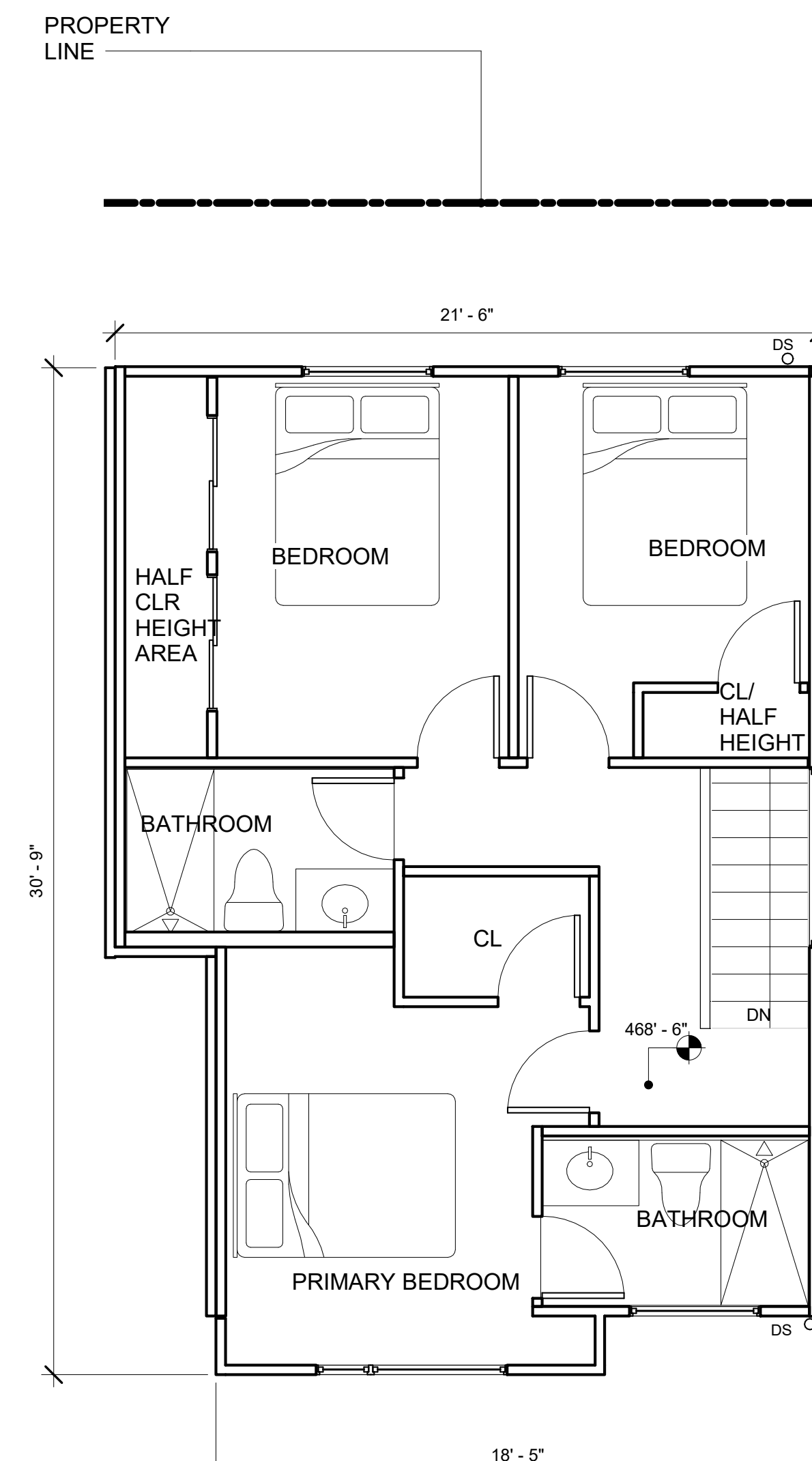
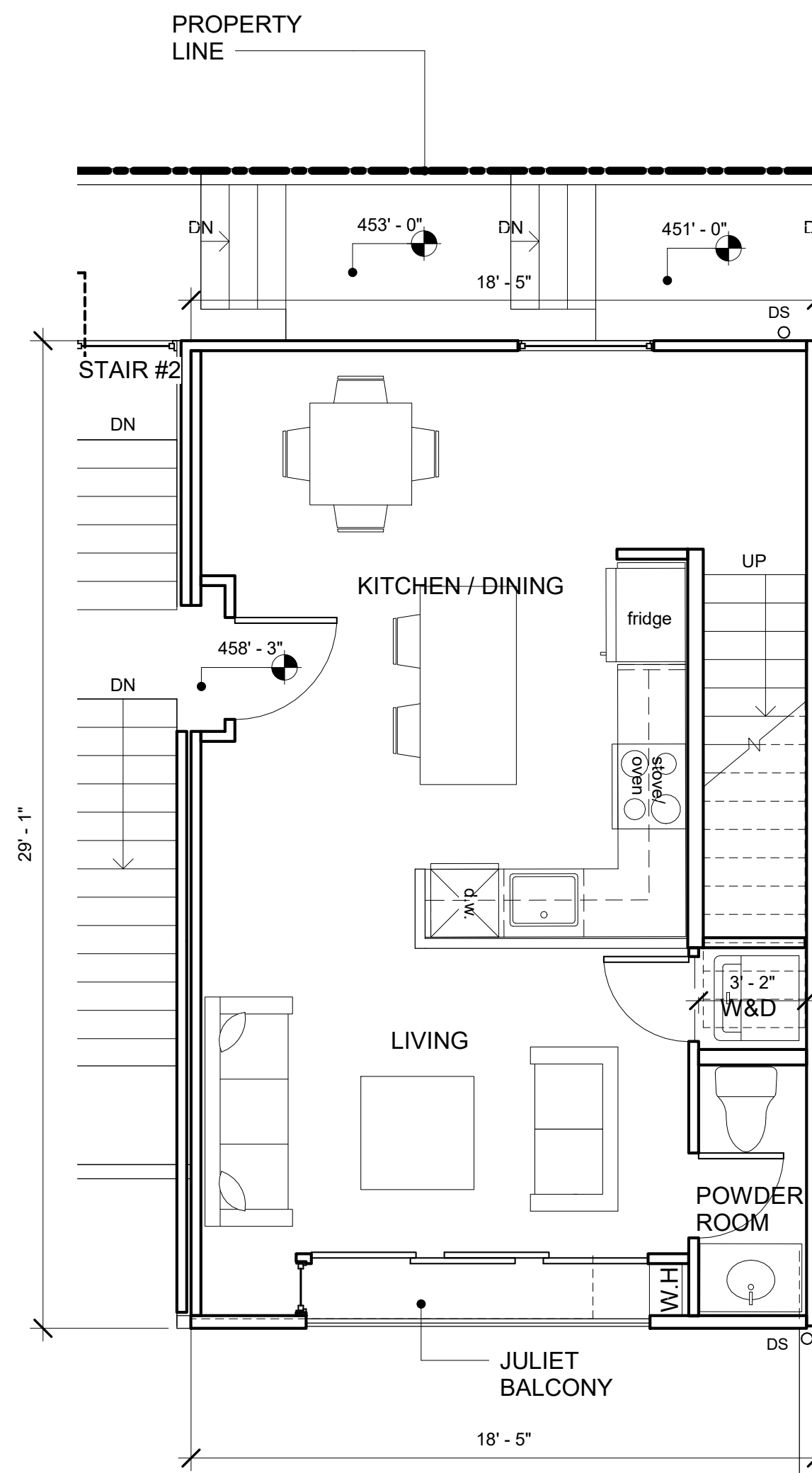
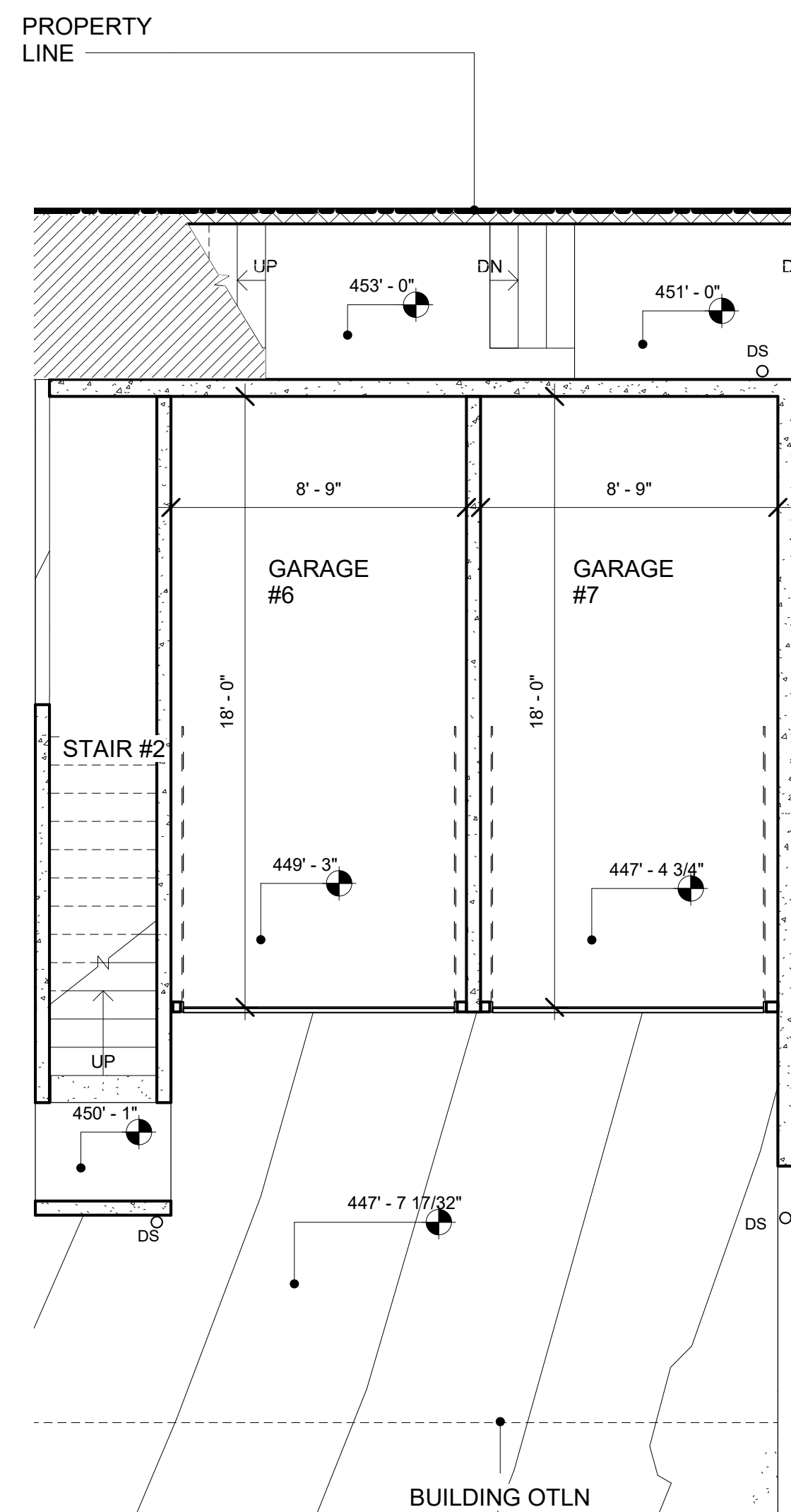
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

