

GENERAL NOTES

- IN NO CASE SHALL WORK BE SCALED FROM PLANS OR DETAILS. Refer to dimensions shown on drawings only. If a dimension is missing, notify the Architect prior to installing work. Larger scale drawings shall take precedence over smaller scale drawings.
- Contractor and Subcontractors shall be responsible for construction, workmanship and materials conforming to all applicable local, city, state and federal regulations, ordinances and codes, latest edition. Code requirements take precedence over the drawings.
- The Contractor shall report to the Architect any error or omission discovered in the drawings or any inconsistencies between the drawings and field conditions, prior to commencing work. It shall be the responsibility of the Contractor to verify and account for existing conditions and dimensions prior to starting work, including utilities (H.V.A.C., electrical conduit, and plumbing, telephone, etc.) and all other works and facilities that affect this project. After the start of construction, the Contractor shall be responsible for any time delays and corrective measures which arise from errors, omissions and inconsistencies which have not been brought to the attention of the Architect. Corrective measures shall be implemented without cost to the Architect or Owner.
- The Contractor shall pay all fees, miscellaneous costs, and obtain and pay for all permits necessary to complete all work. Before final acceptance of any part of the work the Contractor shall furnish the Architect with appropriate "Certificates of Inspection" stating that work has been inspected and approved by the Building Department.
- The Contractor shall insure that all work drawn, specified or essential for the completion of the same is accounted for in the contracts of his sub-contractors (when appropriate) and is accounted for and reflected in the base bid.
- The Contractor agrees to furnish and transport all necessary labor, materials, tools, and implement required to perform and completely finish in a workmanlike manner to the satisfaction and approval of Owner, with all applicable building codes and zoning regulations applicable to the subject premises.
- The Contractor and Subcontractors shall maintain liability and worker's compensation insurance to protect themselves and their workers and shall hold the Owner and the Architect harmless from any and all claims for damages for personal or bodily injury or death or property damage during the course of construction. Contractors and subcontractors performing work on or related to these plans shall conduct their operations so that all employees are provided a safe place to work and the public is protected. All contractors and subcontractors shall comply with the "Occupational Safety and Health Regulations" of the U.S. Dept. of Labor and with the State of California Dept. of Industrial Relations, "Construction Safety Orders."
- During the life of the Contract the Contractor shall provide and pay for all temporary sanitary facilities and all temporary power, water, heat, fences, barricades, scaffolding, and stairs as required for the timely completion of the work. All above provisions to be in compliance with all applicable codes and ordinances.
- The Contractor shall be fully responsible for supervision of all work done by any of his subcontractors. The Contractor's responsibility for such supervision shall include all aspects of such work, including without limitation the speed, quality and safety thereof. All subcontractors employed by the Contractor shall be duly licensed, unless otherwise approved by Owner, in writing.
- The Contractor guarantees that the work performed will be free from faulty materials and workmanship. On receiving notification from the Owner, the Contractor agrees to remedy, repair or replace immediately, without cost to the owner and to the owner's satisfaction, all defects and imperfections. It shall be understood, unless otherwise noted, that all materials and workmanship shall be guaranteed for a period of one year by the Contractor from the acceptance of the project by the Owner.
- The Contractor shall notify the Owner of any extra costs arising from the execution of his Contract or his subcontracts and shall receive written Owner's approval of extra costs prior to the work involved.
- All construction documents are complementary. What is specified by any construction document will be binding as if specified by all construction documents. Any work shown or referred to on any construction document shall be provided as though shown on all related documents.
- The construction documents are provided to illustrate the design and general type of construction desired, and imply the finest quality of construction, material and workmanship. The Contractor, in assuming responsibility for the work indicated, shall comply with all the letter in which they were drawn.
- Incidental items not indicated on the drawings or mentioned in the specifications that can be legitimately and reasonably inferred to belong to the work described or be necessary in good practice to provide a complete installation or system shall be provided and be installed as though called out herein in every detail.
- Work done without lines or grades being given or shown on the plans, work done in the absence or without the consent of the Architect and/or Owner, or any work done without written authority, will be considered as unauthorized and at the expense of the contractor.
- The location of the utilities, if indicated, on the plans is not guaranteed to be accurate or complete, but is plotted for the general information of the Contractor. It shall be the responsibility of the Contractor to determine the exact location of all utilities and their service connections. The Contractor shall make necessary measures for protecting and supporting any utilities that occur in the limits of the work.
- The Contractor shall lay out the work and establish all points, grades, and levels which are shown on the drawings. If they do not conform with the physical conditions of the proposed work, immediately notify the Architect who will make the necessary revisions or corrections. Set all grade stakes and protect them in place as long as may be required by all trades and crafts.
- The Contractor shall protect areas from damage which may occur during construction. Any damage to new and existing construction, structure or equipment shall be the Contractor's responsibility and shall be immediately repaired or replaced to the satisfaction of the owner at the expense of the general contractor.
- All dust and noise created by the work shall be kept to a minimum.
- The Contractor shall provide sufficient means for protecting existing exposed interior finishes, and new construction and materials, from damage by weather or vandals for the course of the project.
- The Contractor shall follow general construction industry standards and manufacturer's instructions for all products.
- All construction work, architectural, mechanical, electrical, etc., shall conform to the city building and zoning codes as well as all applicable county, state and federal codes and regulations.
- The Contractor shall submit to the owner a detailed construction schedule indicating phasing of work from start to completion.
- All work listed, shown, or implied on any construction document shall be supplied and installed by the general contractor, unless otherwise noted. The Contractor shall closely coordinate his work with that of sub-contractors or vendors to assure that all schedules are met and all work is done in conformance to manufacturers requirements.
- The Contractor shall provide the minimum insurance requirements set forth in A.I.A. document A201 "General Conditions of The Contract For Construction", 1997 edition.
- The Contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all sub-contractors with current construction documents as required.
- The Contractor shall remove all rubbish and waste materials on a regular basis, of all sub-contractors and trades. He shall exercise strict control over job cleaning throughout construction including final clean up upon completion of work.
- No excavation five (5) feet or greater are a part of this work, unless specifically noted in the contract documents.
- No substitution shall be made for any material, article, method or process herein specified or shown on the drawings unless approved by the architect or engineer.
- All pad drainage shall be conducted to the street in an approved manner.
- All roof drainage shall be collected and conducted to an approved location in a non-erosive device.

