

## REPORT TO THE HEARING OFFICER

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DATE ISSUED: November 7, 2024

HEARING DATE: November 19, 2024      AGENDA ITEM: 5

PROJECT NUMBER: PRJ2022-003300-(5)

PERMIT NUMBER: Oak Tree Permit No. RPPL2022011582

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 2242 Del Mar Road, Montrose (Assessor's Parcel Number: 5807-003-013)

OWNER: Waltonia, LLC

APPLICANT: Hamlet Hovespyan

PUBLIC MEETINGS HELD: 1 OF 1

INCLUSIONARY ZONING ORDINANCE (IZO): The Project is subject to the IZO.

CASE PLANNER: Anthony M. Curzi, Regional Planner  
[acurzi@planning.lacounty.gov](mailto:acurzi@planning.lacounty.gov)

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### RECOMMENDATION

*The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:*

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2022-003300-(5), Oak Tree Permit No. RPPL2022011582, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

#### **CEQA:**

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

**ENTITLEMENT:**

I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NUMBER RPPL2022011582 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

**PROJECT DESCRIPTION**

**A. Entitlement Requested**

Oak Tree Permit (“OTP”) for the removal of one non-heritage oak tree to allow the construction of a six-unit townhouse building in the R-3 (Limited Density Multiple Residence) Zone pursuant to County Code Section 22.174.030 (Applicability).

**B. Project**

The applicant requests to remove one non-heritage oak tree (“Project”) to accommodate the construction of a six-unit (including one affordable unit), two-story townhouse building with a subterranean parking level containing six interior-partitioned garages with 12 standard parking spaces (two spaces per garage). The townhouse building which includes one affordable unit, will be reviewed separately under related Ministerial Site Plan Review No. RPPL2022010001 and Administrative Housing Permit No. RPPL2021008028 (“associated townhouse development”).

The associated townhouse development, located at 2242 Del Mar Road (“Project Site”), consists of the following:

- Demolish an existing vacant (previously owner-occupied) single-family residence (“SFR”) and detached garage;
- Construct a six-unit townhouse with a subterranean parking level. Each rental unit will consist of three bedrooms, two full bathrooms, powder room (half bathroom) and two assigned parking spaces. A 903-square-foot open area is provided in the rear yard;
- Set aside one proposed unit to be income-restricted for a lower income household (set at 80% of the Area Median Income level), as required by the County Inclusionary Housing Ordinance;
- Request two waivers for a reduction in the east side yard setback for subterranean parking garages (from a required 5 feet to provided 8 inches) and increase in the maximum height (from 35 feet to roughly over 39 feet) under the Density Bonus Ordinance.;
- Install five bicycle parking spaces (two short-term and three long-term); and
- Provide nearly 890 square feet of landscaping in the front and rear yard.

The impacted non-heritage oak tree is a dual-trunk oak measuring 25 and 27 inches at diameter at breast height (4½ feet above grade level) and is in the existing rear yard. There are no alternatives to removing the tree due to its location on the property, which is a relatively small and narrow lot that measures 46 feet 10 inches at its narrowest point and 50 feet at its widest. The lot is also 195 feet-1½ inch deep with a total lot size of 9,120

square feet. While the tree trunk is very close to the western property line, most of its canopy extends to one side, over the subject lot, covering approximately 1,700 square feet (19 percent) of the subject property. Therefore, to accommodate the type and density of development allowed as a by-right project, removal of the non-heritage oak tree is necessary. The footprint of the associated development would occupy most of the lot and conflicts with keeping the oak tree in place.

The associated townhouse development site plan/basement garage plan depicts the six-unit, two-story townhouses occupying 5,617 square feet of the 9,120-square-foot lot (approximately 62% lot coverage). The townhouse building will be 39 feet and 2½ inches at maximum height when measured from natural grade, above basement parking with each unit having an enclosed individual garages with direct stairway access to the townhouse units above. Unit sizes will range from 1,451 square feet to 1,749 square feet. All townhouse units will contain three bedrooms and two full bathrooms plus a powder room (half bathroom).

A 21-foot ½-inch-wide driveway leading to the basement parking is depicted. Basement level plans depict the six interior-partitioned two-car garages with 17-foot-wide doors. The dimensions of the garages are 19 feet 5 inches wide by 19 feet deep. Connected to the garages are staircases leading up to each individual unit. A 5-foot-wide concrete pedestrian walkway is depicted alongside the west side of the basement level leading to the rear of the property and then south to stairs up to a walkway that will run along the east side of the building, providing access to each unit’s front door. A wheelchair lift is also depicted.

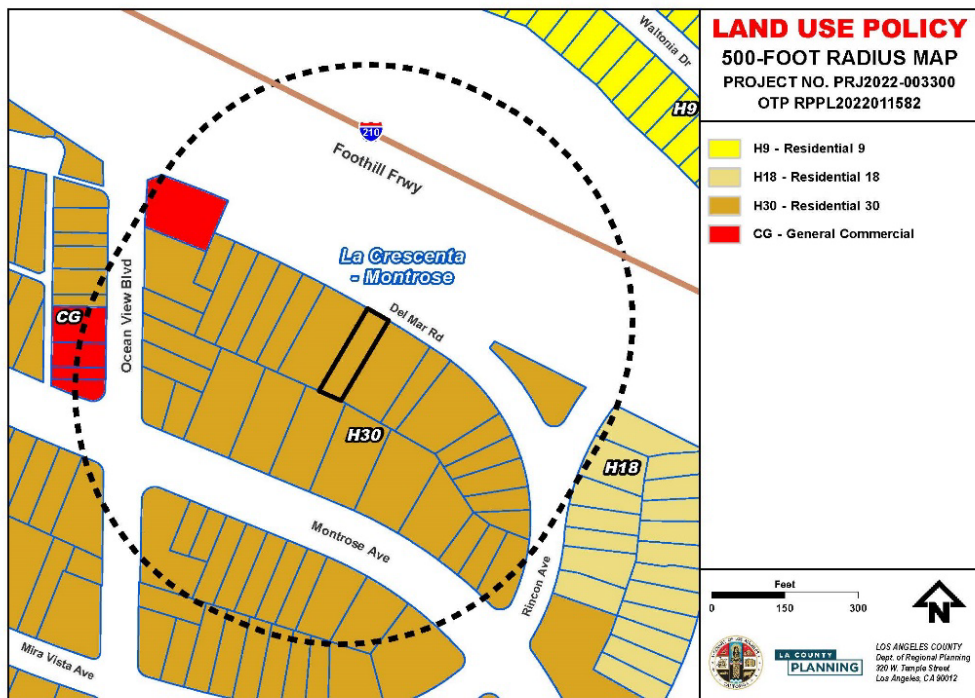
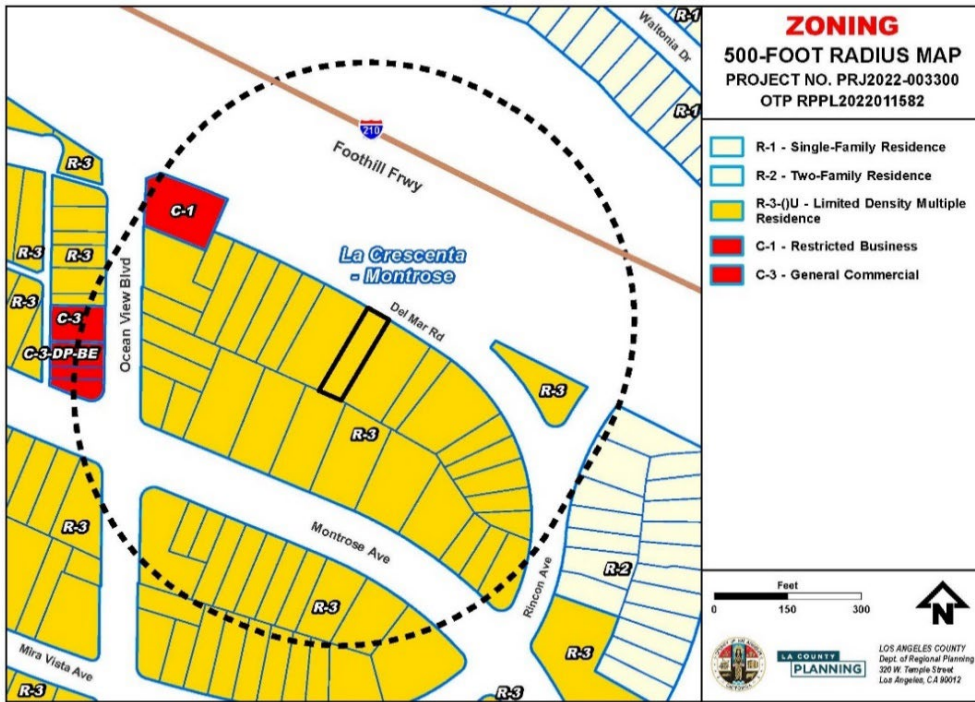
The first-floor plan depicts each of the six townhouse units with kitchen, living room, dining room, laundry room, and powder room (half bathroom) and stairs that lead up to the second floor. The second-floor plan depicts each unit with three bedrooms and two bathrooms.

**SUBJECT PROPERTY AND SURROUNDINGS**

The following chart provides property data within a 500-foot radius:

LOCATION	GENERAL PLAN LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	H30 (Residential 30 - 20 to 30 dwelling units per net acre)	R-3	SFR
NORTH	I-210 Freeway	I-210 Freeway	Freeway
EAST	H30, H18 (Residential 18 – 0	R-3, R-2 (Two-Family Residence)	Multi-family residences (“MFRs”)

	to 18 dwelling units per net acre)		
SOUTH	H30	R-3	MFRs
WEST	H30, CG (General Commercial)	R-3, C-1 (Restricted Business), C-3 (General Commercial), C-3-DP-BE (General Commercial-Development Program-Billboard Exclusion)	MFRs, medical offices, health club, oxygen therapy, salon, hospice, laboratory.



## **PROPERTY HISTORY**

### **A. Zoning History**

<b>ORDINANCE NO.</b>	<b>ZONING</b>	<b>DATE OF ADOPTION</b>
Ordinance No. 2781	R-1 (Single-Family Residence)	April 15, 1936
Ordinance No. 5290	R-3	March 15, 1949

### **B. Previous Cases**

LA County Planning records were not found for the existing SFR and detached garage, but County building records show that those structures were built in 1947.

### **C. Violations**

<b>CASE NO.</b>	<b>VIOLATION</b>	<b>CLOSED/OPEN</b>
NONE	NA	NA

## **ANALYSIS**

### **A. Land Use Compatibility**

While the Project is for the removal of one non-heritage oak tree, the associated residential townhouse building use will be compatible with surrounding land uses as there are other MFRs in the immediate area, many built in the same townhouse style. The subject property is currently underutilized as an SFR. The designated R-3 zone allows for multifamily housing and the neighboring properties have already been established as similar townhouse or apartment buildings. Converting the existing use from an SFR into a six-unit townhouse development with the inclusion of one affordable unit, would be an infill development that is consistent with goals and policies of the General Plan.

### **B. Neighborhood Impact (Need/Convenience Assessment)**

The associated townhouse building will be designed to efficiently make use of the shape and size of the lot while providing an attractively designed MFR. Due to the need for additional housing units, the continued existence of the oak tree at its present location would frustrate the planned development of the six-unit townhouse and not achieve the higher density planned for this area. While the Project requests to remove one ordinance-sized non-heritage oak tree, two replacement oak trees will be planted onsite as required under the OTP and future monitoring by the County Forester will occur to ensure the survival of these replacement oak trees. As the replacement oak trees mature, the neighborhood will have one net increase in oak trees at the same Project Site.

Furthermore, one townhouse unit (17 percent of total units) will be set aside as affordable housing for lower-income households earning up to 80 percent Average Median Income while the other five units will be market-rate. The addition of a new modern townhouse building (leading to a net increase of five units) in developing an underutilized property would be an improvement for the area and meet the General Plan goals and policies.

### **C. Design Compatibility**

While the Project is for the removal of one non-heritage oak tree, the associated proposed townhouse development will be compatible with the surrounding area in terms of massing, bulk, density, height, and architectural design. The townhouse building will be designed in accordance with relevant County Code requirements for the R-3 Zone, including those in the La Crescenta-Montrose CSD pertaining to communal open space, landscaping, roof design, and placement of windows and a portico at the front façade of the building. Two waivers from development standards are sought as authorized by the related Administrative Housing Permit: (1) to exceed the 35 feet maximum height limit by 4 feet 2½ inches, at 39 feet 2½ inches proposed height (due to the measurement from natural grade), and (2) to allow an 8-inch side yard setback (along the southern property line) in lieu of a 5-foot setback to accommodate the upper 5-foot section of the basement retaining wall. Also, this placement of the upper portion of the basement walls into the side yards is a common feature of similar buildings on the subject street. The residential component of the building will meet the required 5-foot side yard requirement.

### **GENERAL PLAN/COMMUNITY PLAN CONSISTENCY**

The Project is consistent with applicable goals and policies of the General Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

### **ZONING ORDINANCE CONSISTENCY**

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

### **STATEMENT OF FINDINGS (FORMERLY BURDEN OF PROOF)**

The applicant is required to substantiate all facts identified by Section 22.174.060 (Findings) of the County Code. The Statement of Findings with applicant's responses is attached (Exhibit E – Applicant's Statement of Findings). Staff is of the opinion that the applicant has met the burden of proof.

### **ENVIRONMENTAL ANALYSIS**

For the purposes of California Environmental Quality Act ("CEQA") compliance, the environmental analysis will cover both the oak tree removal and the associated townhouse development. Although the review of the associated townhouse development with one affordable unit and waiver requests are ministerial actions under the County's zoning regulations, Density Bonus Ordinance, and the Inclusionary Housing Ordinance, and therefore are typically exempt from CEQA analysis, the removal of one oak tree associated with a MFR requires a discretionary OTP with a public hearing, which is a discretionary action subject to CEQA review. Pursuant to Section 15268(d) of the CEQA Statute and Guidelines ("CEQA Guidelines"), "where a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA." Moreover, the term "Project" under CEQA, as specified in Section 15378 of the CEQA Guidelines, in this environmental analysis will mean the whole of an action and to the underlying physical activity being approved, and does

not mean each governmental approval. Under the CEQA context and the stated CEQA Guidelines above, the following will analyze the Project as a whole, including the associated townhouse development that triggered the OTP.

Staff recommends that the Project qualifies for a Class 3, New Construction or Conversion of Small Structures, categorical exemption under Section 15303 of the CEQA Guidelines and a Class 4, Minor Alterations to Land, categorical exemption under Section 15304. Class 3 generally consists of construction and location of limited numbers of new, small facilities or structures; and installation of small new equipment and facilities in small structures. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. The proposed oak tree removal in conjunction with the associated six-unit townhouse development is located in an urbanized area, as defined by the 2020 U.S. Census Bureau. The Project Site is surrounded by qualified urbanized uses and is sited in a highly paved, developed urban setting. The six-unit townhouse development is a similar MFR construction to an apartment and meets the unit limit permitted under Class 3 for an urbanized area.

Class 4 would apply to the removal of one protected oak tree as well as the associated development because the Project consists of minor private alterations in the condition of land and does not involve the removal of any healthy, mature, scenic trees. The oak tree to be removed is not a heritage oak and is not considered scenic in the community. It is similar to other urban trees in the area and does not pose itself as unique in the urban landscape. The Project would convert one qualified urban use (single-family residential) to another qualified urban use (townhouses). The oak tree is not part of any intact oak woodland. The Project Site does not have any value as habitat for endangered, rare, or threatened species and can be served by public utilities and services as it is in a fully urbanized area. The Project will also not cause significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

No exceptions to the categorical exemption also apply to the Project. No conditions, characteristics or circumstances are found to preclude the use of this categorical exemption under CEQA Statute and Guidelines Section 15300.2 for the following reasons:

- a) Location: This exception applies to Classes 3, 4, 5, 6 and 11, and not Class 1, where there is consideration of where the Project is to be located. It mainly concerns particularly sensitive environments with rich biological resources or “environmental resources of hazardous or critical concern where designated, precisely mapped, and officially adopted under law by federal, state, or local agencies” (CEQA Guidelines section 15300.2(a)). The Project is located on a property containing an existing SFR, in a fully developed, urbanized area. The Project Site is not in a Significant Ecological Area.
- b) Cumulative Impacts: The Project is a minor intensification of use allowed under the General Plan, with a net increase of five residential units. The residential density is consistent with the underlying zoning and plan designation.



c) “Unusual Circumstances” or Significant Effects: The Project has a net increase of five residential use. Adequate utilities and roadway infrastructure exist to serve the planned density under the County’s long-range plan, and no environmentally sensitive areas will be impacted by any additional development as no environmentally sensitive areas exist.

d) Scenic Highways: According to California’s Scenic Highway Program, which is administered by the California Department of Transportation (“Caltrans”), the Project Site is not located within or near an officially designated state scenic highway.

e) Hazardous Waste Sites: The Project Site is not located on a property which is included on any list compiled pursuant to Government Code Section 65962.5. According to the California Department of Toxic Substances Control’s EnviroStor and State Water Resources Control Board’s GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List–Site Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts with the lists compiled by the State Department of Health Services. Finally, the Project Site is not included in any Water Board’s list of solid waste disposal sites, list of “active” orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).

f) Historical Resources: The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the National Register of Historic Places, California Register of Historical Resources or included in a local register of historical resources. According to the County’s Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The property is not designated by the County’s Historic Preservation Ordinance in the Registry of Landmarks and Historic District. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1. While the onsite existing SFR structure is over 50 years old, it does not meet the criteria to be considered an historic resource. The SFR is not associated with any historic events, lives of persons that are historically significant, and does not embody significant historic distinctive characteristics or distinctive construction method.

An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

### **COMMENTS RECEIVED**

#### **A. County Department Comments and Recommendations**

The County Forester has issued a clearance letter for the OTP with conditions of approval.

#### **B. Other Agency Comments and Recommendations**

Staff has not received any comments at the time of report preparation.

**C. Public Comments**

Staff has not received any comments at the time of report preparation.

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Report  
Reviewed By: *Michele R. Bush*  
Michele R. Bush, Supervising Planner

Report  
Approved By: *Susan M. Tae*  
Susan M. Tae, AICP, Assistant Deputy Director

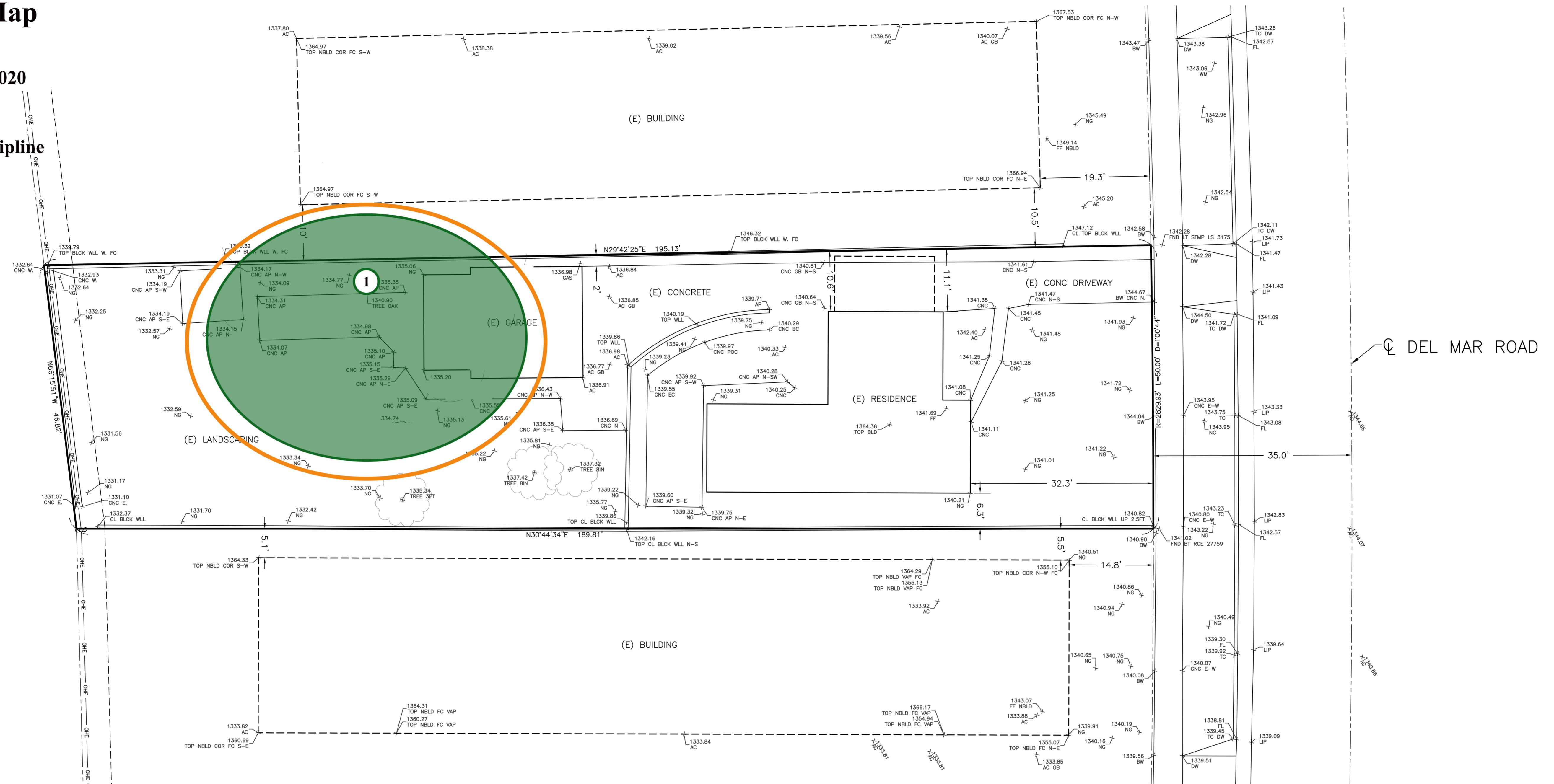
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LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Draft Findings
EXHIBIT D	Draft Conditions of Approval
EXHIBIT E	Applicant's Statement of Findings
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Oak Tree Report

# Oak Tree Map

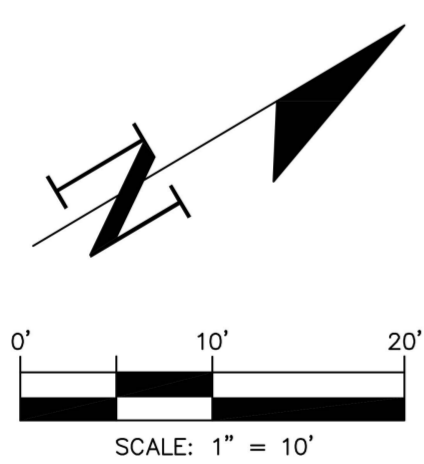
2242 Del Mar Rd  
Montrose, CA 91020

5 Feet beyond dripline



**ABBREVIATIONS:**

- AC = ASPHALT CONCRETE
- AP = ANGLE POINT
- CNC = CONCRETE
- CLK = CHAIN-LINK
- COR = CORNER
- DI = DROP INLET
- DW = DRIVEWAY
- (E) = EXISTING
- EP = EDGE OF PAVEMENT
- FD = FOUND
- FC = FACE OF
- FF = FINISH FLOOR
- FL = FLOWLINE
- FN = FENCE
- GR = GRASS
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- R/W = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- SPG = WATER SPIGOT
- SMH = SEWER MANHOLE
- STP = STEP
- TC = TOP OF CURB
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- WD = WOOD
- WI = WROUGHT IRON
- WLL = WALL



**LEGEND:**

- ⊕ (E) POWER POLE
- ⊙ (E) SEWER MANHOLE
- x— (E) FENCE
- OHE— (E) OVERHEAD POWER

**BENCHMARK:**

BENCH MARK: 9Y9969  
 DATUM: NAVD 1988  
 ELEVATION: 1324.779 FEET  
 DESCRIPTION: RDBM TAG IN ELY CB OCEAN VIEW BLVD CB  
 2FT N/O BCR @ NE COR MONTROSE AVE

**LEGAL DESCRIPTION:**

PORTION OF LOT 244 OF TRACT NO. 1701, MAP BOOK 22, PAGE 178

**LAND AREA:**

CONTAINING AN AREA OF 9292 SQUARE FEET, MORE OR LESS

**BASIS OF BEARINGS:**

THE BEARING OF N00°35'18"E, SHOWN FOR THE CENTERLINE OF OCEAN VIEW BOULEVARD ON TRACT NO. 44811, MAP BOOK 1093, PAGE 90, WAS USED AS THE BASIS OF BEARINGS HEREON.