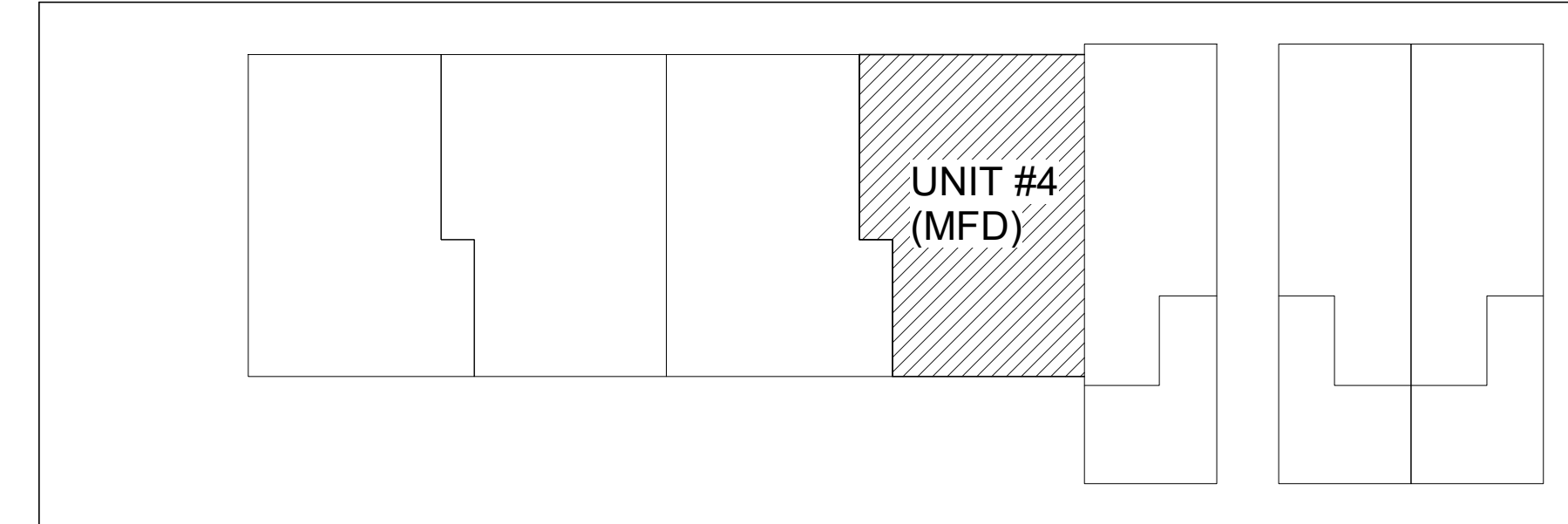


DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

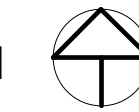
A-103.2



N EASTMAN AVE



KEY PLAN



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
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A-103.3



STUDIO ZHAO ARCHITECTURE
Los Angeles, California

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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