BUILDING CODES:

1. ALL PLANS AND WORK FOR THE PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES WITH LOCAL AMENDMENTS:

- CALIFORNIA CODE OF REGULATIONS TITLES 19 AND 24
- 2019 CALIFORNIA BUILDING CODE (L.A. County)
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING
- 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (T-24)
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE

SEPARATE BUILDING PERMITS ARE REQUIRED FOR:

- FIRE SPRINKLER SYSTEM
- ELECTRICAL WORK
- MECHANICAL WORK
- PLUMBING WORK
- SIGNAGE
- FIRE ALARM SYSTEM

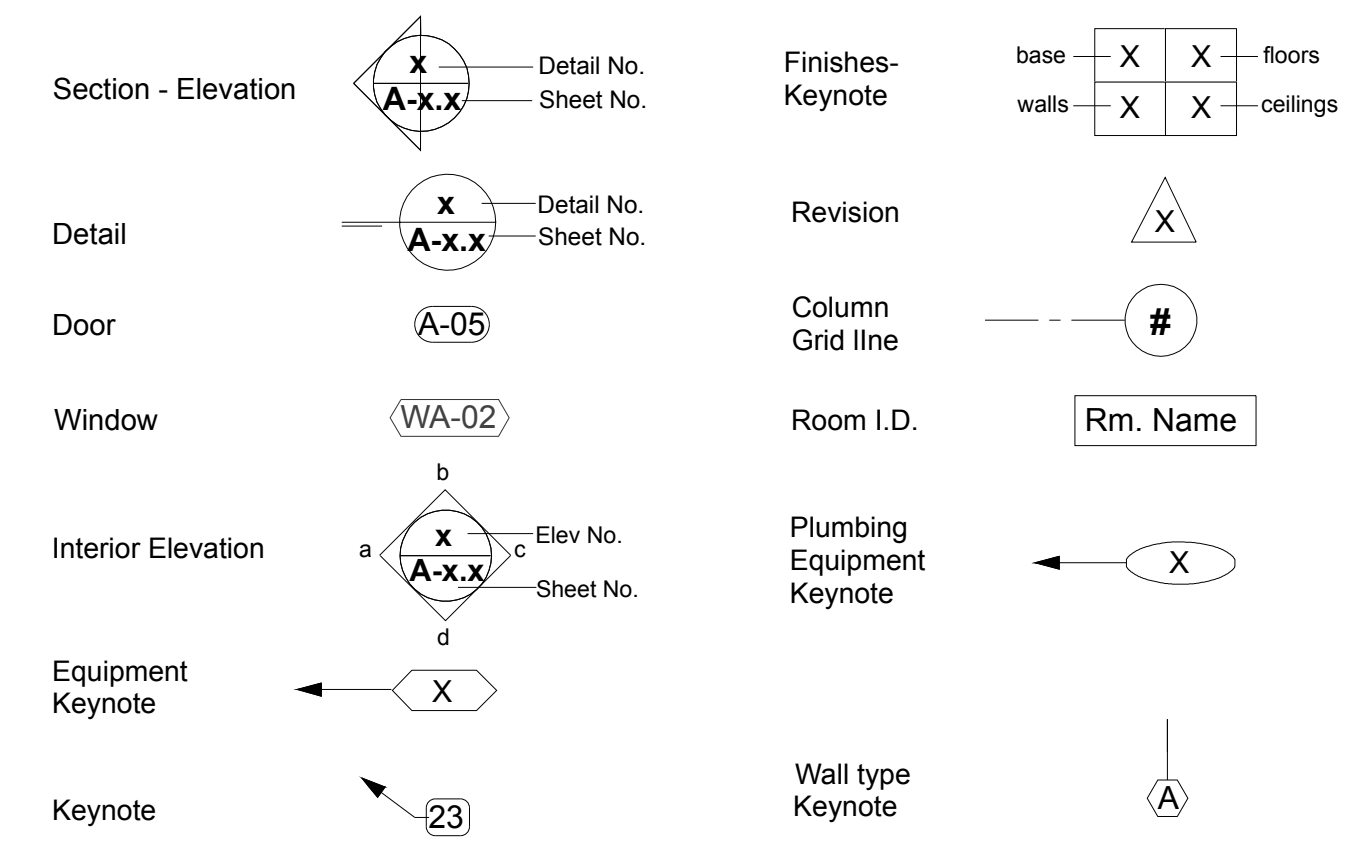
Storage Yard

9313 to 9323 Laurel Street, Los Angeles, California 90002

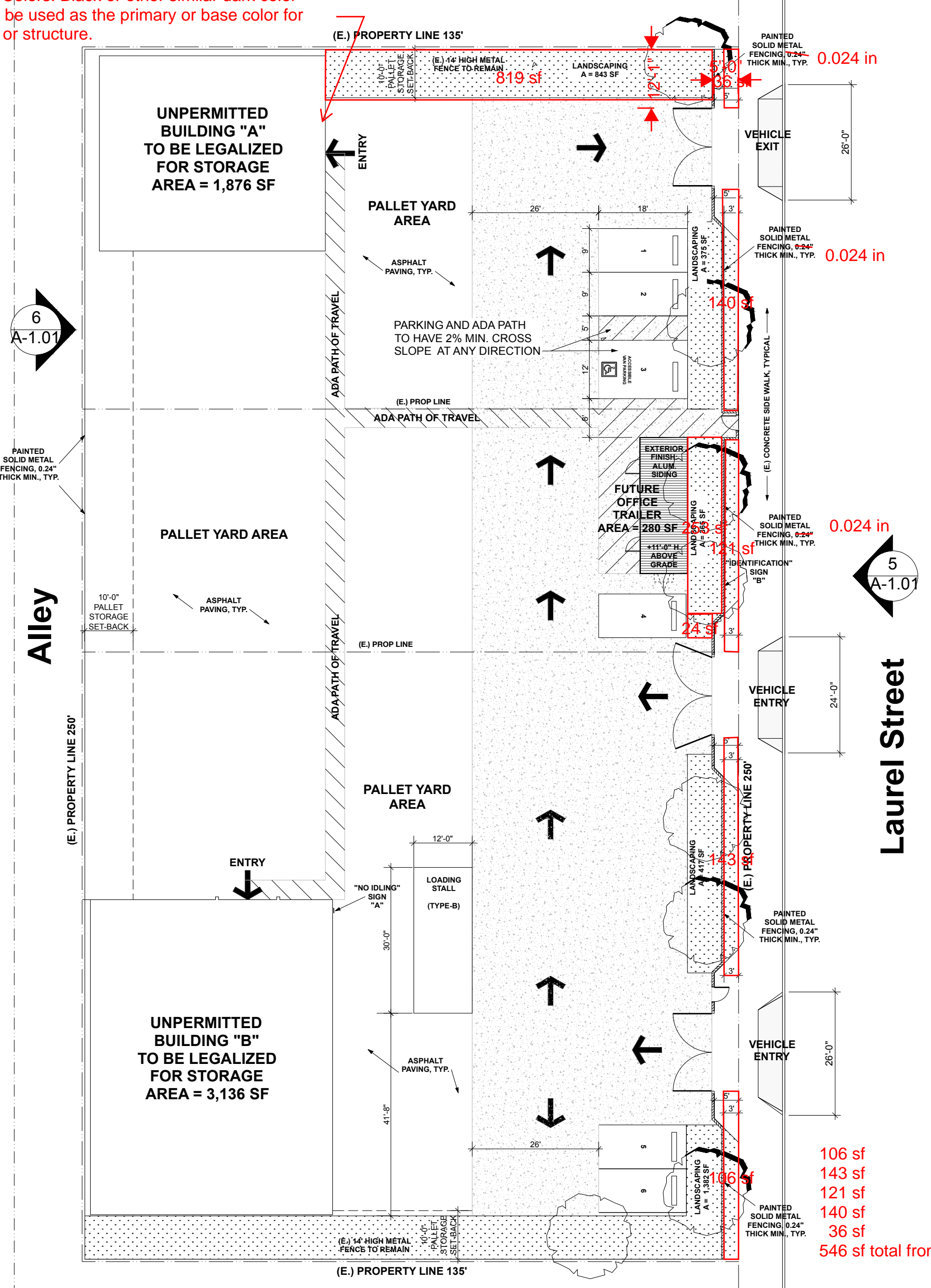
ABBREVIATIONS

A.D. Area Drain	G. Gas	R. Radius
ALUM. Aluminum	GA. Gauge	REC. Recessed
APPROX. Approximately	G.B. Glass Block	RDWD. Redwood
AW. Awning	G.D. Garbage Disposal	REF. Refrigerator
BD. Board	G.I. Galvanized Iron	REINF. Reinforced
BLDG. Building	GYP.BD. Gypsum Board	REQ. Required
BS. Building Standard	H.B. Hose Bib	S. Shell
BLKG. Blocking	H.C. Handicap	S.C. Solid Core
BOT. Bottom	HDWR. Hardware	STL. Sheet
C.L. Center Line	H.M. Hollow Metal	SHT. Sheeting
CLG. Ceiling	H.P. High Point	SHTG. Sheeting
CLR. Clear	HT. Height	SIM. Similar
CF. Compact Fluorescent	INS. Insulated	S.S. Stainless Steel
C.M.U. Conc. Masonry Unit	INT. Interior	TYP. Typical
CONC. Concrete	JNT. Joint	STRUC. Structural
CONT. Continuous	LFXT. Light Fixture	SUR. Surface (mounted)
D. Doorbell	L.P. Low Point	T.G. Tempered Glass
DBL. Double	M. Mirror	T & G Tongue And Groove
D.F.P.T. Doug. Fir Press.	MAS. Masonry	VER. Verify
	MAX. Maximum	(V) With
DIA. or Ø Diameter	M.C. Medicine Cabinet	WD. Wood