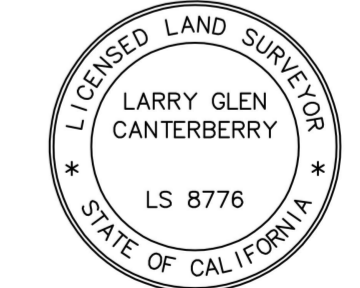
**NOTES:**

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.  
 NO TITLE REPORT WAS PROVIDED FOR THIS SURVEY.

**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF WALTONIA LLC IN DECEMBER OF 2020.

*Larry G. Canterberry*  
 LARRY G. CANTERBERRY, LS 8776 12/17/20 DATE



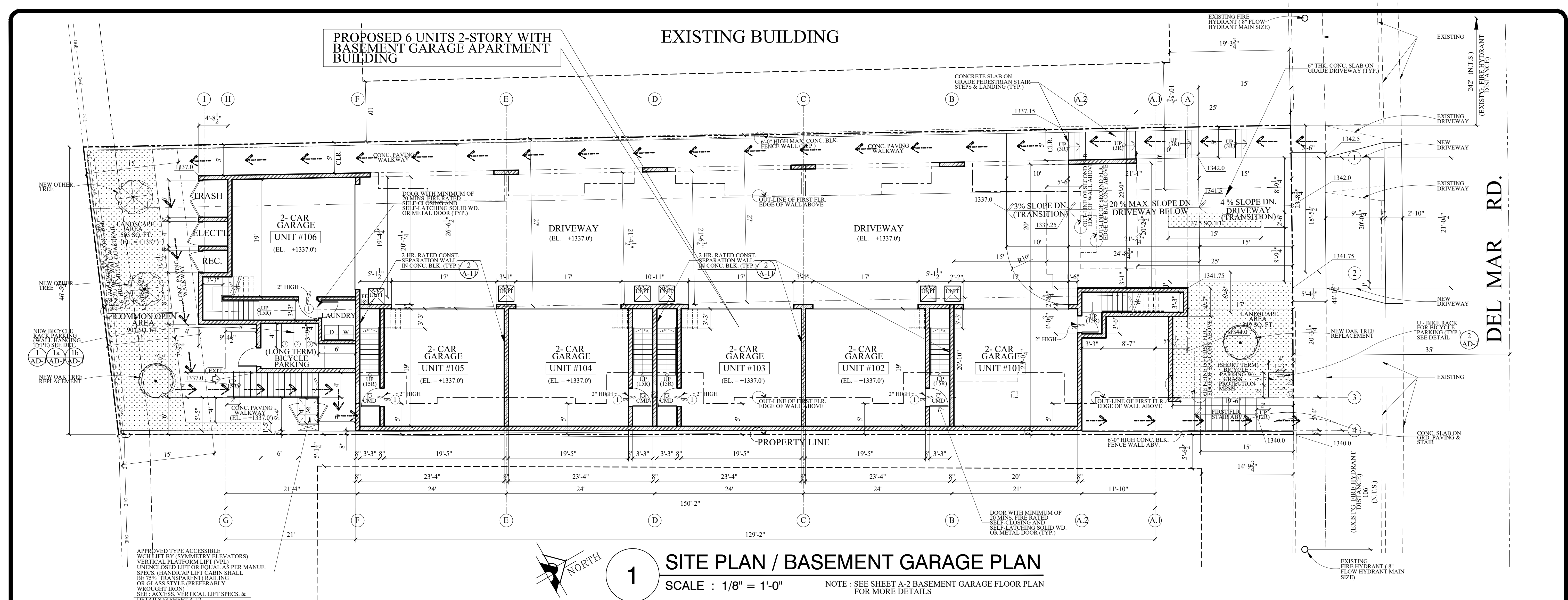
PREPARED BY:  
 CALIFORNIA ENGINEERING & SURVEYING INC  
 5210 MOLISE COURT, BAKERSFIELD, CA 93308  
 (661) 809-7372 glen@calengr.com

DRAWN: GC  
 CHECKED: GC  
 DATE: 12/17/20  
 JOB NO: 20-1874  
 DWG NAME: TOPO

2242 DEL MAR ROAD  
 TOPOGRAPHIC SURVEY  
 MONTROSE, CA 91020 APN 5807-003-013

REVISIONS

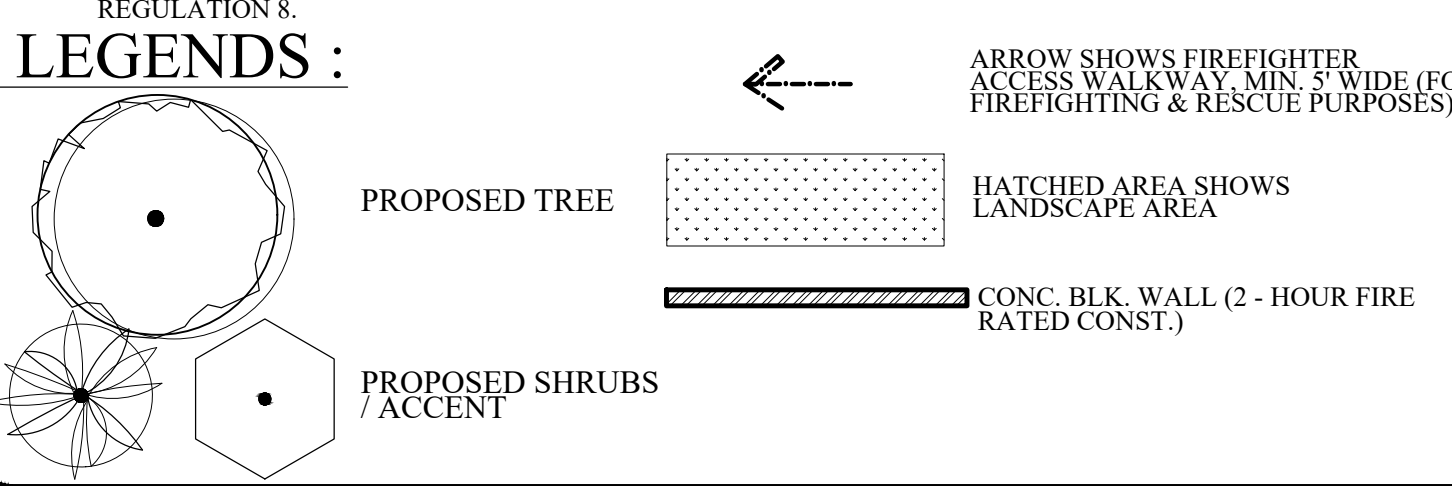
SHEET NO:  
 1  
 OF 1 SHEETS



**1 SITE PLAN / BASEMENT GARAGE PLAN**  
 SCALE : 1/8" = 1'-0"  
 NOTE: SEE SHEET A-2 BASEMENT GARAGE FLOOR PLAN FOR MORE DETAILS

**GENERAL NOTES:**

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.
- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING STANDARD CODE (LACBCS) AND 2020 LOS ANGELES COUNTY BUILDING AND SAFETY CODE (LACBSC).
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- "NO MATERIALS" SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES.
- ALL WORKS SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REVISIONS OF THE BUILDING CODE INDICATED ON THIS PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO INSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- NO NEW ROOF TOP EQUIPMENT IS ALLOWED.
- NO OAK, BAY OR SYCAMORE TREES ARE LOCATED ON OR WITHIN 20 FEET OF THIS PROPERTY.
- INSTALL 6" SISALKRAFT FLASHING AT EXTERIOR OPENING.
- ALL DIMENSIONS ARE GIVEN FROM FACE TO FACE OF STUDS U.N.O.
- CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES.
- PROVIDE TWO LAYERS OF GRADE 'D' PAPER OVER ALL WOOD BASED SHEATHING PRIOR TO EXTERIOR LATH APPLICATION.
- THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCES OR STATE LAW.
- ALL WALLS TO BE 1-HOUR RATED U.N.O.
- THE FOLLOWING LOCATION SHALL BE PROVIDED WITH SAFETY GLAZING
- ALL MECHANICAL, ELECTRICAL, PLUMBING, SEWER AND OTHER WORKS ARE UNDER SEPARATE PERMIT
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDING HAVE BEEN INDICATED ON THIS SITE PLAN.
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3302.3)
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-1-3305)
- THE FINISH GRADE SHALL SLOPE A MIN. OF 5% TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE SHALL SLOPE A MINIMUM OF 2%. (CRC R401.3)
- APPROVED BUILDING NUMBER, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH. FIRE CODE 505.1
- ALL FIRE HYDRANT SHALL MEASURE 6" X 4" X 2 1/2" BRASS OR BRONZE CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503 OR APPROVED EQUAL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.



**LEGAL DESCRIPTION**

ASSESSORS NUMBER : 5807 - 003 - 013  
 TRACT # 1701 LOT COM ON SW LINE OF DEL MAR RD SE THEREON 50 FT FROM MOST N COR OF LOT 244 TH SE ON SD SW LINE 50 FT TH S 30 c 46'53" W 190 FT TH N 66 c 17'20" 46.82 FT TH NE TO BEG PART OF LOT 244

**CONSULTANT**

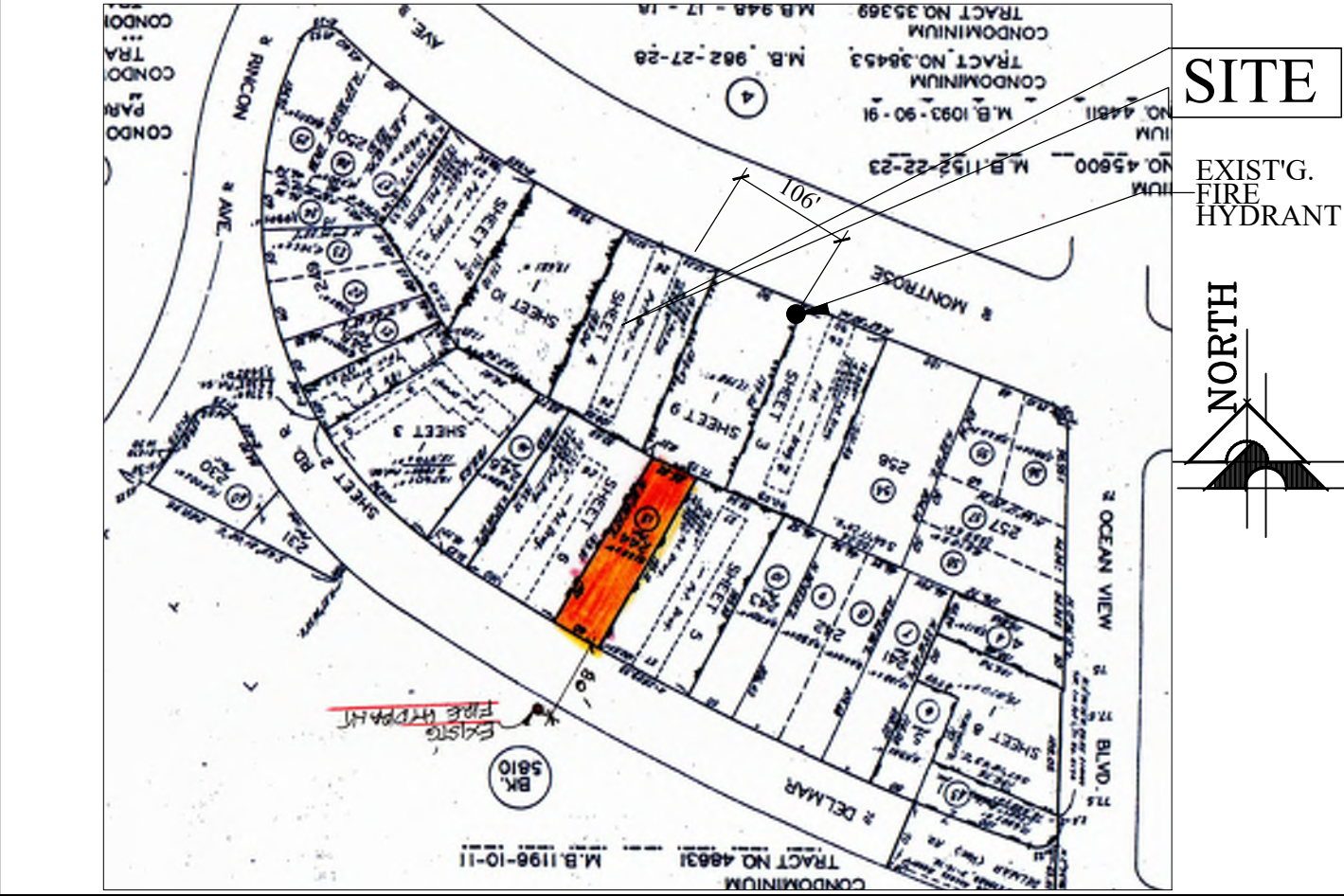
**BLDG. DESIGNER : V J & ASSOCIATES**  
 ADDRESS: 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205  
 TEL: 818 - 956 - 0570 FAX: 818-956-0571 EMAIL: varjan2@gmail.com

**LAND SURVEYOR : CALIFORNIA ENGINEERING & SURVEYING INC.**  
 ADDRESS: 5210 MOLISE COURT, BAKERSFIELD, CA. 93308  
 TEL: 661 - 809 - 7372 EMAIL: glen@calengr.com

**SHEET INDEX**

DRWG. NO.	DRAWING TITLE	A-5	ROOF DECK PLAN, LEGENDS & NOTES
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A-4	SECOND FLOOR PLAN, LEGENDS & NOTES	A-11	ARCHITECTURAL DETAILS
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		AD-1	TOPOGRAPHIC SURVEY MAP
		FP-1	HYDRANT LOCATION & FIRE FLOW AVAILABILITY FOR BLDG. PERMIT & FIRE FLOW TEST

**LOCATION MAP W/ FIRE HYDRANT LOCATION**



**UNIT # 105 HOUSE**

PROPOSED FIRST FLR. : 780 SQ. FT.  
 PROPOSED SECOND FLR. : 736 SQ. FT.  
 TOTAL AREA OF PROP. : 1,516 SQ. FT.  
 UNIT #101 HOUSE : 1,451 SQ. FT.

PROPOSED GARAGE : 415 SQ. FT.  
 FIRST FLR. BALCONY : 81 SQ. FT.  
 SECOND FLR. BALCONY : 74 SQ. FT.  
 ROOF DECK : 323 SQ. FT.

TOTAL BASEMENT GARAGE FLR. AREA : 2,522 SQ. FT.  
 OVERALL TOTAL BASEMENT FLR. AREA (INCL. GARAGE, DRIVEWAY, STO., TRASH & ELECT. ROOM) : 5,589 SQ. FT.

BASEMENT LONG TERM : 149 SQ. FT.  
 BICYCLE PARKING RM. : 71 SQ. FT.  
 TRASH & RECYCLE : 71 SQ. FT.  
 BASEMENT ELECTRICAL RM. : 26 SQ. FT.  
 BASEMENT DRIVEWAY FLR. AREA : 2,821 SQ. FT.

FIRST FLOOR TOTAL FLR. AREA : 4,622 SQ. FT.  
 SECOND FLOOR TOTAL FLR. AREA : 4,677 SQ. FT.  
 TOTAL HABITABLE FLR. AREA : 9,299 SQ. FT.  
 BASEMENT GARAGE FLR. AREA : 2,510 SQ. FT.  
 (6 UNITS TOTAL):

PARKING PROVIDED : 12 NOS. PARKING  
 FIRST FLOOR TOTAL BALCONY AREA : 464 SQ. FT.  
 SECOND FLOOR TOTAL BALCONY AREA : 364 SQ. FT.  
 TOTAL PRIVATE OPEN AREA (BALCONIES) : 828 SQ. FT.

TOTAL LOT COVERAGE : 5,617 SQ. FT. / 9,292 SQ. FT. = 60.45 %  
 BUILDING HEIGHT : 35'-0" (HIGHEST)  
 TYPE OF CONSTRUCTION : TYPE V-A CONSTRUCTION  
 OCCUPANCY GROUP : R2 (RESIDENTIAL) / S2 (PARKING)  
 LANDSCAPE AREA PROVIDED : 889.5 SQ. FT. (OVERALL)  
 LANDSCAPE AREA PROVIDED : 386.5 SQ. FT. (@ FRONT / NORTH ONLY) (@ FRONT / NORTH)  
 COMMON OPEN AREA REQUIRED : 150 SQ. FT. X 6 UNITS = 900 SQ. FT. (LOCATED @ REAR)

REQUIRED : FIRE SPRINKLER SYSTEM THROUGHOUT TO BE INSTALLED PER NFPA 13R, PER CBC SECTION 903.1.2. SEPARATE PERMIT REQUIRED. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION

ZONE : R-3  
 GP CAT : H-30  
 LA CRESCENTA - MONTROSE C.S.D.  
 BLDG. HEIGHT & AREA JUSTIFICATION :

PER TABLE 504.3 OF CBC 2019, FOR R2 OCCUPANCY WITH S13R AND TYPE V-A CONST. THE MAX. ALLOWABLE BLDG. HEIGHT IS 50 FEET ABOVE GRADE PLANE.  
 THE PROPOSED BLDG. HEIGHT IS ONLY 28' HIGH FROM GRADE PLANE.  
 PER TABLE 504.3 OF CBC 2019 FOR S OCCUPANCY PARKING (SPRINKLERED) IS 70 FEET ABOVE GRADE.  
 THE PROPOSED PARKING IS 5 FEET BELOW GRADE WITH A TOTAL HEIGHT OF 9 FEET FROM BASEMENT FLOOR TO CEILING.

NOTE : 6 TOTAL NOS. OF UNITS X 10% = 0.6 OR 1 ACCESSIBILITY UNIT PROVIDED ACCESSIBILITY COMPLIANCE WITH 11A UNIT # 101 (ACCESSIBILITY UNIT)

**PROJECT DESCRIPTION**

PROJECT TITLE : PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING  
 ADDRESS : 2242 DEL MAR RD., MONTROSE, CA. 91020  
 OWNER : WALTONIA LLC  
 LOT AREA : 9,292 SQ. FT.  
 BUILDING CODE : COMPLY WITH 2019 CBC, CMC, CEC, CPC, CA ENERGY CAL. GREEN CODE ALONG WITH 2020 LOS ANGELES BLDG. & SAFETY CODE, 2019 CAL. FIRE CODE & 2020 COUNTY OF LOS ANGELES FIRE CODE

PROPOSED GARAGE : 423 SQ. FT.  
 FIRST FLR. BALCONY : 56 SQ. FT.  
 SECOND FLR. DECK : 40 SQ. FT.  
 ROOF DECK : 247 SQ. FT.

PROPOSED DATE : 2021  
 TOTAL AREA OF EACH OCCUP. CL. / BLDG. STRUCTURE : PROPOSED 6-UNITS APARTMENT BLDG. :

UNIT # 101 HOUSE  
 PROPOSED FIRST FLR. : 874 SQ. FT.  
 PROPOSED SECOND FLR. : 875 SQ. FT.  
 TOTAL AREA OF PROPOSED : 1,749 SQ. FT.

PROPOSED GARAGE : 427 SQ. FT.  
 FIRST FLR. BALCONY : 84 SQ. FT.  
 SECOND FLR. BALCONY : 62 SQ. FT.  
 ROOF DECK : 241 SQ. FT.

UNIT # 102 HOUSE  
 PROPOSED FIRST FLR. : 790 SQ. FT.  
 PROPOSED SECOND FLR. : 762 SQ. FT.  
 TOTAL AREA OF PROPOSED : 1,552 SQ. FT.

PROPOSED GARAGE : 415 SQ. FT.  
 FIRST FLR. BALCONY : 89 SQ. FT.  
 SECOND FLR. BALCONY : 74 SQ. FT.  
 ROOF DECK : 326 SQ. FT.

UNIT # 103 HOUSE  
 PROPOSED FIRST FLR. : 787 SQ. FT.  
 PROPOSED SECOND FLR. : 754 SQ. FT.  
 TOTAL AREA OF PROPOSED : 1,541 SQ. FT.

PROPOSED GARAGE : 427 SQ. FT.  
 FIRST FLR. BALCONY : 82 SQ. FT.  
 SECOND FLR. BALCONY : 57 SQ. FT.  
 ROOF DECK : 323 SQ. FT.

UNIT # 104 HOUSE  
 PROPOSED FIRST FLR. : 787 SQ. FT.  
 PROPOSED SECOND FLR. : 751 SQ. FT.  
 TOTAL AREA OF PROPOSED : 1,538 SQ. FT.

PROPOSED GARAGE : 415 SQ. FT.  
 FIRST FLR. BALCONY : 72 SQ. FT.  
 SECOND FLR. BALCONY : 57 SQ. FT.  
 ROOF DECK : 323 SQ. FT.