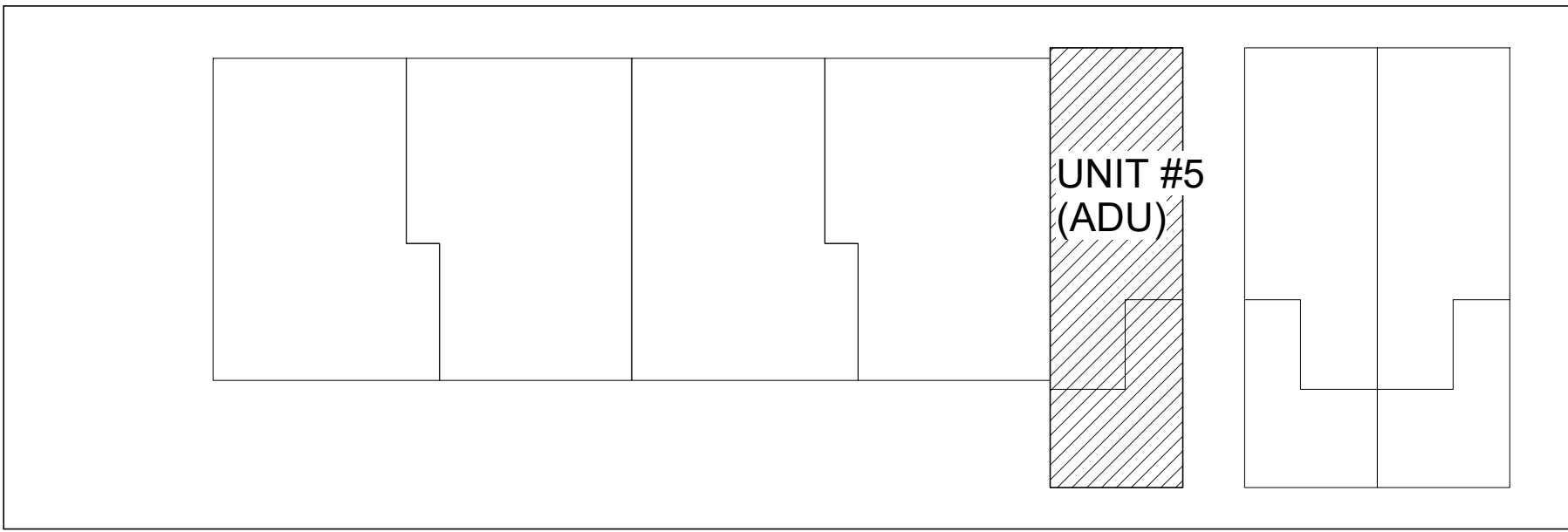
LOS ANGELES, CA 90063
APN: 5230-010-005



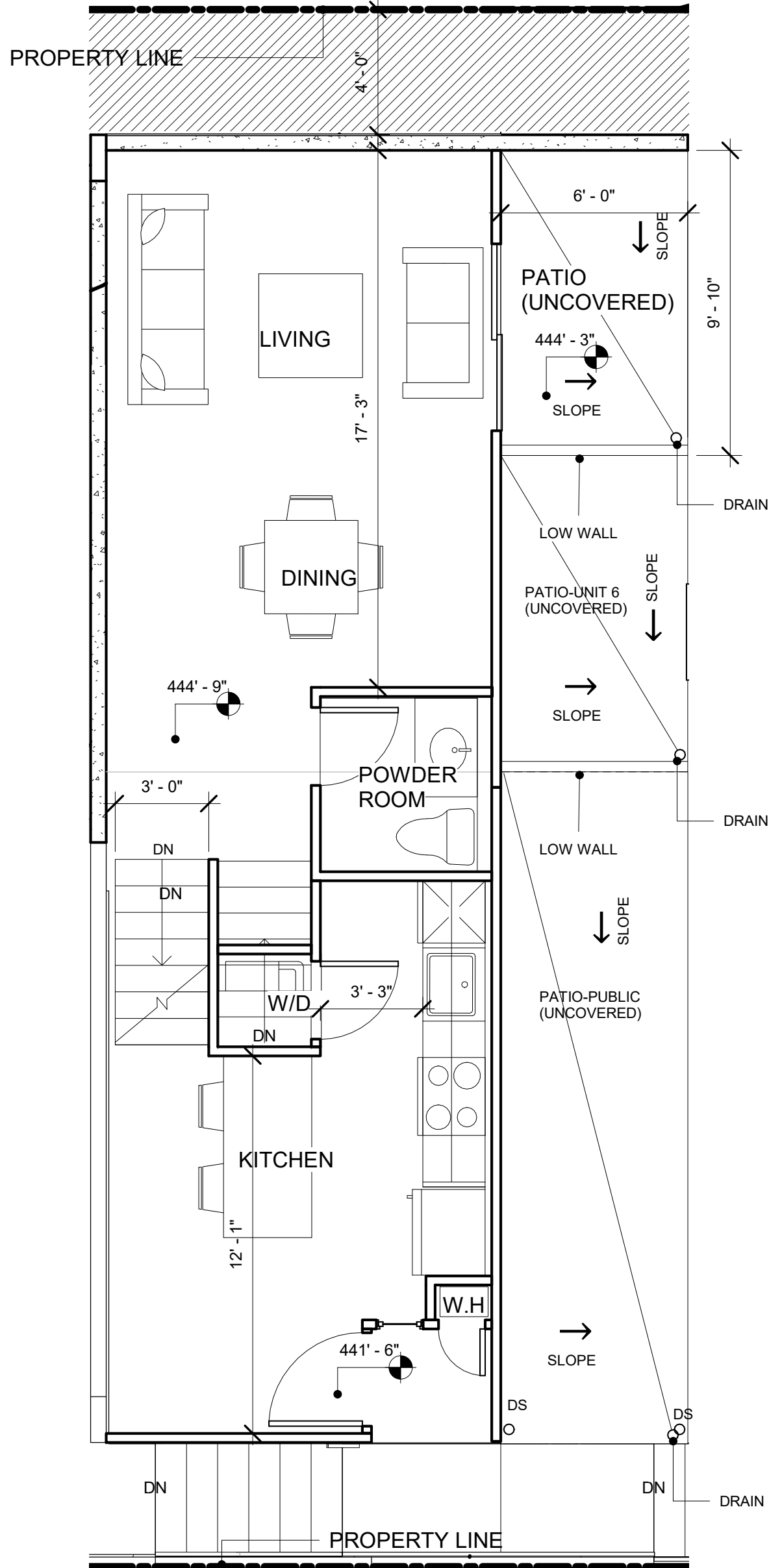
DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-103.4

