

GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2017 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS.
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURED HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER. ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ANY OAK TREE SHALL BE PER OAK TREE PERMIT No. _____. ALL RECOMMENDATIONS IN THE PERMIT AND ASSOCIATED OAK TREE REPORT MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESCP PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.
- IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

- UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES," SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
 - BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
 - MONTHLY, AT ALL OTHER TIMES; AND
 - AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL.

SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: [HTTP://DPW.LACOUNTY.GOV/BS/DG/DEFAULT.ASPX](http://dpw.lacounty.gov/bsd/dg/default.aspx). "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310) 530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."

- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES:

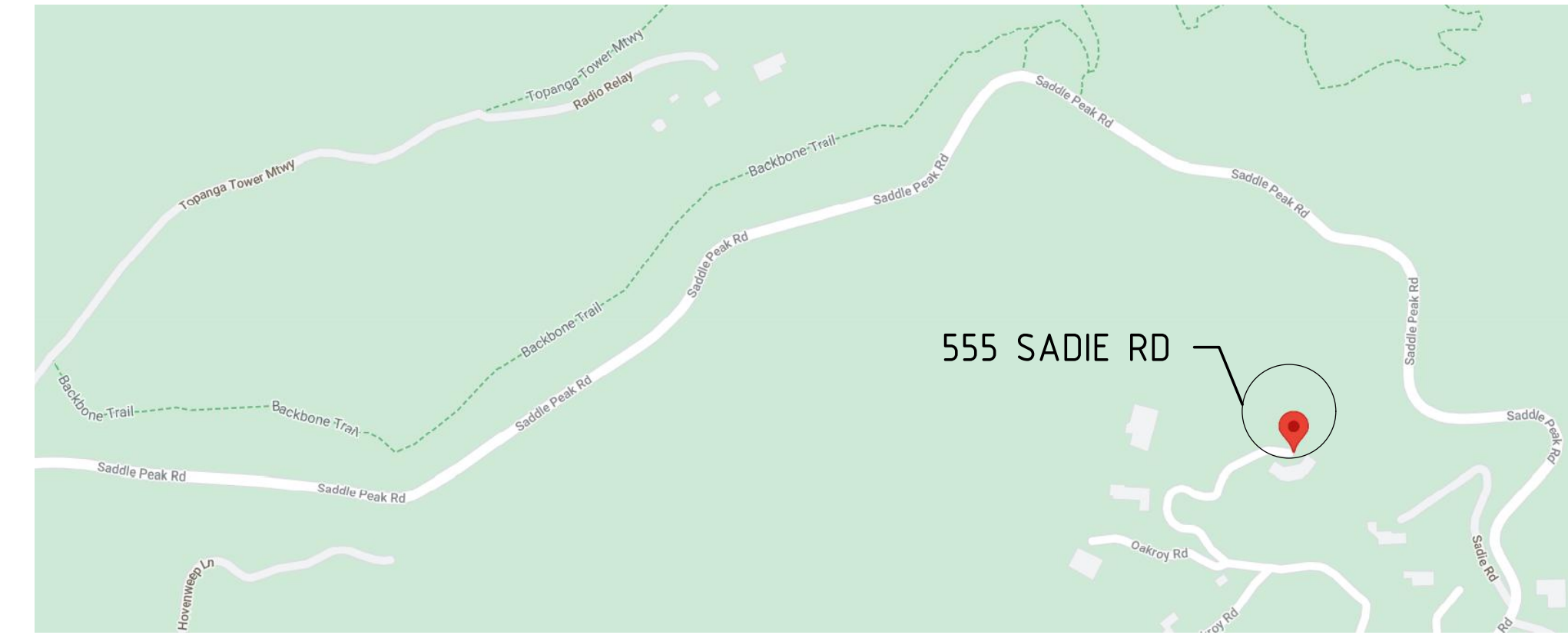
- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT ARE TO BE DONE PER PRIVATE DRAIN PD NO. N/A OR MISCELLANEOUS TRANSFER DRAIN MTD NO. _____.
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. STATUS REPORTS REQUIRED UNDER NOTE 18 AND SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE SHALL INCLUDE INSPECTION INFORMATION AND REPORTS ON THE STORM DRAIN INSTALLATION.

AGENCY NOTES:

- AN ENCROACHMENT PERMIT FROM COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS ENCROACHMENT PERMIT.
- AN ENCROACHMENT PERMIT/CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE PERMIT.
- PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OF THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
- ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO:
 - ARMY CORP 404 PERMIT NUMBER: _____ N/A
 - CALIFORNIA FISH AND WILDLIFE PERMIT NO.: _____ N/A
- ALL CONSTRUCTION/DEMOLITION, GRADING, AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE <http://www.aqcmd.com>.

GENERAL GEOTECHNICAL NOTES:

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION. (900 S. FREMONT, ALHAMBRA CA 91803 - 3RD FLOOR)
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
- FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.



VICINITY MAP
NOT TO SCALE

SOILS ENGINEER REVIEW

THESE PLANS HAVE BEEN REVIEWED BY AND CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING GEOLOGIC/SOILS REPORT AND ALL SUBSEQUENT ADDENDUMS PREPARED BY: GEOMAT TESTING LABORATORIES

- GEOLOGICAL SOILS ENGINEERING EXPLORATION UPDATE PROPOSED SINGLE FAMILY RESIDENCE AND ADU APN 44438-037-018, SADIE ROAD, TOPANGA, LOS ANGELES COUNTY, DATED JULY 9, 2021.

SHEET	INDEX TO PLANS
C1.0	TITLE SHEET
C1.1	GRADING AND DRAINAGE NOTES
C2.0	GRADING AND DRAINAGE PLAN
C2.1	DETAILS AND SECTIONS
C3.0	LID PLAN
1	TOPOGRAPHIC SURVEY

OWNER:

ANDREY PERFILYEV
555 SADIE ROAD
TOPANGA, CA
TELEPHONE:

SOILS ENGINEER:

GEOMAT TESTING LABORATORIES, INC.
5714 WEST 96th STREET,
LOS ANGELES, CA 90045
TELEPHONE: (310) 337-9400
CONTACT: HAYTHAM NABILSI

CIVIL ENGINEER:

AXIOM DESIGN & DEVELOPMENT
TELEPHONE: (818) 644-3471
CONTACT: OKSANA FEDKINA

(ENGINEERING GEOLOGIST) _____ DATE _____

PROJECT INFORMATION:

GRADING PERMIT APPLICATION NO. GRAD _____

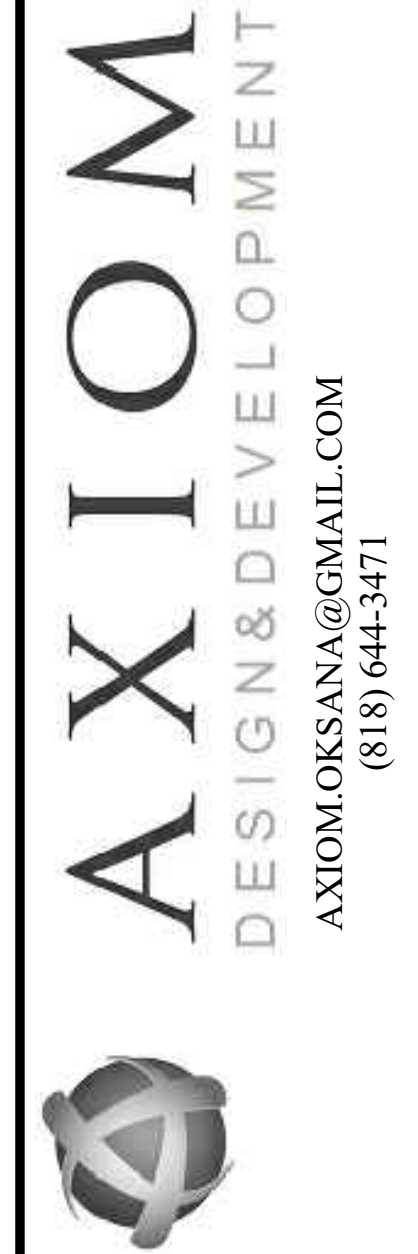
- EARTHWORK ESTIMATED VOLUMES: CUT: 2,300 CY FILL: 600 CY
- OVER EXCAVATION/ALLUVIUM REMOVAL AND COMPACTION: 2,800 CY
- EXPORT: 1,700 CY EXPORT LOCATION: TBD BY CONTRACTOR
- TOTAL DISTURBED AREA: 0.46 ACRES
- TOTAL PROPOSED LANDSCAPE AREA: _____ SQUARE FEET
- TOTAL TURF AREA: 0% (PERCENT OF PROPOSED LANDSCAPING)
- TOTAL DROUGHT TOLERANT LANDSCAPING AREA: _____
- PRE-DEVELOPMENT IMPERVIOUS AREA: 0 ACRES
- POST-DEVELOPMENT IMPERVIOUS AREA: 0.44 ACRES
- WASTE DISCHARGE IDENTIFICATION NUMBER (WDID#) _____
- CONSTRUCTION & DEMOLITION RECYCLING AND REUSE PLAN (RPP ID): XXXX
- POST-CONSTRUCTION BMP FEATURE(S) GPS COORDINATES X __, Y __, X __, Y __, X __, Y __, X __, Y __
- PROPERTY ADDRESS: 555 SADIE ROAD, TOPANGA, CA 90290
- TRACT/PARCEL MAP No. 52-100 LOT/PARCEL No. _____
- ANDREY PERFILYEV