DIM. Dimension	MECH. Mechanical	WW. Wall Washer
DN. Down	MEMB. Membrane	WH. Water Heater
DTL. Detail	MIN. Minimum	WP. Water Proof
DW. Dishwasher	MTL. Metal	YD. Yard
ELEC. Electric	(N) New	# Pound
EL. Elevation	NO. Number	U.N.O. Unless Noted
EP. Electrical Panel	N.I.C. Not In Contract	Otherwise
EQ. Equal	N.T.S. Not To Scale	
EQUIP. Equipment	NR. Not Rated	
EXIST'G. Existing	O. Over	
(E) Exterior	O.C. On Center	
FAB. Fabricated	O.D. Outside Diameter	
F.F. Finish Floor	O.W.S. Owner Will Supply	
F.G. Finish Grade	P.C. Pull Chain	
FLR. Floor	P.L. Plate Line	
FRAM'G. Framing	PLUMB. Plumbing	
	PNLD. Paneled	
	PNTD. Painted	

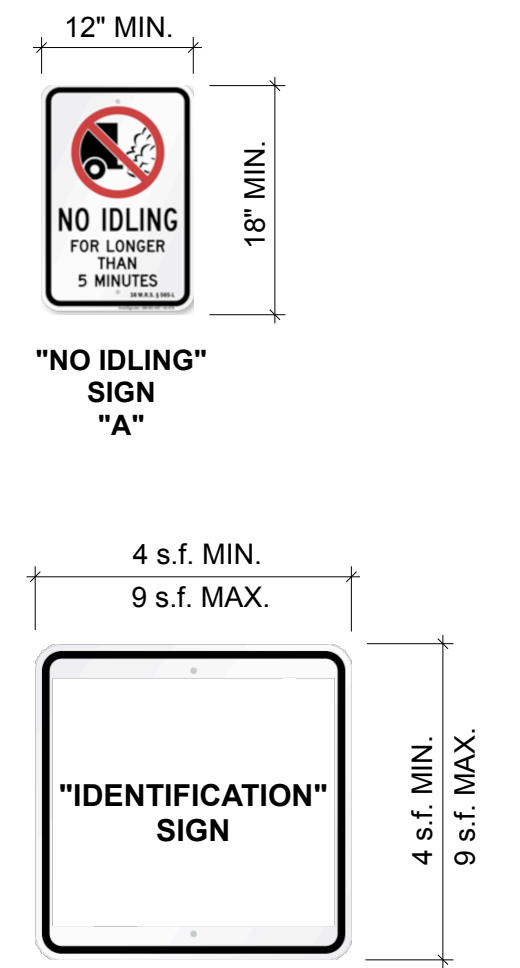
LEGEND / SYMBOLS



Material Colors. Black or other similar dark color shall not be used as the primary or base color for any wall or structure.



1 NEW SITE PLAN Scale: 1:250



GENERAL NOTES

- NO TRUCK REPAIR ONSITE.
 - REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPE REQUIREMENTS.
- Graffiti. All structures, walls, and fences that are publicly visible shall remain free of graffiti. Any property owner, lessee, or other person responsible for the maintenance of a property shall remove graffiti within 72 hours of receiving written notice from a zoning enforcement officer that graffiti exists on the property. Paint used to cover graffiti shall match, as near as possible, the color of the surrounding surfaces.
- Maintenance. Any areas of property that are publicly visible, including front yards, front sidewalks, and rear alleys, shall remain free of trash and other debris. Storage of household appliances, such as refrigerators, stoves, freezers, and similar products, is prohibited in all yard areas.