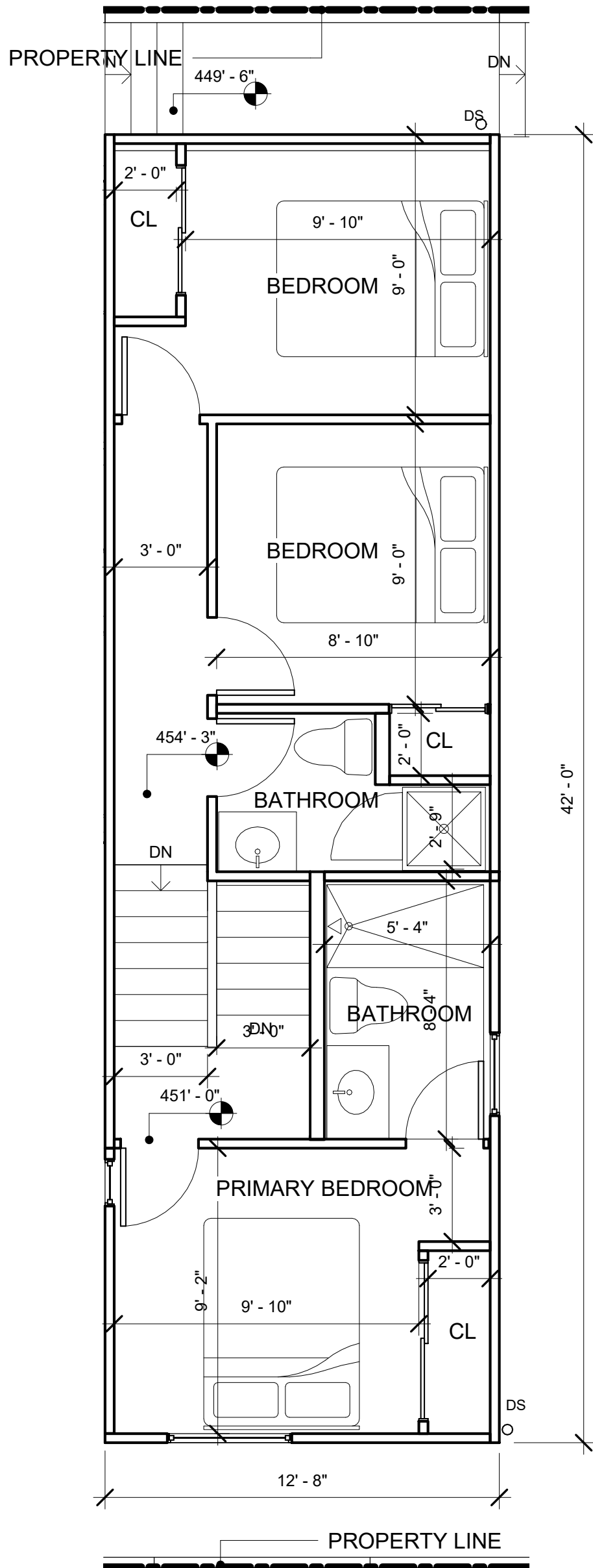
N EASTMAN AVE



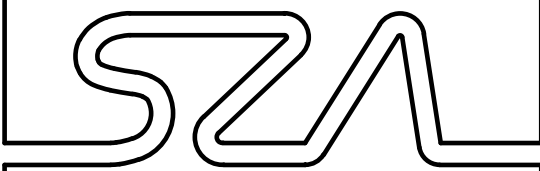
KEY PLAN



② 1ST LEVEL PLAN-UNIT 5
1/4" = 1'-0"



③ 2ND LEVEL PLAN-UNIT 5
1/4" = 1'-0"



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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



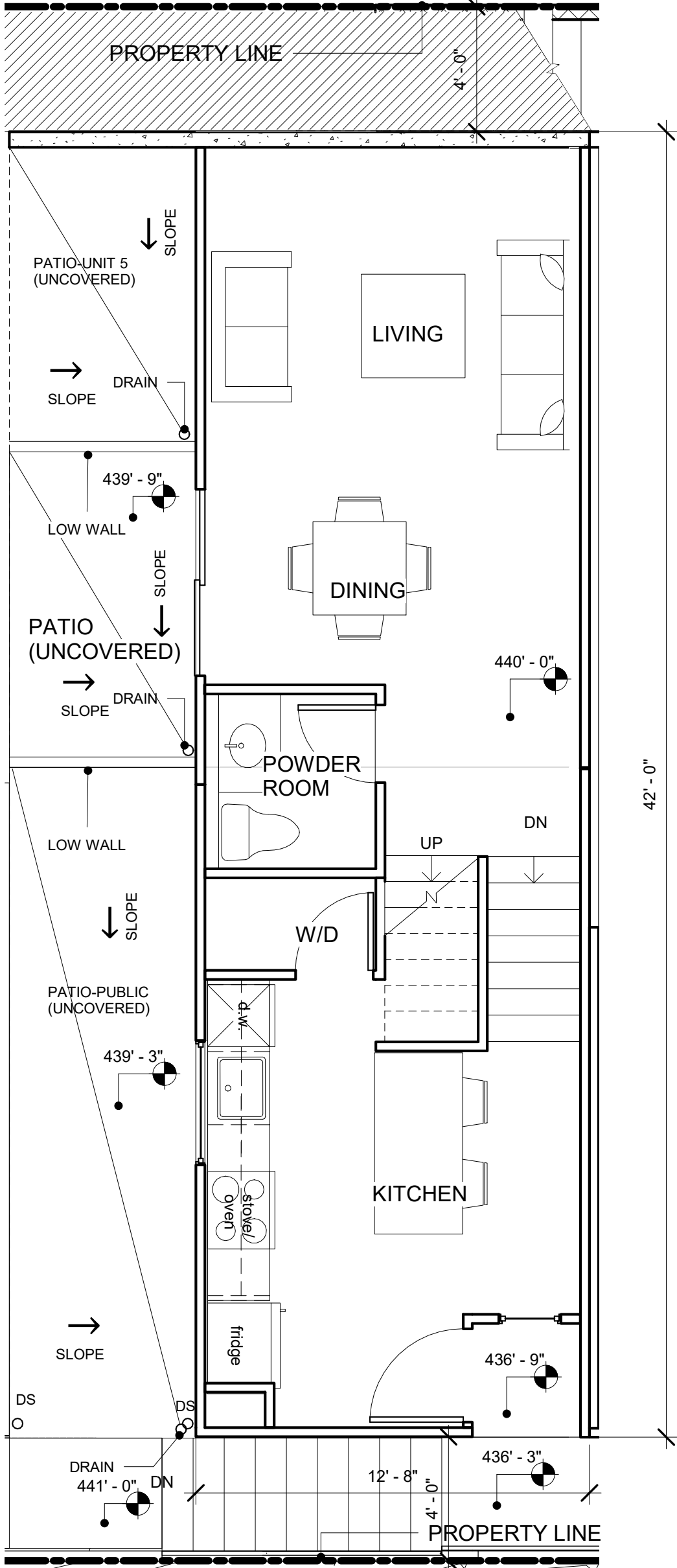
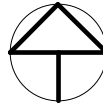
DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-103.5

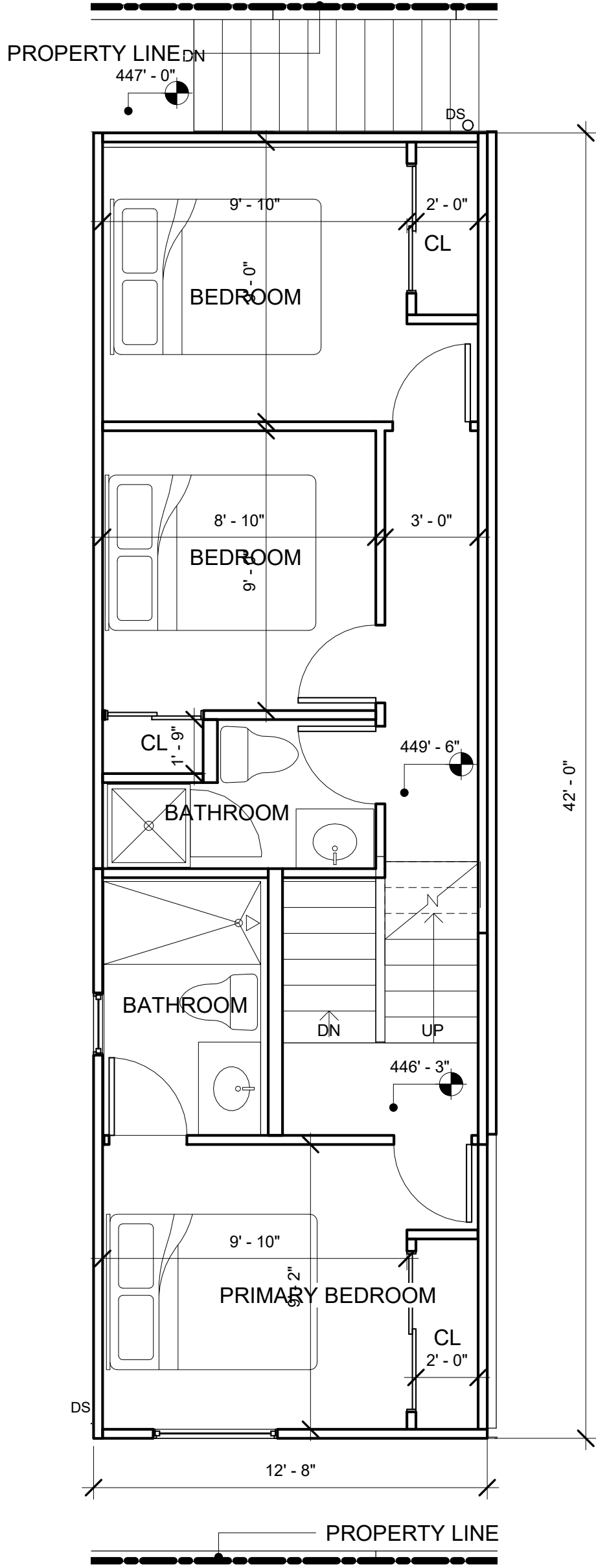
N EASTMAN AVE

UNIT #6
(ADU)