**FIRE DEPARTMENT STAMP**

Revisions	By

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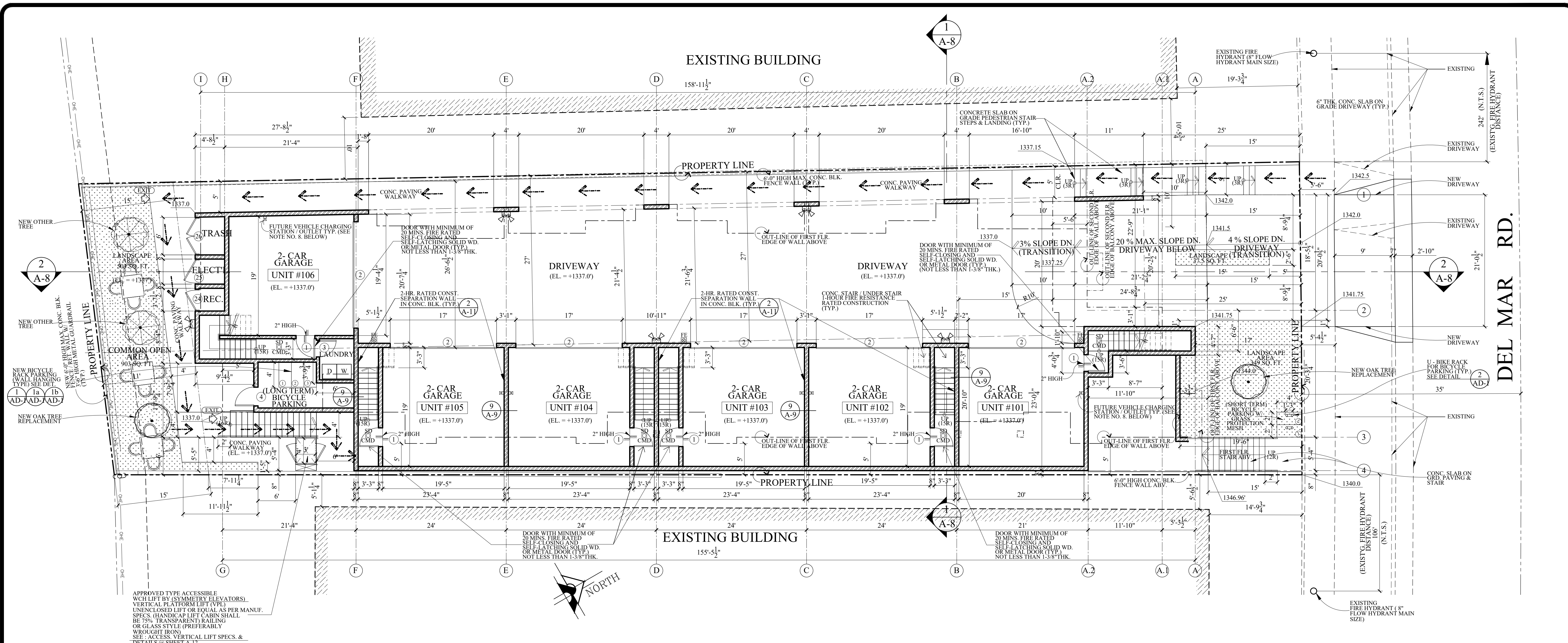
**V J & ASSOCIATES**  
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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING  
 PROJ. ADDRESS : 2242, DEL MAR RD., MONTROSE, CA. 91020  
 OWNER : WALTONIA LLC  
 2242 DEL MAR RD., MONTROSE, CA. 91020  
 SITE PLAN / BASEMENT FLOOR PLAN, LEGENDS & NOTES, PROJECT DESC., LEGAL DESCRIPTION, LEGENDS & NOTES, CONSULTANTS, SHEET INDEX, VICINITY MAP.  
 DRAWG. TITLE :

Drawn by : NEIL A.  
 Checked by : V. J.  
 Date : JULY 29, 2024  
 Scale : 1/8" = 1'-0"  
 Job No. :  
 Sheet No. : A-1  
 of Sheets







(SHOWING COMMON OPEN AREA)  
**1** BASEMENT FLOOR PLAN  
 SCALE : 1/8" = 1'-0"

- LEGENDS :**
- CMD** CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5
  - SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH. (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM, (100 CFM FOR KITCHEN)**
  - SD** S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4)
  - FD** FLOOR DRAIN
  - CONC. BLK. WALL (2 - HOUR FIRE RATED CONST.)**
  - PROPERTY LINE**
  - CONC. BLK. RETAINING WALL**
  - 1 - HOUR FIRE RATED WALL / STUD WALL (5/8" THK. TYPE "X" GYP. BRD. BOTH SIDE PAINT FIN. WALL)**
  - ARROW SHOWS FIREFIGHTER ACCESS WALKWAY. MIN. 5' WIDE (FOR FIREFIGHTING & RESCUE PURPOSES)**
  - FE** FEC 24 : 10 BC. FIRE EXTINGUISHER SEMI - RECESSED CABINET @ 4' AFF. MAX. TO TOP
  - EXIT** EXIT DIRECTION  
SYMBOL SHOWS THE ILLUMINATED EXIT SIGN WITH 90 MINS. BATTERY PACK BACK-UP PER UBC. CONNECTED TO THE BLDG. POWER SUPPLY. SEE ALSO FIRE DEPT. NOTE NO. 16 IN THIS SHEET.
  - EMERGENCY LIGHT** (SEE FIRE DEPT. NOTE NO. 15 IN THIS SHEET).
  - HATCHED AREA SHOWS LANDSCAPE AREA**

FIRE DEPARTMENT STAMP

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Revisions	By

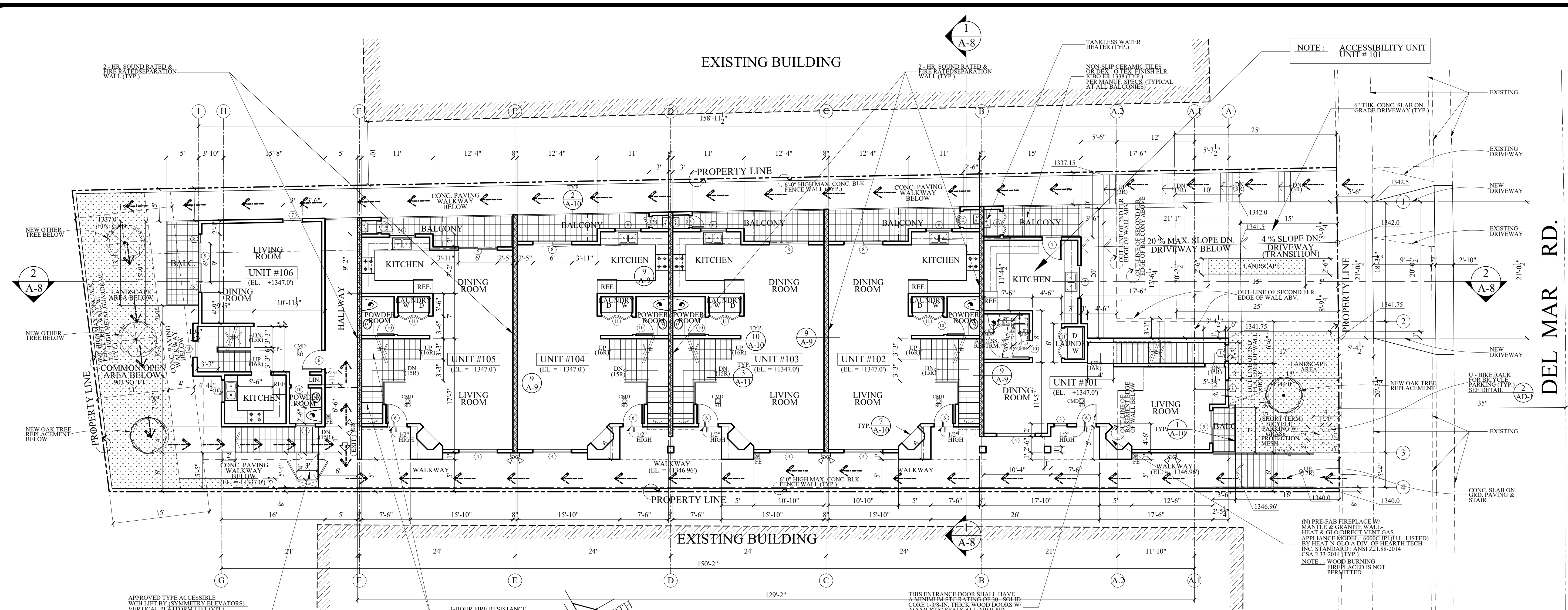
ALL IDEAL, DECOR, FINISHES AND PLANS INDICATED OR REPRESENTED BY DIMENSIONS AND NOTES ARE TO BE CONSIDERED AS PART OF THE CONTRACT. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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PROJ. TITLE : **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**  
 PROJ. ADDRESS : 2242 DEL MAR RD., MONTROSE, CA. 91020  
 OWNER : WALTONIA LLC  
 2242 DEL MAR RD., MONTROSE, CA. 91020  
 DRWG. TITLE : **BASEMENT FLOOR PLAN (SHOWING COMMON OPEN AREA)**

Drawn by **NEIL A.**  
 Checked by **V. J.**  
 Date **JULY 29, 2024**  
 Scale **1/8" = 1'-0"**  
 Job No. \_\_\_\_\_  
 Sheet No. **A-2.1**  
 of \_\_\_\_\_ Sheets



**1 FIRST FLOOR PLAN**  
SCALE : 1/8" = 1'-0"

- LEGENDS :**
- CMD** CO / CM DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 5
  - SD** SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4)
  - FD** FLOOR DRAIN
  - 2-HR. SOUND RATED & FIRE RATED WALL SEPARATION
  - 1-HOUR FIRE RATED WALL / STUD WALL (5/8" THK. TYPE 'XX' GYP. BRD. BOTH SIDE PAINT FIN. WALL)
  - CONC. BLK. WALL
  - CONC. BLK. FENCE WALL
  - ARROW SHOWS FIREFIGHTER ACCESS WALKWAY, MIN. 4" WIDE (FOR FIREFIGHTING & RESCUE PURPOSES)
  - FE FEC 24 : 10 BC. FIRE EXTINGUISHER SEMI-RECESSED CABINET @ 4' AFF. MAX. TO TOP
  - EXIT DIRECTION
  - SYMBOL SHOWS THE ILLUMINATED EXIT SIGN WITH 90 MINS. BATTERY PACK BACK-UP PER UBC. CONNECTED TO THE BLDG. POWER SUPPLY. SEE ALSO FIRE DEPT. NOTE NO. 16 @ SHEET A-2.
  - EMERGENCY LIGHT (SEE FIRE DEPT. NOTE NO. 15 @ SHEET A-2)
  - HATCHED AREA SHOWS LANDSCAPE AREA

- CALGREEN NOTES CONT. :**
8. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. (4.503.3)
  9. SUBMIT TO LAND DEVELOPMENT DIVISION FOR APPROVAL OF AN OUTDOOR POTABLE WATER BUDGET FOR PROJECTS WITH AN AGGREGATE LANDSCAPING AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET. A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION USE THAT CONFORMS TO THE LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR TO THE CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE STRINGENT. THE FOLLOWING FACTORS SHALL BE EFFECTIVE UNTIL SUBSEQUENT REVISION OF THE MWELO BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR):
    - a. ET ADJUSTMENT FACTOR (ETAf) - 0.55
    - b. SPECIAL LANDSCAPE AREA (SLA) - 0.45
  10. OWNER TO PROVIDE & MAINTAIN THE BUILDING OPERATION MANUAL - 2020 LAGBSC WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. SEE A-5 (BLDG. OPERATION AND MAINTENANCE MANUAL - 2020 LAGBSC).

- CALGREEN NOTES :**
1. SOLAR REFLECTANCE INDEX (SRI) VALUE MAYBE USES AS AN ALTERNATIVE TO COMPLIANCE WITH THE 3-YEAR AGE SOLAR REFLECTANCE AND THERMAL EMITTANCE VALUES:
    - a. ROOF REPAIR.
    - b. ROOF REPLACEMENT WHEN THE ROOF AREA BEING REPLACED IS EQUAL TO OR LESS THAN (50) PERCENT OF THE TOTAL ROOF AREA.
    - c. INSTALLATION OF BUILDING-INTEGRATED PHOTOVOLTAICS.
    - d. INSTALLATION OF A STEEP-SLOPED ROOF (ROOF SLOPE > 7 : 12 IN CLIMATE ZONE 16 ON OTHER THAN A LOW-RISE MULTIFAMILY BUILDING).
    - e. ADDITIONS RESULTING IN LESS THAN 500 SQUARE FEET OF ADDED ROOF AREA OR LESS THAN FIFTY (5) PERCENT OF THE TOTAL ROOF AREA, WHICHEVER IS GREATER.
    - f. ROOF CONSTRUCTION THAT HAS A THERMAL MASS OVER THE ROOF MEMBRANE, INCLUDING AREAS OF VEGETATED (GREEN) ROOFS, WEIGHING AT LEAST 25 POUNDS PER SQUARE FOOT.
  - ENERGY EFFICIENCY :
    2. FOR LOW-RISE RESIDENTIAL BUILDINGS (3 STORIES OR LESS), COMPLIANCE WITH THE 2019 BUILDING ENERGY EFFICIENCY STANDARDS TITLE 24 PART 1, ARTICLE 1 AND PART 6 OF CALIFORNIA CODE REGULATIONS, COMPLIANCE WITH THE 2019 BUILDING ENERGY EFFICIENCY STANDARDS
      - a. LOW-RISE RESIDENTIAL BUILDING 3 STORIES OR LESS.
    3. PLUMBING FIXTURES AND FIXTURE FITTINGS COMPLY WITH THE FOLLOWING FLOW RATES :
      - a. WATER CLOSETS - 1.28 GPF
      - b. URINALS - 0.5 GPF
      - c. WALL MOUNTED URINALS - 0.125 GPF
      - d. SINGLE SHOWER HEAD - 2.0 GPM AT 80 psi
      - e. MULTIPLE SHOWERHEADS - 2.0 GPM AT 80psi FOR ALL COMBINED SHOWERHEADS
      - f. LAVATORY FUCETS - 1.2 GPM AT 60psi
      - g. LAVATORY FAUCETS IN PUBLIC USE AREAS - 0.5 GPM AT 60psi
      - h. METERING FAUCETS - .25 GALLONS PER CYCLE
      - i. KITCHEN FAUCETS - 1.8 GPM AT 60 psi (4.303.1)
  - MATERIAL CONSERVATION & RESOURCE EFFICIENCY :
    4. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES/CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE DETECTED AND THE OPENINGS SHALL BE REPAIRS WITH MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.
    5. PROVIDE AN APPROVED RECYCLING AND REUSE PLAN (RRP) FROM ENVIRONMENTAL PROGRAMS SHOWING THAT 65% OF NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS WILL BE SALVAGE, RECYCLED, AND / OR REUSED.
  - ENVIRONMENTAL QUALITY
    6. FIREPLACE SHALL BE DIRECT VENTSEALED COMUSTION-TYPE. (4.503.1)
    7. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENING SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM. (4.504.1)

- NOTES :**
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENTS SHALL BE MADE TO THE CONTRACTOR'S FULL ACCEPTANCE OF THE EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH ARE NOT NOTICED BY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
  2. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
  3. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSURES SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
  4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS - IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
  5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR OTHER READY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (CRC R315.1)
  6. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
  7. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R307.1, CMC 904.11.1)
  8. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 - INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER IF NUMBERS ARE ON THE EXTERIOR. NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
  9. PROVIDE ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SF. OF ATTIC AREA) IS REQUIRED. (R806.2)
  10. PROVIDE ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (MIN. 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
  11. PROVIDE 15" MINIMUM DIVISION BETWEEN CENTER OF WATER CLOSET . (CALF. PLUMB. CODE 407.6)

FIRE DEPARTMENT STAMP

Revisions	By

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**V J & ASSOCIATES**  
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Glendale, CA 91205  
(818) 956-0570

**PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**

PROJ. TITLE :  
PROJ. ADDRESS : 2242 DEL MAR RD., MONTEROSE, CA. 91020

OWNER :  
WALTONIA LLC  
2242 DEL MAR RD., MONTEROSE, CA. 91020

DRAWG. TITLE :  
FIRST FLOOR PLAN, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**JULY 29, 2024**

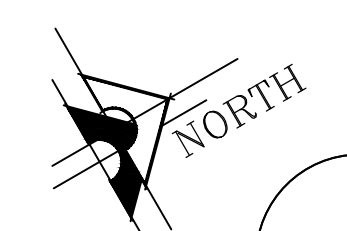
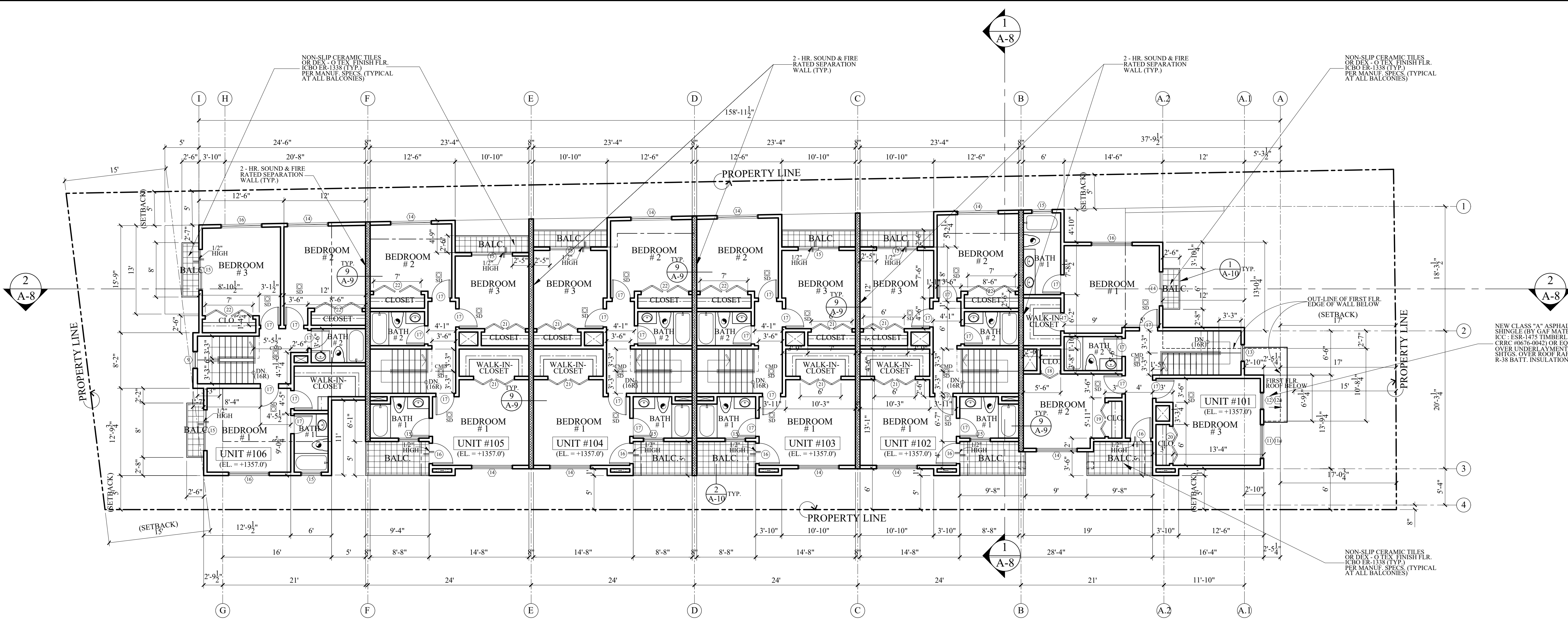
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**1/8" = 1'-0"**

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Sheet No.  
**A-3**

of \_\_\_\_\_ Sheets





**1 SECOND FLOOR PLAN**  
SCALE : 1/8" = 1'-0"

**LEGENDS :**

- CMD** CO / CM DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 5
- MECH VENT** SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING 7 1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHENS)
- SD** S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4)
- FD** FLOOR DRAIN
- 2-HR. SOUND RATED & FIRE RATED WALL**
- 1-HOUR FIRE RATED WALL / STUD WALL** (5/8" THK. TYPE "X" GYP. BRD. BOTH SIDE PAINT FIN. WALL)

**NOTES CONT. :**

12. SMOKE ALARM SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS :
  - a.) IN EACH SLEEPING ROOM.
  - b.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - c.) ON EACH ADDITIONAL STORY DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
  - d.) SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOMS THAT CONTAINS A BATH TUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION. WHEN MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE R314.3.
13. SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS :
  - a.) OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).
  - b.) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. RESIDENTIAL CODE R315.3

**NOTES :**

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2. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS : IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2312.1.2)
5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS. THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1.1)
6. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
7. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R307.1, CMC 904.11.1)
8. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 - INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
9. PROVIDE ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SF. OF ATTIC AREA) IS REQUIRED. (R806.2)
10. PROVIDE ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (2' X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
11. PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET. (CALF. PLUMB. CODE 407.6)

FIRE DEPARTMENT STAMP

Revisions	By

ALL IDEAL, DECORAL, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY DIMENSIONS, DIMENSION LINES, DIMENSION VALUES, AND DIMENSION VALUES AND DIMENSION VALUES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA PLUMBING CODE (CPC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

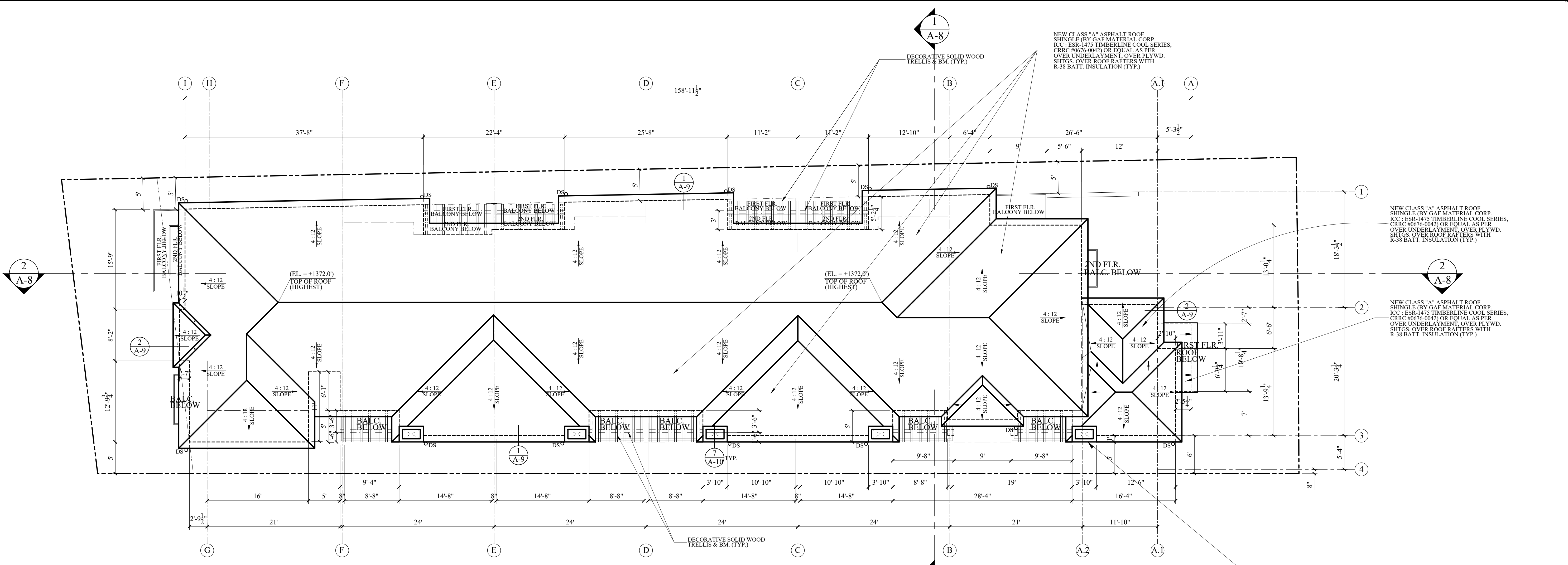
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1224 E. BROADWAY, SUITE 202,  
Glendale, CA 91205  
(818) 956-0570

**PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**

PROJ. TITLE :  
OWNER :  
DRAWG. TITLE :  
PROJ. ADDRESS : 2242 DEL MAR RD., MONTEROSE, CA. 91020  
WALTONIA LLC  
2242 DEL MAR RD., MONTEROSE, CA. 91020  
SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
**FEB. 22, 2023**  
Scale  
**1/8" = 1'-0"**  
Job No.  
Sheet No.  
**A-4**  
of Sheets



**1 ROOF PLAN**  
SCALE : 1/8" = 1'-0"

**LEGENDS :**

- CMD** CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5
- SD** S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4)
- FD** FLOOR DRAIN
- DS** DOWNSPOUT
- 2-HR. SOUND RATED & FIRE RATED WALL**
- 1-HOUR FIRE RATED WALL / STUD WALL**  
(5/8" THK. TYPE "X" GYP. BRD. BOTH SIDE PAINT FIN. WALL)

**PROJECT INFO :**

OVERALL TOTAL BASEMENT FLR. AREA : 5,589 SQ. FT.  
(INCL. GARAGE, DRIVEWAY, STO., TRASH & ELECT. ROOM.)