ASSESSORS ID NUMBER: 4438-037-018
PROPERTY ZONING: R-C-20

- INTENDED LAND USE: SINGLE FAMILY RESIDENCE & ADU
- CERTIFICATE OF COMPLIANCE: CC NO. _____
- POT PLAN NUMBER: PP NO. _____
- CONDITIONAL USE PERMIT: CUP NO. _____
- OAK TREE PERMIT NUMBER: OTP NO. _____
- COMMUNITY STANDARDS DISTRICT: _____
- CALIFORNIA COASTAL COMMISSION AREA: LA COUNTY -SMM LCP ZONING EAST
- COASTAL DEVELOPMENT PERMIT XXX _____
- ENV. : XXXX
- DRP: XXX
- BENCHMARK: GIN PIN
ELEV.: 2524.75

REVISIONS	BY

TITLE SHEET
555 SADIE ROAD
TOPANGA, CA 90290
ADDRESS: ANDREY PERFILYEV
OWNER:



DRAWN O.F.
CHECKED M.M.
DATE 02/07/22
SCALE N.T.S.
JOB NO.

SHEET C1.0
OF 2 SHEETS

FILL NOTES:

37. ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - A. 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
 - B. 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE; WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
 - C. 95 PERCENT OF MAXIMUM DRY DENSITY IS REQUIRED FOR ALL FIRE LANES UNLESS OTHERWISE APPROVED BY THE FIRE DEPARTMENT.
38. FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
39. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - A. ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
 - B. ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
 - C. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - D. ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
40. SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - A. PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - B. SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - C. FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
41. FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS," ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
42. ROCK OR SIMILAR MATERIAL GREATER THAN 4 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
43. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
44. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
45. ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
46. FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

PLANTING AND IRRIGATION NOTES:

47. PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
 - A. THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 FEET ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING, IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS. THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION J110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)

NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.

 - B. SLOPES REQUIRED TO BE PLANTED BY SECTION J110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION J110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
 - C. OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.
48. THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION J110.70F OF THE COUNTY OF LOS ANGELES BUILDING CODE)
49. LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES. (TITLE 31, SECTION 5.407.2.1)
50. PRIOR TO LANDSCAPE APPROVAL THIS PROJECT REQUIRES A LANDSCAPE PERMIT. LANDSCAPE PLANS IN COMPLIANCE WITH THE "MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" TITLE 23, CHAPTER 2.7 OF CALIFORNIA CODE OF REGULATIONS (AB 1881) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION. (900 FREMONT AVE, ALHAMBRA - 3RD FLOOR, CA 91803 (626) 458-4921). TO OBTAIN LANDSCAPE PERMIT APPROVAL PLANS AND WATER PURVEYOR ACKNOWLEDGEMENT FORM MUST BE SUBMITTED TO THE LOCAL BUILDING AND SAFETY OFFICE.

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING THE PRESENCE OF MONUMENTS WITHIN PROJECT LIMITS

I HEREBY ATTEST THAT I HAVE LOCATED AND REFERENCED ON THESE PLANS THE MONUMENTS EXISTING PRIOR TO CONSTRUCTION TO ENSURE PERPETUATION OF THEIR LOCATION IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. I FURTHER ATTEST THAT I HAVE PERFORMED A RECORD SEARCH AND FIELD INSPECTION TO IDENTIFY EXISTING MONUMENTS; SHALL SET SUFFICIENT CONTROLLING, WITNESS, AND PERMANENT MONUMENTS; AND SHALL FILE THE REQUISITE CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES WITH THE COUNTY SUPERVISOR.

(ENGINEER/SURVEYOR SEAL AND SIGNATURE) DATE

NOTICE TO CONTRACTORS:

1. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
2. FOR TRENCH OR FOOTING EXCAVATIONS DEEPER THAN FIVE FEET, CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND SAFETY ORDERS, THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND THE CONSTRUCTION SAFETY ACT.
3. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT PSOMAS BEFORE PROCEEDING WITH THE WORK IN QUESTION.
4. CONTRACTOR SHALL PROTECT EXISTING SANITARY SEWER FROM DEBRIS BY PROPERLY PLUGGING SERVICE LINES AND COVERING MANHOLE COVERS.
5. CONTRACTOR SHALL PROVIDE SIGNS, FENCING, BARRICADES, AND STEEL COVERS FOR OPEN TRENCHES IN ORDER TO PROTECT THE GENERAL PUBLIC DURING THE COURSE OF CONSTRUCTION. COORDINATE WITH THE OWNER.
6. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION TO ARRANGE FOR FIELD LOCATION OF UTILITY LINES. CALL 1-800-227-2600 FOR THIS SERVICE. ANY UTILITY NOT SUBSCRIBING TO THIS SERVICE SHALL BE CONTACTED DIRECTLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER ALL UTILITIES HAVE BEEN NOTIFIED.
7. THE CONTRACTOR SHALL OBTAIN A COUNTY ENCROACHMENT PERMIT FROM THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS PRIOR TO PERFORMING ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL EXCAVATIONS, CONSTRUCTION, AND INSTALLATIONS IN THE COUNTY RIGHT-OF-WAY REQUIRE INSPECTION BY THE COUNTY PUBLIC WORKS INSPECTOR. CONTACT THE COUNTY AT LEAST 48 HOURS IN ADVANCE FOR INSPECTION. FAILURE TO HAVE INSPECTION WILL RESULT IN REOPENING OF THE EXCAVATION AND POSSIBLE RECONSTRUCTION.
8. PRIOR TO EXERCISING ANY RIGHT OR PERFORMING ANY OBLIGATION PURSUANT TO ANY PERMIT ISSUED BY THE COUNTY, THE CONTRACTOR SHALL OBTAIN, FILE, AND MAINTAIN WITH THE COUNTY OF LOS ANGELES A POLICY OF INSURANCE OR CERTIFICATE OF INSURANCE TO COVER ANY AND ALL LIABILITY THAT MAY ARISE FROM THE PERFORMANCE OF ANY WORK PERMITTED BY THE COUNTY IN THE RIGHT-OF-WAY.
9. ALL CONSTRUCTION ACTIVITIES WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE 1997 OR CURRENT EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
10. ALL TRAFFIC CONTROL, BARRICADING, AND CONSTRUCTION SIGNING SHALL BE IN CONFORMANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH). DETOUR SIGNS SHALL BE POSTED ON WOOD OR METAL POSTS. SIGNS SHALL NOT BE POSTED ON ANY TREE OR TRAFFIC SIGN.
11. NO WATER SHALL BE TAKEN FROM FIRE HYDRANTS WITHOUT APPROVAL FROM THE JURISDICTIONAL WATER AGENCY.
12. DUST SHALL BE CONTROLLED BY SWEEPING AND WATERING.
13. ALL NON-STORMWATER DISCHARGES FROM THE CONSTRUCTION PHASE ACTIVITIES AT THE PROJECT SITE (I.E., MIXING AND CLEANING OF CONSTRUCTION MATERIALS, CONCRETE AND PLASTER WASHOUT, DISPOSAL OF PAINTS, ADHESIVES, SOLVENTS, AND LANDSCAPE PRODUCTS) SHALL BE PROHIBITED FROM ENTERING THE PUBLIC STORM DRAINAGE SYSTEM (INCLUDING MUNICIPAL STREETS, CATCH BASINS, CURBS, GUTTERS, DITCHES, MAN-MADE CHANNELS, OR UNDERGROUND STORM DRAINS).