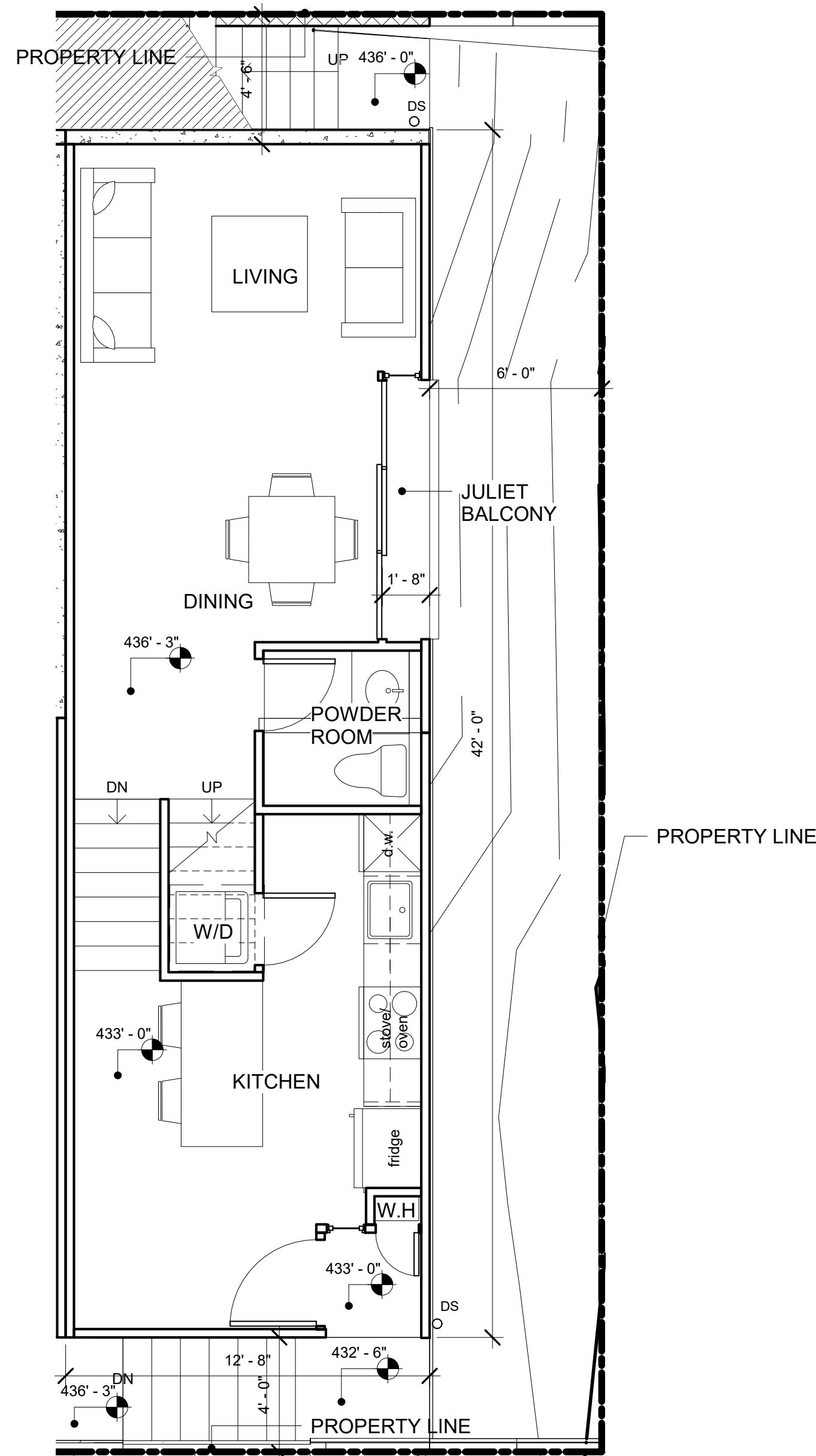
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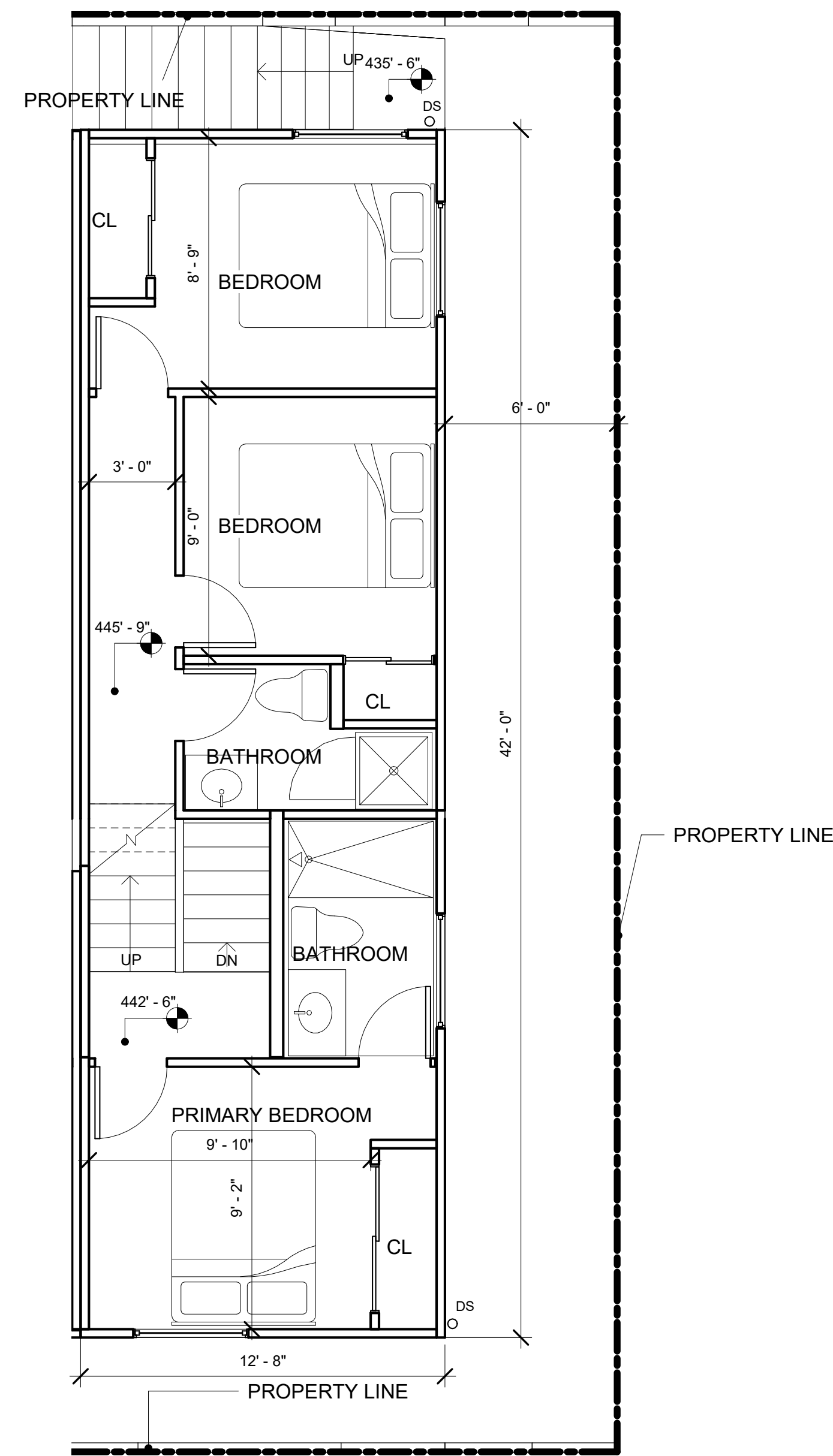
② 1ST LEVEL PLAN-UNIT 6
1/4" = 1'-0"



