

PROJECT CONSULTANTS

PROPERTY OWNER/ ARCHITECT:
STEVEN & VICTORIA BURNS
1000 PARK AVENUE, #1A
NEW YORK, NY 10028
312-415-4718

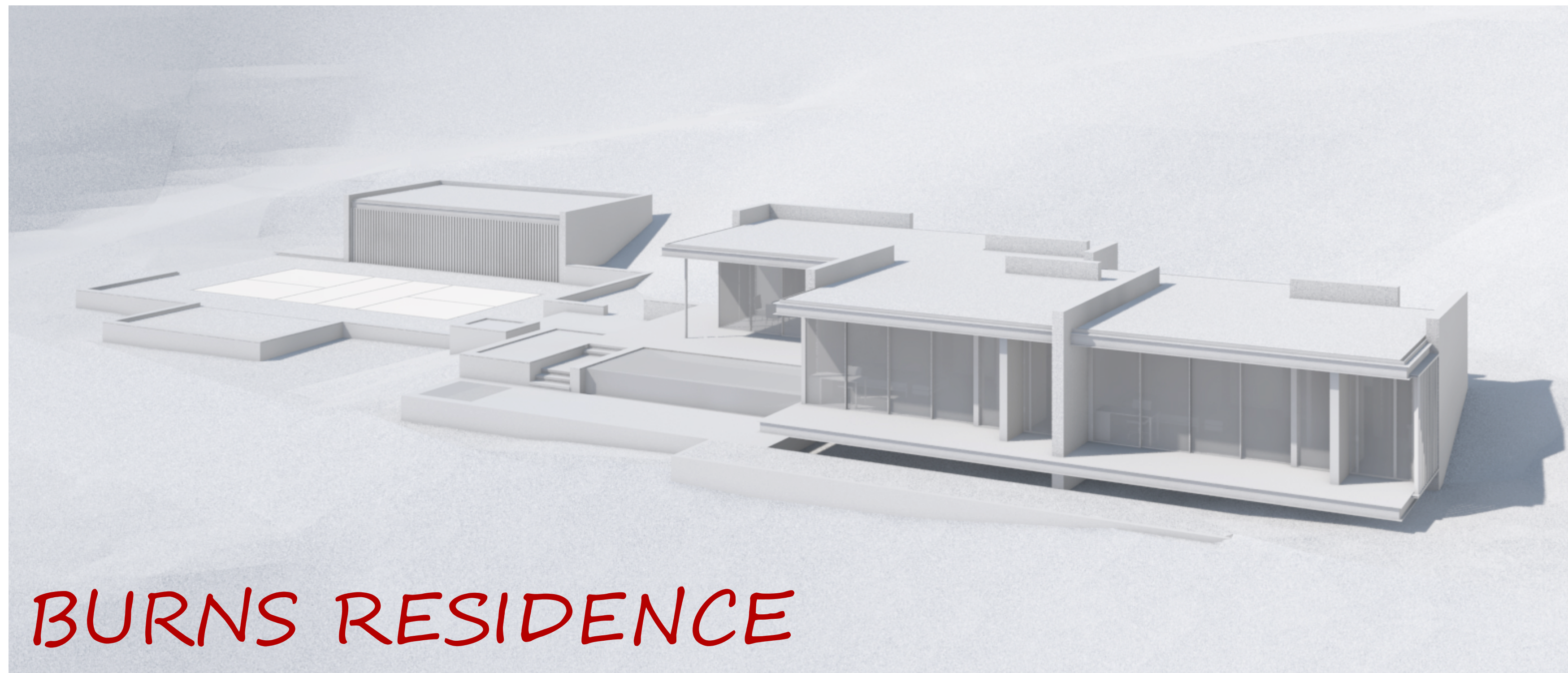
PROJECT DESIGNER:
DORIAN BERNARD
RESILIENT DESIGN LLC
21223 PACIFIC COAST HIGHWAY
MALIBU, CA. 90265
562-608-7108

PROJECT MANAGEMENT:
MARTIN RASMUSSEN
KEYSTONE STRATEGIC PLANNING
4859 WEST SLAUSON AVENUE, #753
LOS ANGELES, CA. 90056
503-866-1249

EXPEDITOR:
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KEYSTONE STRATEGIC PLANNING
4859 WEST SLAUSON AVENUE, #753
LOS ANGELES, CA. 90056
310-571-8314

CIVIL ENGINEER:
JAMES TUCHSCHER
TEG ENGINEERING
5503 E. SECOND STREET, SUITE 539
BELMONT SHORE, CA. 90803
310-613-9980
562-682-8600

SURVEYOR:
LARRY PEARSON
4229 KINGFISHER ROAD
CALABASAS, CA. 91302
818-591-8709



BURNS RESIDENCE

21655 SADDLE PEAK ROAD

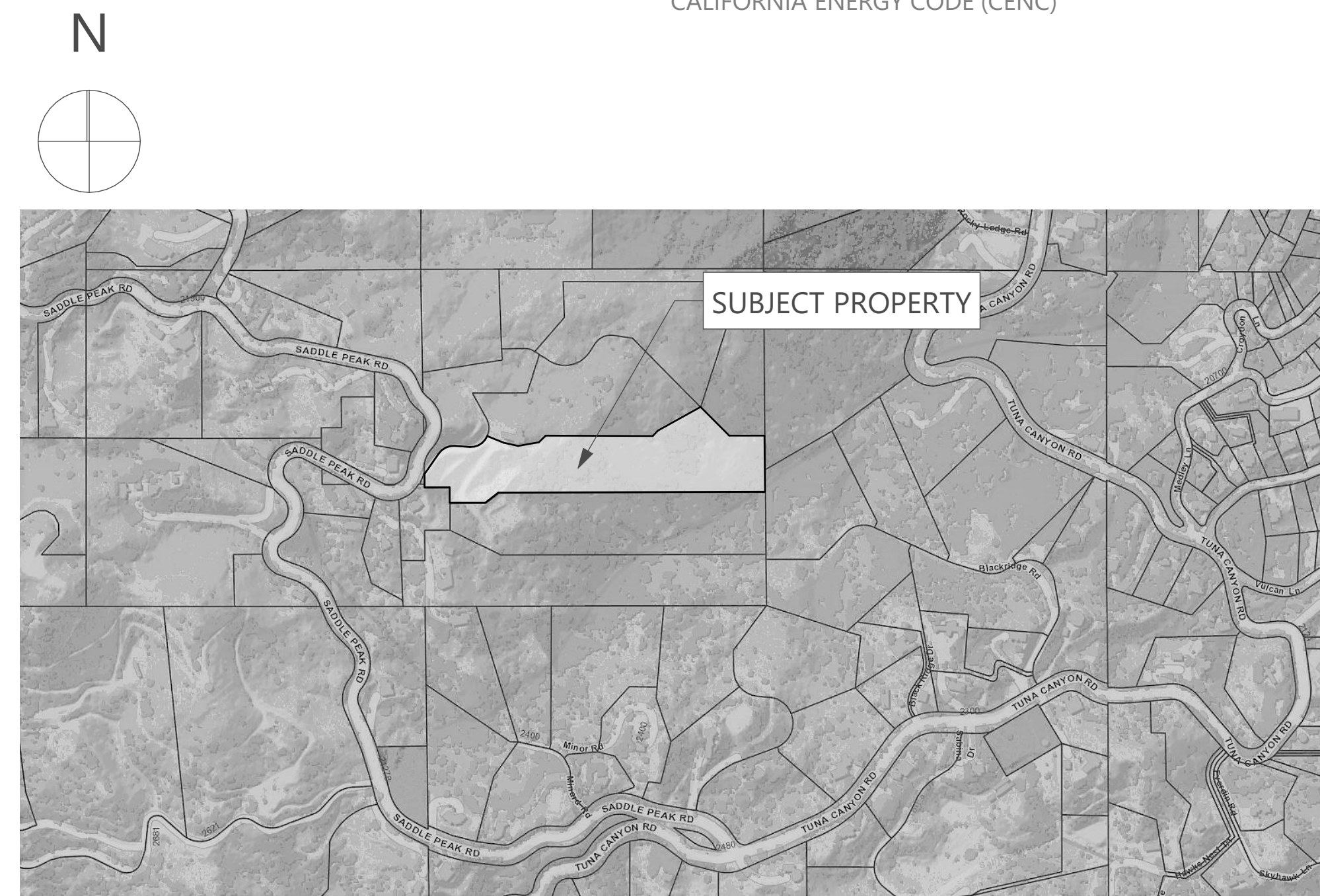
CITY OF TOPANGA, CA. 90290
APN 4448-019-049

No new landscape is proposed or irrigation required. Fuel modification only where necessary

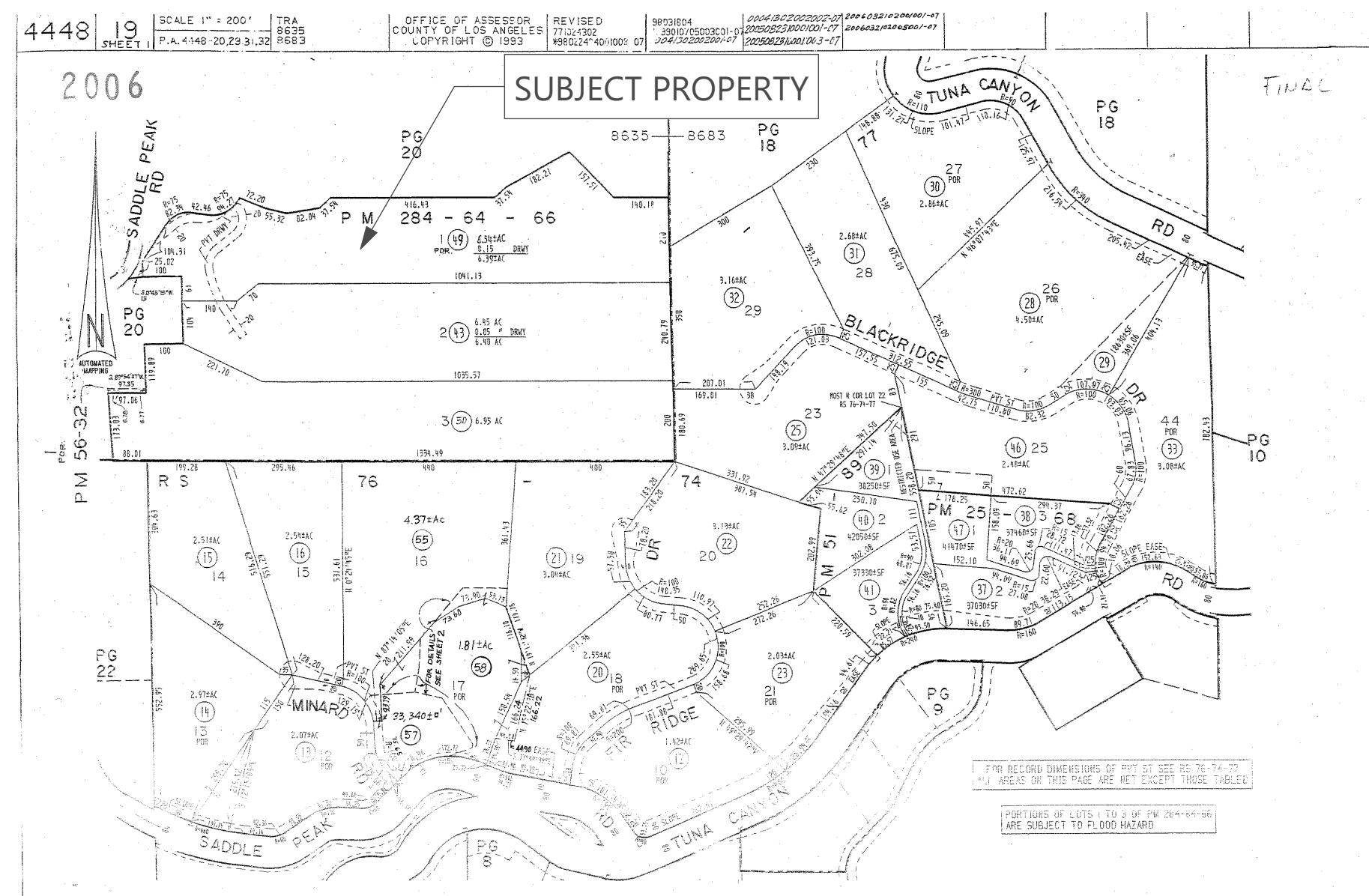
PROJECT BUILDING CODE DATA

OCCUPANCY GROUP: R-3 / U-1 (SINGLE FAMILY)
TYPE OF CONSTRUCTION: VB, SPRINKLERED
FIRE ZONE: VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ)
BUILDING CODES:
- 2022 CALIFORNIA RESIDENTIAL, BUILDING, PLUMBING, MECHANICAL, & ELECTRICAL CODES
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
DEFERRED SUBMITTALS:
RESIDENTIAL FIRE SPRINKLER (NFPA 13D)
PREFABRICATED STAIR SYSTEMS
PHOTOVOLTAIC SOLAR PANELS