UTILITY NOTES:

1. THE UTILITIES PROVIDED ARE FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED
2. SEPARATE STORM DRAIN CONNECTION PERMIT TO CONNECT TO EXISTING PRIVATE STORM DRAIN MAY BE REQUIRED BY COUNTY OF LOS ANGELES.

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING EASEMENTS

AS CIVIL ENGINEER/LAND SURVEYOR OF THIS PROJECT, I HAVE IDENTIFIED THE LOCATION OF ALL EASEMENTS WHICH ARE DEPICTED ON THESE PLANS. I HAVE REVIEWED THE PROPOSED EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.

CIVIL ENGINEER/LAND SURVEYOR (STAMP AND SIGNATURE) DATE

REVISIONS	BY

GRADING & DRAINAGE NOTES

ADDRESS: 555 SADIE ROAD
TOPANGA, CA 90290
OWNER: ANDREY PERFILYEV

AXIOM
DESIGN & DEVELOPMENT
AXIOM.LOKSANA@GMAIL.COM
(818) 644-3471



DRAWN
O.F.
CHECKED
M.M.
DATE
02/07/22
SCALE
N.T.S.
JOB NO.

SHEET
C1.1

OF 2 SHEETS

REVISIONS	BY

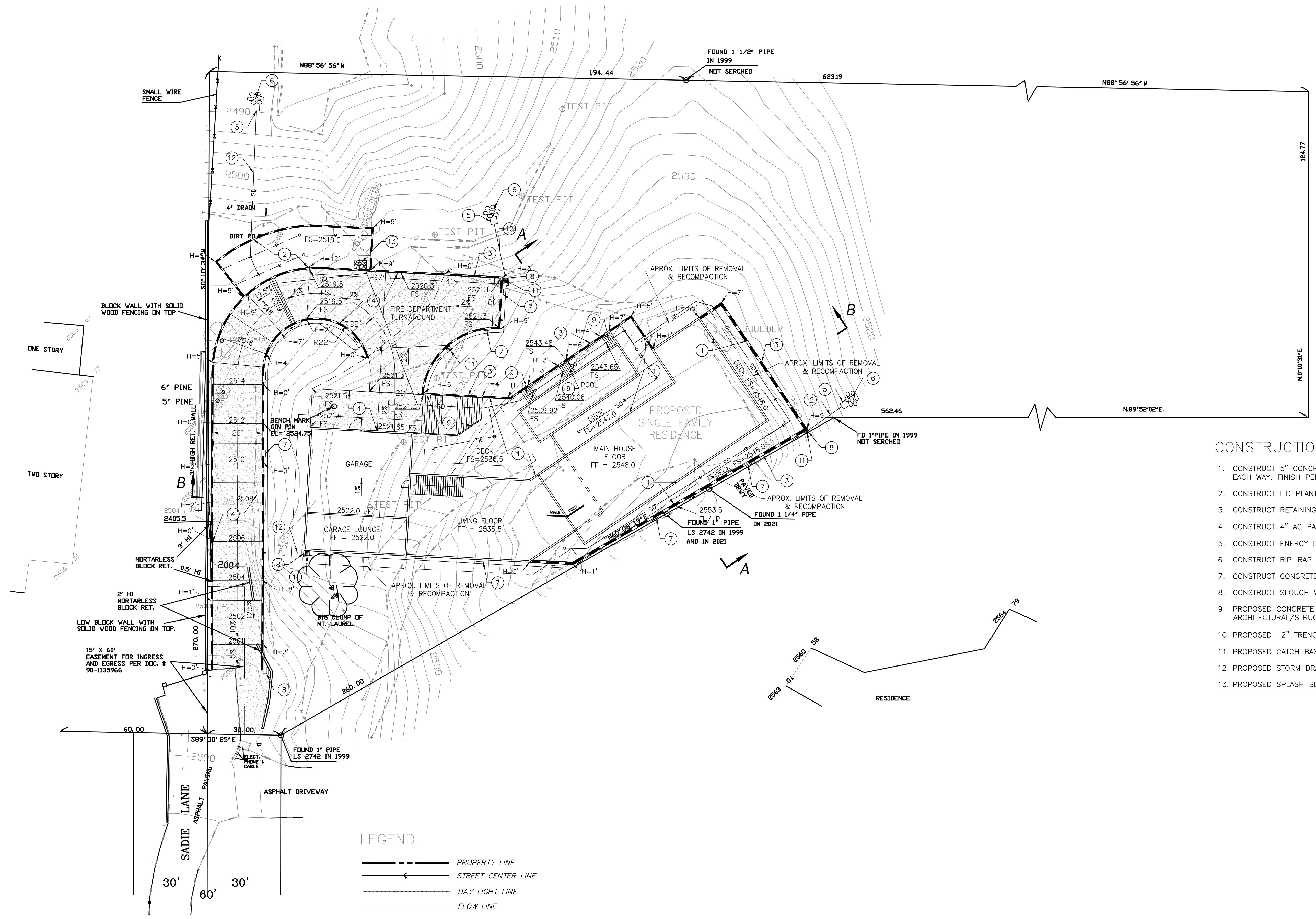
GRADING & DRAINAGE PLAN
 ADDRESS: 555 SADIE ROAD
 TOPANGA, CA 90290
 OWNER: ANDREY PERFILYEV

AXIOM
 DESIGN & DEVELOPMENT
 AXIOM.LOKSANA@GMAIL.COM
 (818) 644-3471



DRAWN	O.F.
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JOB NO.	