FIRST FLOOR TOTAL FLR. AREA : 4,622 SQ. FT.  
SECOND FLOOR TOTAL FLR. AREA : 4,677 SQ. FT.

**ALLOWABLE BUILDING HEIGHTS AND AREAS :**

OCCUP. GROUP	TYPE OF CONST. / LEGEND	FOOTNOTE	SQ. FT. MAX. ALLOWABLE	TYPE OF CONST. (TYPE V (A))
R-2	VA	S 13R	12,000 SQ. FT.	EACH LEVEL = 12,000 SQ. FT. (MAX. ALLOW.)
S-2	VA	SM	63,000 SQ. FT.	FIRST FLOOR = 4,622 SQ. FT. (PROVIDED) SECOND FLOOR = 4,677 SQ. FT. (PROVIDED)
				EACH LEVEL = 63,000 SQ. FT. (MAX. ALLOW.)
				BASEMENT = 5,589 SQ. FT. (PROVIDED)

- NOTE :**
- EXTERIOR WALLS 1 - HR. RATED & EACH UNIT VERTICALLY SEPARATE 2 - HR. MIN. ASSEMBLY FROM GARAGE TO ROOF 30' HIGH PER NFPA 13R SPRINKLER FROM FIRE DEPARTMENT VEHICLE ACCESS AREA
  - THE BUILDING HEIGHT AND AREA SHALL NOT EXCEED THE LIMITS SPECIFIED IN TABLE 504.4 AND 506.2 BASE ON THE TYPE OF CONSTRUCTIONS AS DETERMINED BY SECTION 602 AND THE OCCUPANCIES AS DETERMINED BY SECTION 503.
    - MAIN DRIVEWAY WHERE FIRE DEPT. FIRE TRUCK STOP (FIRE DEPT. VEHICLE ACCESS AREA) IS 28' FROM THE FIN. GRADE TO ROOF TOP OF THIS BUILDING.
  - PER TABLE 506.2. FOR TYPE VA CONSTRUCTION WITH A 13R SPRINKLER SYSTEM THE MAXIMUM ALLOWABLE AREA FACTOR IS 12,000 SQ. FT.
  - NFPA 13R SPRINKLER SYSTEMS PER CBC SECTION 903.3.1.2 REQUIRED FLOOR LEVEL OF THE HIGHEST STORY IS 30 FEET (9144 MM) OR LESS ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.

**LEGENDS :**

- R-2 OCCUPANCIES CONTAINING SLEEPING UNITS OR MORE THAN 2 DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE (APARTMENT)
- S-2 PARKING OR GARAGE (OPEN OR ENCLOSED)
- S13R BUILDING EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER INSTALLED IN ACCORDANCE W/ SECTION 903.3.1.2
- SM BUILDING 2 OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER INSTALLED IN ACCORDANCE W/ SECTION 903.3.1.1

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FIRE DEPARTMENT STAMP

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PROJ. TITLE : **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**

PROJ. ADDRESS : 2242, DEL MAR RD., MONTROSE, CA. 91020

OWNER : WALTONIA LLC  
2242 DEL MAR RD., MONTROSE, CA. 91020

DRWG. TITLE : ROOF PLAN, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**JULY 29, 2024**

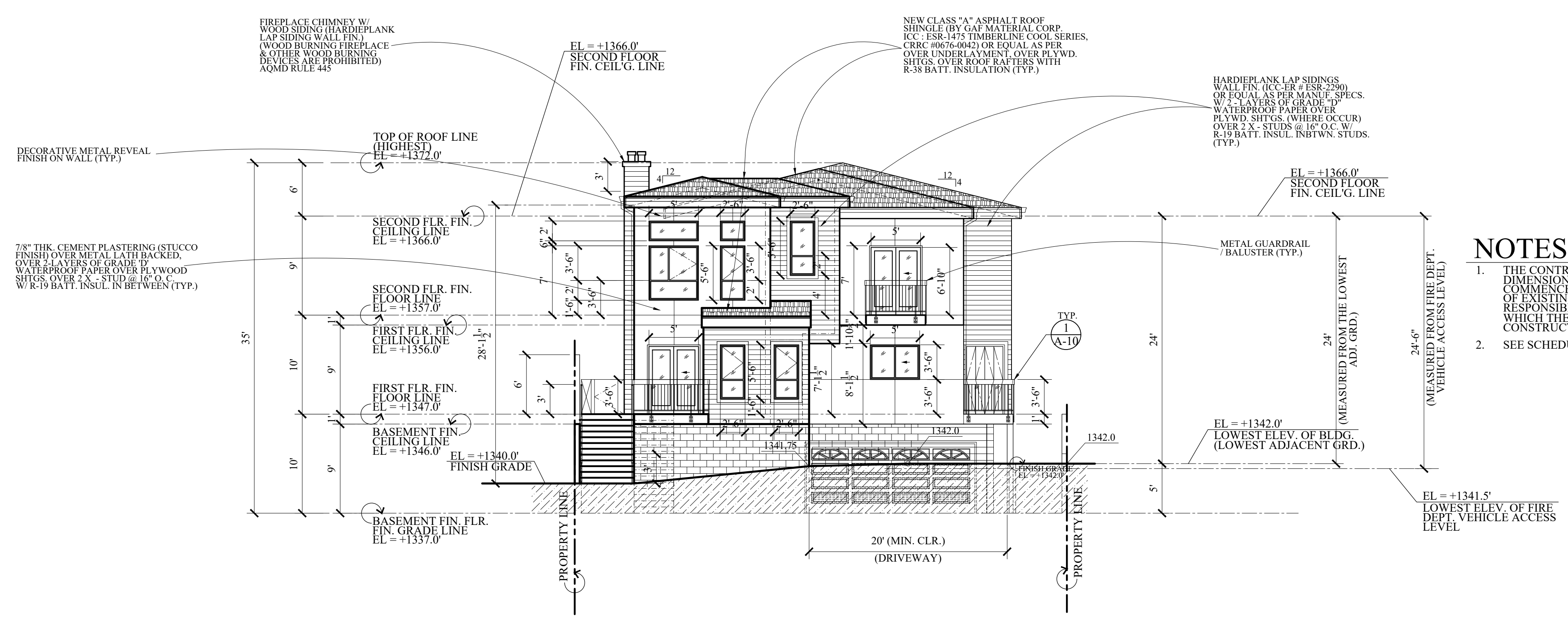
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Sheet No.  
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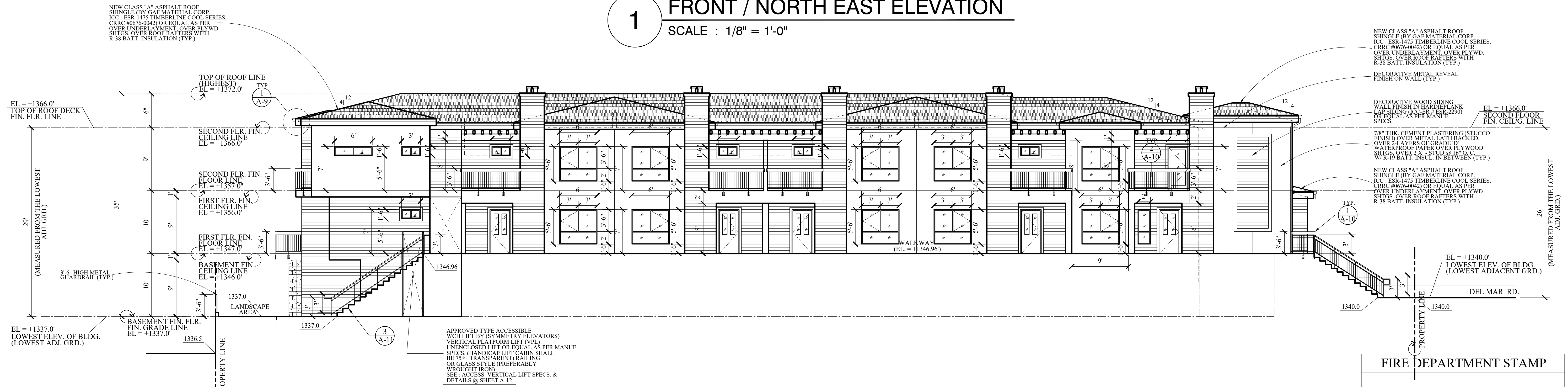
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  - SEE SCHEDULE OF DOORS & WINDOWS FOR SIZES, TYPES & DETAILS.

**1 FRONT / NORTH EAST ELEVATION**  
SCALE : 1/8" = 1'-0"



**2 LEFT SIDE / SOUTH EAST ELEVATION**  
SCALE : 1/8" = 1'-0"

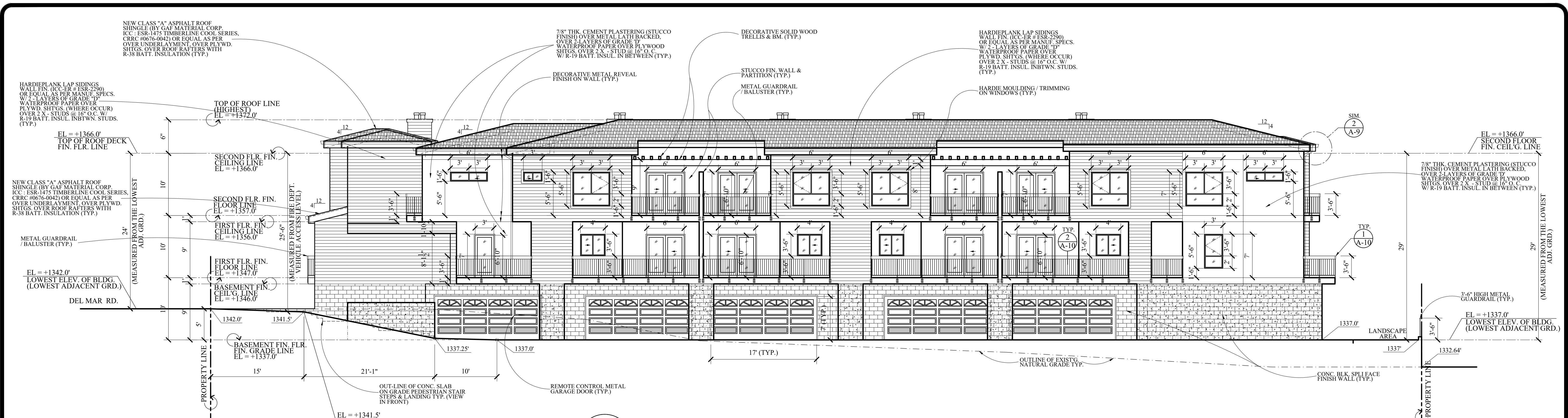
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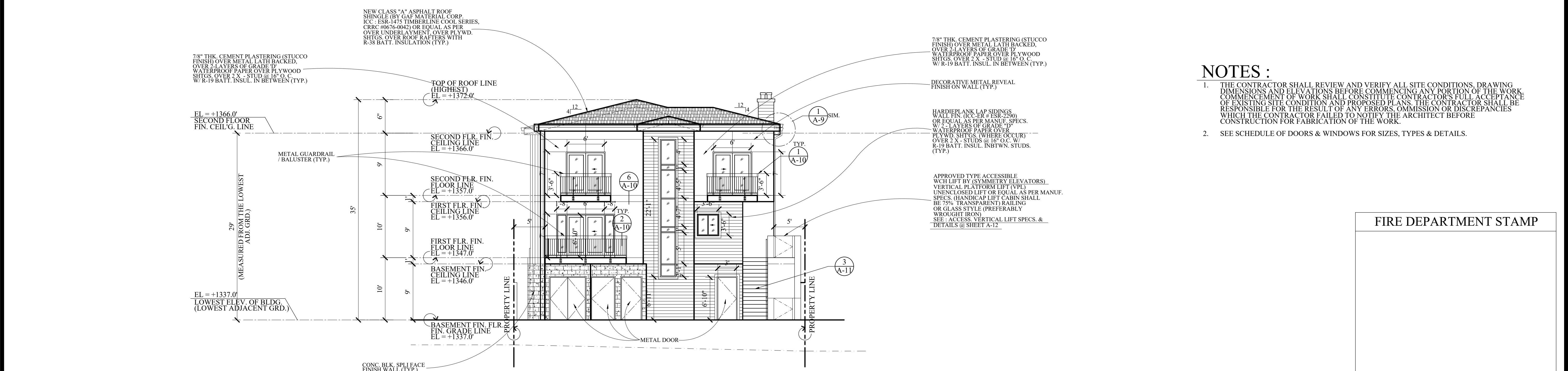
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(818) 956-0570

PROJ. TITLE : **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE TOWNHOUSE APARTMENT BUILDING**  
PROJ. ADDRESS : 2242 DEL MAR RD., TUIJUNGA, CA. 91020  
OWNER : WALTONIA LLC  
2242 DEL MAR RD., TUIJUNGA, CA. 91020  
DRAWG. TITLE : BUILDING ELEVATIONS, LEGENDS & NOTES

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
**JULY 29, 2024**  
Scale  
**1/8" = 1'-0"**  
Job No.  
  
Sheet No.  
**A-6**  
of Sheets



**1 RIGHT SIDE / NORTH EAST ELEVATION**  
SCALE : 1/8" = 1'-0"



**2 REAR / SOUTH WEST ELEVATION**  
SCALE : 1/8" = 1'-0"

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2. SEE SCHEDULE OF DOORS & WINDOWS FOR SIZES, TYPES & DETAILS.

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Drawn by  
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Checked by  
**V. J.**

Date  
**JULY 29, 2024**

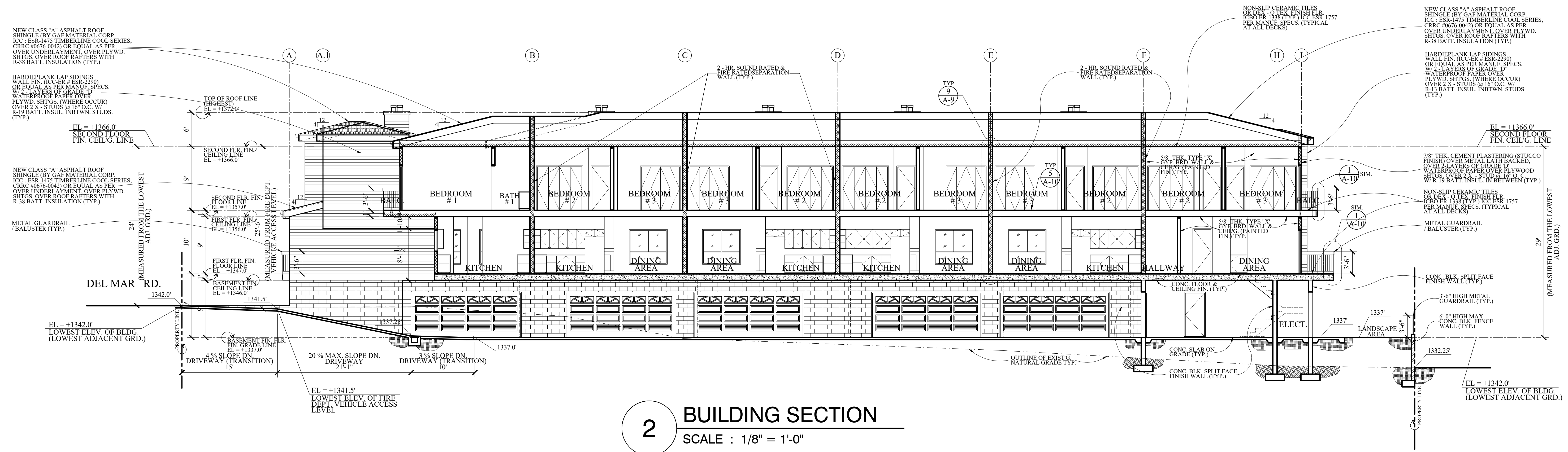
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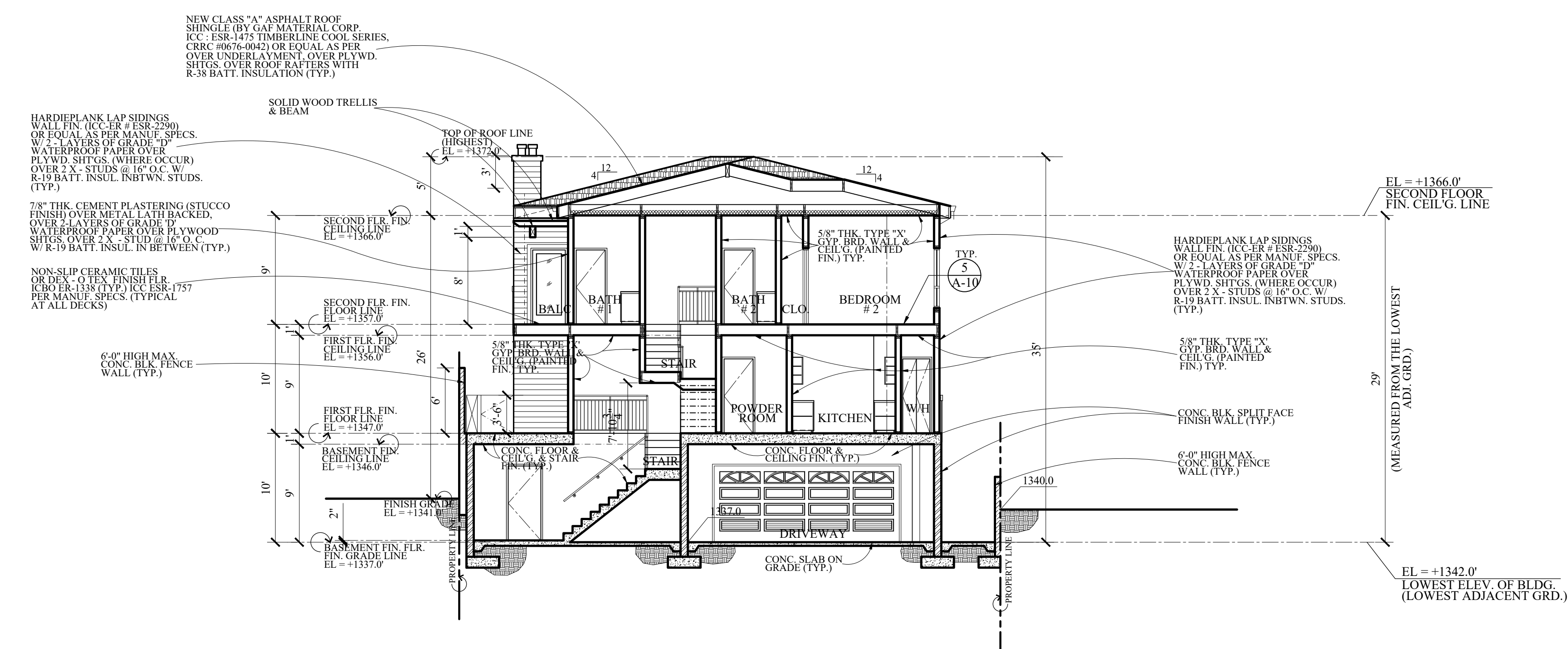
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**2 BUILDING SECTION**  
SCALE : 1/8" = 1'-0"