PROJECT DIRECTORY

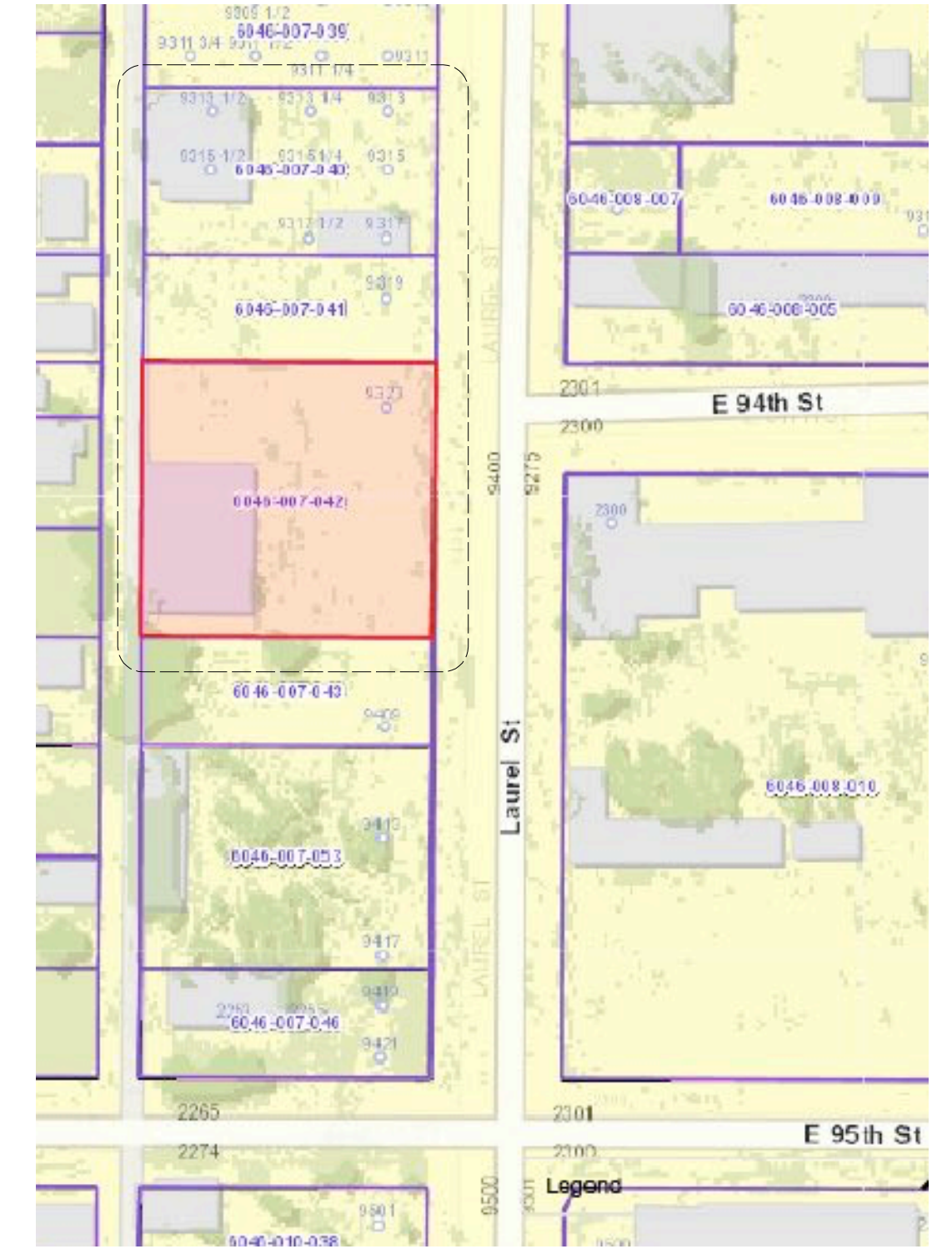
ARCHITECT Ramer Architecture Richard Ramer Ph: 310-452-2994 richard@ramer.com Andrea Hewitt (Project Manager) Ph: 310-990-5044 andrea@ramer.com 3231 Ocean Park Blvd. Suite 222 Santa Monica, California 90405	STRUCTURAL ENGINEER K&M Engineering and Design, Corp. Arbi Karapetan 6854 Foothill Blvd. Tujunga, CA. 91042 Ph: (818) 273-9988 email: info@kmdesigncorp.com	CIVIL ENGINEER KPF Erick Arguello-Alvarez (Project Manager) 700 South Flower Street, Suite 2100 Los Angeles, CA 90017 Ph: (213) 266-5292 email: erick.alvarez@kpf.com	LANDSCAPE ARCHITECT Harmony Gardens, Inc. Don Rice 6620 Murietta Avenue Van Nuys, CA 91405 Ph: (818) 505-9783 email: don@harmonygardens.net GEOTECHNICAL ENGINEER Geoboden, Inc. Cyrus Radvar 5 Hodgenville Irvine, CA 92620 Ph: (949) 872-9565 email: geoboden@geobodeninc.com
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PROJECT SUMMARY:

Address: 9323, 9319, 9315, 9313 LAUREL ST LOS ANGELES CA 90002
Assessor's ID No: 9323: 6046-007-042
 9319: 6046-007-041
 9313: 6046-007-040
Property Type: Commercial / Industrial
Region / Cluster: 26 / 26853
Tax Rate Area (TRA): 01198
Legal Description: STARKS PALM TRACT LOTS 60, 61, 62, 63 AND LOT 64 BLK F Fireston & Florence CSD; STARKS PALM TRACT LOTS 58 AND LOT 59 BLK F; STARKS PALM TRACT LOTS 55, 56 AND LOT 57, BLK F
Applicant: A&I Pallets, LLC
 9405 S. Alameda St
 Los Angeles, CA 90002
Ramer Architect
 3231 Ocean Park Blvd., Suite 222
 Santa Monica, CA 90405
 (310) 452-2994
Project Description: Two existing non-permitted unconditioned industrial buildings will be legalized with building permits. These buildings will be utilized for storage and pallet storage only. The open yards will remain open for vehicle circulation only.
Lot Area: 33,750 sq. ft.
Existing Buildings - Construction: TYPE I, Occupancy: Storage-Group S
 Building A (Storage) = 1,876 sf
 Building B (Storage) = 3,136 sf
Landscaping: Required = 3,375 sf
 Provided = 3,382 sf
Outdoor Area: = 11,364 s.f.
Parking Calculation:
 Building A = 1,876 s.f. / 1000 = 1.88 stalls
 Building B = 3,136 s.f. / 1000 = 3.14 stalls
 Office trailer = 280 s.f. / 400 = 0.70 stalls
TOTAL PARKING STALLS REQUIRED = 6
 Provided stalls = 6
 All stalls are 9' x 18' with 1 disabled access van stall.