SHEET
C2.0
 OF 2 SHEETS

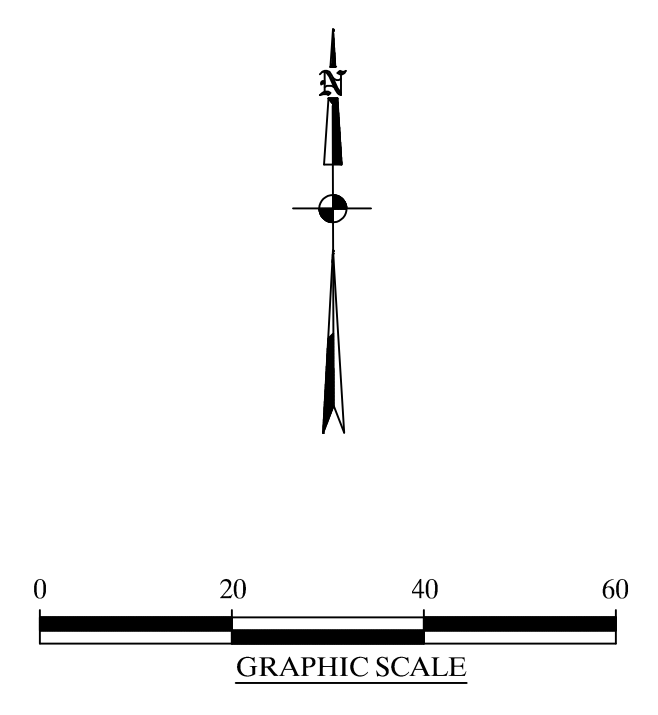


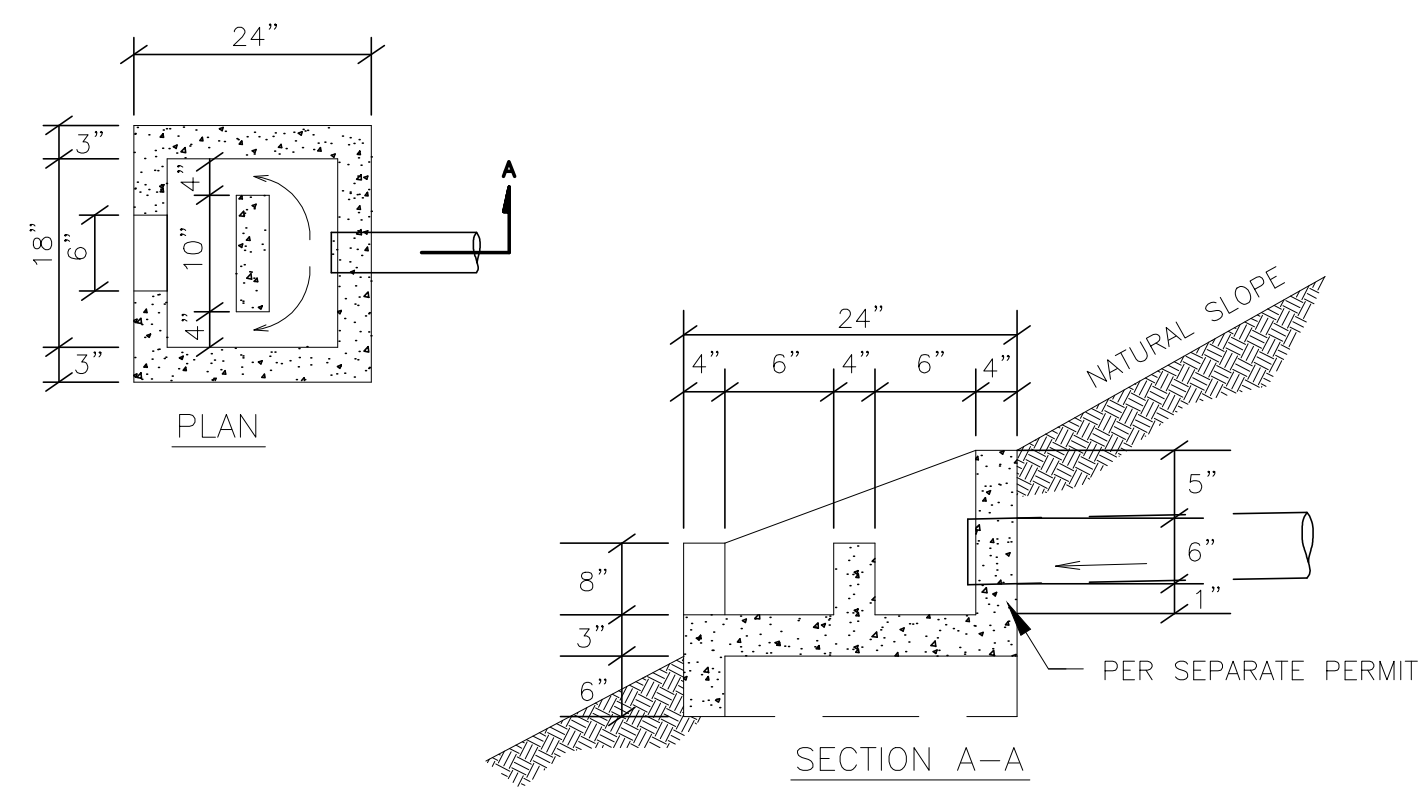
CONSTRUCTION NOTES:

1. CONSTRUCT 5" CONCRETE PAVEMENT WITH #4 BARS AT 16" O.C. EACH WAY. FINISH PER ARCHITECTURAL PLANS.
2. CONSTRUCT LID PLANTER PER DETAIL 1 ON SHEET C3.0.
3. CONSTRUCT RETAINING WALL PER SEPARATE PERMIT.
4. CONSTRUCT 4" AC PAVEMENT OVER 6" CAB BASE.
5. CONSTRUCT ENERGY DISSIPATER PER DETAIL 1 ON SHEET C2.1.
6. CONSTRUCT RIP-RAP PER DETAIL 2 ON SHEET C2.1.
7. CONSTRUCT CONCRETE SWALE PER DETAIL 4 ON SHEET C2.1.
8. CONSTRUCT SLOUGH WALL PER DETAIL 4 ON SHEET C2.1.
9. PROPOSED CONCRETE STEPS AND HANDRAIL PER ARCHITECTURAL/STRUCTURAL PLANS.
10. PROPOSED 12" TRENCH DRAIN BY ZURN OR EQUIVALENT.
11. PROPOSED CATCH BASIN.
12. PROPOSED STORM DRAIN PIPE.
13. PROPOSED SPLASH BLOCK.

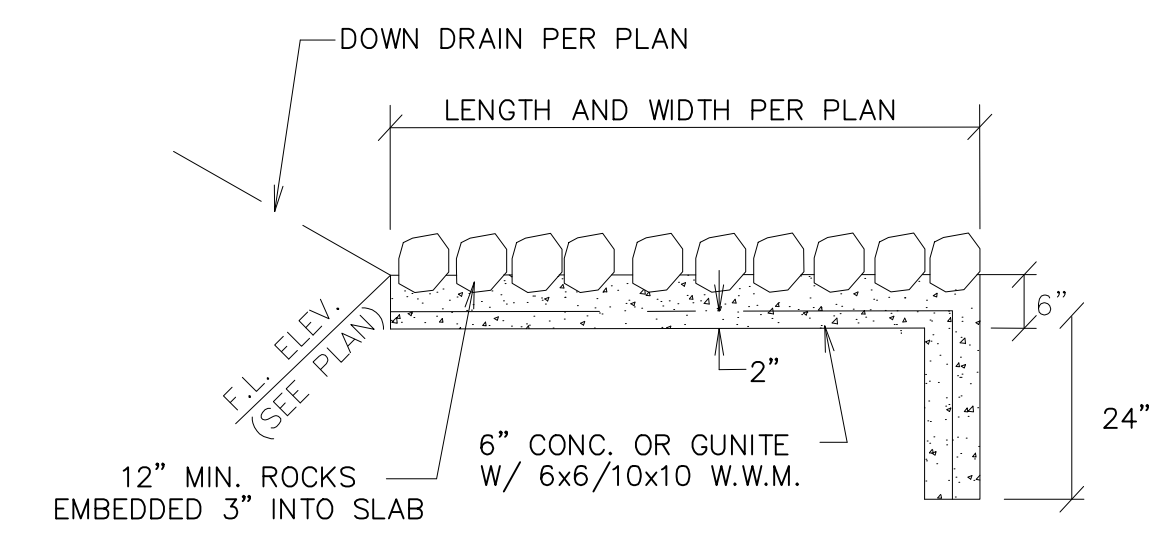
LEGEND

	PROPERTY LINE		HP HIGH POINT
	STREET CENTER LINE		PVC POLYVINYL CHLORIDE PIPE
	DAY LIGHT LINE		FS FINISHED SURFACE
	FLOW LINE		TG TOP OF GRATE
	EXISTING POINT ELEVATION		STA STATION
	PROPOSED POINT ELEVATION		EL ELEVATION
	TW TOP OF WALL		INV INVERT
	TF TOP OF FOOTING		CB CATCH BASIN
	TC TOP OF CURB		
	BW BACK OF WALK		
	FL FLOW LINE		
	FF FINISHED FLOOR		
	AP ANGLE POINT		