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND CALIFORNIA ENERGY CODE (CENC)



1 VICINITY MAP
NOT TO SCALE



2 ASSESSOR MAP
NOT TO SCALE

Sheet Index - Burns Residence

A-0.1	COVER SHEET
A-1.1	SURVEY
A-1.2	TOPO MAP
A-1.3	SITE PLAN
A-1.4	FIRE ROAD ACCESS
A-1.5	FIRE ACCESS
A-2.1	ROOF PLAN
A-2.2	FLOOR PLAN
A-3.1	ELEVATIONS
A-3.2	GARAGE ELEVATIONS
A-3.3	SECTIONS
C-1.0	TITLE SHEET
C-2.0	EXISTING SITE PLAN
C-3.0	DRIVEWAY & DWELLING GRADING PLAN
C-3.1	ROADWAY WIDENING & GRADING PLAN
C-4.0	DRAINAGE PLAN
EC-1.0	EROSION CONTROL PLAN
EC-2.0	EROSION CONTROL DETAILS

PROJECT STATISTICS

21655 SADDLE PEAK ROAD, TOPANGA, CA. 90290

LEGAL DESCRIPTION:

P M 284-64-66 FOR DESC SEE ASSESSOR'S MAPS POR OF LOT 1

ASSESSORS PARCEL NUMBER: **4448-019-049**
ZONING: R-C-10 (RURAL COASTAL)

GROSS LOT AREA: **6.55 ACRES** (285,431 SQ. FT.)
EASEMENT: 8,598 SQ.FT.
NET LOT AREA: **6.36 ACRES** (276,833 SQ. FT.)

PROPOSED BUILDING HEIGHT: **18'-0" MAX.**
DEVELOPMENT AREA: **9,055 SQ.FT.**

PROPOSED SQUARE FOOTAGE:

DETACHED GARAGE: 859 SQ.FT.
SINGLE FAMILY RESIDENCE: 2,005 SQ.FT.
TOTAL: 2,864 SQ.FT.

PROPERTY LINE SETBACKS:

FRONT YARD SETBACK: 130'-5" (20' REQ.)
NORTH SIDE YARD SETBACKS: 83'-2" (5' REQ.)
SOUTH SIDE YARD SETBACKS: 29'-6" (5' REQ.)
REAR YARD SETBACK: 976'-5" (15' REQ.)

GRADING EARTHWORK QUANTITIES:

CUT:
FILL:
TOTAL:
IMPORT:
EXPORT:



DESIGNER:

Mr. & Mrs. BURNS

ARCHITECT/CLIENT

COVER SHEET

LAYOUT NAME

BURNS RESIDENCE
 21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APN

0

05/02/2023

DB

NOT FOR CONSTRUCTION

REVISIONS

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NOTES

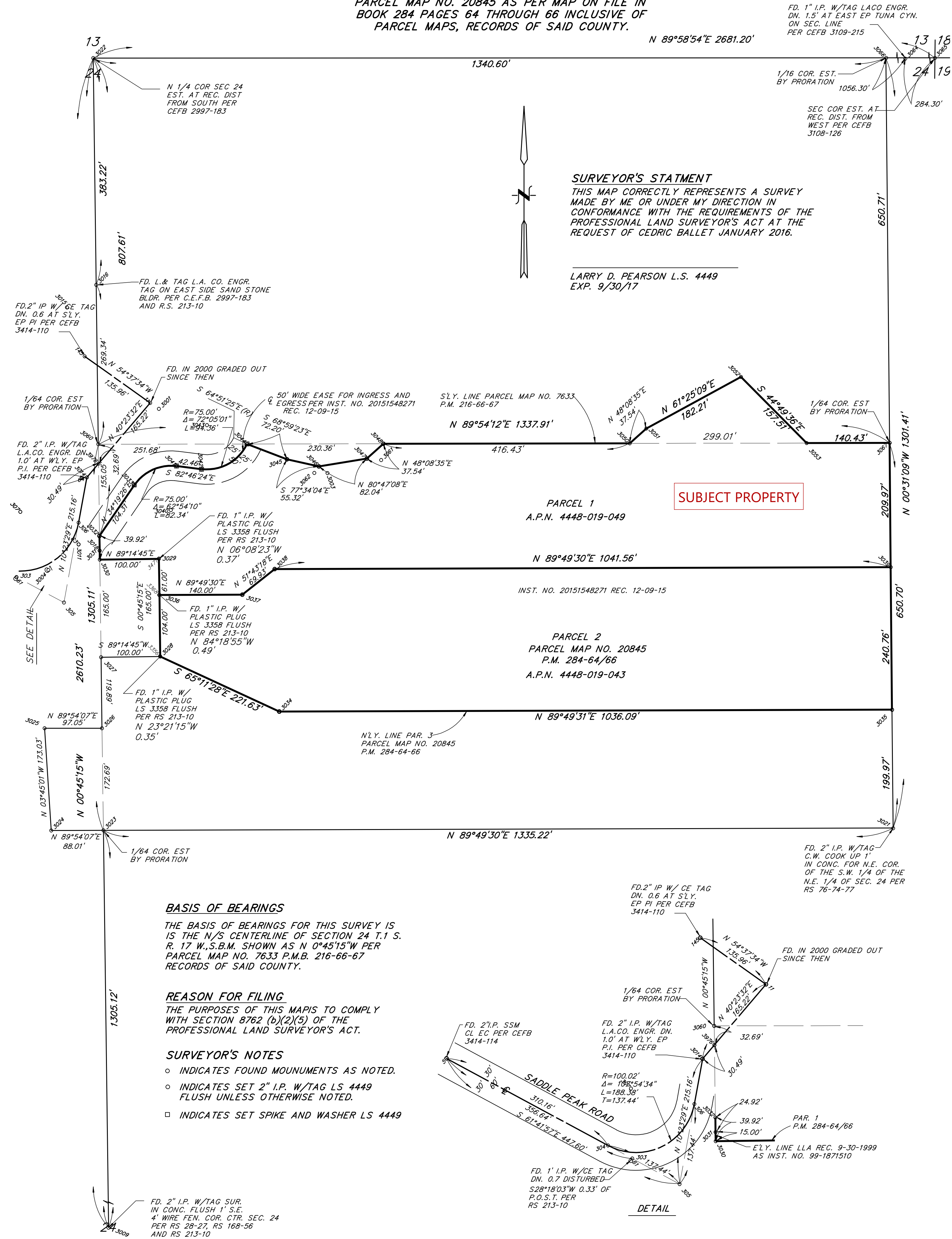
A-0.1

SHEET 1 OF 18

NO.

RECORD OF SURVEY

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA BEING A SURVEY OF PARCEL 1 AND 2 OF VESTING PARCEL MAP NO. 20845 AS PER MAP ON FILE IN BOOK 284 PAGES 64 THROUGH 66 INCLUSIVE OF PARCEL MAPS, RECORDS OF SAID COUNTY.



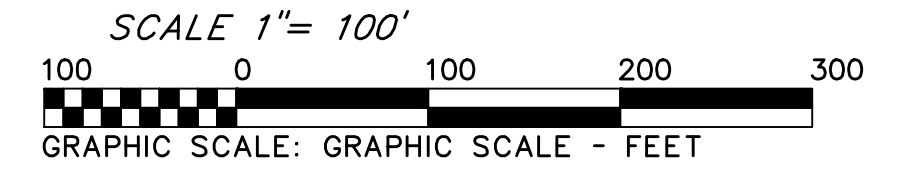
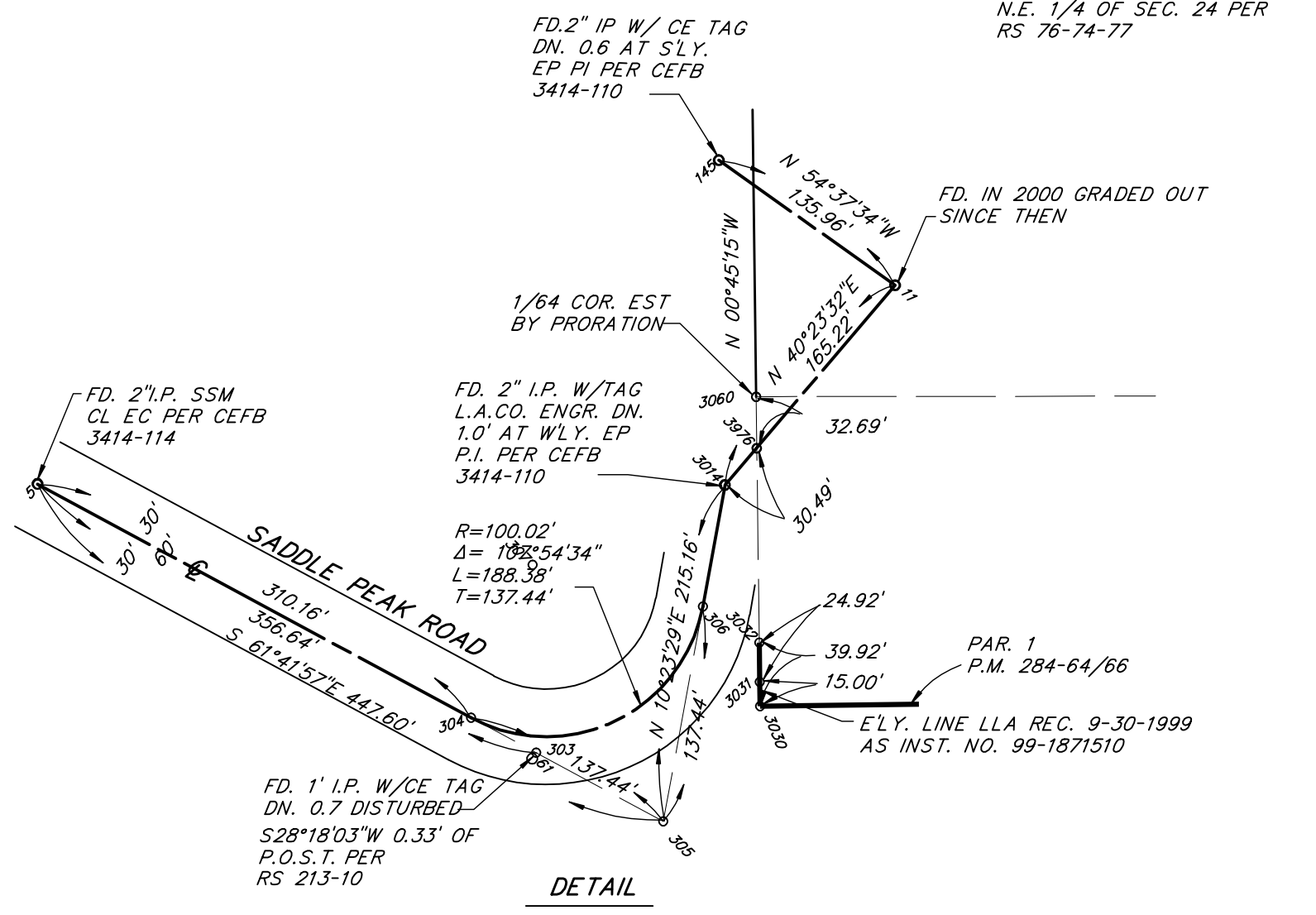
SURVEYOR'S STATEMENT
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF CEDRIC BALLETT JANUARY 2016.