SHEET INDEX

ARCHITECTURE	Sheet	Sheet Title
A-0.01	COVER SHEET & SITE PLAN	
A-0.02	COMMERCIAL ACCESSIBILITY NOTES	
A-0.03	ACCESSIBILITY NOTES (cont'd.)	
	BEST MANAGEMENT PRACTICES	
	SECURITY REQUIREMENTS	
A-1.01	BUILDING "A" PLAN & ELEVATIONS	
A-1.02	BUILDING "B" PLAN & ELEVATIONS	
	"HENNON" SITE SURVEY (for Reference, only)	
STRUCTURAL	Sheet	Sheet Title
SN1	GENERAL NOTES	
S1.0	FOUNDATION PLAN - BLDG. "A"	
S1.1	FOUNDATION PLAN - BLDG. "B"	
S2.0	ROOF FRAMING PLAN - BLDG. "A"	
S2.1	ROOF FRAMING PLAN - BLDG. "B"	
S3.0	SECTIONS	
S3.1	DETAILS	
S3.2	DETAILS	
CIVIL	Sheet	Sheet Title
C0.01	TITLE SHEET	
C1.00	SURVEY (FOR REFERENCE, ONLY)	
C1.10	DEMOLITION PLAN	
C1.20	EROSION CONTROL PLAN	
C1.30	GRADING PLAN	
C1.40	UTILITY PLAN	
C1.50	PAVING PLAN	
C5.00	CIVIL DETAILS	
C5.01	CIVIL DETAILS	
LANDSCAPE	Sheet	Sheet Title
L-0	LANDSCAPE WATER EFFICIENCY PLAN	
L-1	PLANTING PLAN	
L-2	IRRIGATION PLAN	
L-3.1	LANDSCAPE DETAILS & SPECIFICATIONS	
L-3.2	IRRIGATION DETAILS & SPECIFICATIONS	
GEOTECHNICAL INVESTIGATION REPORT		



6 ASSESSOR MAP OVERVIEW

ramer architecture

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Storage Yard
 9313 to 9323 Laurel,
 Los Angeles, California 90002
 Proposed Site Plan & Building Plan

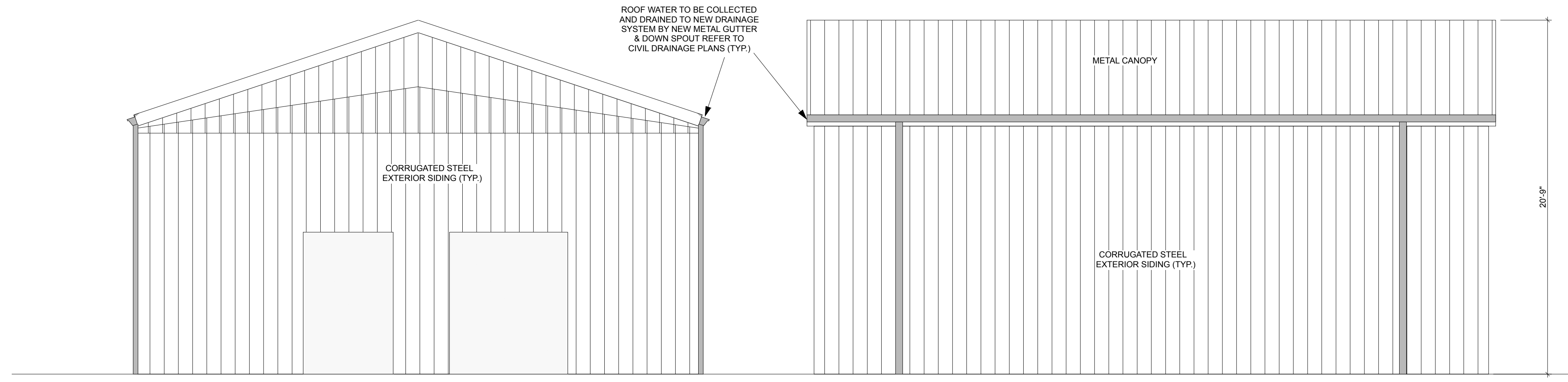
12/27/19	1	Plan Check Submittal
11/18/22	2	Plan Check Corrections Submittal
12/07/22	3	Revised Review
06/23/23	4	CUP Submittal
09/15/23	5	CUP Corrections
10/09/24	6	CUP Corrections

DATE: ISSUE / REVISION

SHEET TITLE:
COVER SHEET & SITE PLAN

SCALE: **As Noted** PROJECT NO: **1809**
 CAD FILE: **1809 PALLETT YARD** SHEET NO:

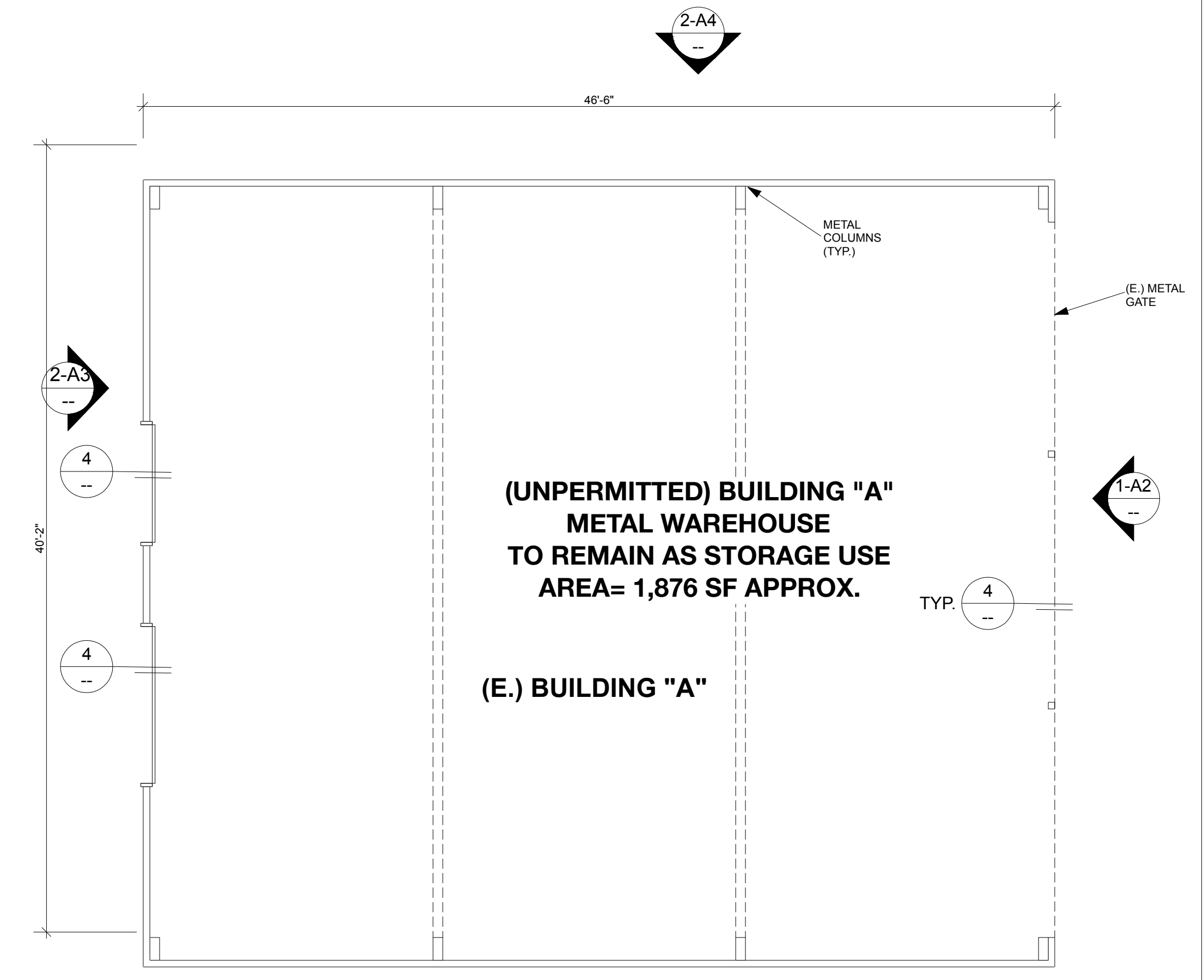
A-0.01



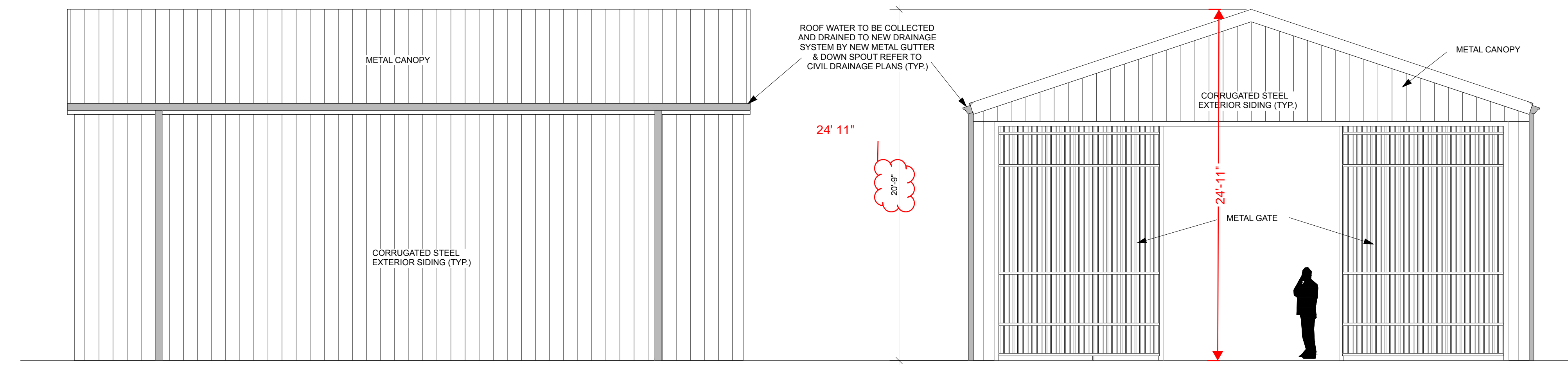
ELEVATION - A3

ELEVATION - A4

2 (UNPERMITTED) BUILDING "A" ELEVATIONS
Scale: 3/16" = 1'-0"



3 (UNPERMITTED) BUILDING "A" PLAN
Scale: 3/16" = 1'-0"



ELEVATION - A1

ELEVATION - A2

1 (UNPERMITTED) BUILDING "A" ELEVATIONS
Scale: 3/16" = 1'-0"

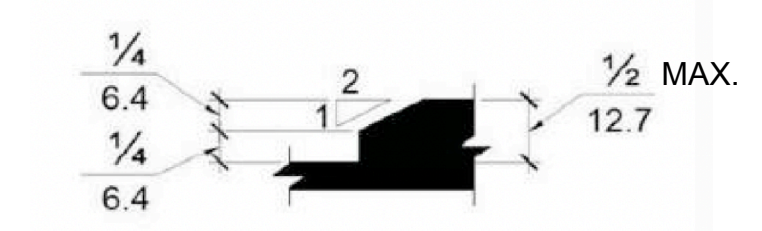
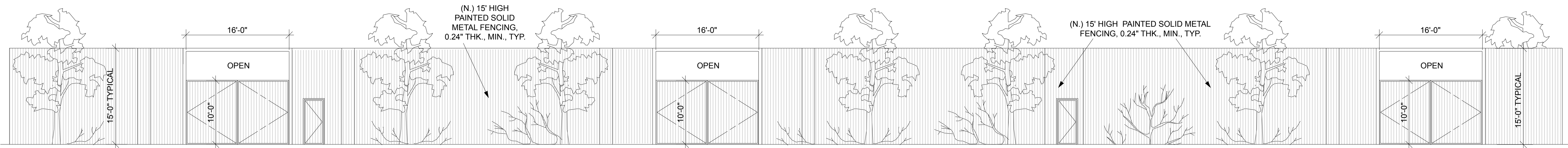
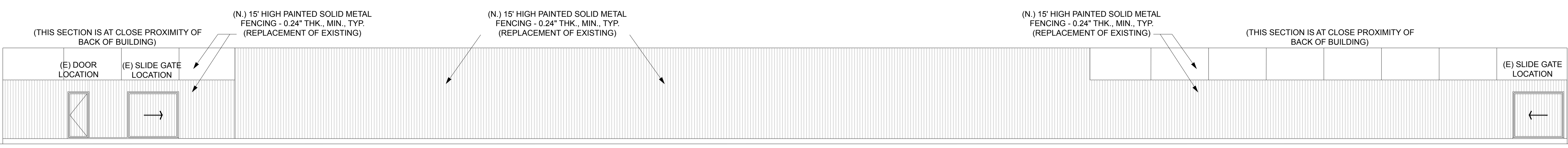


FIGURE 11B-303.3 BEVELED CHANGE IN LEVEL
11B-404.2.5 THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTIONS 11B-302 AND 11B-303.