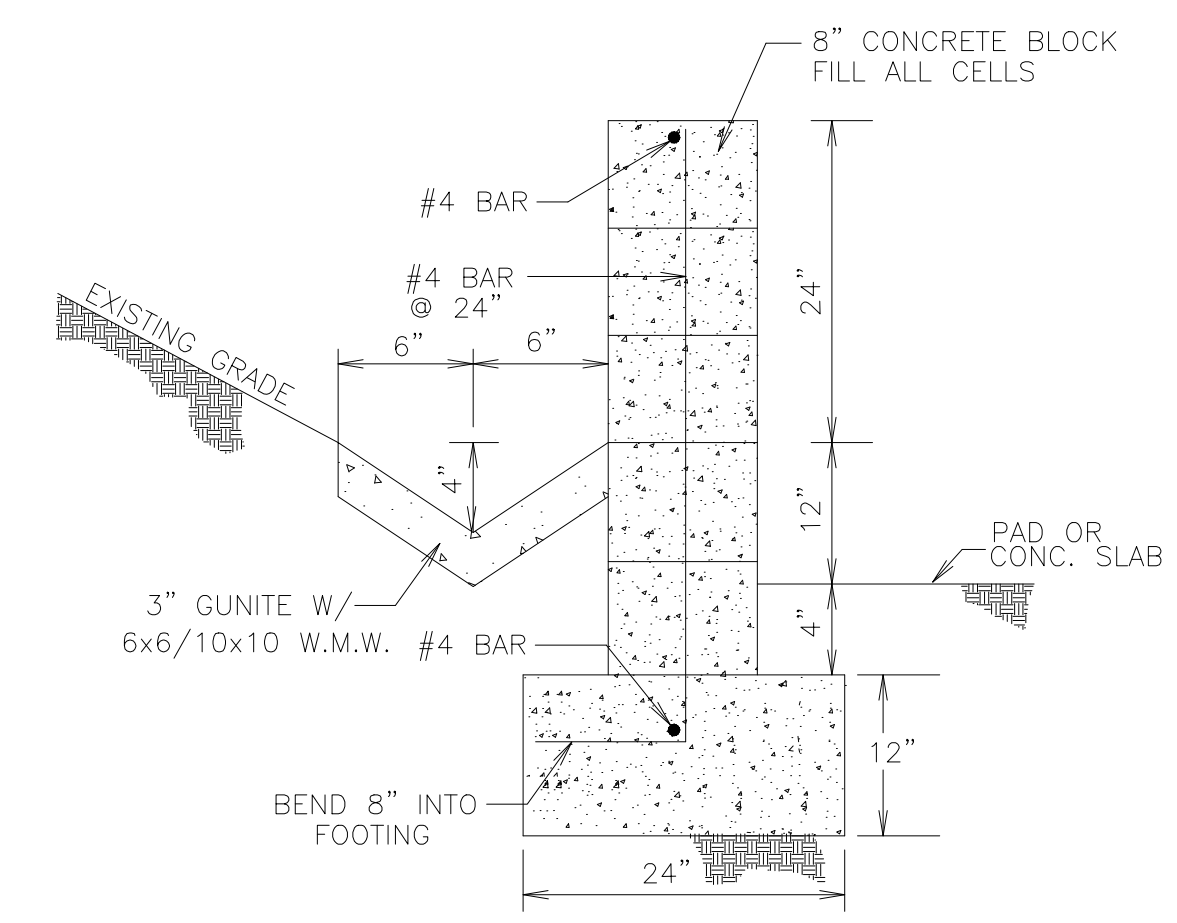




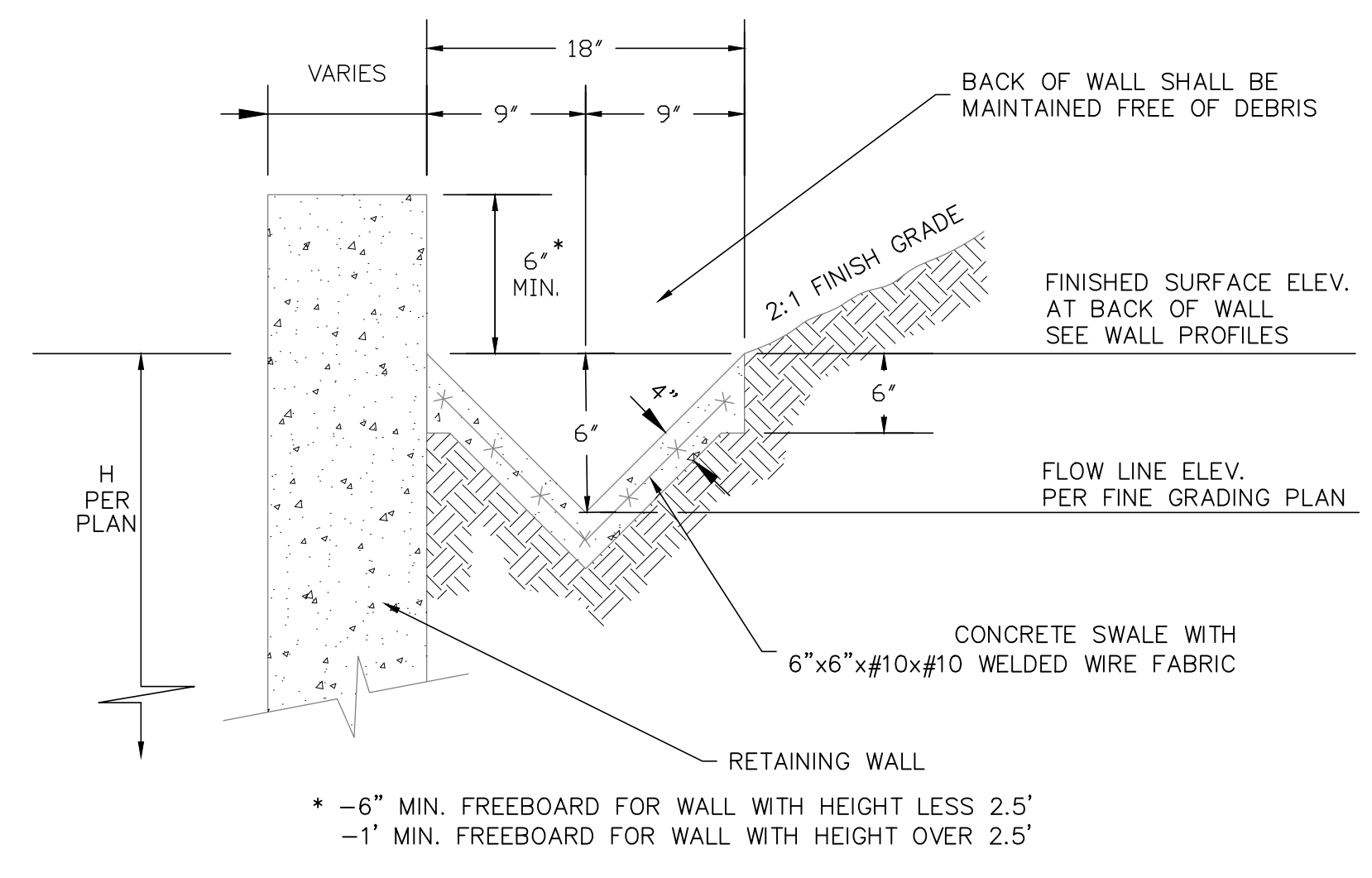
OUTLET DETAIL "ENERGY DISSIPATOR" 1
NOT TO SCALE



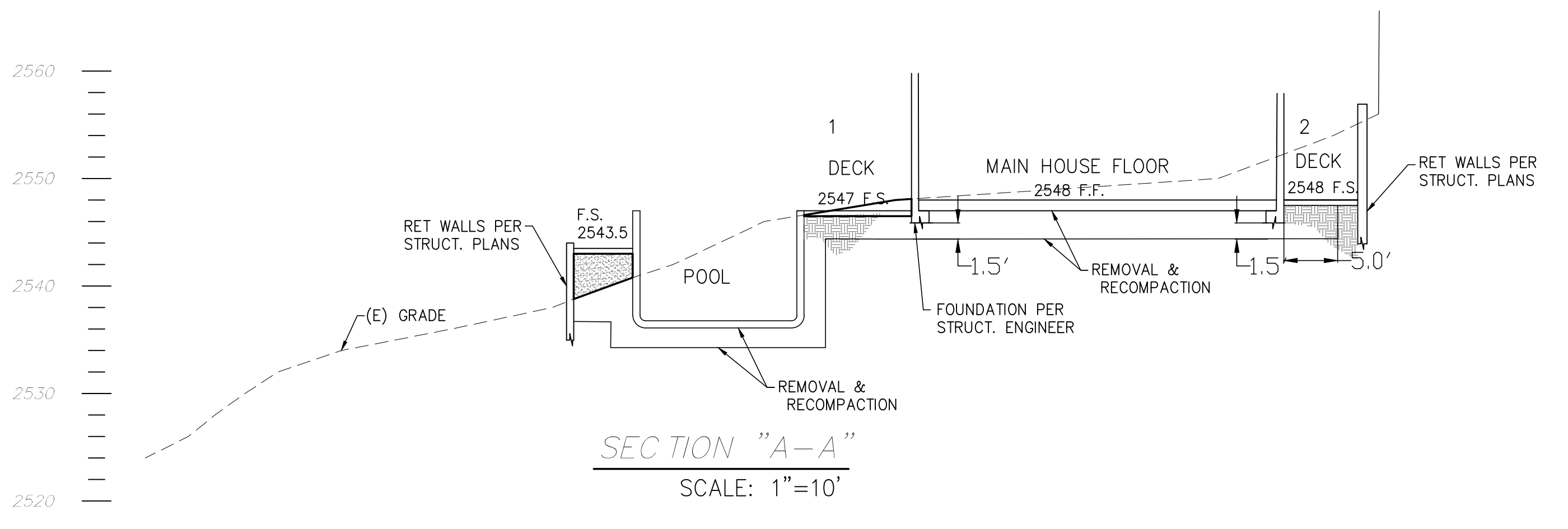
GROUTED RIP-RAP AT OUTLET DETAIL 2
NOT TO SCALE