LARRY D. PEARSON L.S. 4449
EXP. 9/30/17

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE N/S CENTERLINE OF SECTION 24 T.1 S. R. 17 W., S.B.M. SHOWN AS N 0°45'15"W PER PARCEL MAP NO. 7633 P.M.B. 216-66-67 RECORDS OF SAID COUNTY.

REASON FOR FILING
THE PURPOSES OF THIS MAP IS TO COMPLY WITH SECTION 8762 (b)(2)(5) OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

- SURVEYOR'S NOTES**
- INDICATES FOUND MONUMENTS AS NOTED.
 - INDICATES SET 2" I.P. W/TAG L.S. 4449 FLUSH UNLESS OTHERWISE NOTED.
 - INDICATES SET SPIKE AND WASHER L.S. 4449



DESIGNER
Mr. & Mrs. BURNS
ARCHITECT/CLIENT

SURVEY
LAYOUT NAME

BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049	APN
0	05/02/2023 DB

NOT FOR CONSTRUCTION

REVISIONS

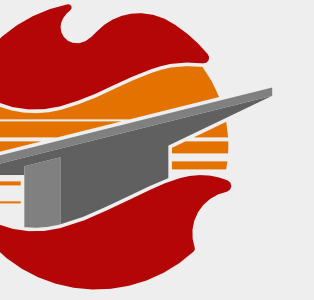
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A-1.1

TOPO MAP

IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
 PARCEL 1 AND 2 OF PARCEL MAP NO. 20845 P.M. 284-64-66

JANUARY 2016 SCALE 1" = 20'



DESIGNER

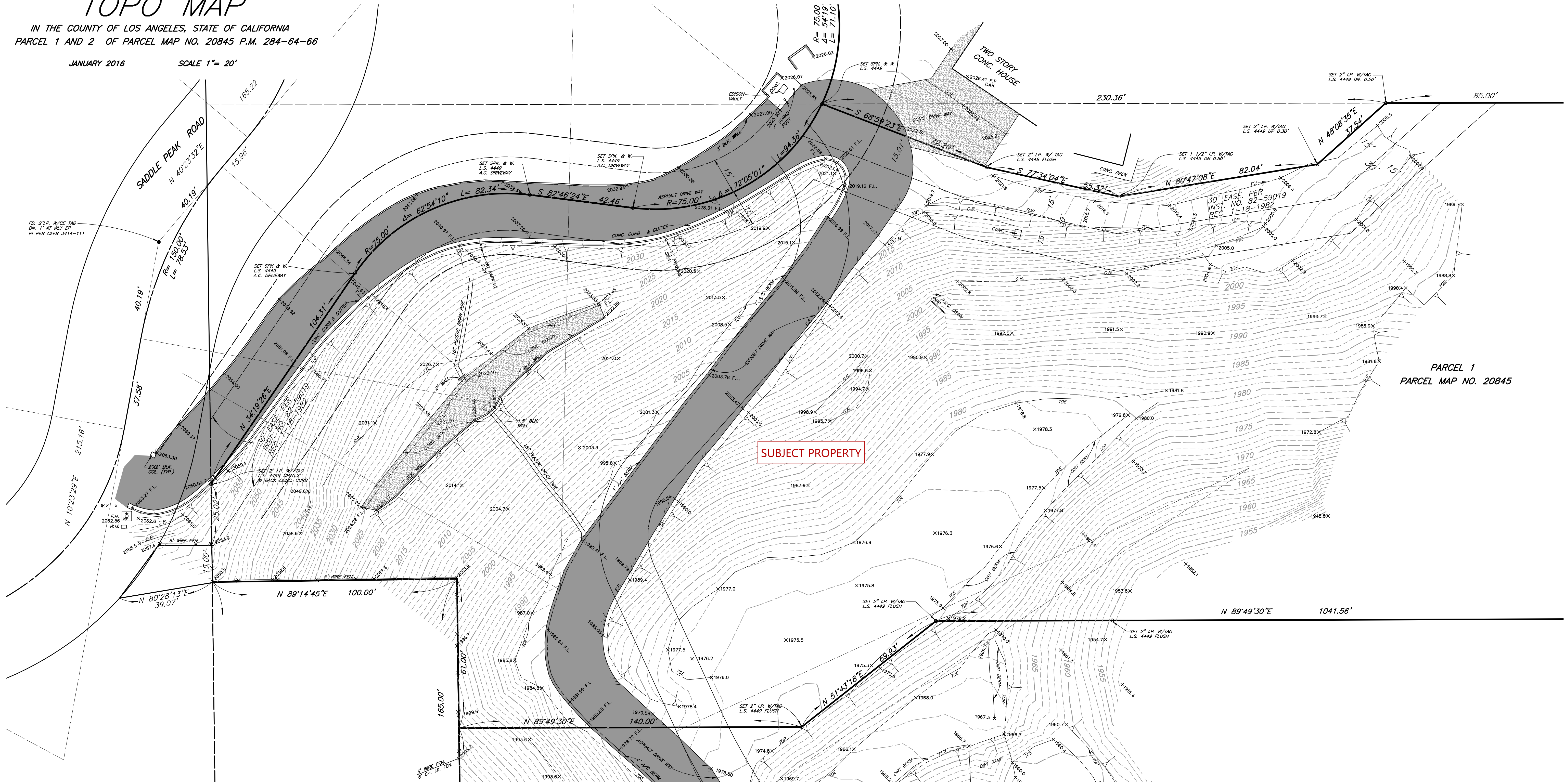
Mr. & Mrs. BURNS

ARCHITECT/CLIENT

TOPO MAP

LAYOUT NAME

BURNS RESIDENCE
 21655 SADDLE PEAK ROAD TOPANGA, CA. 90290



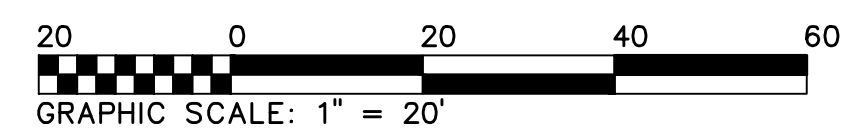
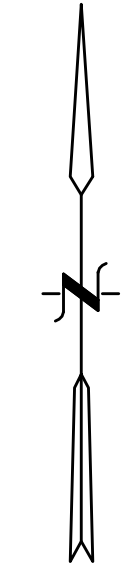
PARCEL 1
 PARCEL MAP NO. 20845

SUBJECT PROPERTY

LEGEND

.....	ASPHALT CONCRETE
.....	BEGINNING OF CURVES
.....	BOTTOM OF
.....	CITY ENGINEER'S FIELD BOOK
.....	CHAIN LINK FENCE
.....	CENTER LINE
.....	CORRUGATED METAL PIPE
.....	CONCRETE MAIL
.....	CLEAN-OUT
.....	DRAINWAY
.....	END OF CURVE
.....	EDGE OF PAVEMENT
.....	FLOW LINE
.....	GRADE BREAK
.....	GAS METER
.....	IRON PIPE
.....	LEAD AND TAG/TACK
.....	LAND SURVEYOR (NO.)
.....	MAIL BOX
.....	OUTSIDE DIAMETER
.....	PROPERTY LINE
.....	POINT ON SEMI-TANGENT
.....	POWER POLE
.....	PROMINENCE OF LINE
.....	REGISTERED CIVIL ENGINEER
.....	RADIUS POINT
.....	RAILROAD TIES
.....	RIGHT-OF-WAY
.....	STORM DRAIN MANHOLE
.....	SEWER MANHOLE
.....	SPRINKLER
.....	TEMPORARY BENCHMARK
.....	TOP OF CURB
.....	TOP OF MOUNTAIN
.....	TOP OF WALL
.....	WROUGHT IRON FENCE
.....	WATER METER
.....	WATER VALVE

BENCHMARK:
 BENCHMARK # Y 11352
 DPW BM TAG IN SW COR CONC. F HYD PAD
 5M E/O C/L SADDLE PEAK RD & 13M N/O C/L
 DRIVE TO HSE #21645
 ELEV= 2,062.556 N.A.V.D. 1988 DATUM
 YEAR 2003



LARRY PEARSON LAND SURVEYOR L.S. 4449
 4229 KINGFISHER ROAD, CALABASAS, CALIF. 91302
 PHONE (818) 591-8709

APPROVED BY _____ L.S. 4449
 DATE _____ W.O. 15-4370B

4448-019-049

APR

0 05/02/2023 DB

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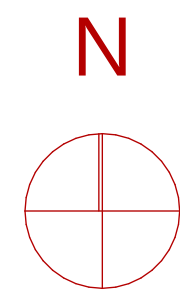
REVISIONS

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NOTES

A-1.2

SHEET 3 OF 18



*OWTS per STRATA -
TECH. INC. 2017 Plans.
Work Order: 276815-B

NOTES	
01	MicroSeptecES-12 AWTS with U-V disinfection & traffic rated slab per installation plans*
02	2'x 48'x 5' cap present seepage pit*
03	2'x 49'x 5' cap future seepage pit*
04	Proposed Fire Hydrant