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**1 BUILDING SECTION**  
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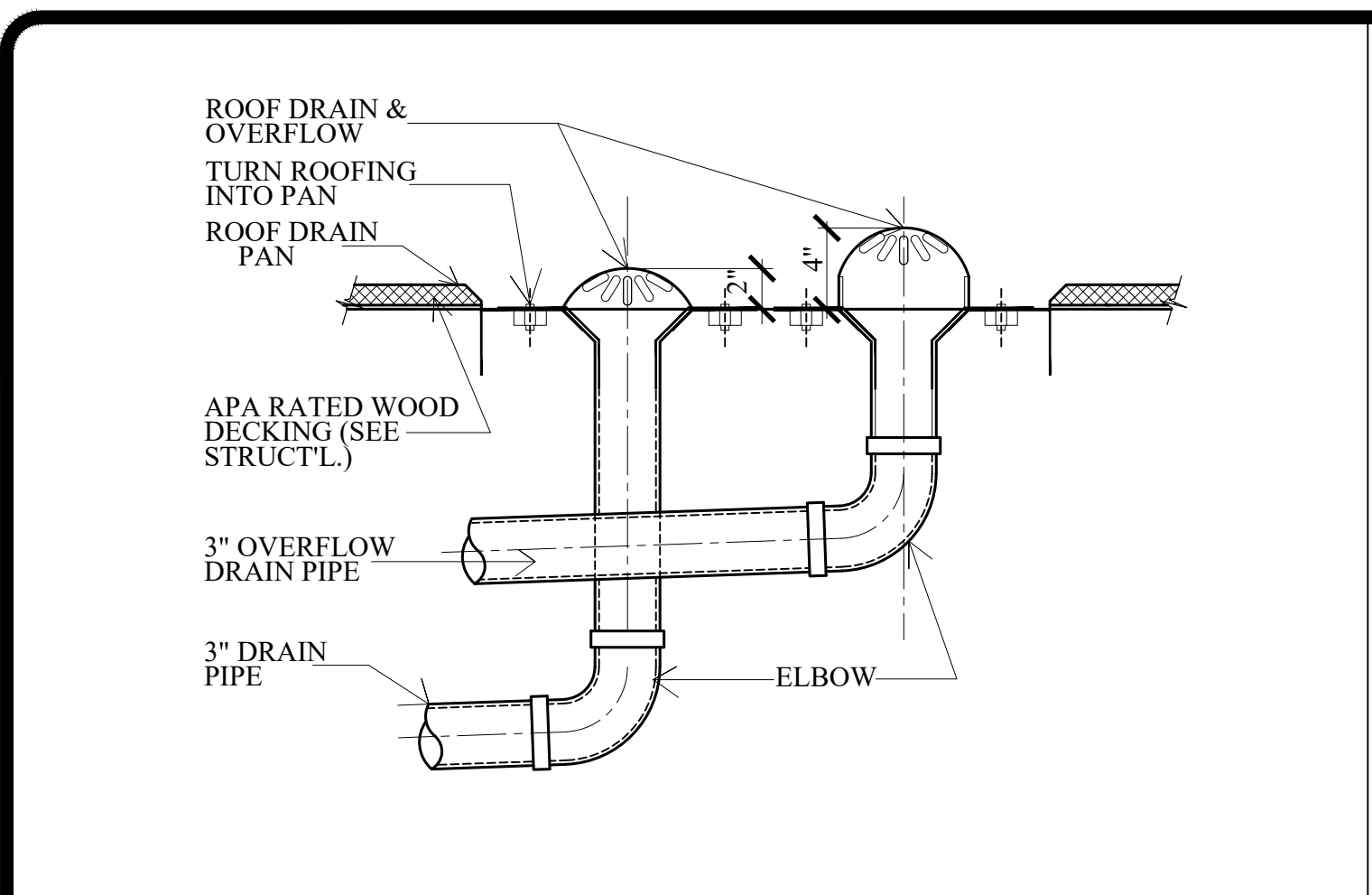
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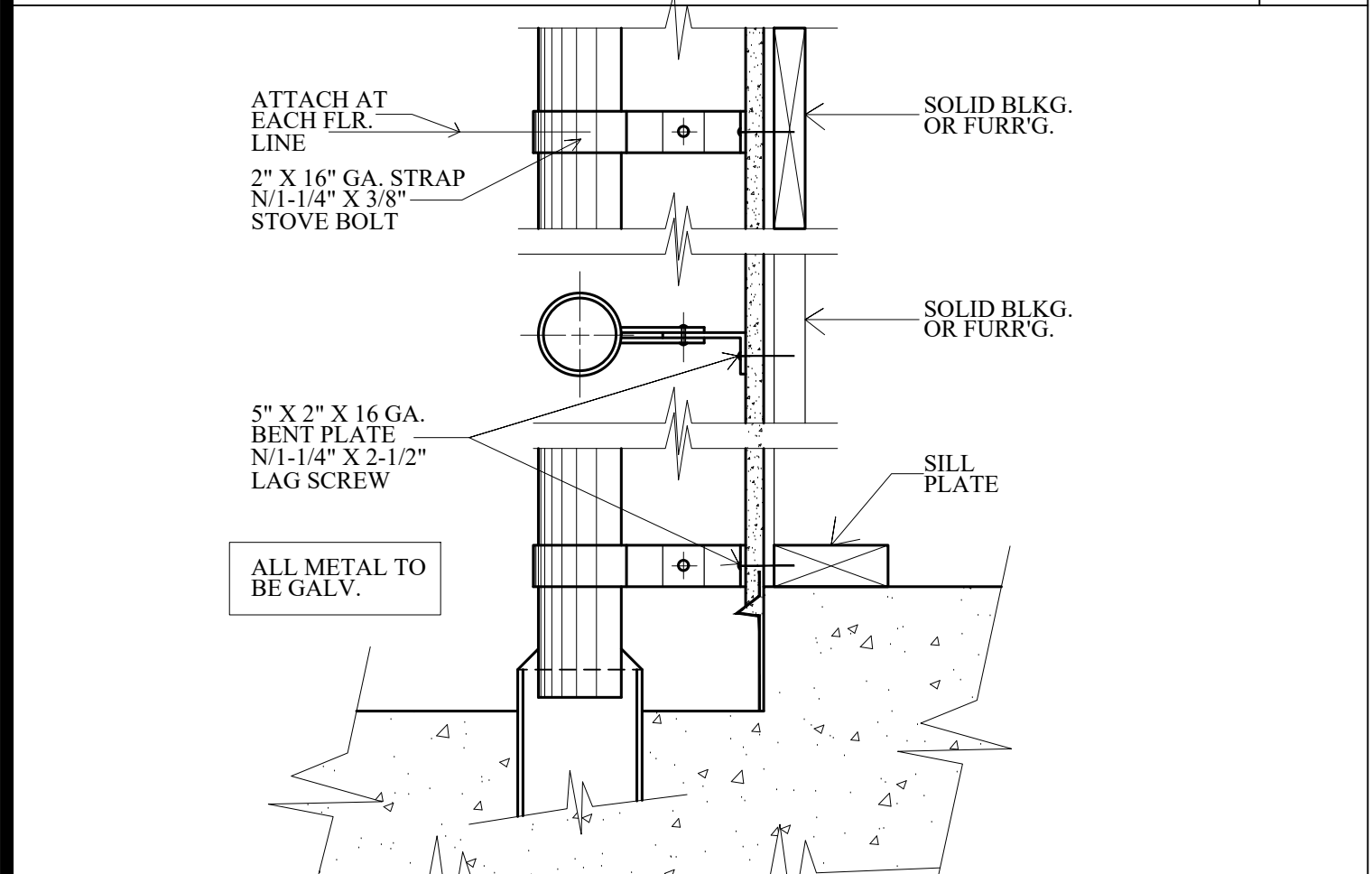
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2242 DEL MAR RD., TUIJUNGA, CA. 91020  
DRAW. TITLE : BUILDING SECTIONS, LEGENDS & NOTES