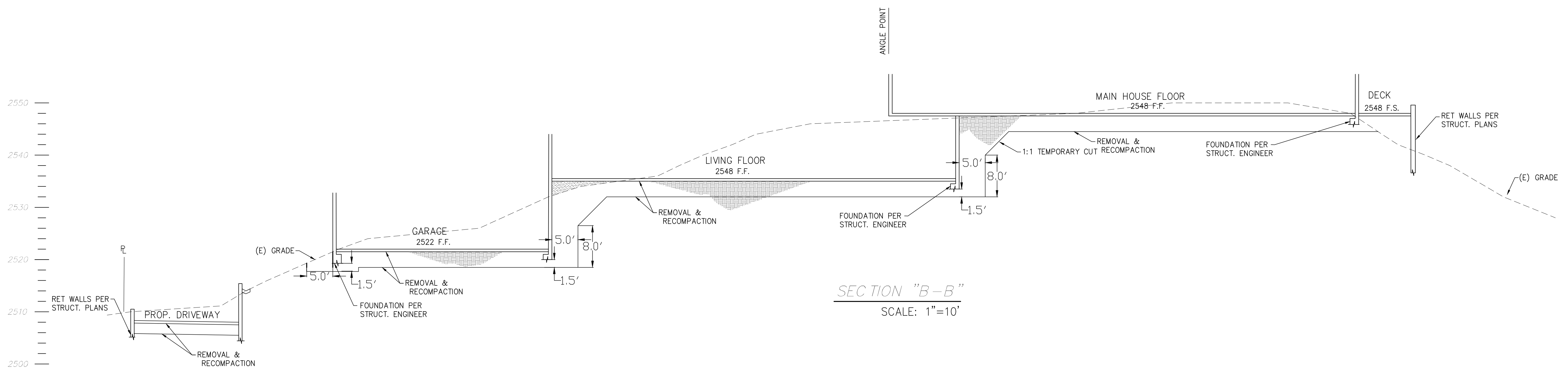
SLOUGH WALL DETAIL 3
NOT TO SCALE



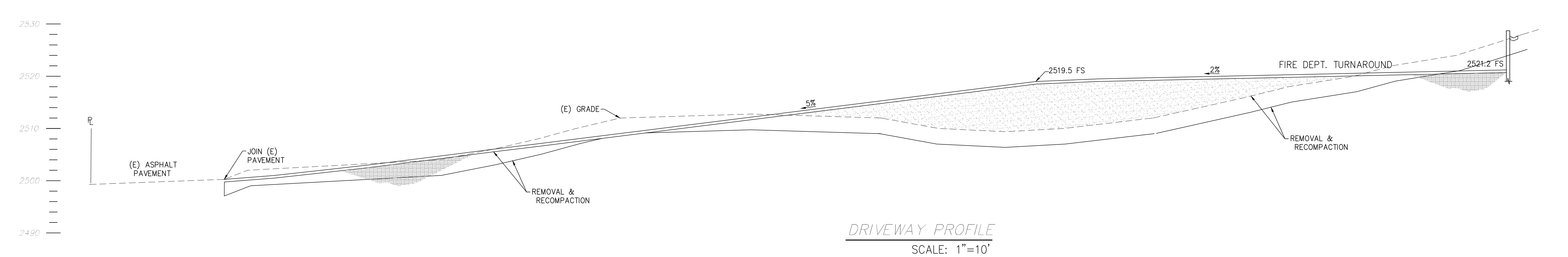
CONCRETE SWALE 4
NOT TO SCALE



SECTION "A-A"
SCALE: 1"=10'



SECTION "B-B"
SCALE: 1"=10'




DRIVEWAY PROFILE
SCALE: 1"=10'