DESIGNER
Mr. & Mrs. BURNS
ARCHITECT/CLIENT

SITE PLAN
LAYOUT NAME

BURNS RESIDENCE

21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APR

0 05/02/2023 DB

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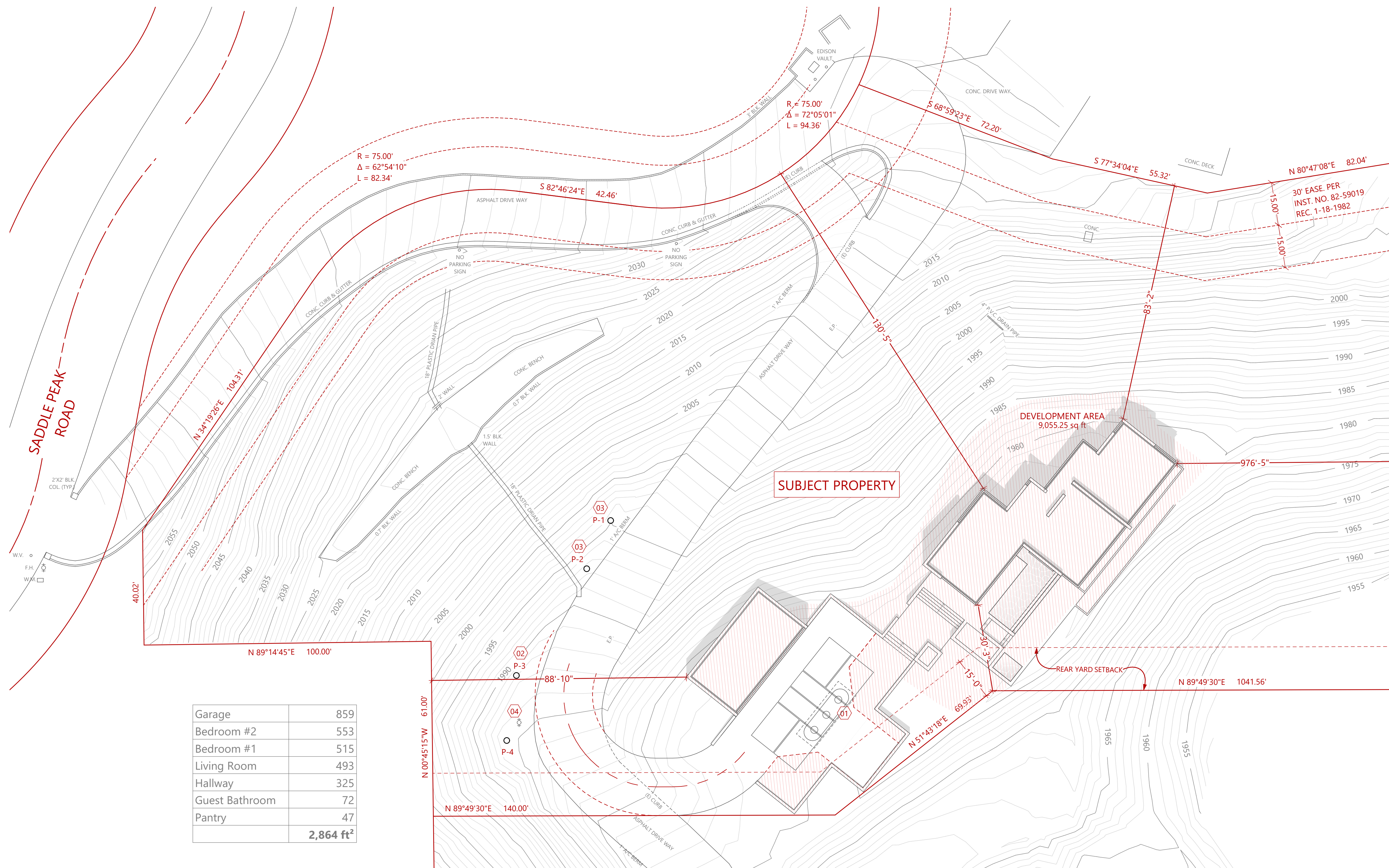
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NOTES

A-1.3

SHEET 4 OF 18
NO.



Garage	859
Bedroom #2	553
Bedroom #1	515
Living Room	493
Hallway	325
Guest Bathroom	72
Pantry	47
	2,864 ft²

1 SITE PLAN
SCALE: 1" = 20'

FIRE HYDRANT

When any portion of a proposed structure exceeds the allowable distances from a public hydrant, via fire apparatus access, on-site hydrants shall be provided. The spacing distance between on-site hydrants shall be 300 to 400 feet (91.44 to 121.92 m). All on-site hydrants shall be installed a minimum of 50 feet from a structure or protected by a two-hour firewall.

The required fire flow is based on the following calculation:

- Type of construction per the Building Code Type: VB
- VHFHSZ: Yes
- Size of lot (acres): 6.36 acres
- Fire flow based on the fire-flow calculation area: 750 gpm
- Reduction for fire sprinklers (maximum 50%): 0 gpm
- Total fire-flow required: 750 gpm**
- C.I.2215



EXISTING FIRE HYDRANT

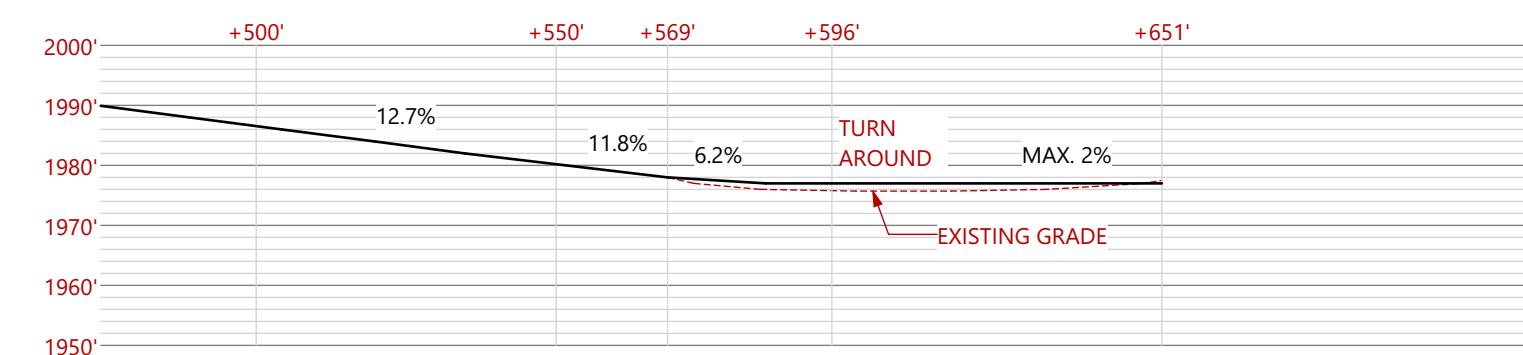
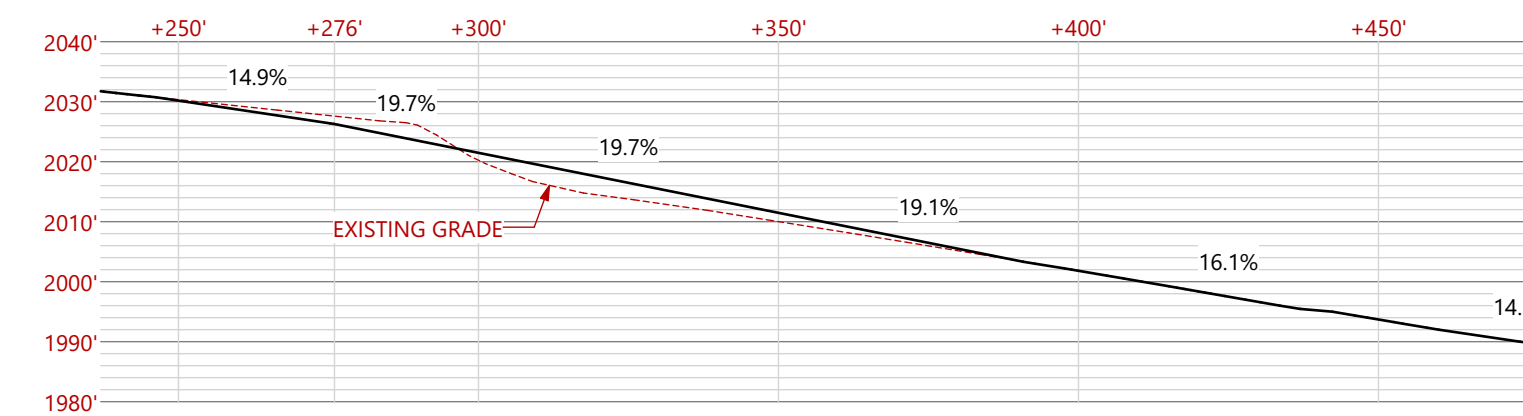
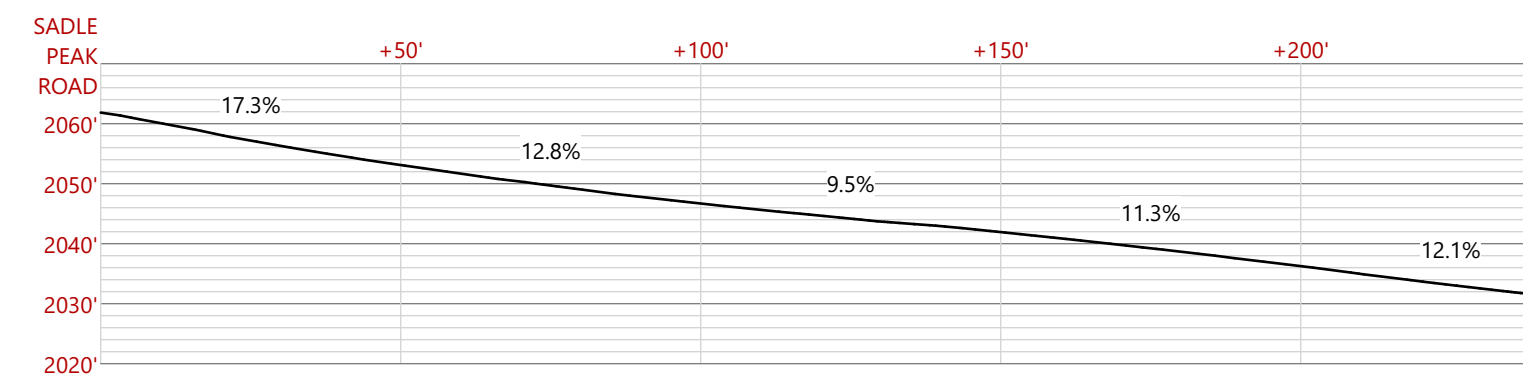
SADDLE PEAK ROAD