③ 2ND LEVEL PLAN-UNIT 6
1/4" = 1'-0"

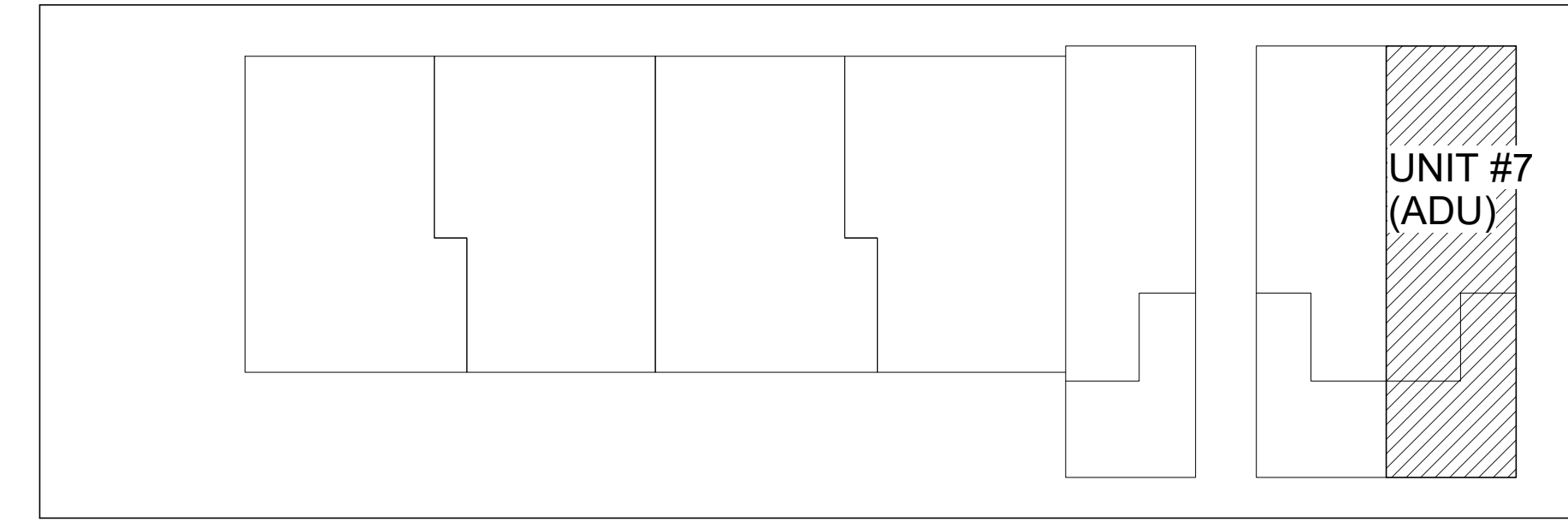


② 1ST LEVEL PLAN-UNIT 7
1/4" = 1'-0"



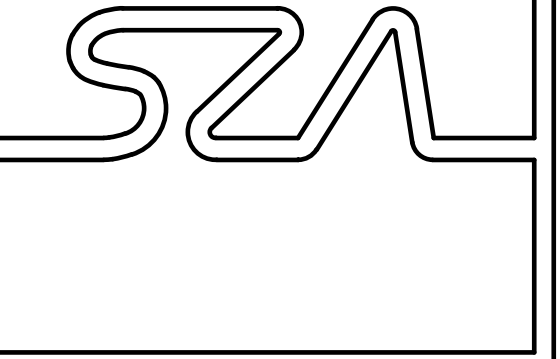
③ 2ND LEVEL PLAN-UNIT 7
1/4" = 1'-0"

N EASTMAN AVE



KEY PLAN

UNIT #7
(ADU)

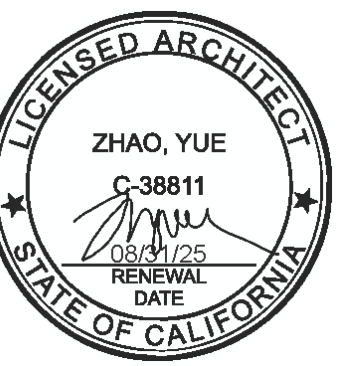


STUDIO ZHAO ARCHITECTURE
Los Angeles, California

3108 Glendale Blvd, #635
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**944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES**

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-103.6



- 1ST FL-UNIT 1
469' - 3"
- 1ST FL-UNIT 2
465' - 7"
- 1ST FL-UNIT 3
461' - 11"
- GROUND LEVEL
PLAN-UNIT 1
460' - 3"
- 1ST FL-UNIT 4
458' - 3"
- GARAGE
LEVEL-UNIT 2
456' - 7"
- GARAGE
LEVEL-UNIT 3
452' - 11"
- GARAGE
LEVEL-UNIT 4
449' - 3"
- 1ST FL-UNIT 5
441' - 6"
- 1ST FL-UNIT 6
436' - 9"
- 1ST FL-UNIT 7
433' - 0"
- Ref. Level 1
430' - 0"

WARM WHITE/
SMOOTH FINISH
STUCCO/
EXTERIOR WALLS

SLATE GRAY/
METAL PAINT,
SEMI-GLOSS/
METAL RAILS,
GATES, FENCE

OAK VENEER/
EXTERIOR FRONT DOOR

KEYNOTES	
1	STUCCO / SMOOTH FINISH / WARM WHITE
2	METAL PAINT / SLATE GRAY
3	CMU WALL
4	MAILBOX
5	TRANSFORMER
6	CONC. WALL
7	METAL GATE - PEDESTRAIN
8	SLIDING GATE-PARKING ENTRANCE
9	CONTOUR LINE (1FT INTERVAL) OF EXISTING TOPOGRAPHY PER SURVEY
10	EXTERIOR DOOR/ OAK VENEER