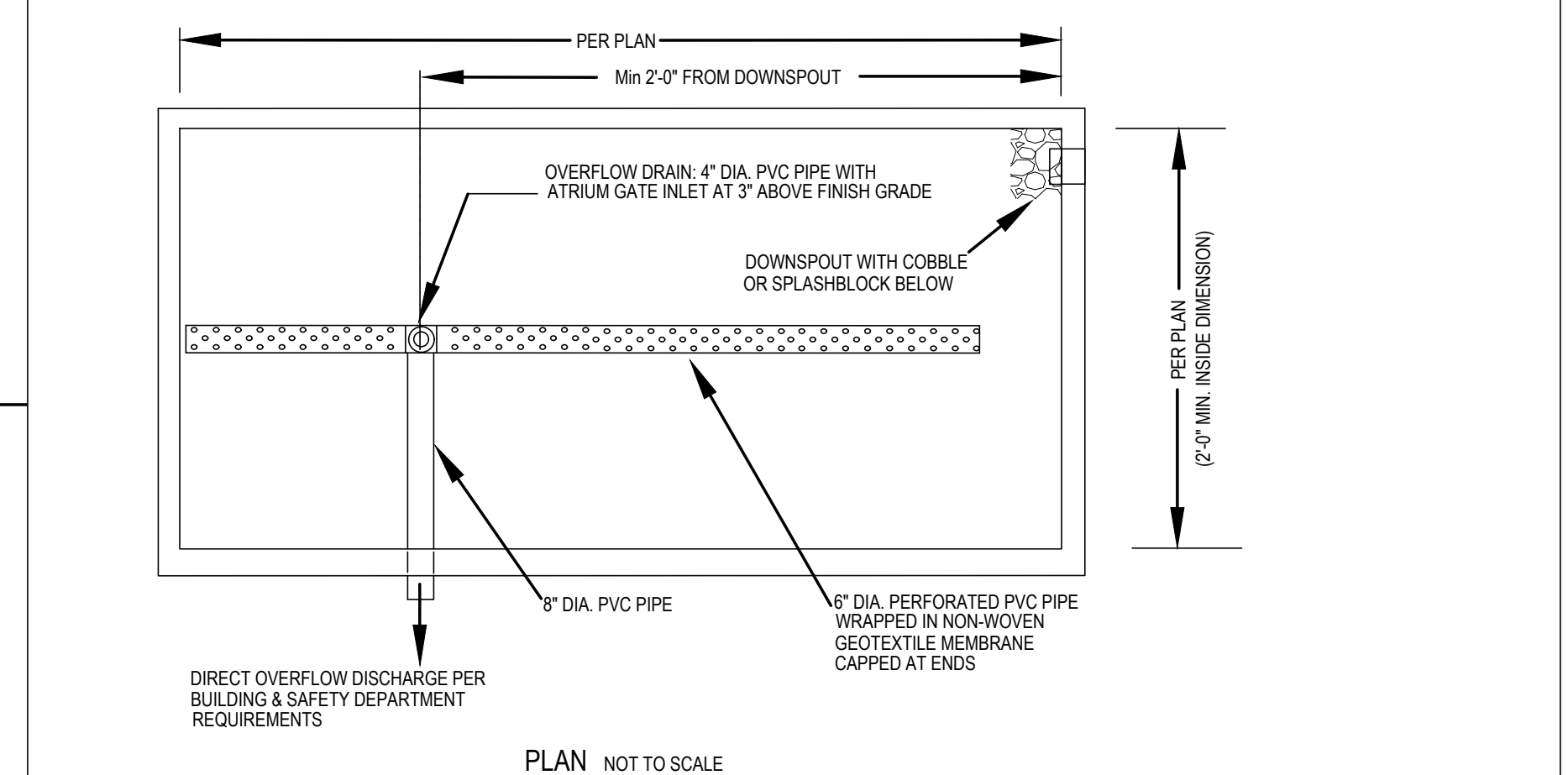
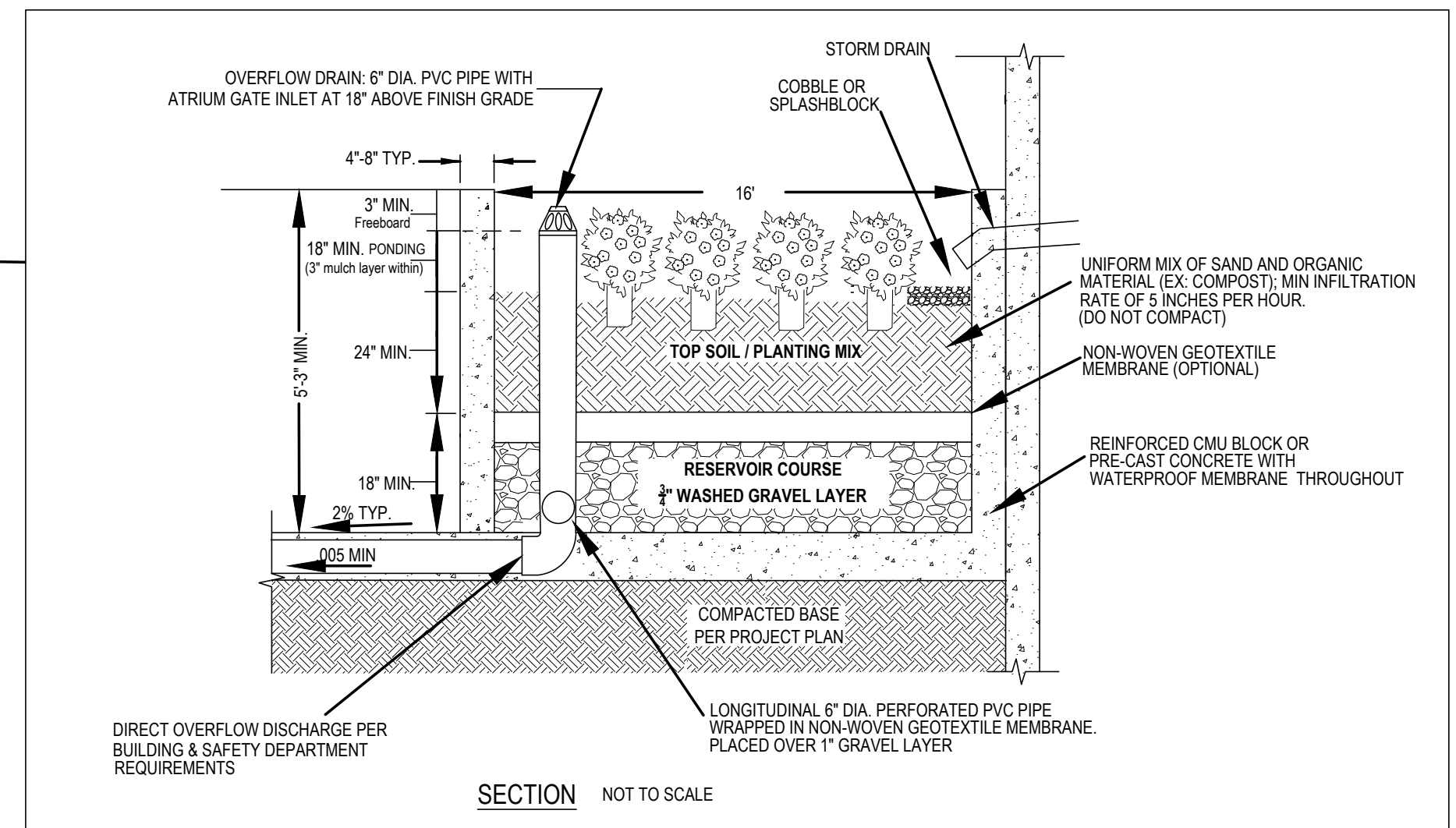
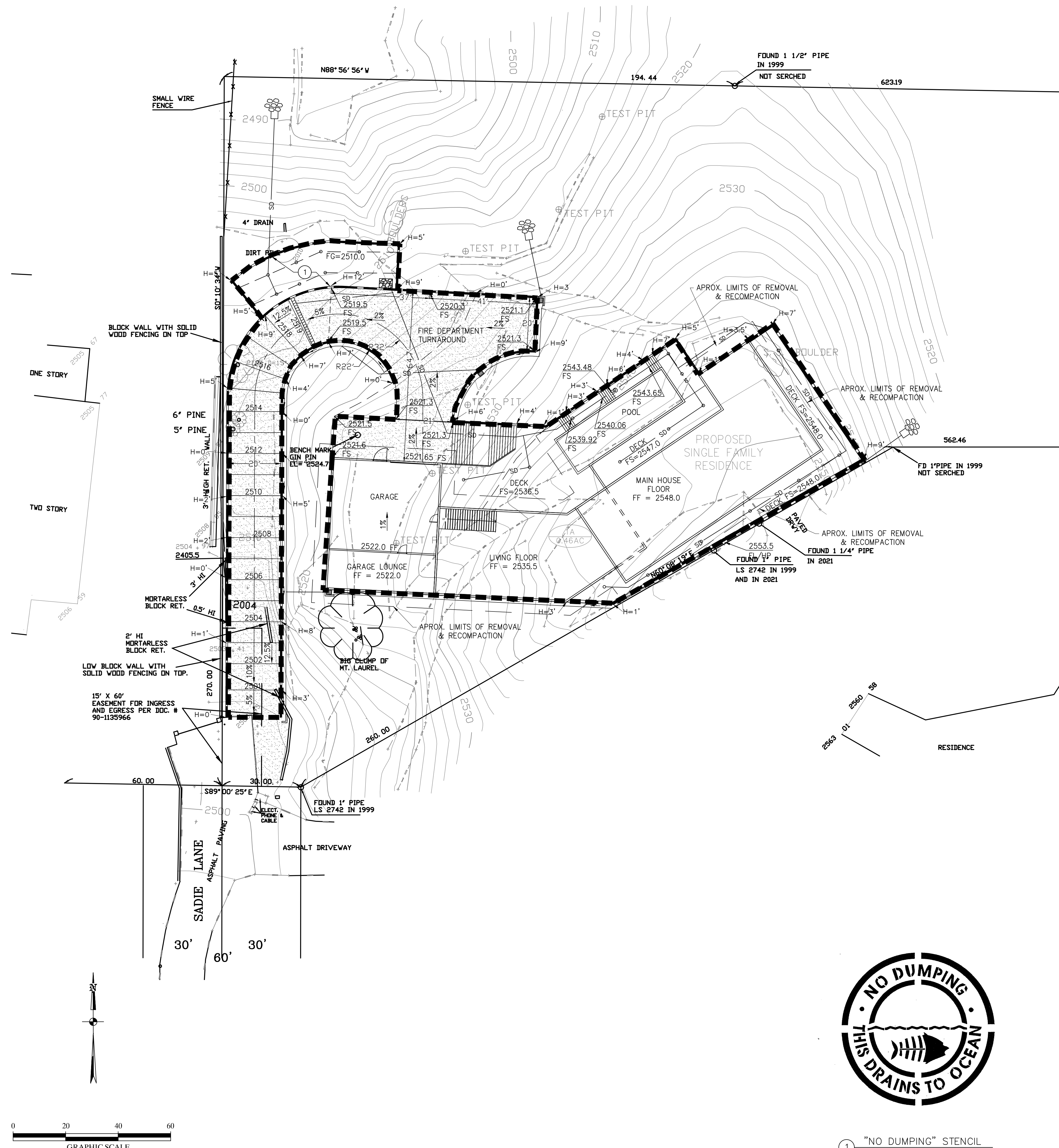
REVISIONS	BY