(E) WARF HYDRANT 2.5

ROAD CROSS SECTIONS

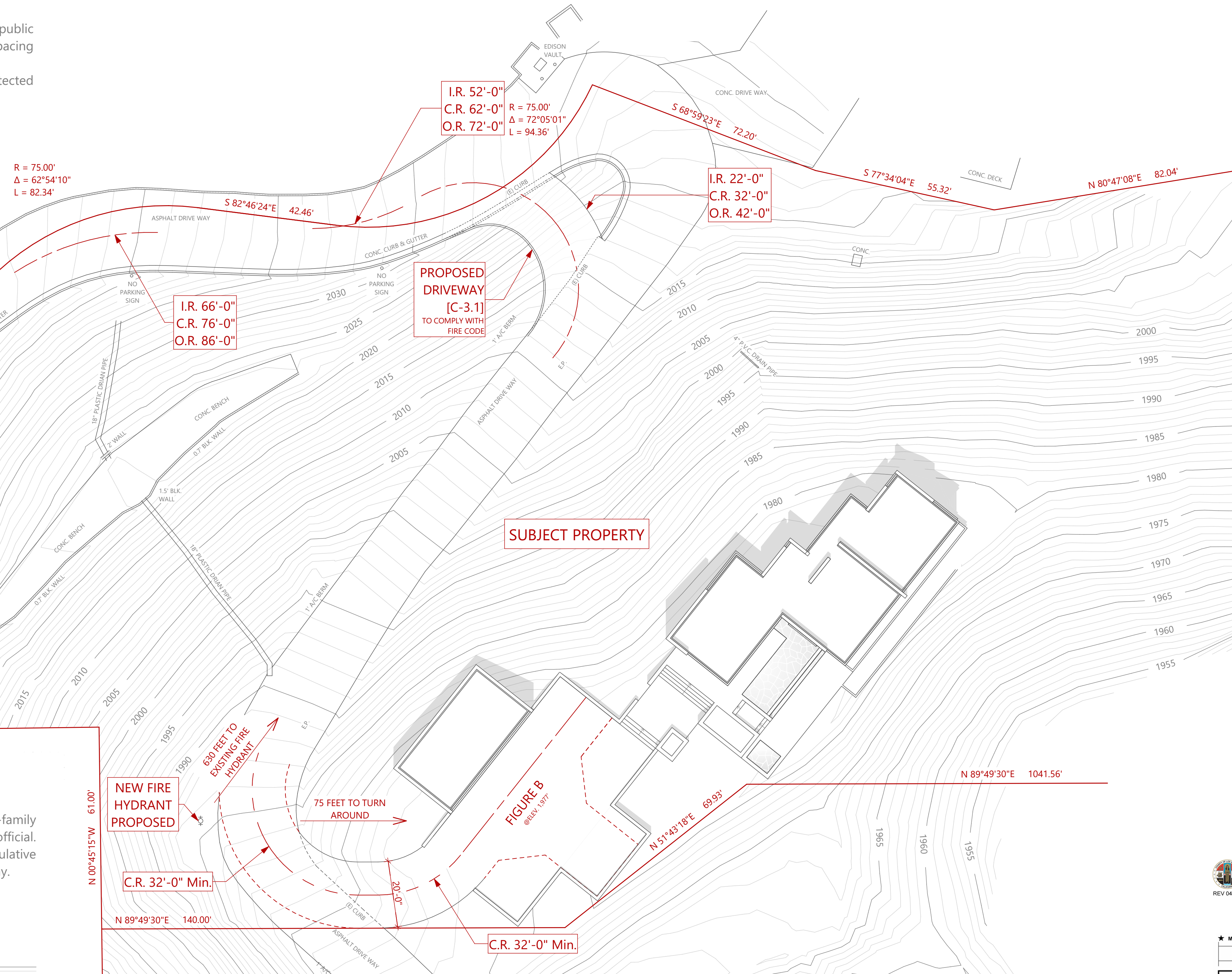
Fire apparatus access roads shall not exceed 15 percent in grade. Exception: For a fire apparatus access road serving no more than two single-family dwellings, grades shall not exceed 20 percent when approved by the fire code official. Grades between 15.1 percent and 20 percent shall not exceed a maximum cumulative total of 500 feet (152.4 m) as measured over the entire length of the access roadway. Fire code 503.2.7 - Grade

Total proposed slope between 15.1 to 20 percent = 224 feet



2 ROAD CROSS SECTIONS

SCALE: 1/32" = 1'-0"



1 FIRE DEPT. ROAD ACCESS

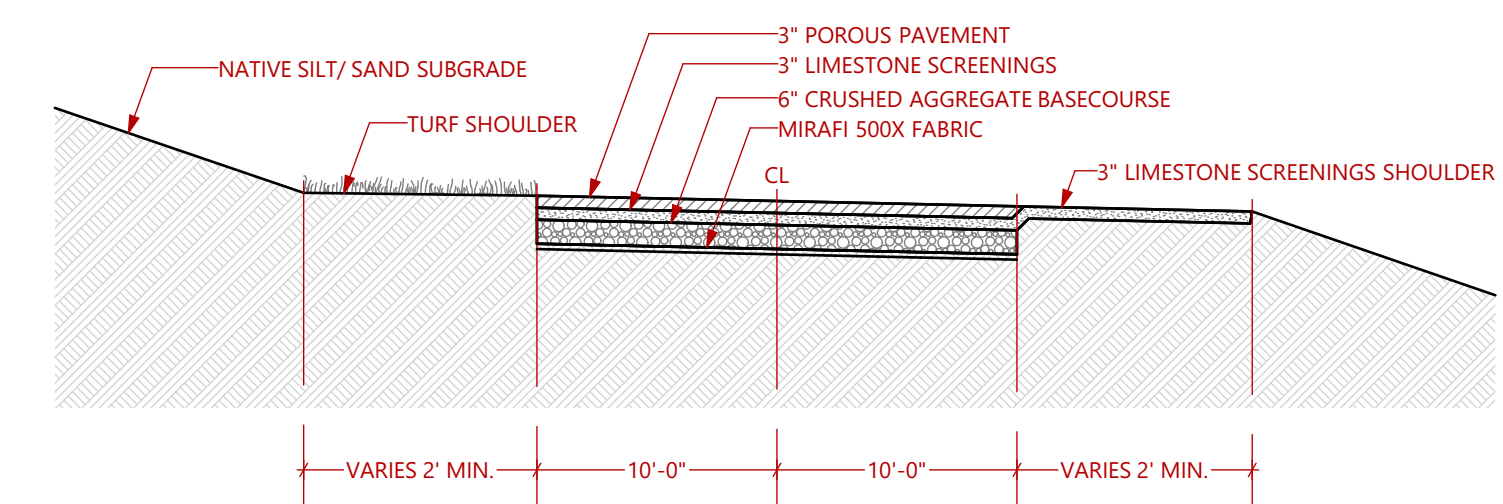
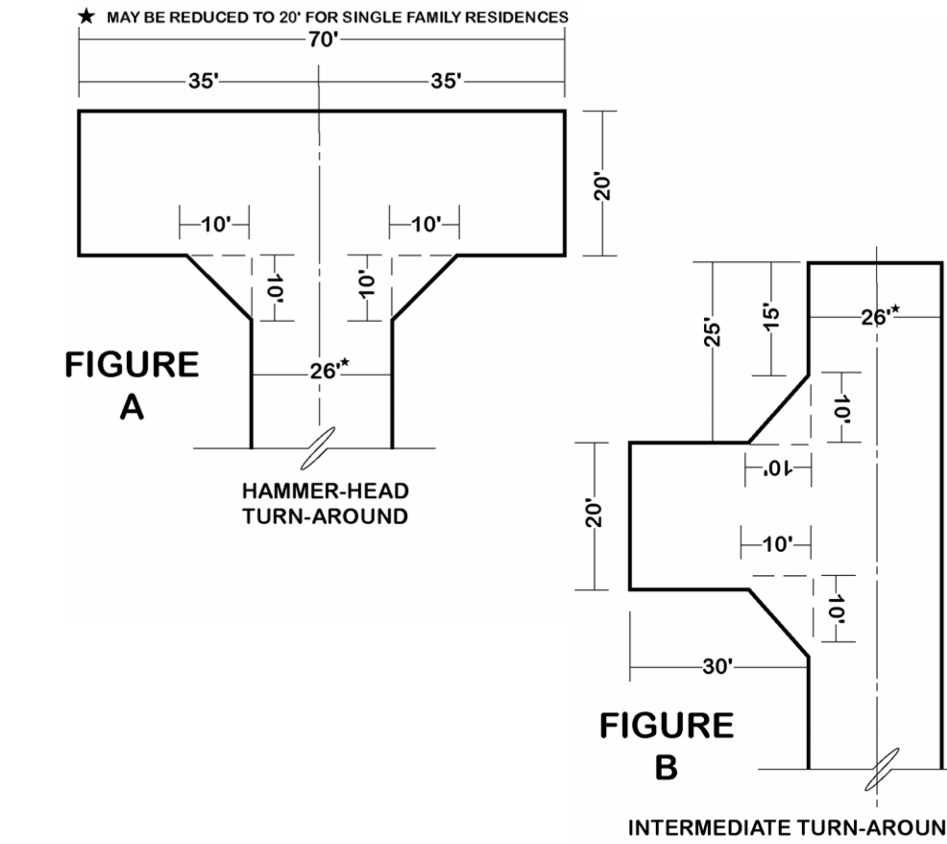
SCALE: 1" = 20'

ACCESS DRIVE: Fire Department Notes

1. Provide a minimum unobstructed width of 20 feet, exclusive of shoulders, except for approved security gates in accordance with 503.6 and an unobstructed vertical clearance "clear to sky". Fire apparatus turn-around provides vehicular access to within 150 feet of all portions of the exterior building walls. Fire code 503.2.1
2. Grade breaks shall not exceed the maximum angle of approach or departure for fire department apparatus, which should not exceed 10 percent in 10 feet.
3. Provide a certification prepared by a licensed civil engineer that the driveway complies with los angeles county public works details and has the ability to support a 37.5 ton fire department apparatus load.
4. Private access driveways having a grade of 10% or greater with a maximum cross-slope of 5% shall have a paved surface measuring 20 feet from flow line to flow line. the paving shall be consistent with the standard of the county of los angeles department of public works.
5. The slope within the fire apparatus turn-around shall be 2% for drainage.
6. Provide a minimum unobstructed width if 20 feet, exclusive of shoulders, except for approved security gates in accordance with section 503.6, and an unobstructed vertical clearance "clear to sky" fire department vehicular access to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved route around the exterior of the building. Fire code 503.1.1 & 503.2.1
7. Fire apparatus access roads shall be designed and maintained to support the imposed load of fire apparatus (see #3) and shall be surfaced so as to provide all-weather driving capabilities. Fire apparatus access roads having a grade of 10 percent or greater shall have a paved or concrete surface. Fire code 503.2.3
8. Fire department vehicular access roads shall be provided with a 32 foot centerline turning radius. Fire code 503.2.4
9. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved fire department turnaround. Fire code 503.2.5



FIRE APPARATUS TURNAROUND STANDARD PUMPER



3 ROADWAY SECTION

NOT TO SCALE



DESIGNER

Mr. & Mrs. BURNS

ARCHITECT/CLIENT

FIRE ROAD ACCESS

LAYOUT NAME

BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APR

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REVISIONS

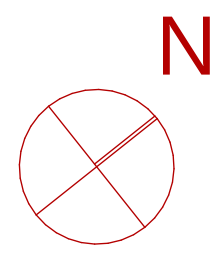
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NOTES

A-1.4

SHEET 5 OF 18

NO.



SECURITY GATE:

The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F2200. Construction of gates shall be of materials that allow manual operation by one person.

AUTOMATIC FIRE SPRINKLER:

Automatic fire sprinkler system as set forth by *Building Code 903 and Fire Code 903*. Plans shall be submitted to the Sprinkler Plan Check Unit for review and approval prior to installation.