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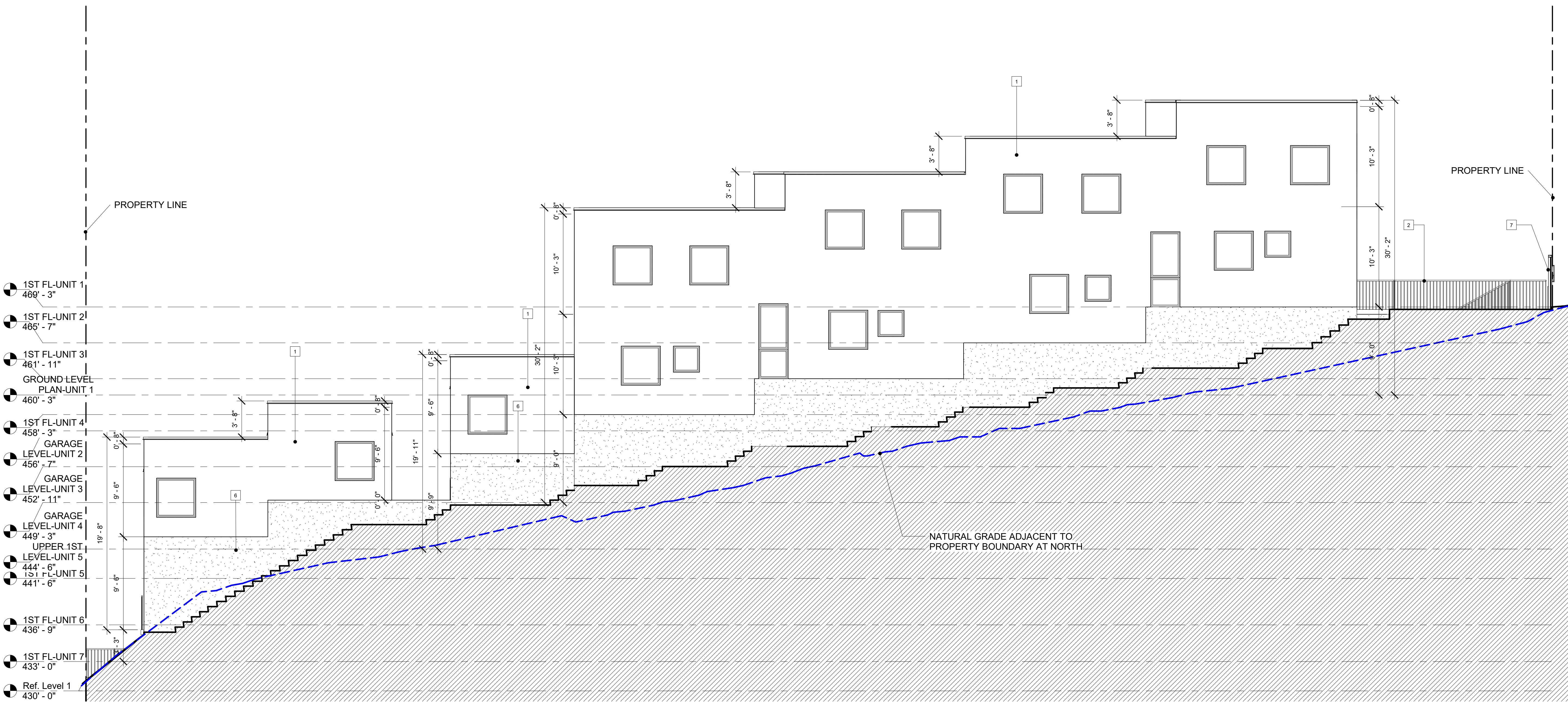
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
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A-201.0





WARM WHITE/
SMOOTH FINISH
STUCCO/
EXTERIOR WALLS



SLATE GRAY/
METAL PAINT,
SEMI-GLOSS/
METAL RAILS,
GATES, FENCE



OAK VENEER/
EXTERIOR FRONT DOOR

KEYNOTES

1	STUCCO / SMOOTH FINISH / WARM WHITE
2	METAL PAINT / SLATE GRAY
3	CMU WALL
4	MAILBOX
5	TRANSFORMER
6	CONC. WALL
7	METAL GATE - PEDESTRAIN
8	SLIDING GATE-PARKING ENTRANCE
9	CONTOUR LINE (1FT INTERVAL) OF EXISTING TOPOGRAPHY PER SURVEY
10	EXTERIOR DOOR/ OAK VENEER

1 NORTH ELEVATION
3/16" = 1'-0"



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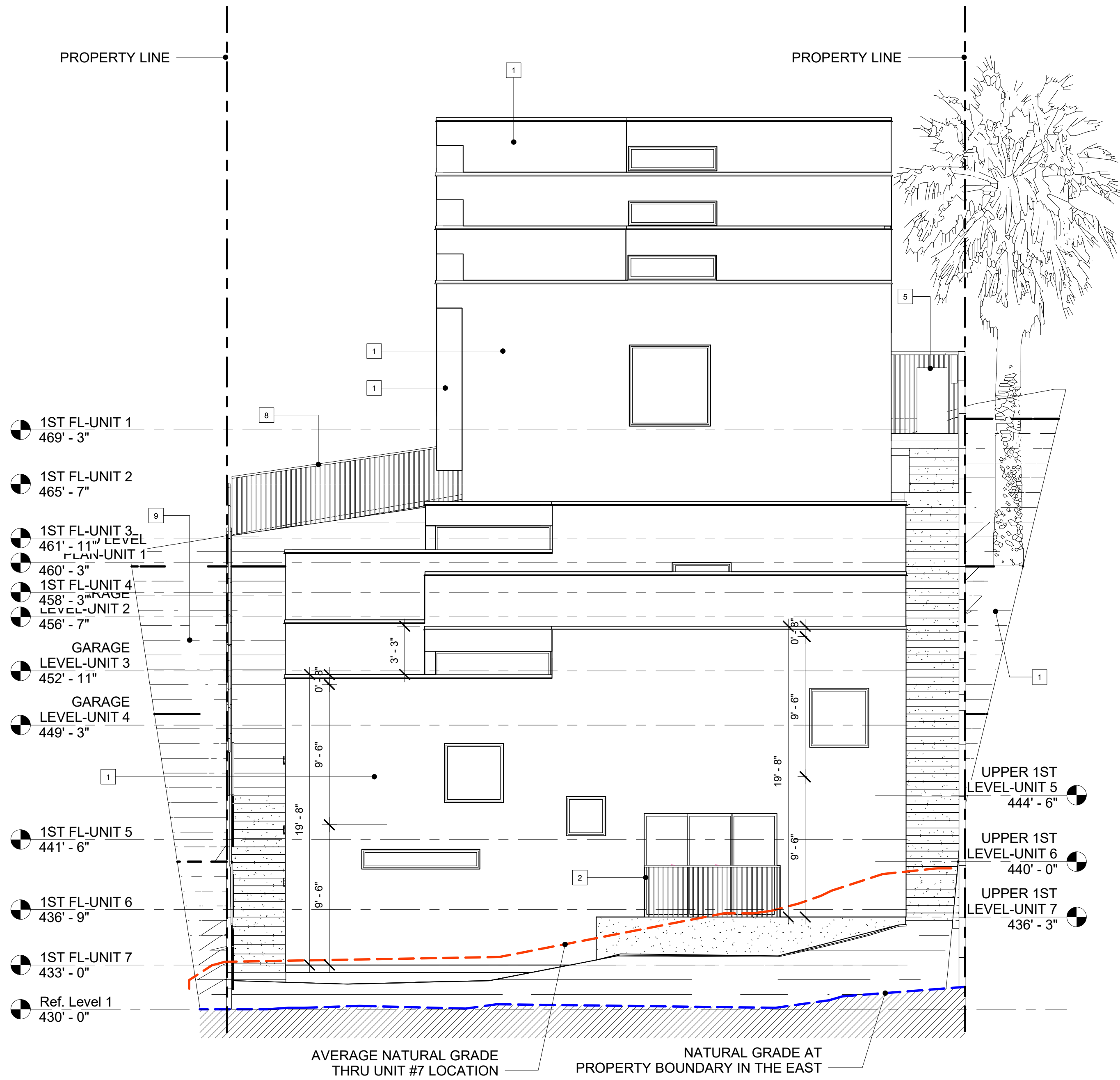
944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005