DETAILS AND SECTIONS
 ADDRESS: 555 SADIE ROAD
 TOPANGA, CA 90290
 OWNER: ANDREY PERFILYEV

AXIOM
 DESIGN & DEVELOPMENT
 AXIOMLOKSANA@GMAIL.COM
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SHEET C2.1
OF 2 SHEETS



- NOTES:**
1. AT LEAST 18 INCHES SHALL BE PROVIDED BETWEEN THE PLANTING SURFACE AND THE CREST OF EACH PLANTER
 2. PLANTERS SHALL NOT BE LOCATED ON UNEVEN OR SLOPED SURFACES.
 3. TOP SOIL/PLANTING MIX IS AT LEAST 24" DEEP.
 4. TOP SOIL CONTAINS NO MORE THAN 30% COMPOST.
 5. MINIMUM GRAVEL LAYER SHALL BE 18" DEEP.
 6. DIRECT OVERFLOW DISCHARGE PER BUILDING AND SAFETY REQUIREMENTS.
 7. PLANTING IS REQUIRED. CONSULT LANDSCAPE ARCHITECT FOR SPECIFIC PLANT TYPES.

REVISED 5/10/16 STORMWATER PLANTER DETAIL 1

CONSTRUCTION NOTES:

1. CONSTRUCT STORMWATER PLANTER PER DETAIL 1 HEREON.

LID NOTES:

DATE OF MAINTENANCE AGREEMENT: _____
 PROPOSED IMPERVIOUS AREA: PROJECT: 12,655 SF
 FIRE DEPARTMENT: 6,565 SF
 TOTAL: 19,220 SF
 DESIGN STORM: 85TH PERCENTILE
 SWQDV: 1.496 FT³
 LID SOLUTION: BIOINFILTRATION

LEGEND:

■■■■■■ LID TRIBUTARY AREA

GENERAL NOTES:

INSTALL "NO DUMPING" STENCIL PER DETAIL 1 HEREON AT ALL CATCH BASINS.



① "NO DUMPING" STENCIL

REVISIONS	BY

LOW IMPACT DEVELOPMENT (LID) PLAN
 ADDRESS: 555 SADIE ROAD
 TOPANGA, CA 90290
 OWNER: ANDREY PERFILYEV

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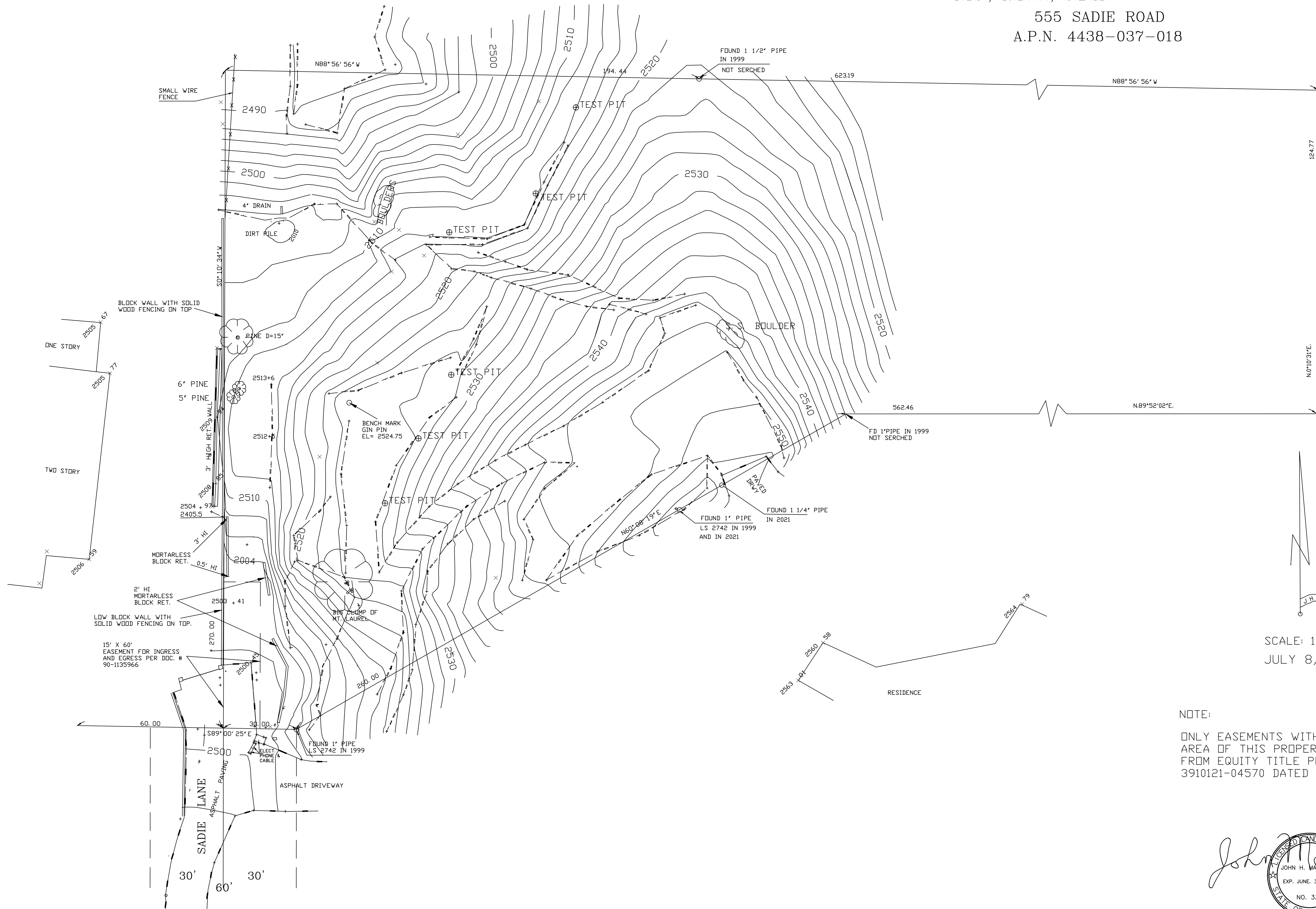


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JOB NO.	

SHEET
C3.0
 OF 2 SHEETS

TOPOGRAPHIC SURVEY OF A PORTION
OF THE N 1/2 OF THE SW 1/4 SEC. 14,
T.1S., R.17W., S.B.M.

555 SADIE ROAD
A.P.N. 4438-037-018



SCALE: 1" = 20'
JULY 8, 2021

NOTE:
ONLY EASEMENTS WITHIN THE MAPPED
AREA OF THIS PROPERTY ARE PLOTTED
FROM EQUITY TITLE PRELIM ORDER NO.
3910121-04570 DATED APRIL 15, 2021.

John H. MacNeil

NO.	REVISION DESCRIPTION	SURVEYOR	DATE
1.	REMAPPED DRIVEWAY GRADING	JIM	7/8/21
FILE #	7911	PROJECT SURVEYOR	L.S. NO. 3358
ACAD	7911TPIA	JOHN H. MAC NEIL	
BIN			
DATE	12/99		