STAIRWAYS:

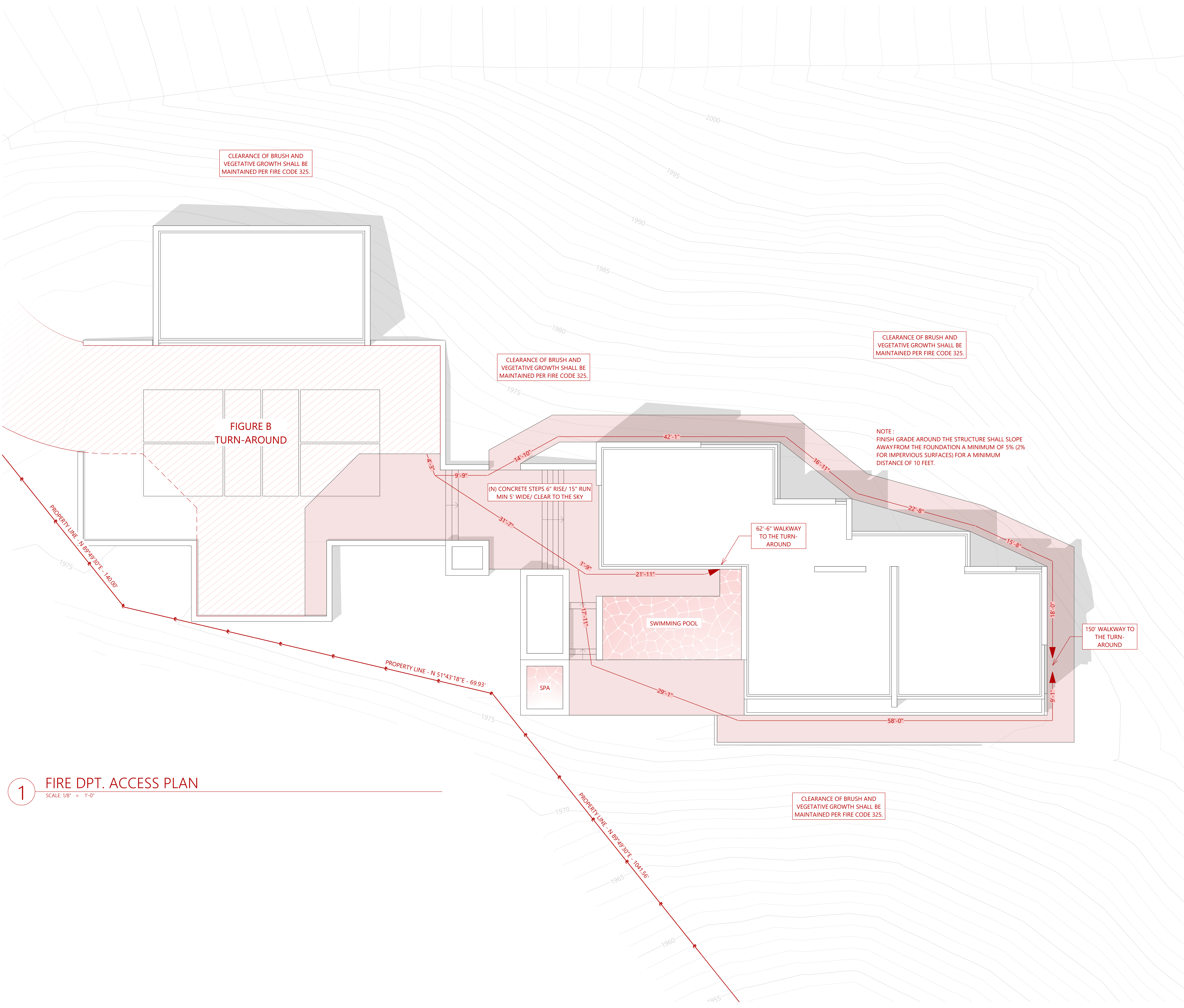
Walls and soffits within enclosed usable spaces under enclosed and unenclosed stairways shall be protected by 1-hour fire-resistance-rated construction or the fire-resistance rating of the stairway enclosure, whichever is greater. *Building Code 1009.6.3*

DRAFT HYDRANT:

New swimming pools and spas, 5,000 gallon (18,925 L) or greater capacity, constructed or installed in a fire hazard severity zone shall have a drain and discharge line connected to a draft hydrant in accordance with the Los Angeles County Plumbing Code, Title 28.

Exceptions:

- Swimming pools constructed or installed with the bottom of the pool more than 15 feet below the proposed draft hydrant connection elevation, measured vertically, need not be provided with a draft hydrant system.
- Properties that have a properly spaced fire hydrant capable of flowing a minimum of 1,250 Gallons per Minute (GPM) (15,141.6 L/min) for one hour, may be exempted.



1 FIRE DPT. ACCESS PLAN
SCALE: 1/8" = 1'-0"



DESIGNER

Mr. & Mrs. BURNS

ARCHITECT/CLIENT

FIRE ACCESS

LAYOUT NAME

BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APR

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NOTES

A-1.5

SHEET 6 OF 18

NO.



DESIGNER

Mr. & Mrs. BURNS

ARCHITECT/CLIENT

ROOF PLAN

LAYOUT NAME

BURNS RESIDENCE

21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APR

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05/02/2023

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REVISIONS

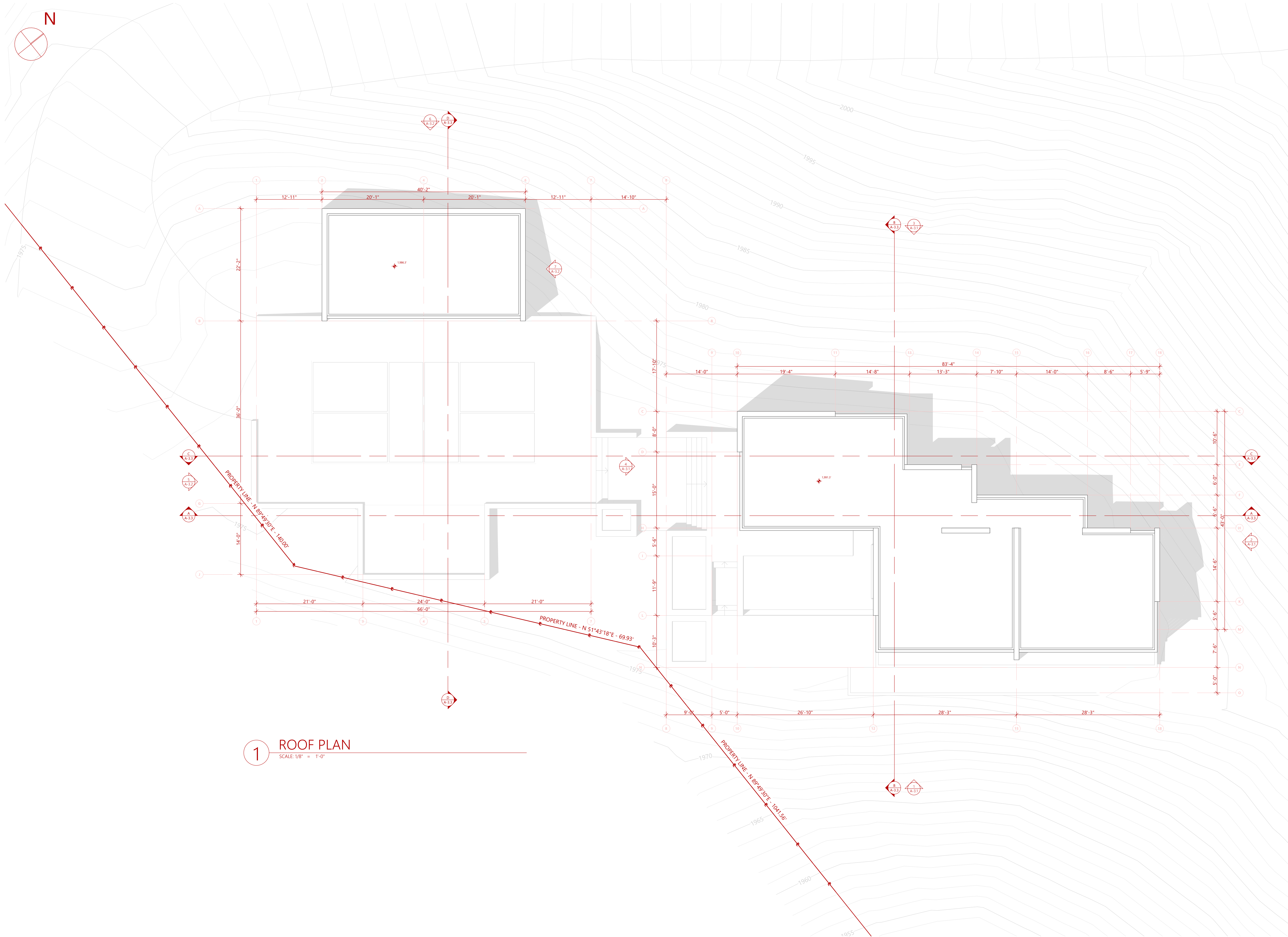
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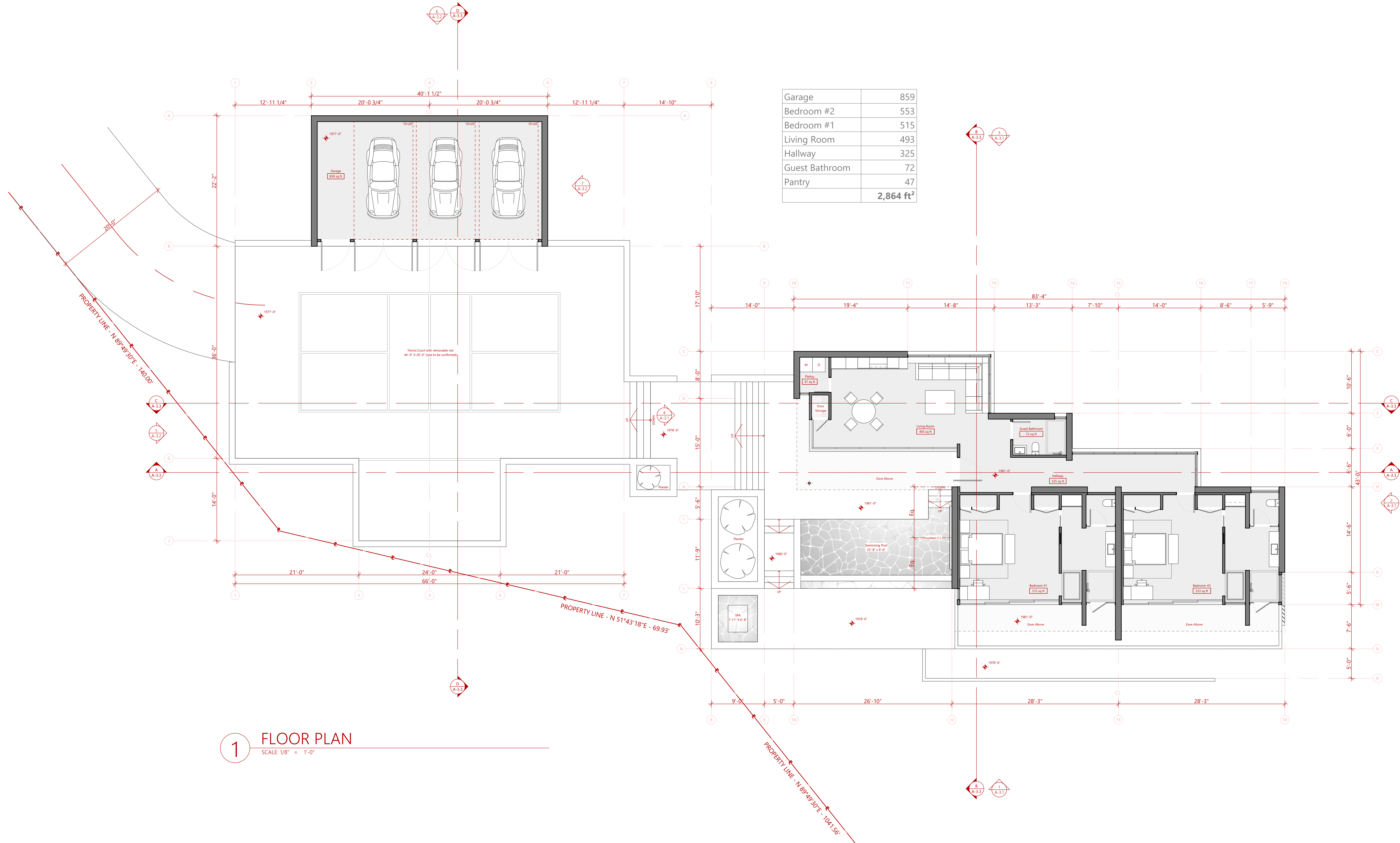
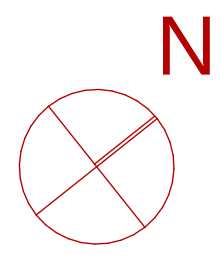
A-2.1

SHEET 7 OF 18

NO.