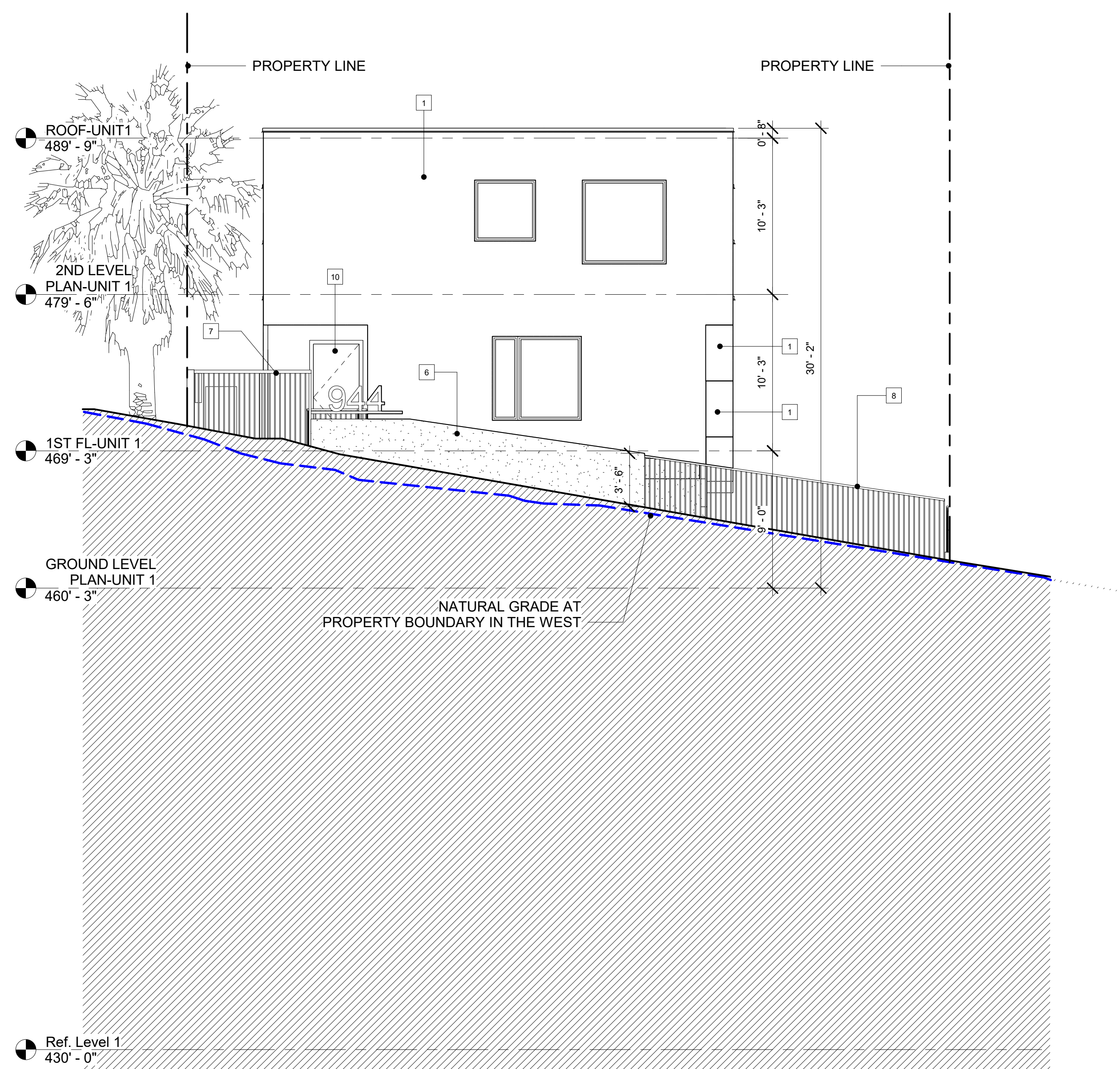


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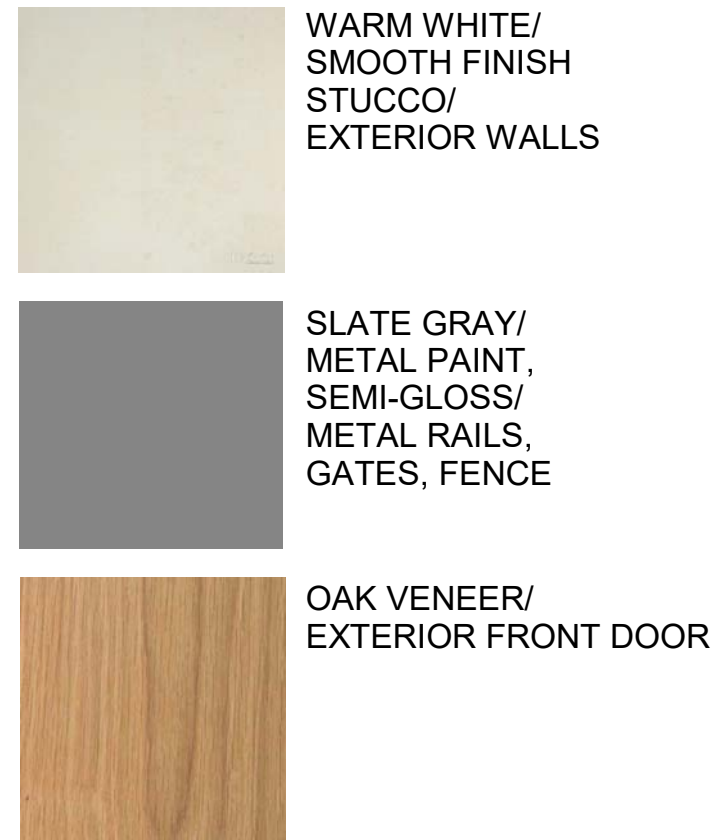
A-201.1



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"



KEYNOTES

1	STUCCO / SMOOTH FINISH / WARM WHITE
2	METAL PAINT / SLATE GRAY
3	CMU WALL
4	MAILBOX
5	TRANSFORMER
6	CONC. WALL
7	METAL GATE - PEDESTRAIN
8	SLIDING GATE-PARKING ENTRANCE
9	CONTOUR LINE (1FT INTERVAL) OF EXISTING TOPOGRAPHY PER SURVEY
10	EXTERIOR DOOR/ OAK VENEER



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944 N. EASTMAN AVE
MULTI-FAMILY RESIDENCES

LOS ANGELES, CA 90063
APN: 5230-010-005



DATE	DESCRIPTION
7.26.24	CUP SUBMITTAL

A-201.2



PROJECT NUMBER

PRJ2024 002632-(1)

MEETING DATE

September 18, 2024

REQUESTED ENTITLEMENT(S)

Zoning Conformance Review No. RPPL2024003986

PROJECT SUMMARY

OWNER / APPLICANT Davin Sov / Yue Zhao	EXHIBIT DATE July 30, 2024
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PROJECT OVERVIEW
Senate Bill (SB) 35 Preliminary Application to request streamlined ministerial review of a multifamily development consisting of a four-unit apartment house—with attached bike parking room, trash enclosure, seven (7) one-car garages, and an attached Accessory Dwelling Unit (ADU)—and two (2) detached ADUs on a vacant hillside lot.

LOCATION 944 N Eastman Avenue, Los Angeles CA 90063		ACCESS Eastman Avenue	
ASSESSORS PARCEL NUMBER 5230-010-005		SITE AREA 0.18 Acres	
LOCAL PLAN Metro Area Plan		ZONED DISTRICT East Los Angeles	PLANNING AREA Metro
LAND USE DESIGNATION H18 (Residential 0 – 18 du/ac)		ZONE R-2 (Two Family Residence)	
PROPOSED UNITS Four (4) primary units + three (3) ADUs	MAX DENSITY/UNITS 18 du/ac (4 primary)	COMMUNITY STANDARDS DISTRICT East Los Angeles CSD	

ENVIRONMENTAL DETERMINATION (CEQA)
The project is statutorily exempt from CEQA pursuant to Public Resources Code Section 21080(b)(1) and section 15268 of the State CEQA Guidelines because it will be reviewed via a ministerial Site Plan Review.

- KEY ISSUES**
- Satisfaction of the requirements of SB 35, as amended by SB 423
 - Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.18.040 (Development Standards for Residential Zones)
 - Chapter 22.132 (Storage Enclosure Requirements for Recycling and Solid Waste)
 - Section 22.364.070 (Metro PASD Zone Specific Development Standards)
 - Section 22.364.080 (East Los Angeles Community Standards District)

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