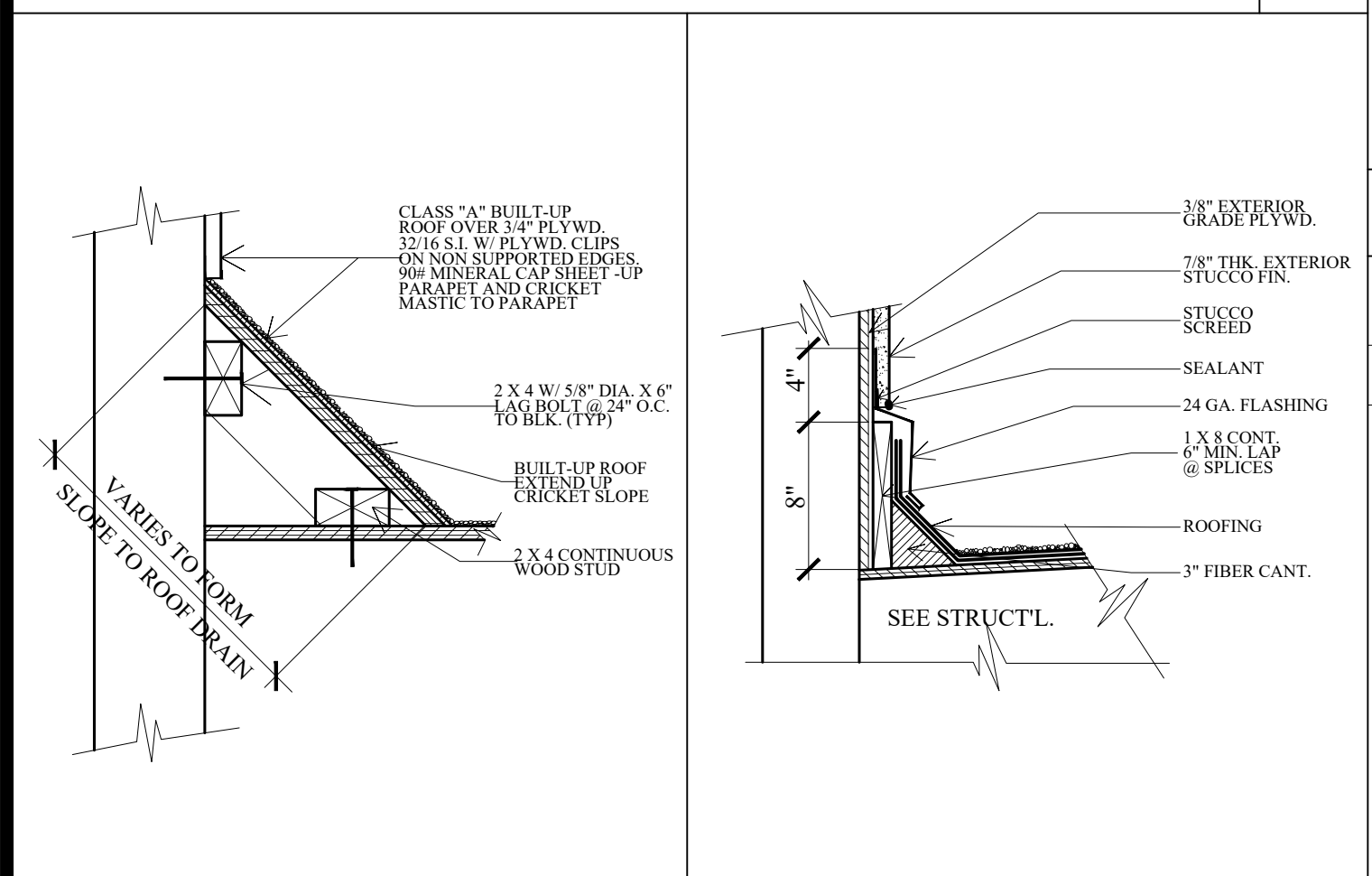
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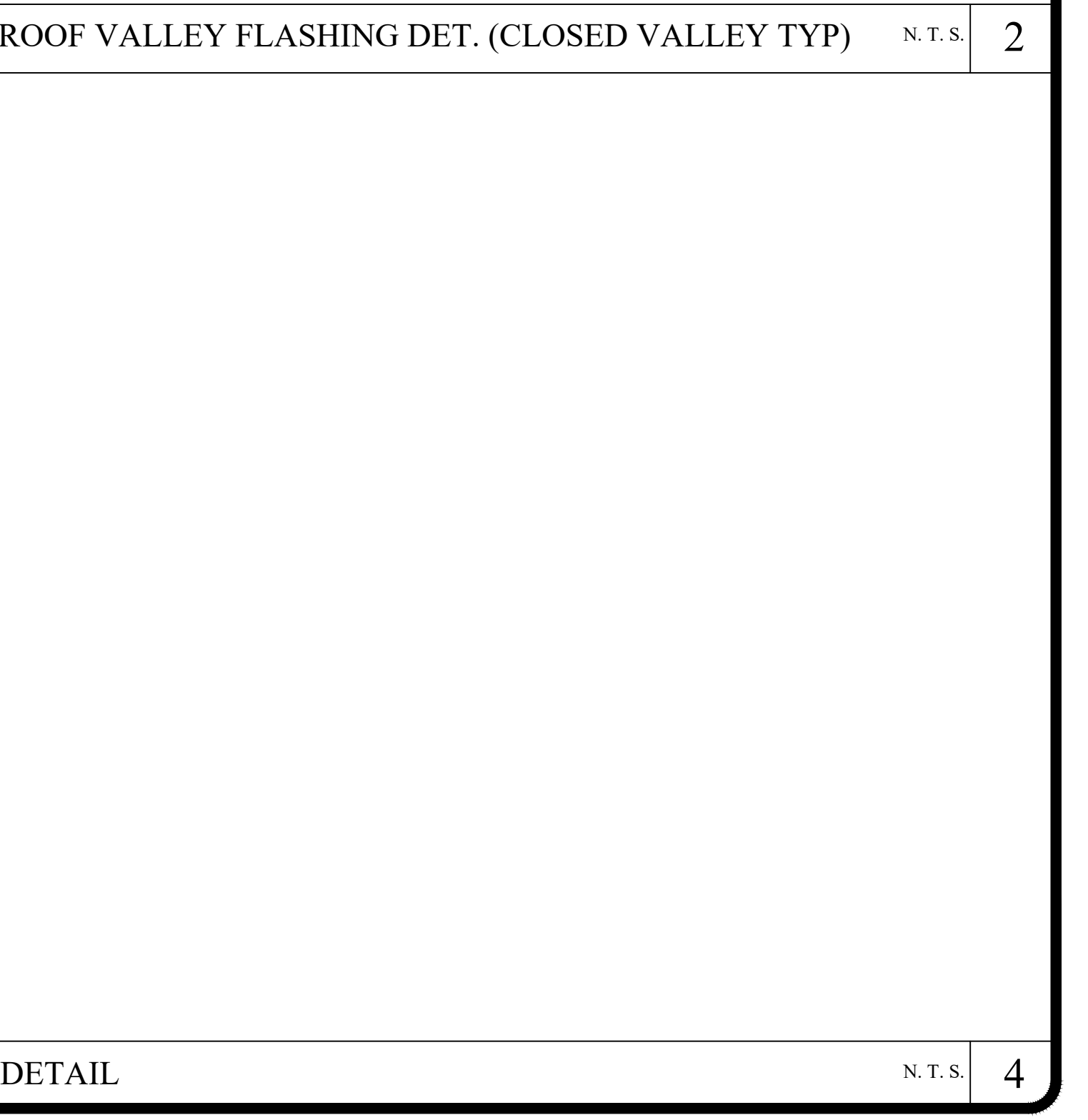
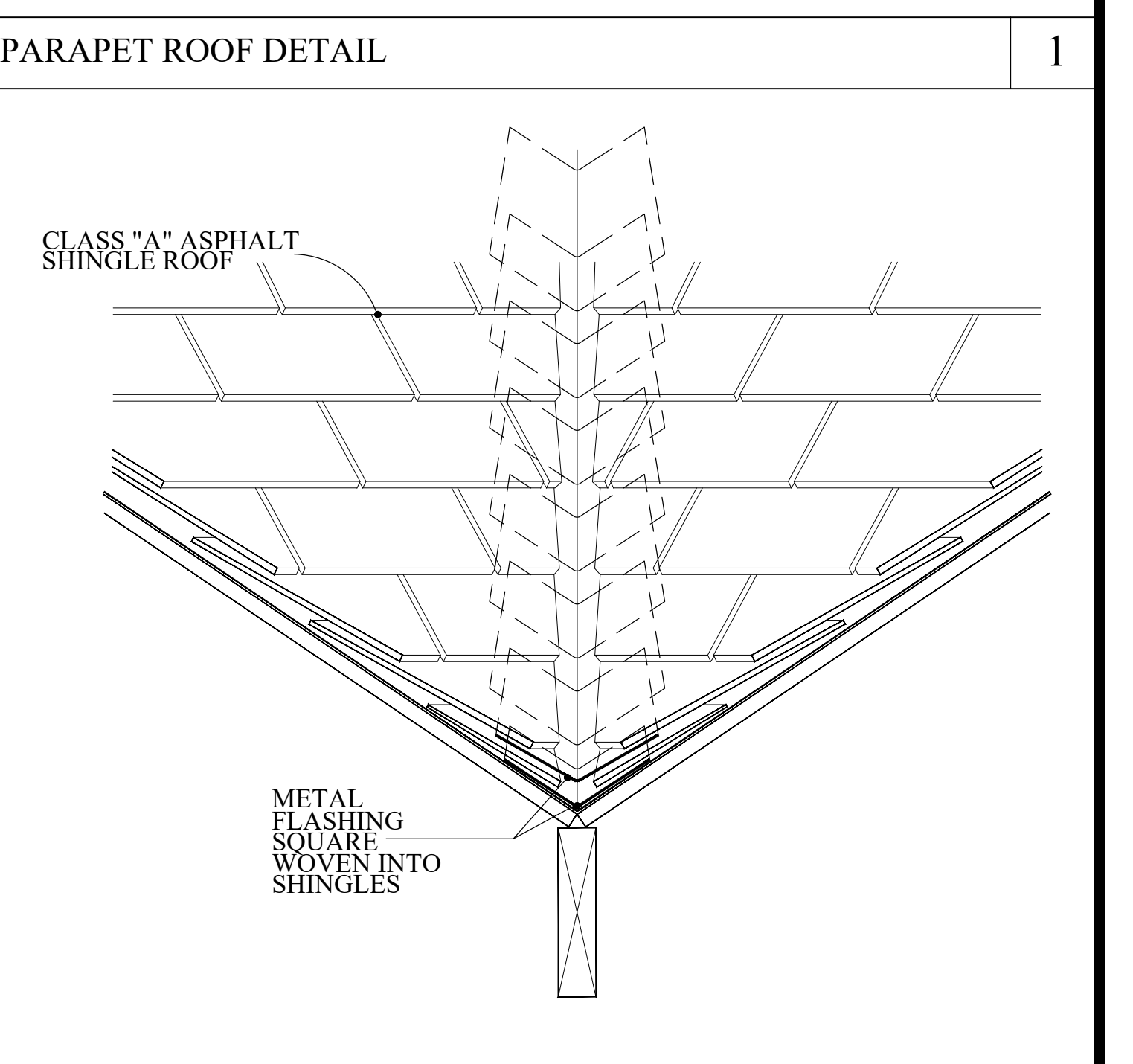
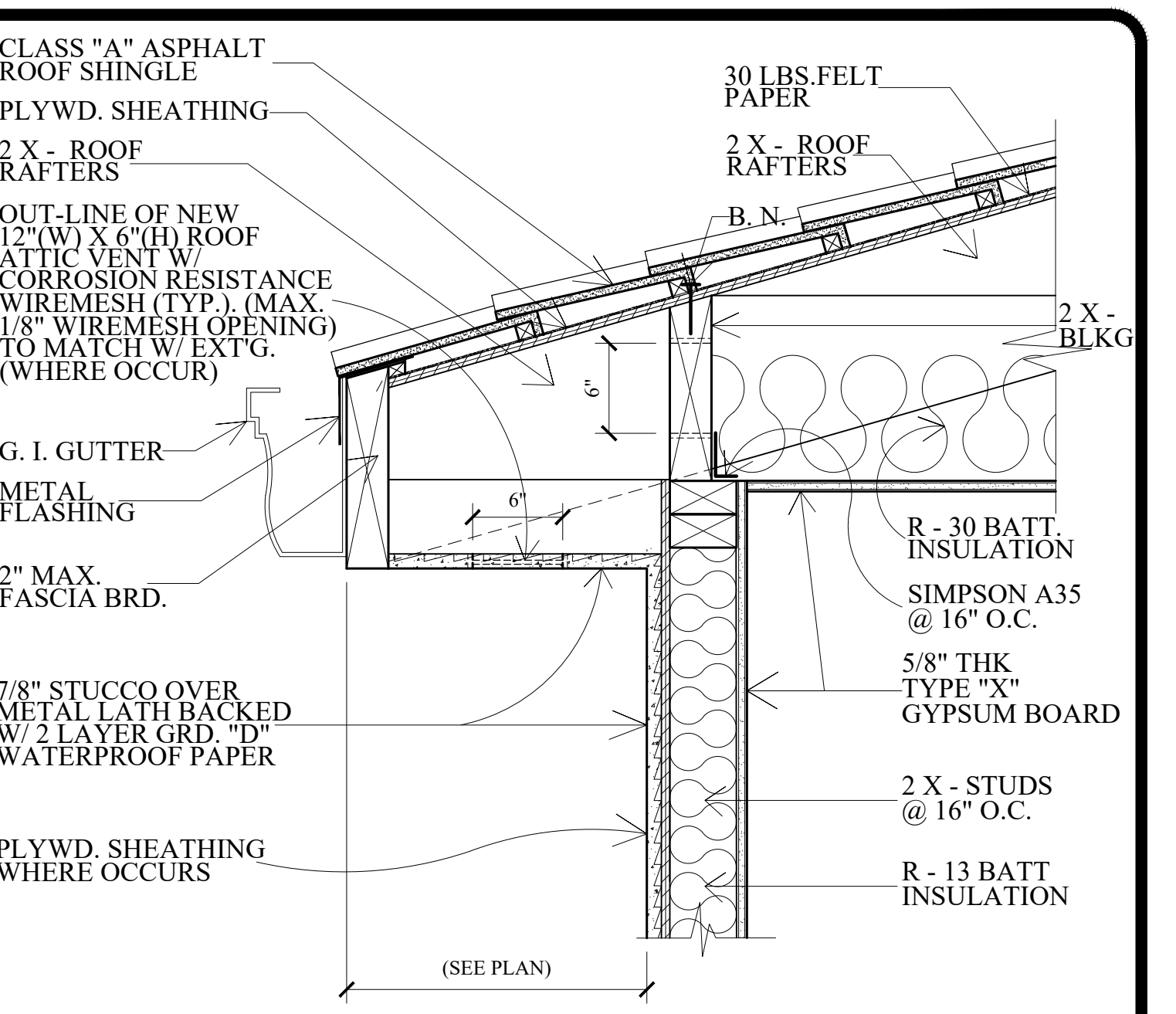
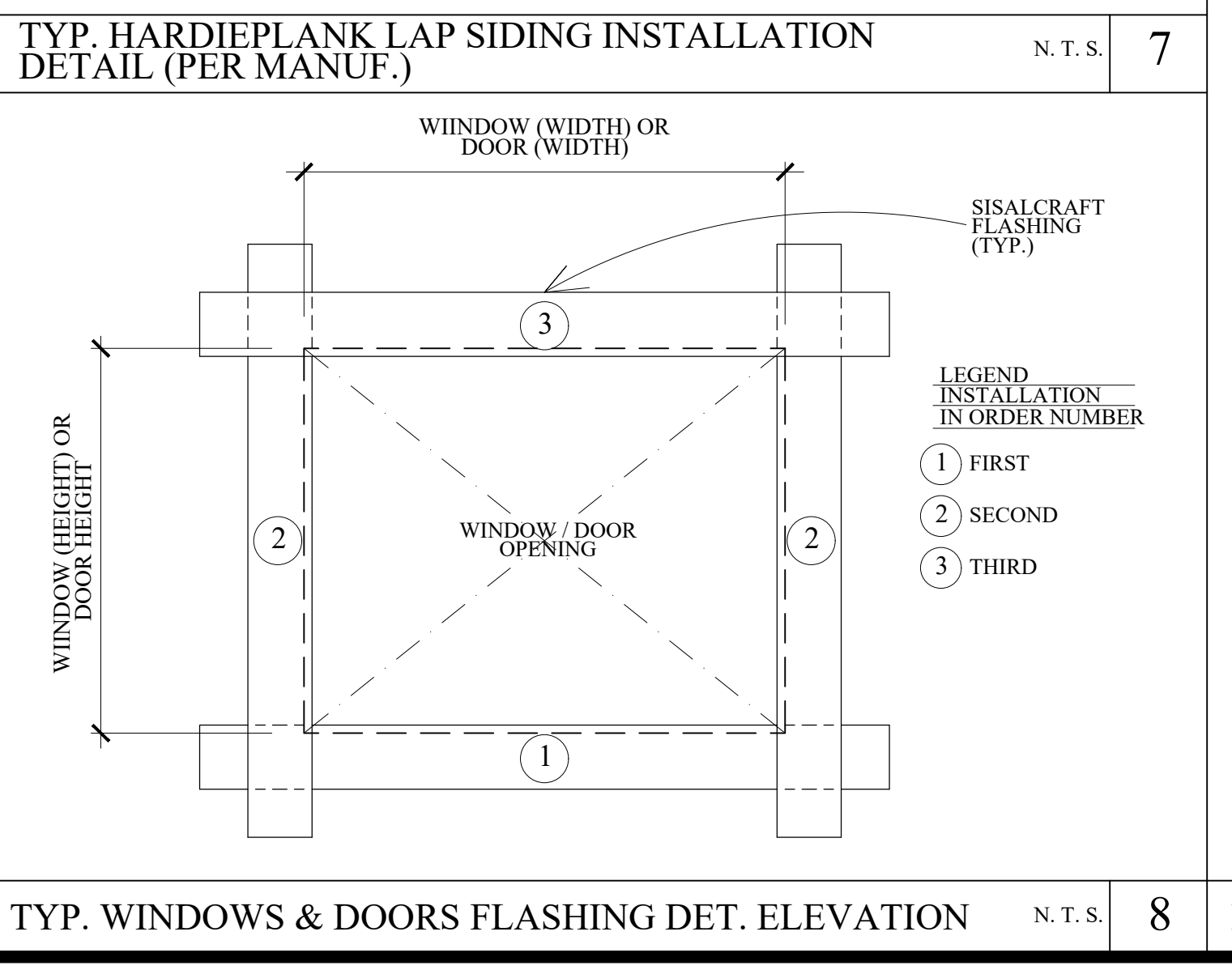
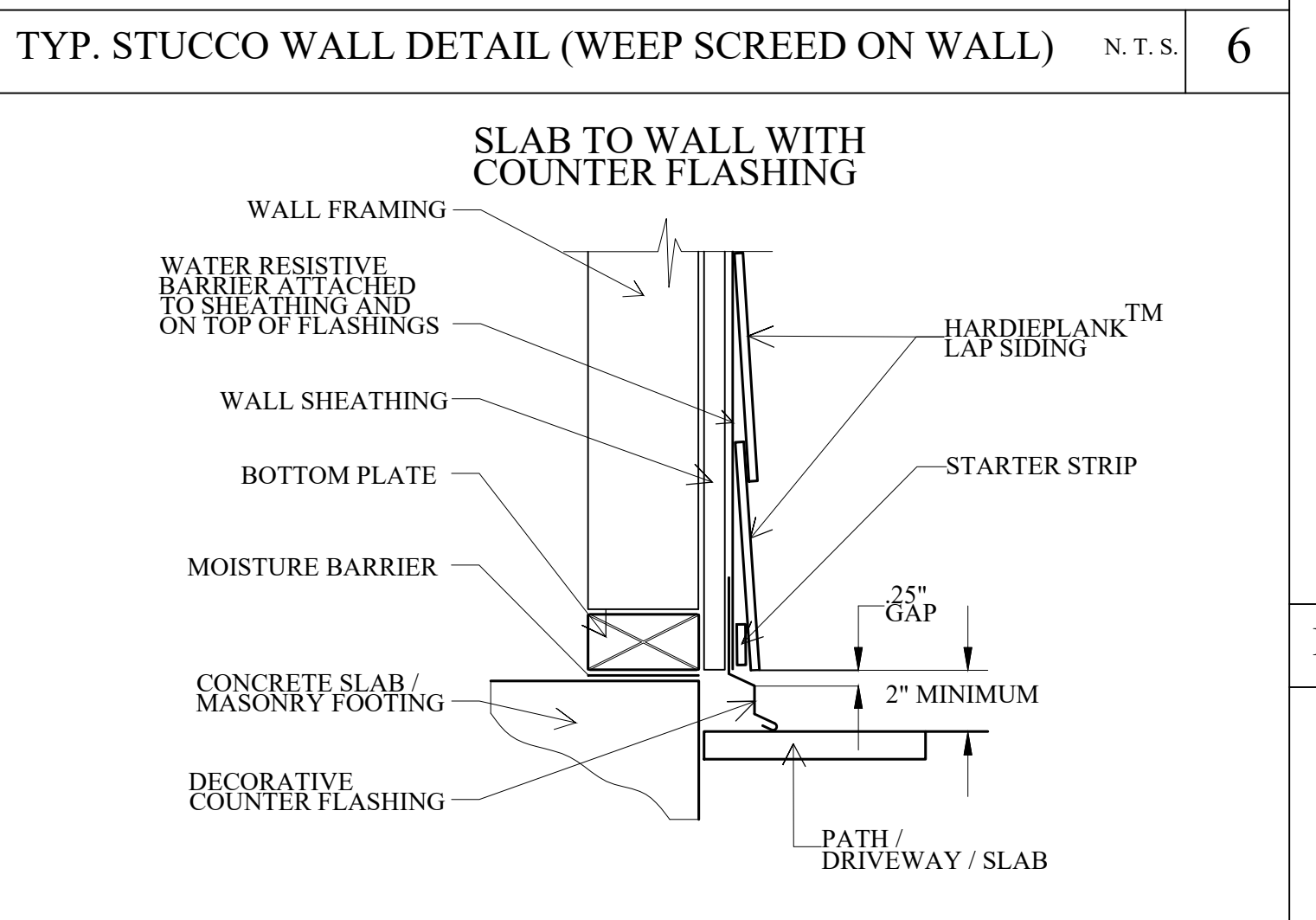
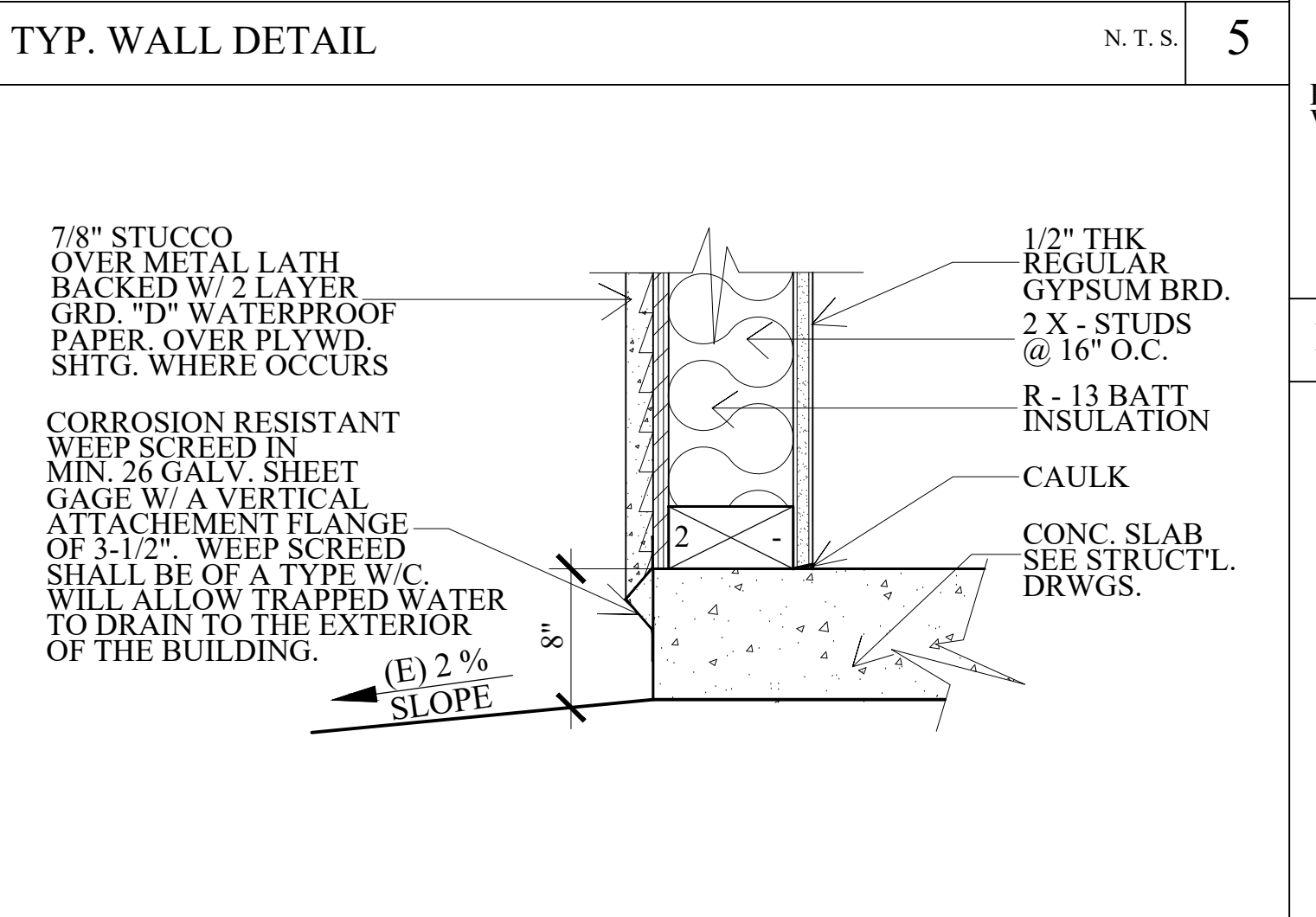
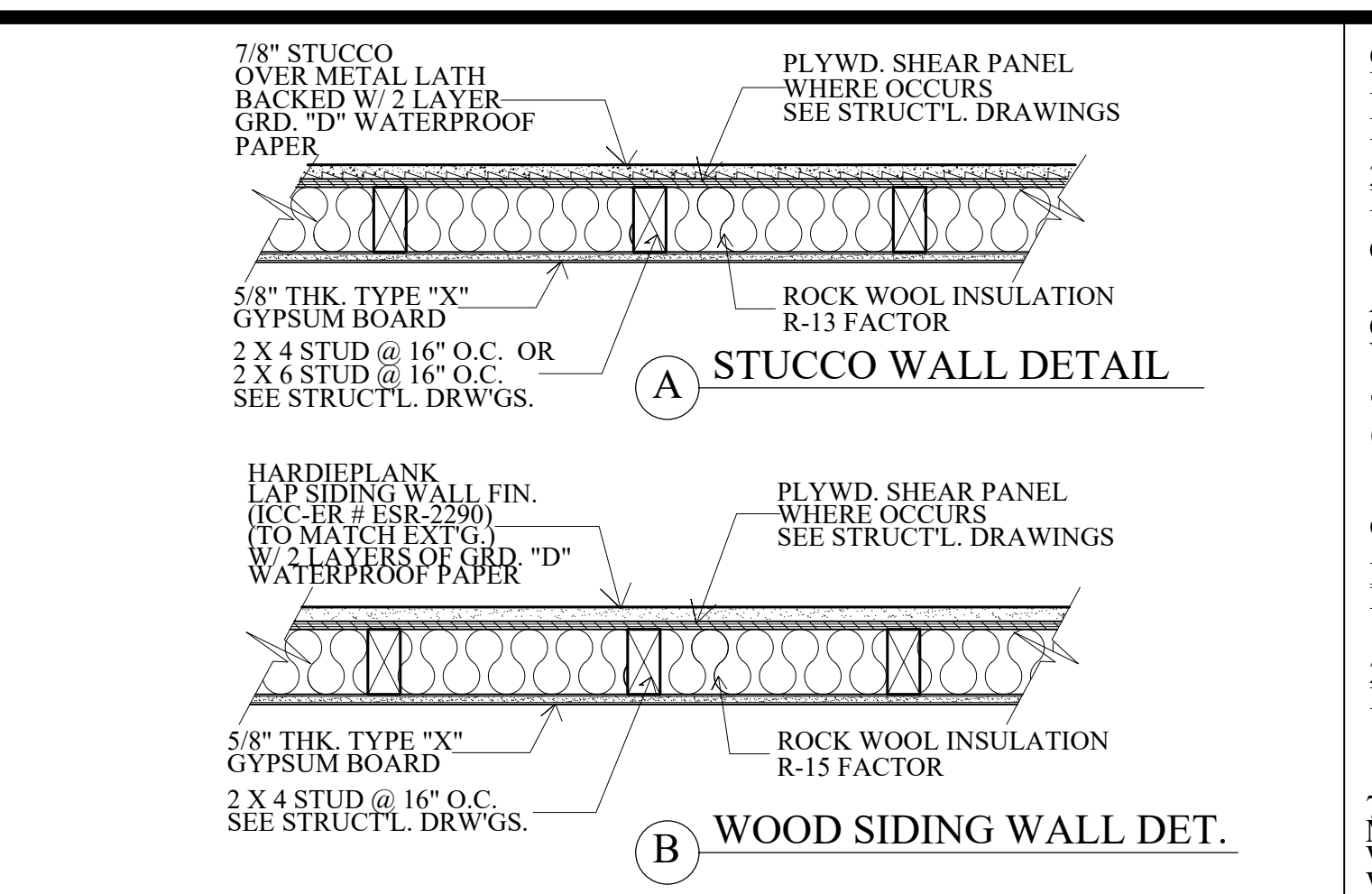
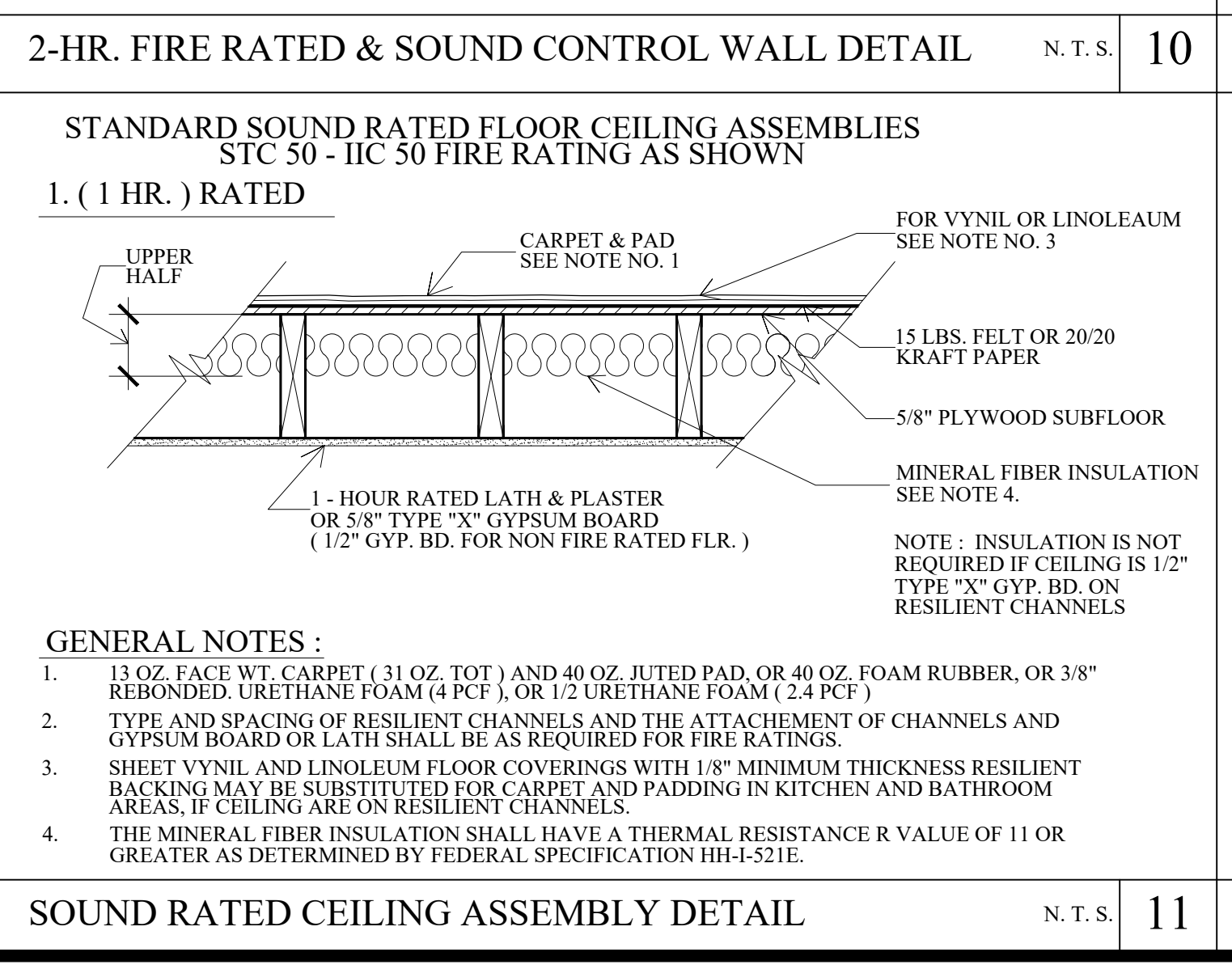
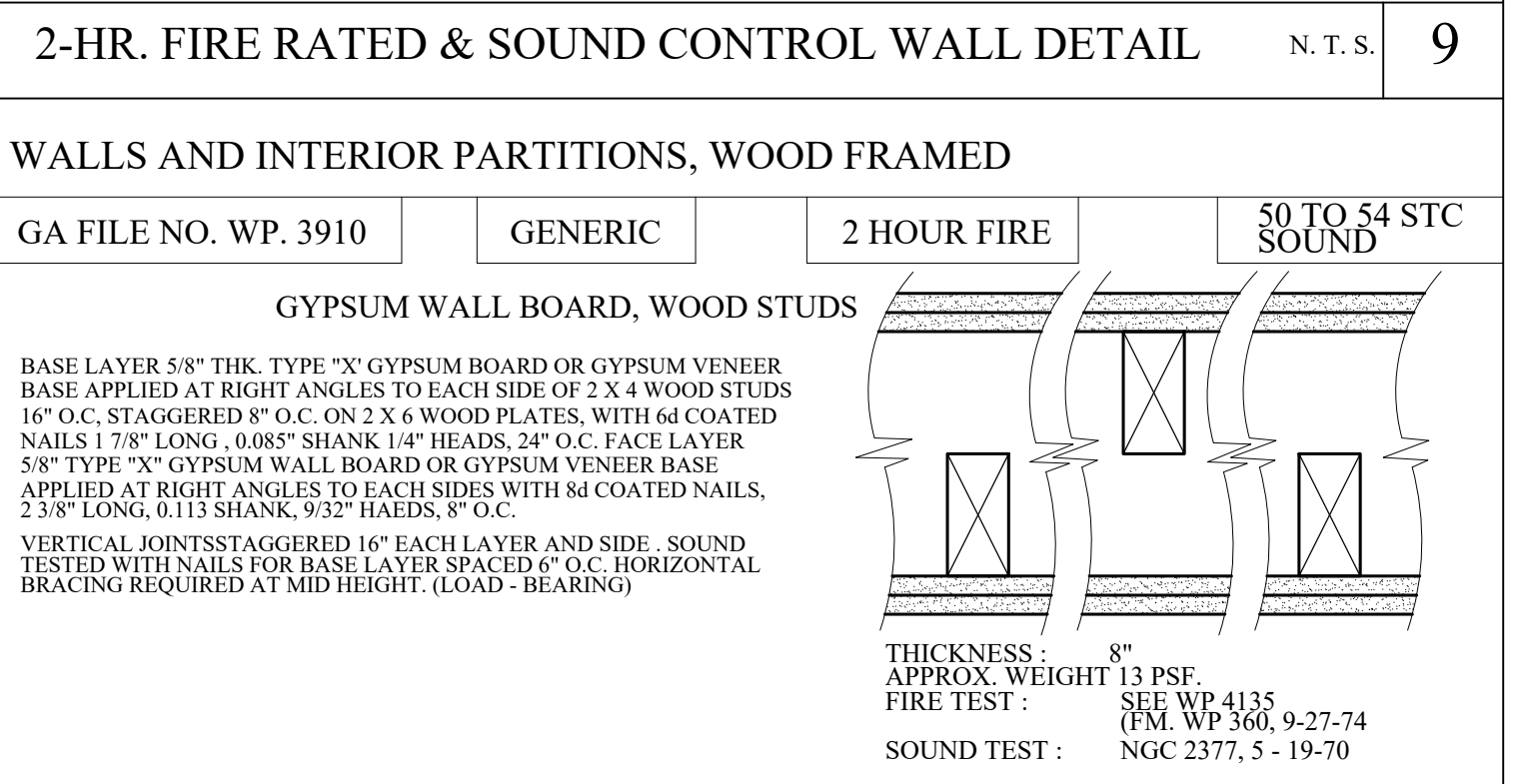
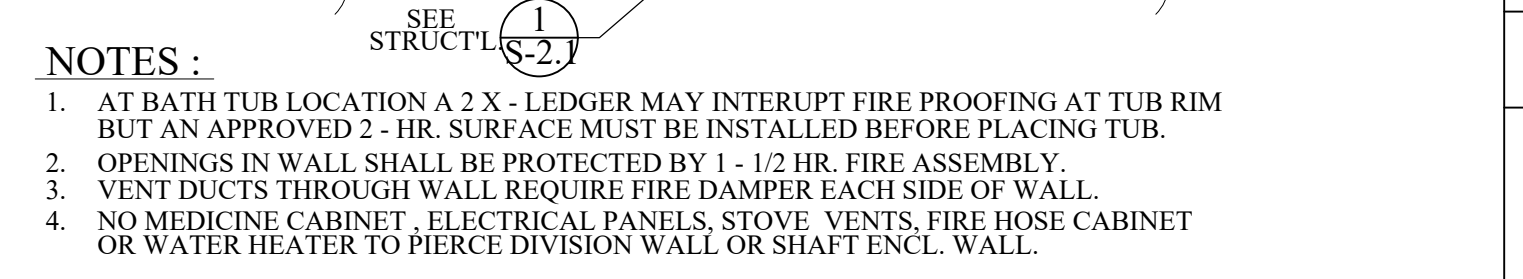
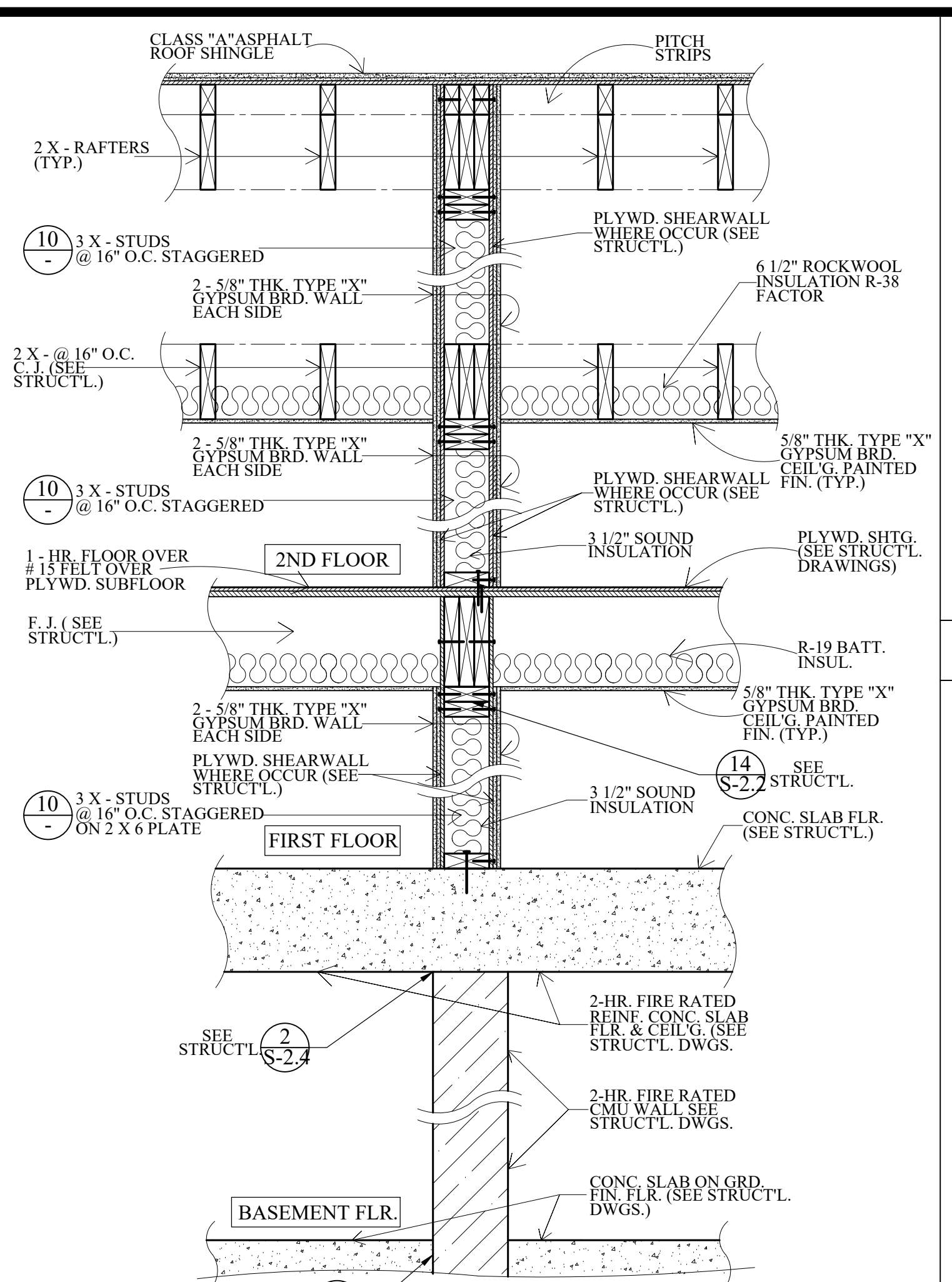
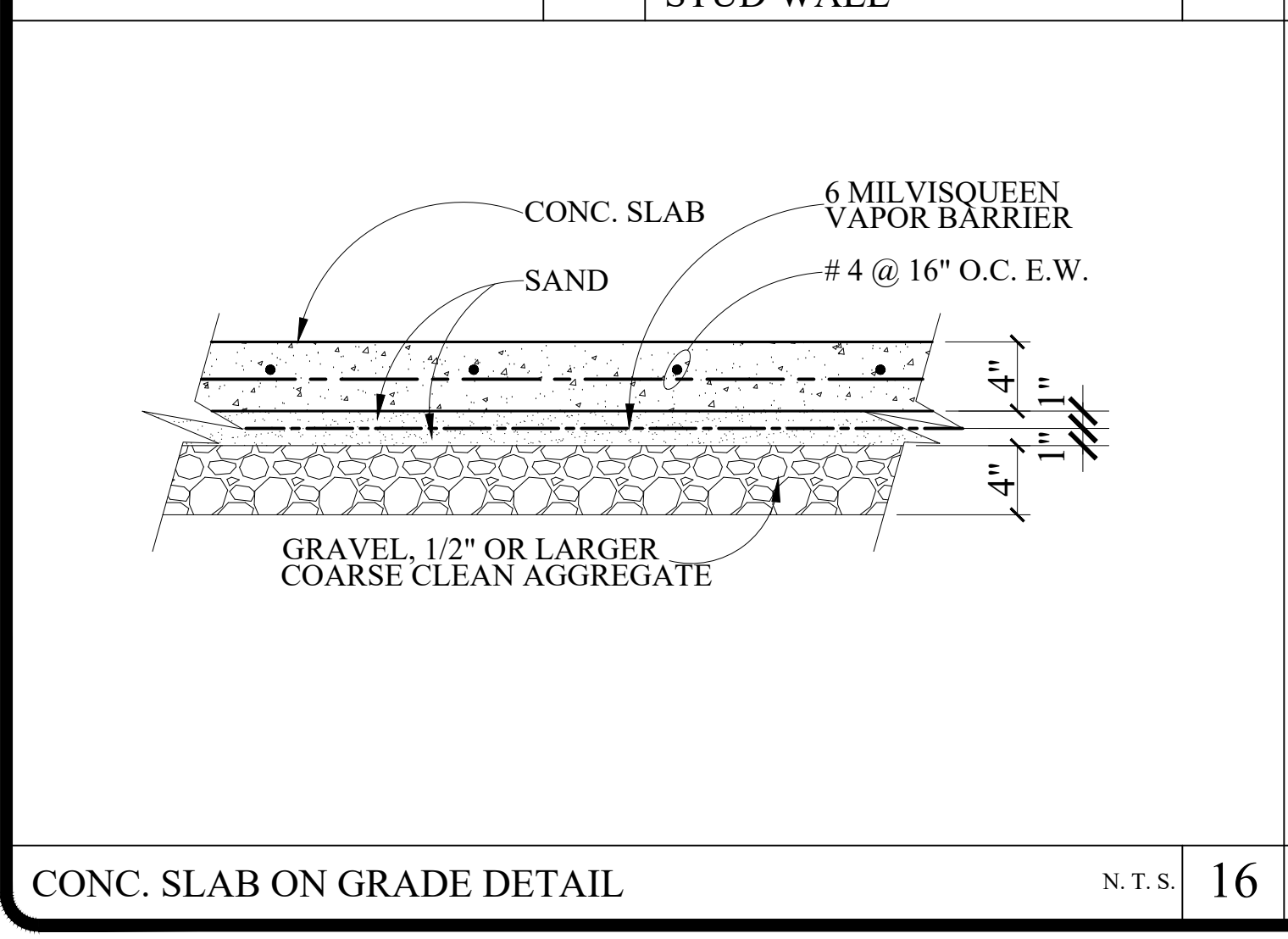
ROOF DRAIN & OVERFLOW DETAIL N.T.S. 12