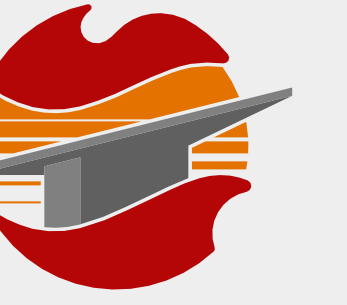


1 ROOF PLAN
SCALE 1/8" = 1'-0"



Garage	859
Bedroom #2	553
Bedroom #1	515
Living Room	493
Hallway	325
Guest Bathroom	72
Pantry	47
Total	2,864 ft²

1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



DESIGNER
Mr. & Mrs. BURNS
ARCHITECT/CLIENT

FLOOR PLAN
LAYOUT NAME

BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049
APR 0 05/02/2023 DB

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NOTES

A-2.2



DESIGNER

Mr. & Mrs. BURNS

ARCHITECT/CLIENT

ELEVATIONS

LAYOUT NAME

BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049

APR

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05/02/2023

DB

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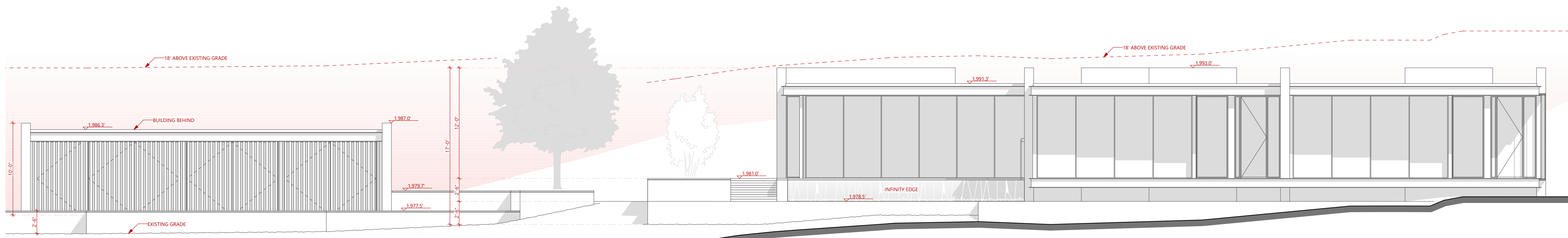
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NOTES

A-3.1

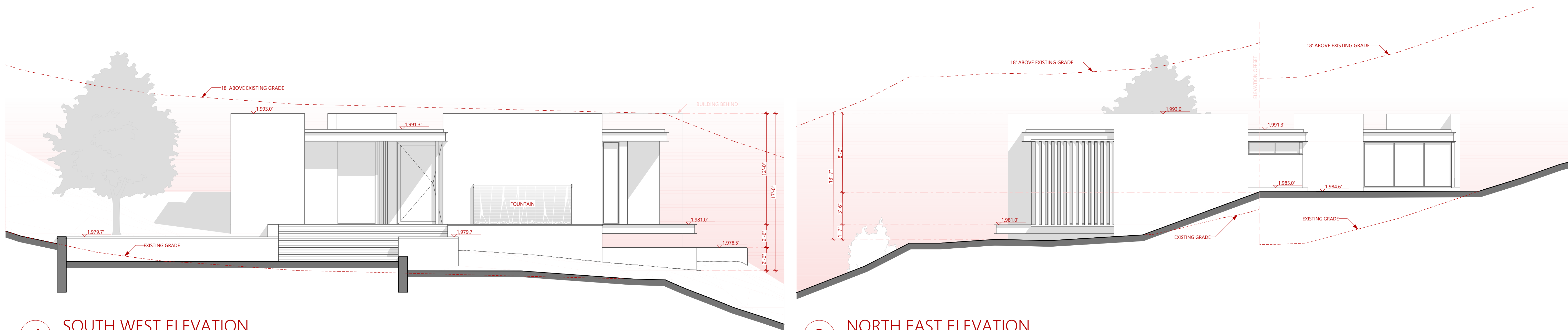
SHEET 9 OF 18

NO.



1 SOUTH EAST ELEVATION

SCALE: 3/16" = 1'-0"

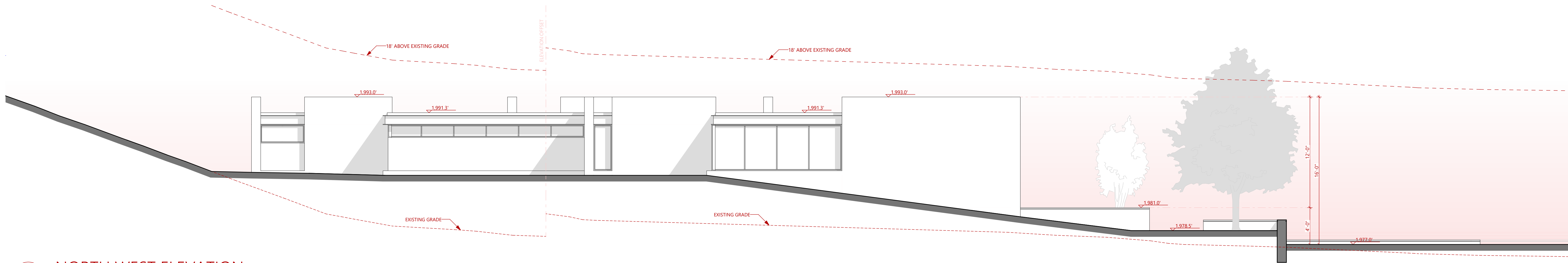


2 NORTH EAST ELEVATION

SCALE: 3/16" = 1'-0"

4 SOUTH WEST ELEVATION

SCALE: 3/16" = 1'-0"



3 NORTH WEST ELEVATION

SCALE: 3/16" = 1'-0"



DESIGNER

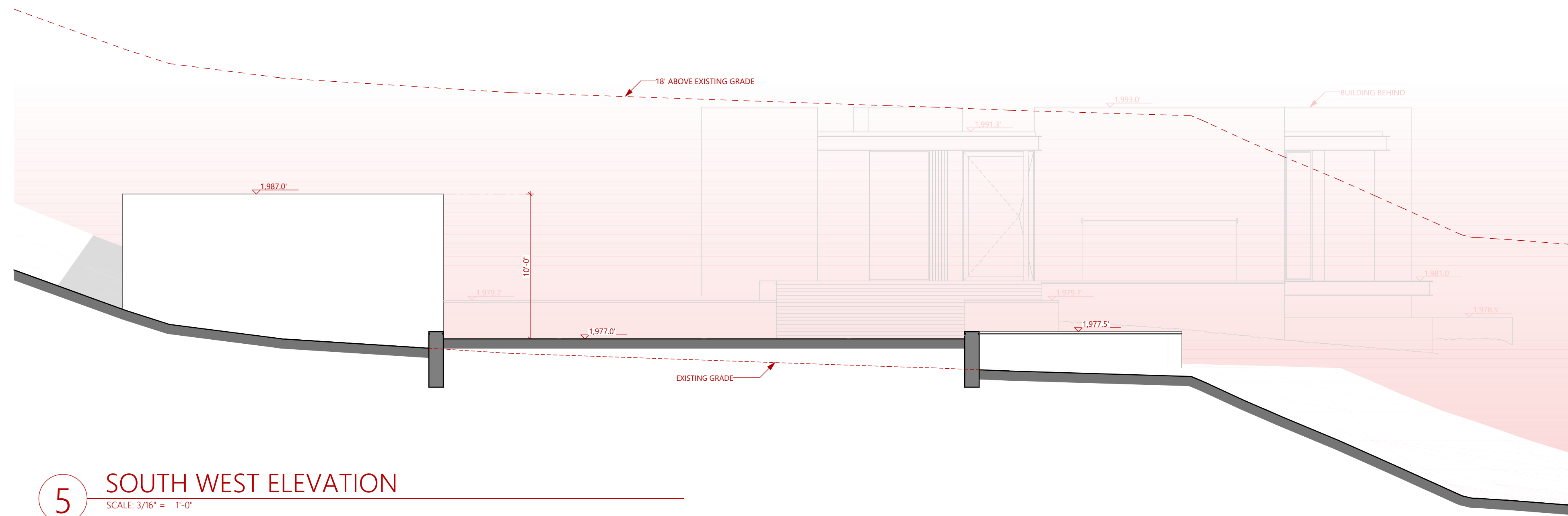
Mr. & Mrs. BURNS

ARCHITECT/CLIENT

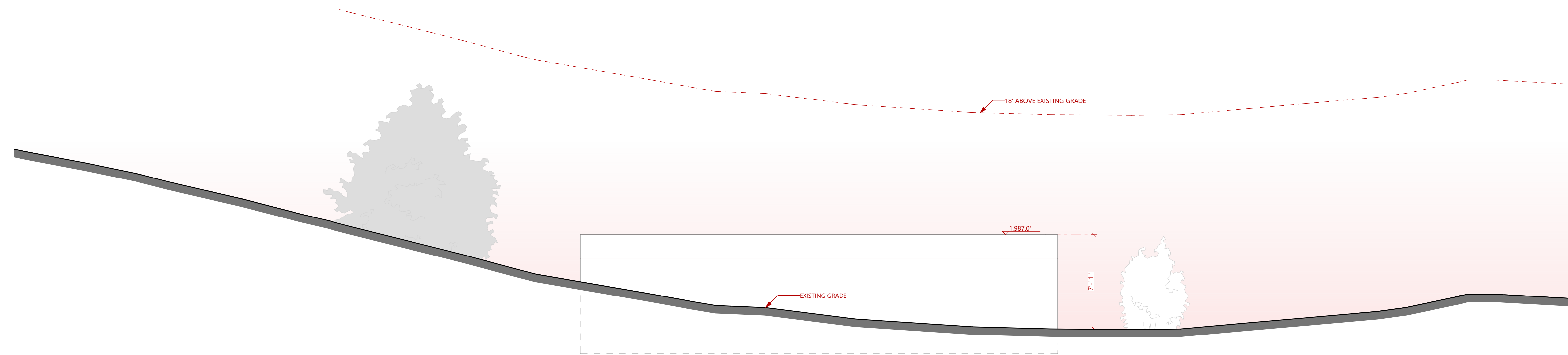
GARAGE ELEVATIONS

LAYOUT NAME

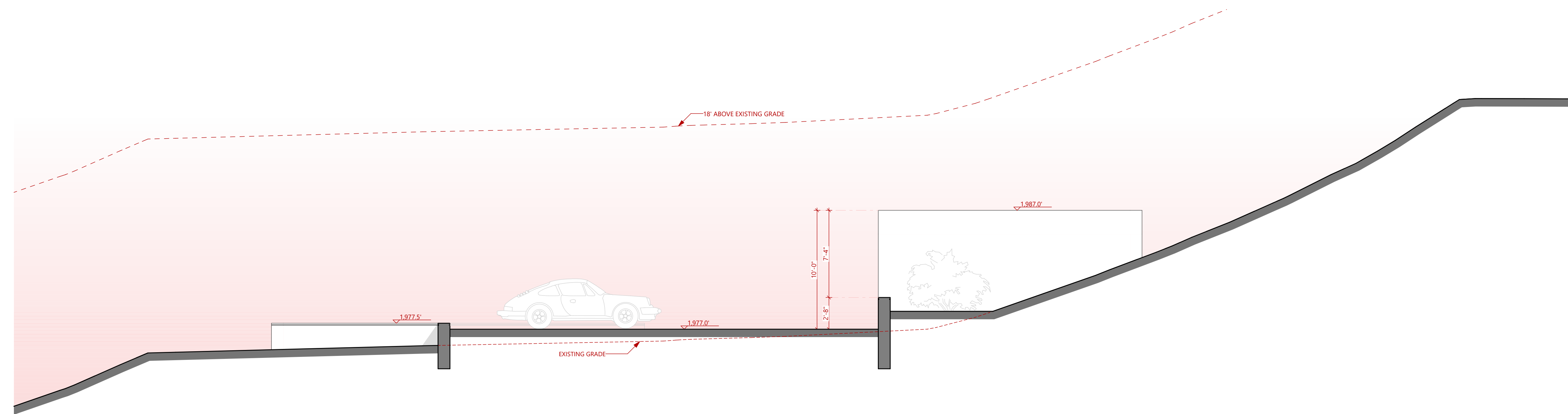
BURNS RESIDENCE
21655 SADDLE PEAK ROAD TOPANGA, CA. 90290



5 SOUTH WEST ELEVATION
SCALE: 3/16" = 1'-0"



6 NORTH WEST ELEVATION
SCALE: 3/16" = 1'-0"



7 NORTH EAST ELEVATION
SCALE: 3/16" = 1'-0"

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NOTES

A-3.2

SHEET 10 OF 18

NO.