4 TYP. THRESHOLD DETAIL
N.T.S.



5 LAUREL STREET - PROPOSED ELEVATION
Scale: 1/8" = 1'-0"



6 ALLEY - PROPOSED ELEVATION
Scale: 1/8" = 1'-0"

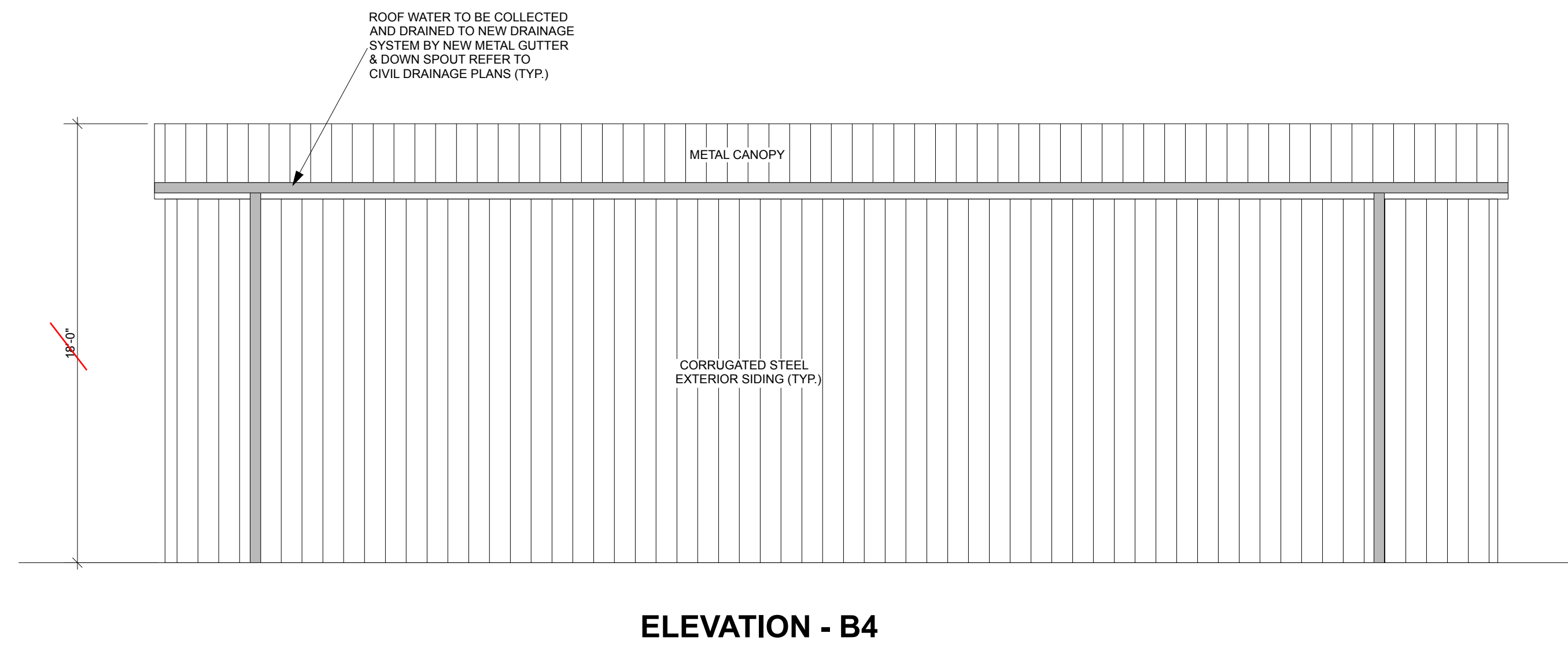
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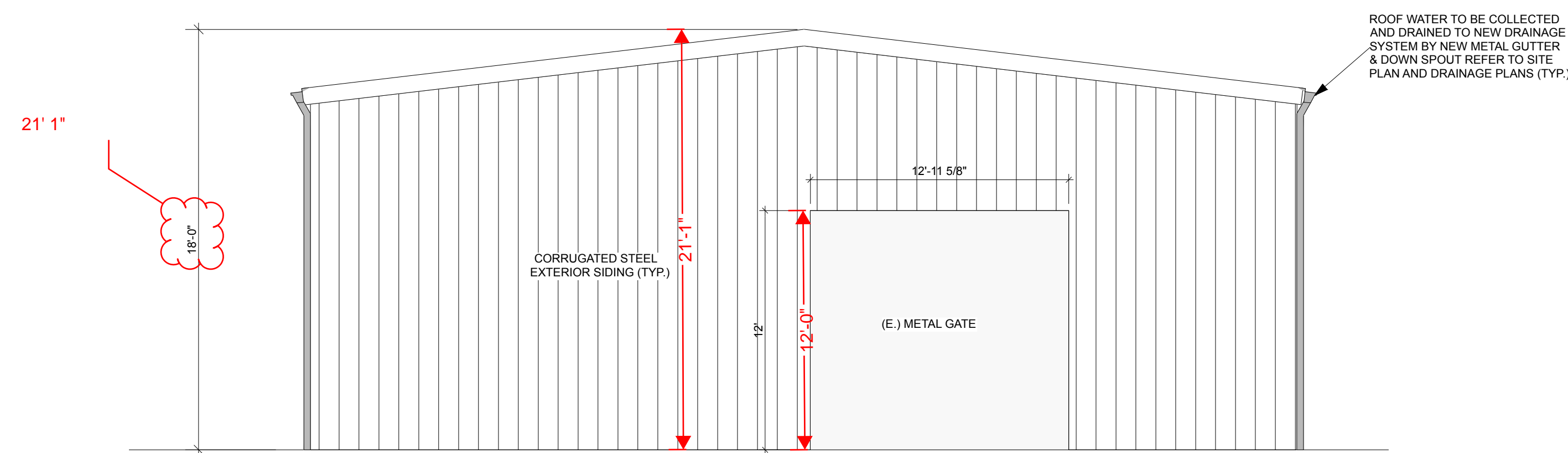
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DATE	ISSUE / REVISION
SHEET TITLE: (UNPERMITTED) BUILDING PLAN "A" AND ELEVATIONS	
SCALE: As Noted	PROJECT NO.: 1809
CAD FILE 1809 PALLET YARD	SHEET NO.: A-1.01