DOWNSPOUT DETAIL N.T.S. 13



CONC. SLAB ON GRADE DETAIL N.T.S. 16



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(818) 956-0570

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OWNER: WALTONIA LLC  
2242 DEL MAR RD., MONTEROSE, CA. 91020

PROJ. ADDRESS: 2242 DEL MAR RD., MONTEROSE, CA. 91020

ARCHITECTURAL DETAILS

Drawn by  
NEIL A.  
Checked by  
V. J.  
Date  
FEB. 21, 2023  
Scale  
N. T. S.  
Job No.  
Sheet No.  
A-9  
of Sheets



		<p>HARDIEPLANK LAP SIDING WALL FIN. (ICC-ER # ESR-2290) (TO MATCH EXT'G.) W/ 2 LAYERS OF GRD. "D" WATERPROOF PAPER</p> <p>1/2" THK REGULAR GYPSUM BRD. 2 X - STUDS @ 16" O.C.</p> <p>R - 19 BATT INSULATION</p> <p>CAULK</p> <p>CONC. SLAB SEE STRUCT'L. DRWGS.</p> <p>CORROSION RESISTANT WEEP SCREED IN MIN. 26 GALV. SHEET GAGE W/ A VERTICAL ATTACHEMENT FLANGE OF 3-1/2". WEEP SCREED SHALL BE OF A TYPE W.C. WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.</p> <p>8"</p> <p>(E) 2 9/16" SLOPE</p>	<p>7/8" STUCCO FINISH OVER METAL LATH BACKED W/ 2 LAYER GRD. "D" WATERPROOF</p> <p>SISALCRAFT FLASHING</p> <p>VYNIL WINDOW / DOOR FRAMED BY "MILGARD" WINDOWS / DOORS (BY MANUF. DETAIL) OR EQUAL AS PER MANUF. SPECS.</p> <p>PLYWOOD SHTG.</p> <p>R-13 BATT INSULATION</p> <p>2 X - STUD @ 16" O.C.</p> <p>5/8" THK. TYPE "X" GYPSUM BRD.</p>
DETAIL	N. T. S. 13 WALL DETAIL	N. T. S. 9 (WD. SIDING) WALL DETAIL	N. T. S. 5 TYP. WINDOW & DOOR FLASHING DETAIL
		<p>12"</p> <p>11"</p> <p>4'-0" O.C.</p> <p>36" HANDRAIL</p> <p>36" HANDRAIL</p> <p>36" HANDRAIL</p>	<p>2 HOUR FIRE RATING :</p> <p>8" CONCRETE BLOCK OR GROUTED BRICK</p> <p>8" CONCRETE BLOCK ALL CELLS FILLED</p> <p>TWO COATS OF FLAT LATEX PAINT EACH SIDE</p> <p>FULL SHOVED HEAD JOINTS</p>
DETAIL	N. T. S. 14 DETAIL	N. T. S. 10 HANDRAIL DETAIL ELEV. MOUNTED ON WALL	N. T. S. 6 2-HR. FIRE RATED WALL DETAIL
		<p>7/8" STUCCO OVER METAL LATH BACKED W/ 2 LAYER GRD. "D" WATERPROOF</p> <p>5/8" THK TYPE "X" GYP. BOARD</p> <p>2 X - STUDS @ 16" O.C. W/ R - 19 BATT INSULATION</p> <p>FRY PLASTER CHANNEL SCREED W/ 2" WIDE REVEAL NON VENTED MTL.</p> <p>PLYWD. SHEATHING WHERE OCCURS</p> <p>REVEAL @ STUD WALL</p>	<p>1-1/2" THK. X 1-1/2" TUBE POST @ 4'-0" O.C. WELDED TO TOP &amp; BOTTOM</p> <p>1-1/4" TO 2" DIA. OF HANDRAILS HANDGRIP PORTION &amp; WITH SMOOTH FINISH &amp; WITH NO SHARP CORNERS</p> <p>1-1/4" TO 2" DIA. TUBE POST WELDED TO TOP &amp; BOTTOM</p> <p>12"</p> <p>13 ON CONC. A-14 DET.</p> <p>4'-0" O.C.</p> <p>7'-0" MIN. HEADROOM (TYP.)</p> <p>1-1/2" THK. X 1/2" X 0.065 TUBE @ 4" O.C. MAX. SPACING BALUSTER (TYP.)</p> <p>4" MAX.</p> <p>36" HANDRAIL</p> <p>MIN. 36" CLEAR WIDTH FOR STAIRWAY (TYP.)</p> <p>DEX-OTEX FIN. (TYP.)</p> <p>CONC. FLR. (SEE STRUCT'L.)</p> <p>4" MAX.</p> <p>10" MIN. TREAD</p> <p>CONC. STAIR (SEE STRUCT'L.)</p> <p>DEX-OTEX FIN. (TYP.)</p> <p>NOTE : THE LARGEST RISE OR RUN IN A FLIGHT OF STAIRS MAY NOT EXCEED THE SMALLEST BY MORE THAN 3/8"</p> <p>7 1/2" MAX. RISE</p> <p>36" HANDRAIL</p> <p>2-1/2" X 6" ANCHOR RAIL PLATE WELDED TO POST WITH 3/8" X 4" C.B. (TYP.)</p> <p>1-1/2" X 1 X 0.074 CONTINUOUS TUBE</p>
DETAIL	N. T. S. 15 DETAIL	N. T. S. 11 DECORATIVE REVEAL ON EXTERIOR WALL DETAIL	N. T. S. 7 CONC. STAIR W/ RAILING DETAIL
			<p>3-1/2"</p> <p>1-1/2" MIN.</p> <p>MITER &amp; RETURN TO WALL</p> <p>1-1/4" TO 2" DIA. GALV. STEEL PIPE HANDRAIL TO BE PAINTED (TYP.)</p> <p>2" DIA. MAX.</p> <p>GALV. MALLEABLE IRON BRACKET</p> <p>4'-0" O.C. MAX. SPACING</p> <p>2'-6" MIN. - 3'-0" MAX. TO STAIR NOSING</p> <p>(2) 2 X 6 SOLID BLKG. WHEREVER OCCURS</p>
DETAIL	N. T. S. 16 DETAIL	N. T. S. 12 DETAIL	N. T. S. 8 HANDRAIL & BRACKET DETAIL (SURFACE MOUNTED TYPE)

Revisions	By

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**V J & ASSOCIATES**  
*building design • planning • interior*

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PROJ. TITLE : **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**

PROJ. ADDRESS : 2242 DEL MAR RD., MONTEROSE, CA. 91020

OWNER : WALTONIA LLC  
 2242 DEL MAR RD., MONTEROSE, CA. 01020

DRWG. TITLE : ARCHITECTURAL DETAILS

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**FEB. 22, 2023**

Scale  
**N. T. S.**

Job No.

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Sheet No.  
**A-11**

of Sheets



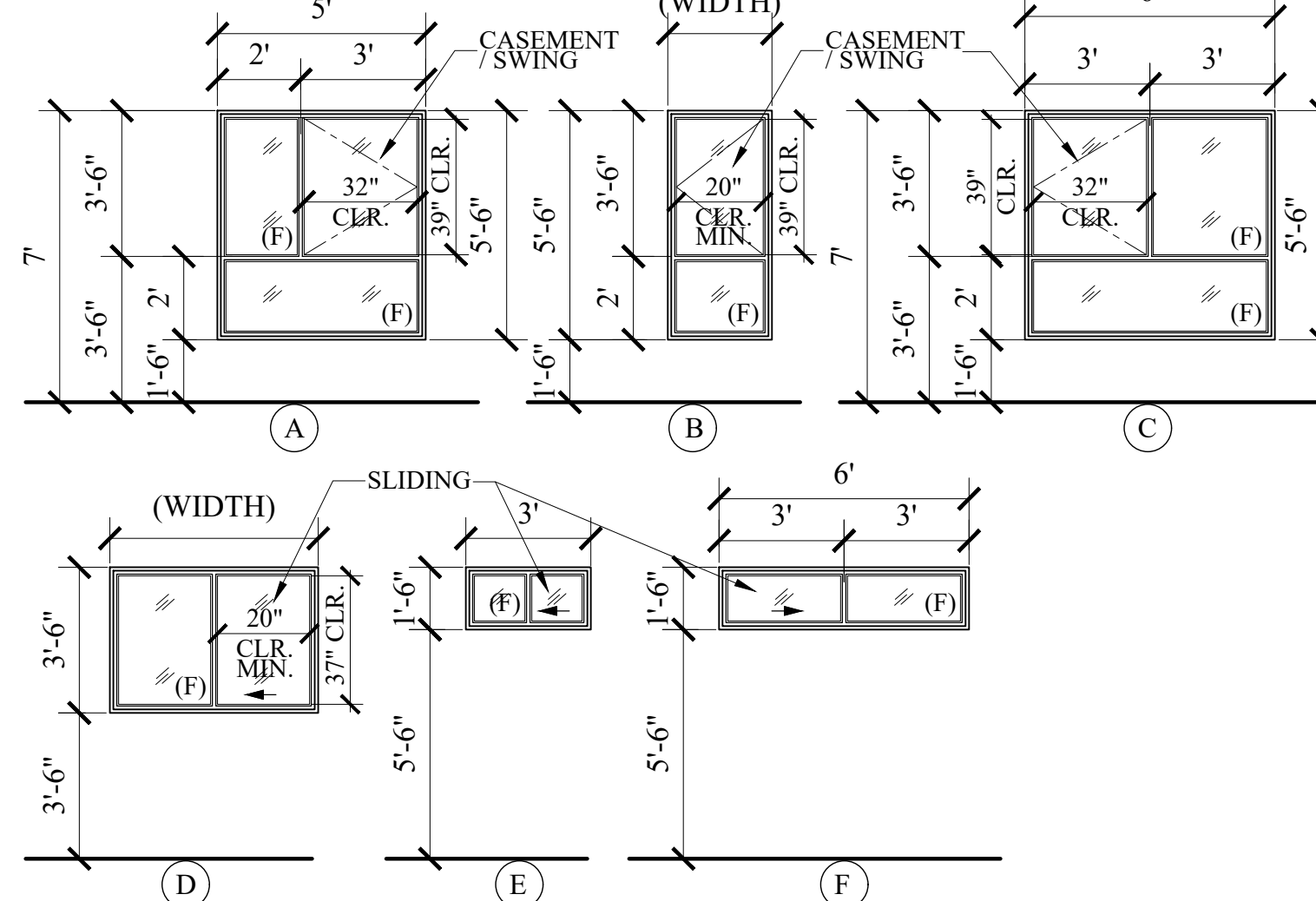
SCHEDULE OF WINDOWS :

WDW. NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
1	2'-6"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) LIVING ROOM & STAIR LEADING TO 2ND FLR. (FIRST FLR.) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 FIRST FLR. PLAN @ 1/A-3
2	5'-0"	3'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ DUAL GLASS	(UNIT # 101) KITCHEN (FIRST FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 FIRST FLR. PLAN @ 1/A-3
3	2'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) ENTRY (FIRST FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 FIRST FLR. PLAN @ 1/A-3
4	6'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101 TO # 105) LIVING ROOM (FIRST FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 FIRST FLR. PLAN @ 1/A-3
5	3'-0"	1'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 106 POWDER ROOM (FIRST FLOOR) LEFTSIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 FIRST FLR. PLAN @ 1/A-3
6	4'-0"	3'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 102 TO #105 KITCHEN SINK AREA (FIRST FLR.) RIGHT SIDE / NORTHEAST OF THE BLDG.	SEE RIGHT SIDE / NORTHEAST @ 1/A-7 FIRST FLR. PLAN @ 1/A-3
7	3'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	UNIT # 106 LIVING ROOM (FIRST FLOOR) RIGHT SIDE / NORTHEAST OF THE BLDG.	SEE RIGHT SIDE / NORTHEAST @ 1/A-7 FIRST FLR. PLAN @ 1/A-3
8	1'-6"	7'-0"	PER MANUF.	FIXED	FIBERGLASS W/ TEMP. GLASS	UNIT # 106 LIVING & DINING RM. (FIRST FLOOR) REAR / SOUTHWEST OF THE BLDG.	SEE REAR / SOUTHWEST @ 2/A-7 FIRST FLR. PLAN @ 1/A-3
9	2'-6"	22'-1"	PER MANUF.	FIXED	FIBERGLASS W/ TEMP. GLASS	REAR STAIR LOCATED AT REAR / SOUTHWEST OF THE BLDG.	SEE REAR / SOUTHWEST @ 2/A-7 FIRST & SECOND FLR. PLAN @ 1/A-3 & 1/A-4
10	3'-6"	3'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 106 KITCHEN (FIRST FLOOR) REAR / SOUTHWEST OF THE BLDG.	SEE REAR / SOUTHWEST @ 2/A-7 FIRST & SECOND FLR. PLAN @ 1/A-3 & 1/A-4
11	5'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) BEDROOM # 3 (SECOND FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
12	5'-0"	2'-0"	PER MANUF.	FIXED	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) BEDROOM # 3 (SECOND FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
13	2'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) BEDROOM # 3 (SECOND FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
14	2'-0"	2'-0"	PER MANUF.	FIXED	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) BEDROOM # 3 (SECOND FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
15	2'-6"	5'-6"	PER MANUF.	FIXED	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101) STAIR LANDING (SECOND FLOOR) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
16	6'-0"	5'-6"	PER MANUF.	CASEMENT SWING W/ DUAL GLASS @ 20" CLR. @ 32" MIN.	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101 & # 106) BEDROOM # 2 (UNIT # 102 TO # 106) BDRM. # 1 & # 2 (2ND FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 SECOND FLR. PLAN @ 1/A-4
17	3'-0"	1'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	(UNIT # 101 TO # 106) BDRM. # 1 (2ND FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 SECOND FLR. PLAN @ 1/A-4
18	6'-0"	1'-6"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	(UNIT # 106) BEDROOM # 1 (2ND FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE LEFT SIDE / SOUTHWEST @ 2/A-6 SECOND FLR. PLAN @ 1/A-4

DOORS & WINDOWS NOTE :

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL NEW WINDOWS ARE TO BE IN FIBERGLASS TYPE DUAL GLASS, UNLESS OTHERWISE STATED. (SEE WINDOW SCHEDULE ABOVE).
- ALL GLASS DOOR ARE TO BE IN FIBERGLASS TYPE W/ TEMP. GLASS. (SEE DOOR SCHEDULE ABOVE).
- ALL DOORS & WINDOWS SHALL MEET CITY OF LOS ANGELES COUNTY SECURITY ORDINANCE.
- ALL ENTRANCE DOOR TO RESIDENTIAL UNITS FROM INTERIOR CORRIDOR SHALL HAVE A MINIMUM STC RATING OF 30. SOLID CORE 1-3/8-IN. THICK WOOD DOORS, WITH ACOUSTIC SEALS ALL AROUND PERIMETER INCLUDING THRESHOLDS WILL MEET THIS REQUIREMENTS. (BCM 1207 A1) SHALL BE TEMPERED.
- ALL WINDOWS AND GLASS DOORS SHALL BE DUAL GLAZING IN HAZARDOUS LOCATIONS.
- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SQ. FT. MINIMUM AREA AND 44" MAXIMUM SILL. GLAZING IN THE FOLLOWING LOCATIONS SHOULD BE SAFETY GLAZING MATERIAL IN ACCORDANCE WITH SECTION 2406.4 :
  - GLAZING. EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI-LAYERED GLASS PANELS, GLASS BLOCK, OR HAVE A FIRE PROTECTION RATING OF LESS THAN 20 MINUTES.
  - EXCEPTION : STAINED-GLASS PANEL MAY BE INSTALLED PROVIDED A BACK PANEL OF TEMPERED GLASS IS INSTALLED BEHIND THE STAINED-GLASS PANEL.
- DOORS. NONCOMBUSTIBLE EXTERIOR DOORS, 1-3/4 INCH SOLID CORE WOOD, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH CBC R327.8.3.
  - EXCEPTION : GARAGE DOORS AND VEHICLE ACCESS DOORS.