DESIGNER

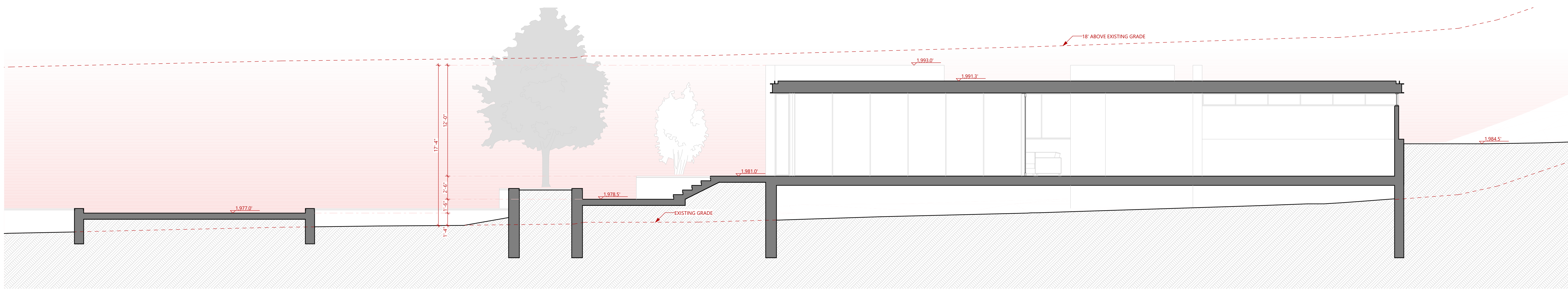
Mr. & Mrs. BURNS

ARCHITECT/CLIENT

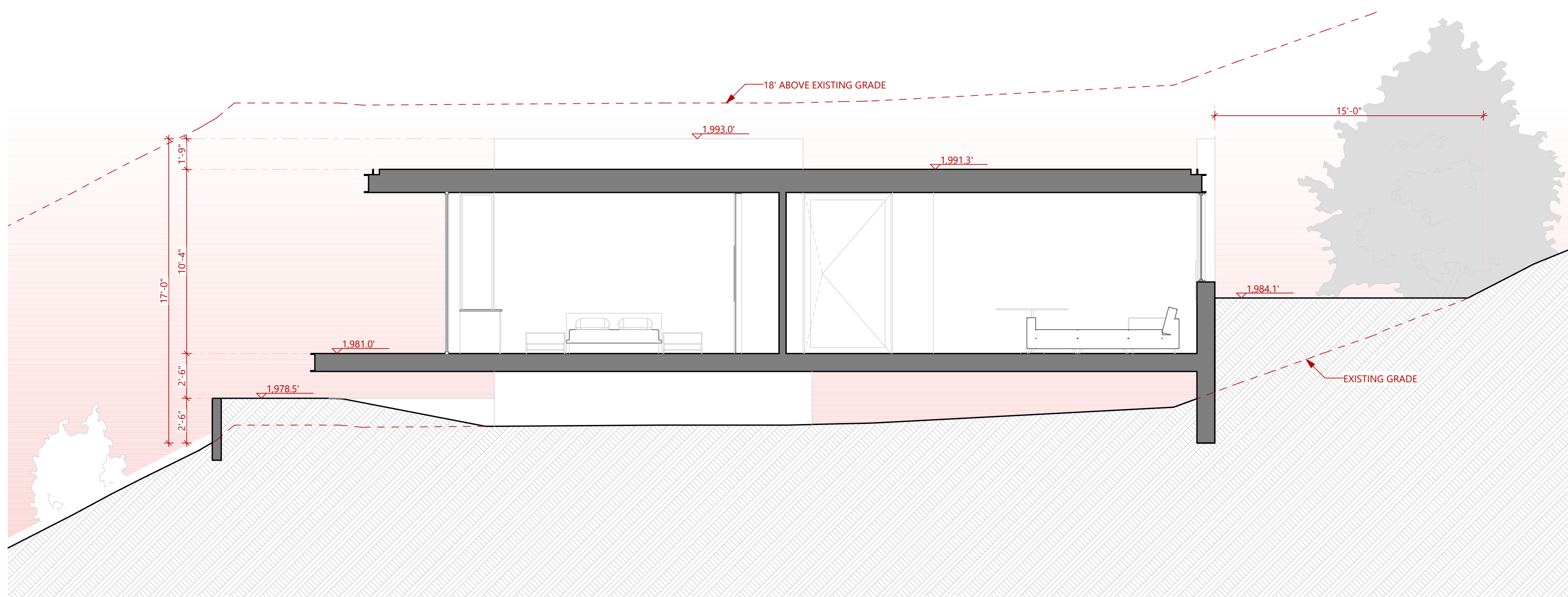
SECTIONS

LAYOUT NAME

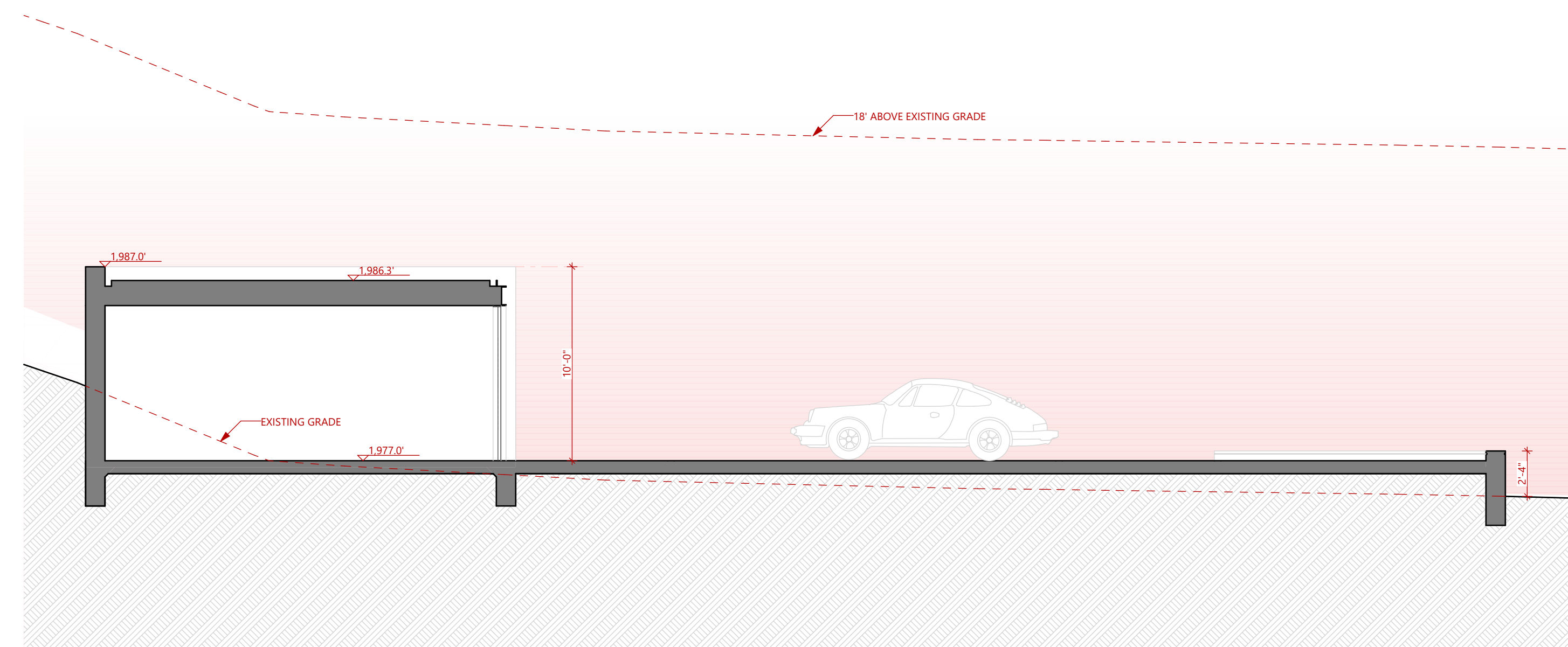
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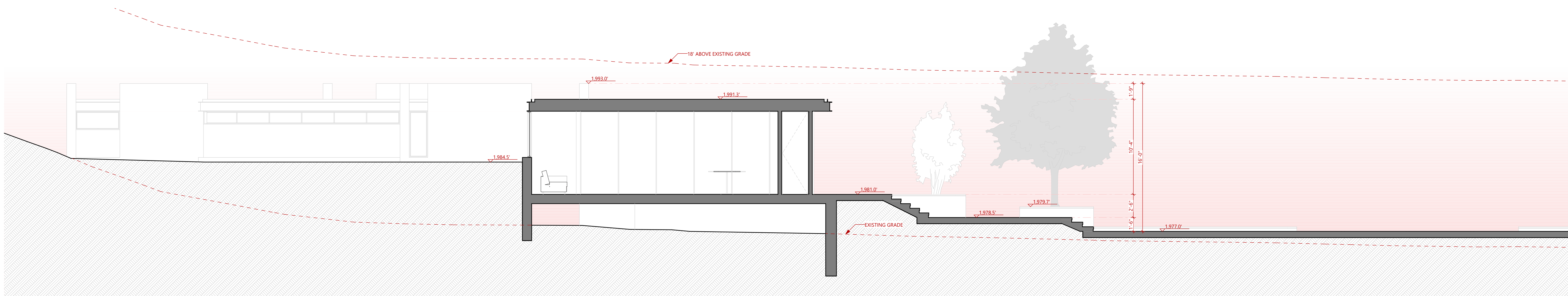
A SOUTH EAST SECTION
SCALE: 3/16" = 1'-0"



B NORTH EAST SECTION
SCALE: 3/16" = 1'-0"



D SOUTH WEST SECTION
SCALE: 3/16" = 1'-0"



C NORTH WEST SECTION
SCALE: 3/16" = 1'-0"

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NOTES

A-3.3

SHEET 11 OF 18

NO.