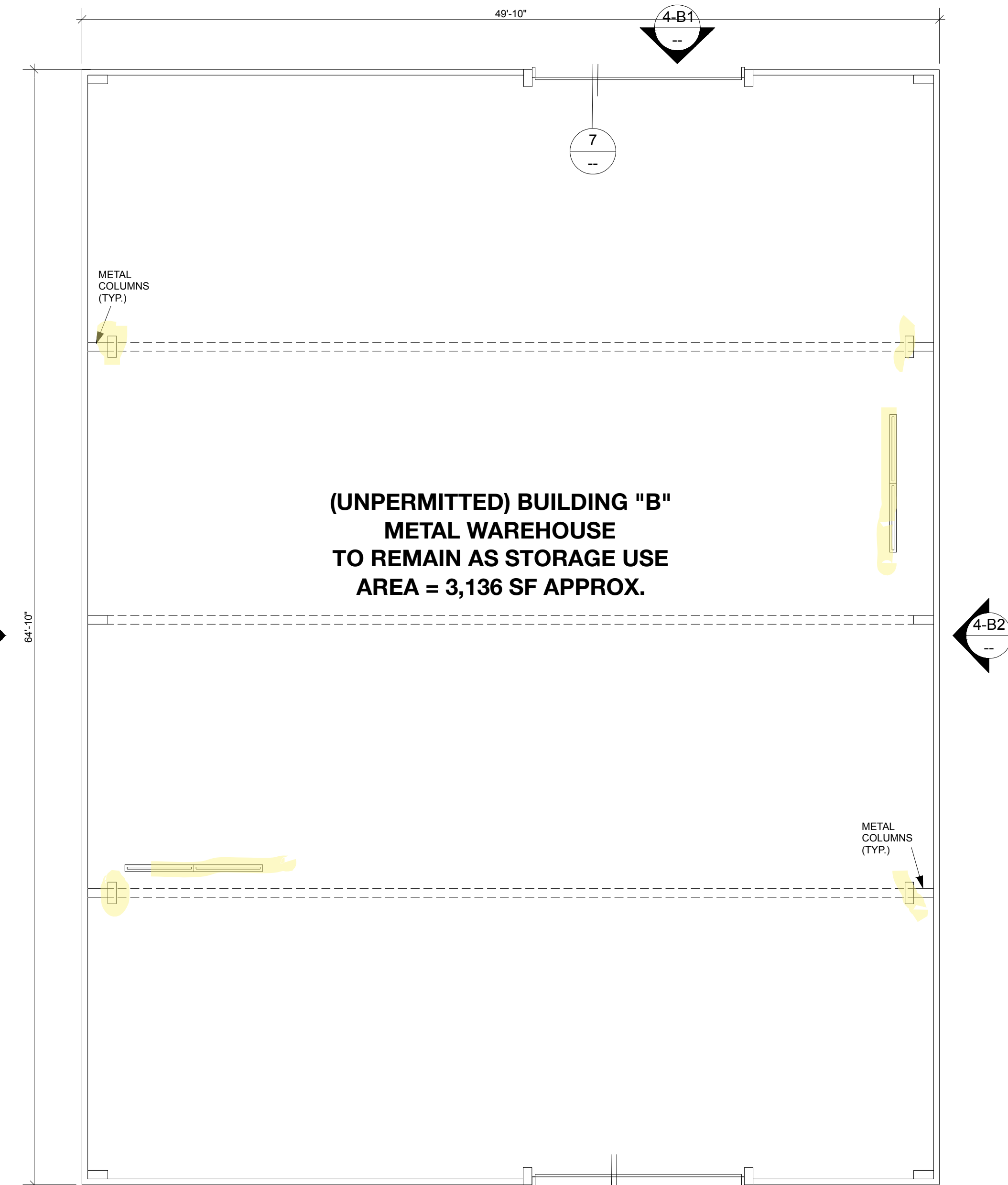


ELEVATION - B4

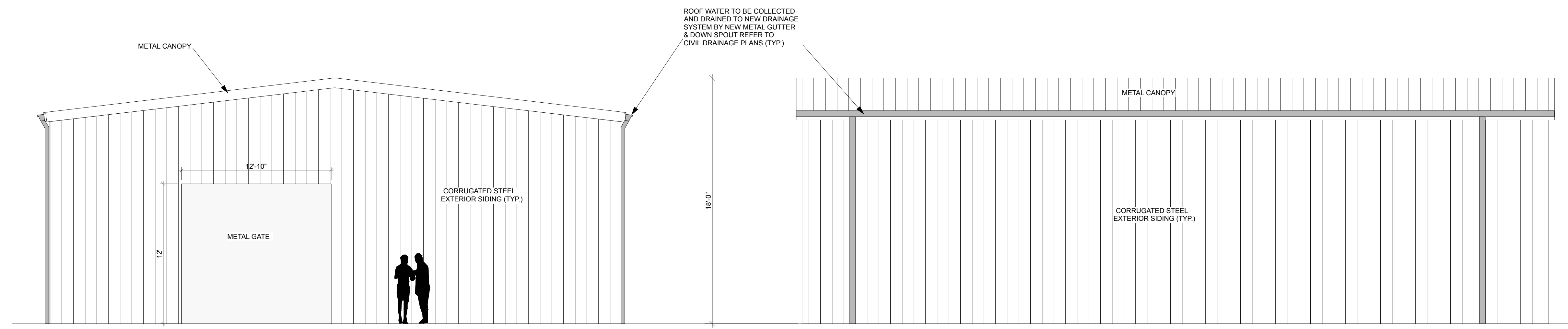


ELEVATION - B3

5 (UNPERMITTED) BUILDING "B" ELEVATIONS
Scale: 3/16" = 1'-0"



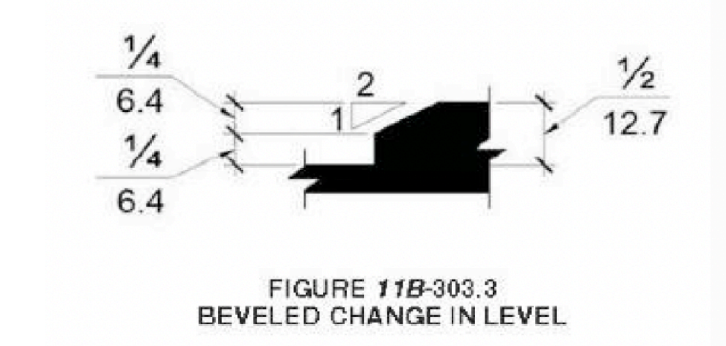
6 (UNPERMITTED) BUILDING "B" PLAN
Scale: 3/16" = 1'-0"



ELEVATION - B1

ELEVATION - B2

4 (UNPERMITTED) BUILDING "B" ELEVATIONS
Scale: 3/16" = 1'-0"



11B-404.2.5
THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTIONS 11B-302 AND 11B-303.

7 TYP. THRESHOLD DETAIL



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DATE: 11/18/22 ISSUE / REVISION: 3
SHEET TITLE: (UNPERMITTED) BUILDING PLAN "B" AND ELEVATIONS
SCALE: As Noted PROJECT NO.: 1809
CAD FILE: 1809 PALLET YARD SHEET NO.: A-1.02