WINDOW TYPES :



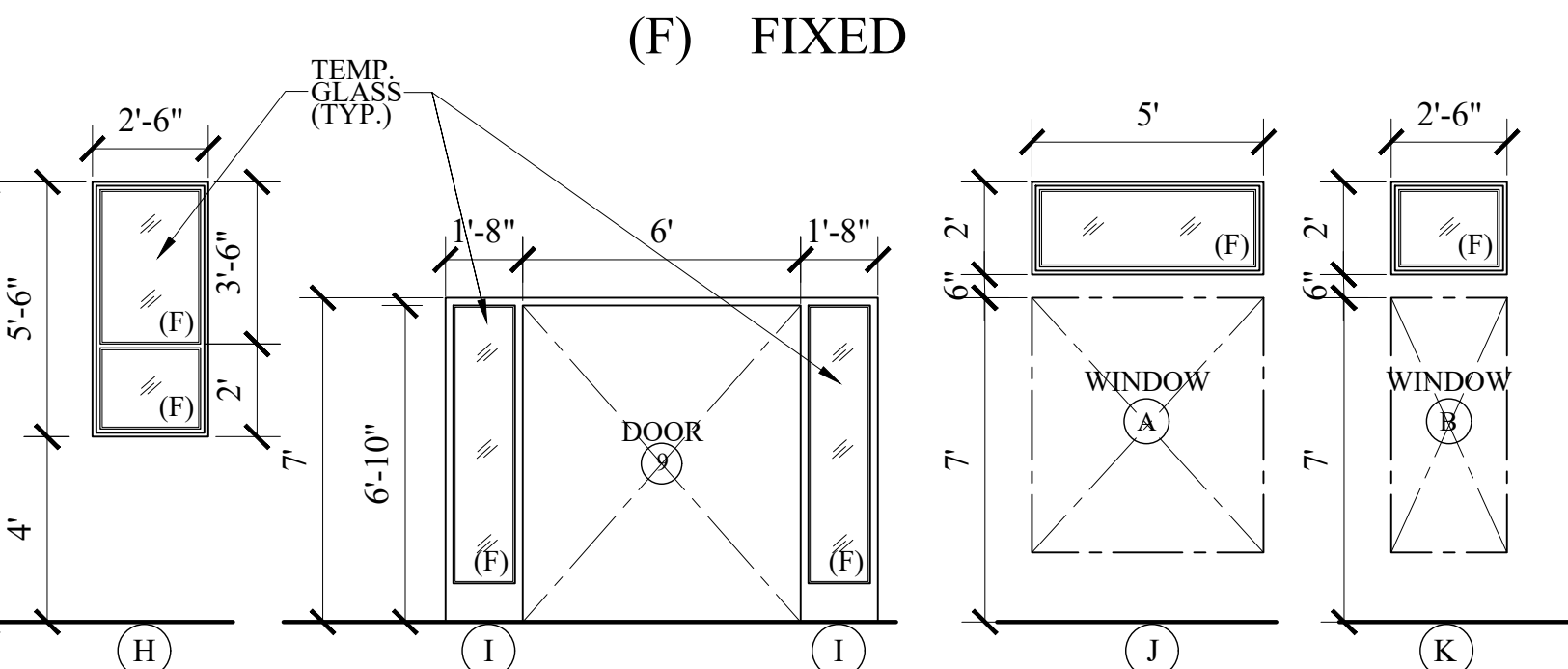
SCHEDULE OF DOORS :

DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
1	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD	UNIT # 101 TO # 106 ENTRY FROM BASEMENT GARAGE TO UNIT STAIR LEADING TO FIRST FLOOR	20 MINS. FIRE RATED CONST. DOOR. SELF-CLOSING & SELF-LATCHING BASEMENT FLOOR PLAN @ 1/A-2
2	17'-0"	7'-0"	PER MANUF.	LIFT-UP CONTROL	ALUM.	(UNIT # 101 TO # 106) BASEMENT GARAGE ENTRY	BASEMENT FLOOR PLAN @ 1/A-2
3	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	UNIT # 106 LAUNDRY (BASEMENT FLOOR) REAR / SOUTHWEST OF THE BLDG.	BASEMENT FLOOR PLAN @ 1/A-2
4	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	METAL	STORAGE (BASEMENT FLR.) REAR / SOUTHWEST OF THE BLDG.	BASEMENT FLOOR PLAN @ 1/A-2 & REAR / SOUTHWEST ELEV. @ 2/A-7 (PROVIDE LOCK)
5	5'-0"	6'-10"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 101 LIVING (FIRST FLR.) FRONT / NORTHEAST OF THE BLDG.	SEE FIRST FLR. PLAN @ 1/A-3, FRONT / NORTHEAST @ 1/A-6
6	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD W/ TEMP. GLASS	UNIT # 101 LIVING ENTRY (FIRST FLR.) LEFT SIDE / SOUTHWEST OF THE BLDG.	SEE FIRST FLR. PLAN @ 1/A-3, LEFT SIDE / SOUTHWEST @ 2/A-6
7	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	FIBERGLASS W/ TEMP. GLASS	UNIT # 101 KITCHEN (FIRST FLR.) RIGHT SIDE / NORTHEAST OF THE BLDG.	SEE FIRST FLR. PLAN @ 1/A-3, RIGHT SIDE / NORTHEAST @ 1/A-7
8	6'-0"	6'-10"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 101 TO # 105 DINING AREA (FIRST FLR.) RIGHT SIDE / NORTHEAST OF THE BLDG.	SEE FIRST FLR. PLAN @ 1/A-3, RIGHT SIDE / NORTHEAST @ 1/A-7
9	6'-0"	6'-10"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 106 DINING AREA (FIRST FLR.) REAR / SOUTHWEST OF THE BLDG.	SEE FIRST FLR. PLAN @ 1/A-3, REAR / SOUTHWEST ELEVATION @ 2/A-7
10	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	UNIT # 101 ACCESS. RESTRM. UNIT #102 TO #106 POWDER ROOMS (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
11	4'-8"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD W/ LOUVER	UNIT # 101 TO # 105 LAUNDRY (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
12	2'-6"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD W/ LOUVER	UNIT # 102 TANKLESS WATER HEATER RM. (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
12a	1'-10"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD W/ LOUVER	UNIT # 103 & # 105 TANKLESS WATER HEATER RM. (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
12b	1'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD W/ LOUVER	UNIT # 104 TANKLESS WATER HEATER RM. (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
13	3'-8"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD W/ LOUVER	UNIT # 101 TANKLESS WATER HEATER RM. (FIRST FLOOR)	SEE FIRST FLR. PLAN @ 1/A-3
14	5'-0"	6'-10"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 101 BEDROOM # 1 ACCESS TO BALCONY (2ND FLR.) FRONT / NORTHEAST OF THE BLDG.	SEE FRONT / NORTH EAST ELEVATION @ 1/A-6 SECOND FLR. PLAN @ 1/A-4
15	6'-0"	6'-10"	PER MANUF.	SLIDING	FIBERGLASS W/ TEMP. GLASS	UNIT # 102 TO # 106 BEDROOM # 3 & UNIT # 106 BEDROOM # 1 RIGHT SIDE / NORTHEAST & REAR / SOUTHWEST OF THE BLDG.	SEE RIGHT SIDE / NORTHEAST ELEV. @ 1/A-7, REAR / SOUTHWEST ELEV. @ 2/A-7, SECOND FLR. PLAN @ 1/A-4
16	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	FIBERGLASS W/ TEMP. GLASS	UNIT # 102 TO # 106 LEFTSIDE / SOUTHWEST OF THE BLDG. (SECOND FLOOR)	SEE LEFTSIDE / SOUTHWEST ELEV. @ 2/A-6 SECOND FLR. PLAN @ 1/A-4
17	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	UNIT # 101 TO # 106 BEDRM. #1, #2 & #3, BATH #1 & #2, UNIT #101 & #106 WALK-IN-CLO. @ BEDRM. #1 (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
18	2'-8"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	UNIT # 101 CLOSET @ BEDROOM # 2 (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
19	5'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	UNIT # 101 CLOSET @ BEDROOM # 2 (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
20	5'-6"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	UNIT # 101 CLOSET @ BEDROOM # 3 (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
21	6'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	UNIT # 102 TO # 105 CLOSETS @ BEDRM. # 1 & 3, (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
22	7'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	UNIT # 102 TO # 106 CLOSETS @ BEDRM. # 2, UNIT # 106 BEDRM. # 3 (SECOND FLOOR)	SEE SECOND FLR. PLAN @ 1/A-4
23	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD	UNIT # 101 TO # 106 STAIR ACCESS TO ROOF DECK	SEE ROOF PLAN @ 1/A-5
24	3'-2"	6'-10"	PER MANUF.	SINGLE SWING	METAL	RECYCLE ROOM (BASEMENT FLOOR)	SEE BASEMENT FLOOR PLAN @ 1/A-2
25	3'-8"	6'-10"	PER MANUF.	SINGLE SWING	METAL	ELECT. ROOM (BASEMENT FLOOR)	SEE BASEMENT FLOOR PLAN @ 1/A-2
26	5'-8"	6'-10"	PER MANUF.	DOUBLE SWING	METAL	TRASH ENCLOSURE RM. (BASEMENT FLOOR)	SEE BASEMENT FLOOR PLAN @ 1/A-2

DOORS & WINDOWS NOTE CONT. :

- ENERGY EFFICIENCY STANDARDS. NEW WINDOWS MUST MEET THE FOLLOWING REQUIREMENTS :
  - 0.3 MAXIMUM U-FACTOR.
  - 0.3 MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC).
  - SINGLE-PANE WINDOWS ONLY PERMITTED IF THESE STANDARDS ARE MET (GENERALLY THROUGH APPLICATION OF E-COATING)
  - THE NFRC TEMPORARY LABELS DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

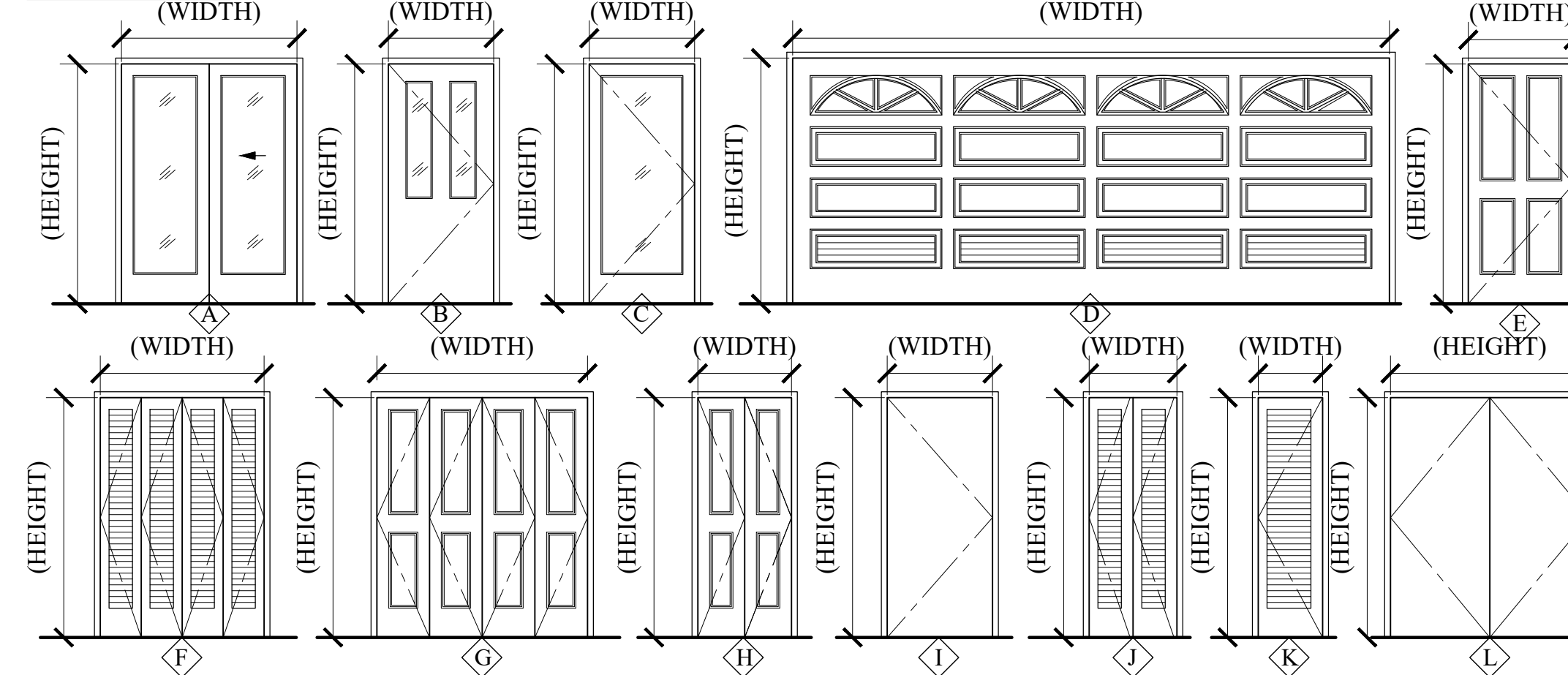
LEGENDS :



ADDITIONAL DOOR NOTES :

- BASEMENT, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. RESIDENTIAL CODE R310.1 AND BUILDING CODE 1030.1.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. THE MINIMUM CLEAR HEIGHT OF THE DOOR SHALL NOT BE LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. RESIDENTIAL CODE R311.2 & BUILDING CODE 1010.1.1.

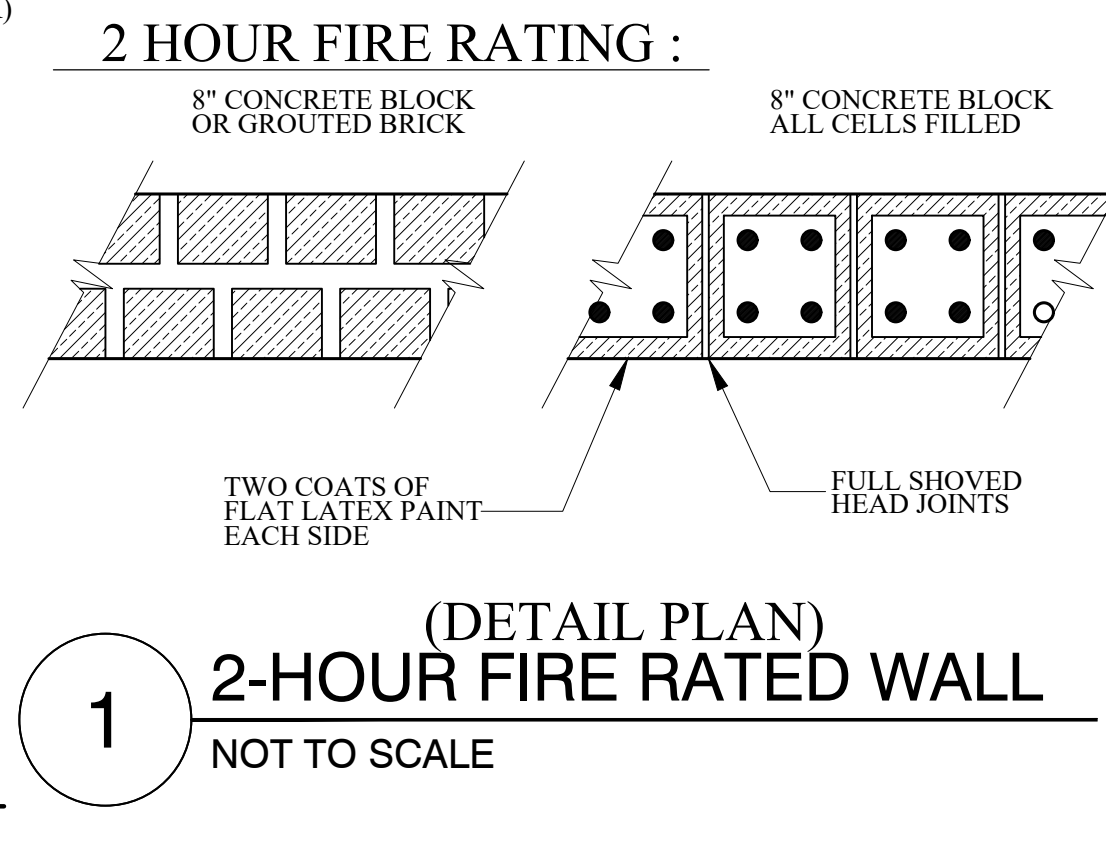
DOOR TYPES :



FINISH SCHEDULES FOR ALL UNITS

ROOMS	FLOOR	CEILING	WALLS	BASE
	CARPET	ACOUSTIC	D. WALL	WOOD
	CERAMIC	ACOUSTIC SPRAY	BLOCK WALL	CERAMIC
	MARBLE/STONE	WB PAINT	WB PAINT	CONCRETE
	CONCRETE	OL. B. PAINT	OL. B. PAINT	
	ELASTOMERIC	STUCCO	STUCCO	
	WOOD	CONC.	CONC.	
	D. WALL			
LIVING ROOM				
DINING ROOM				
KITCHEN				
BEDROOM # 1				
BEDRM. # 2 TO # 3				
FIRST FLOOR HALLWAY				
LAUNDRY				
ACCESS. RESTROOM				
ALL BATHS & POWDER RM.				
ALL BEDRMS. CLOSETS				
BALCONIES				
STAIR FROM BASEMENT				
STAIRWAY 1ST 2ND				
BASEMENT GARAGE				
PARKING / DRIVEWAY				

FIRE DEPARTMENT STAMP

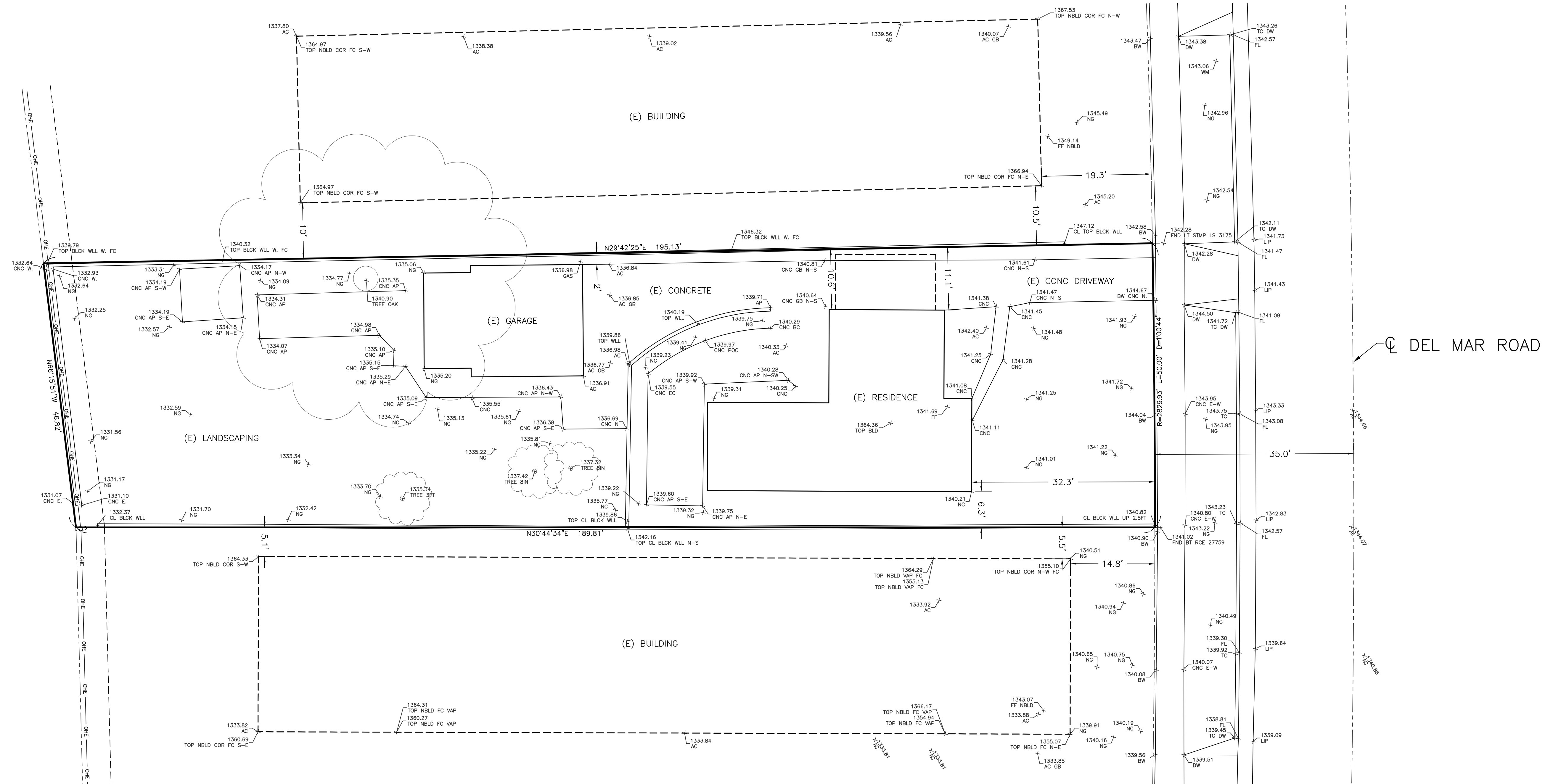


Revisions	By

ASSOCIATES  
building design + interior  
1224 E. BROADWAY, SUITE 202,  
Glendale, CA 91205  
(818) 956-0570

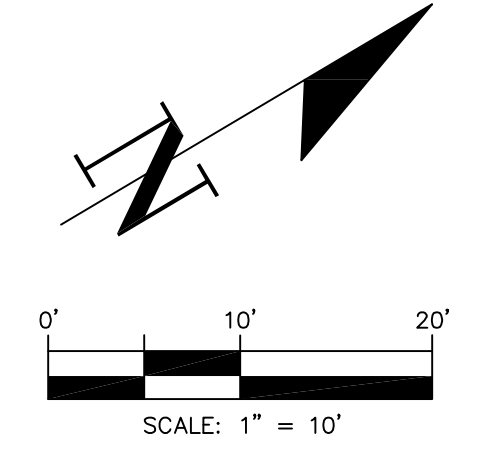
PROPOSED 6 UNITS 2-STORY WITH  
BASEMENT GARAGE APARTMENT  
BUILDING  
WALTONIA LLC  
2242 DEL MAR RD., MONTEROSE, CA. 91020  
OWNER:  
DRAWG. TITLE: SCHED. OF DOOR, WINDOWS & FINISHES & NOTES

Drawn by  
NEIL A.  
Checked by  
V. J.  
Date  
FEB. 22, 2023  
Scale  
1/4" = 1'-0"  
Job No.  
Sheet No.  
A-12  
of Sheets



**ABBREVIATIONS:**

- AC = ASPHALT CONCRETE
- AP = ANGLE POINT
- CNC = CONCRETE
- CLK = CHAIN-LINK
- COR = CORNER
- DI = DROP INLET
- DW = DRIVEWAY
- (E) = EXISTING
- EP = EDGE OF PAVEMENT
- FD = FOUNT
- FC = FACE OF
- FF = FINISH FLOOR
- FL = FLOWLINE
- FN = FENCE
- GR = GRASS
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- R/W = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- R/W = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- SPG = WATER SPIGOT
- SMH = SEWER MANHOLE
- STP = STEP
- TC = TOP OF CURB
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- WD = WOOD
- WI = WROUGHT IRON
- WLL = WALL



**LEGEND:**

- ⊙ (E) POWER POLE
- ⊙ (E) SEWER MANHOLE
- x — (E) FENCE
- OHE — (E) OVERHEAD POWER

**BENCHMARK:**

BENCH MARK: 9Y9969  
 DATUM: NAVD 1988  
 ELEVATION: 1324.779 FEET  
 DESCRIPTION: RDBM TAG IN ELY CB OCEAN VIEW BLVD CB  
 2FT N/O BCR @ NE COR MONTROSE AVE

**LEGAL DESCRIPTION:**

PORTION OF LOT 244 OF TRACT NO. 1701, MAP  
 BOOK 22, PAGE 178

**LAND AREA:**

CONTAINING AN AREA OF 9292 SQUARE FEET, MORE OR LESS

**BASIS OF BEARINGS:**

THE BEARING OF N00°35'18"E, SHOWN BY THE  
 CENTERLINE OF OCEAN VIEW BOULEVARD ON  
 TRACT NO. 44811, MAP BOOK 1093, PAGE 90,  
 WAS USED AS THE BASIS OF BEARINGS HEREON.

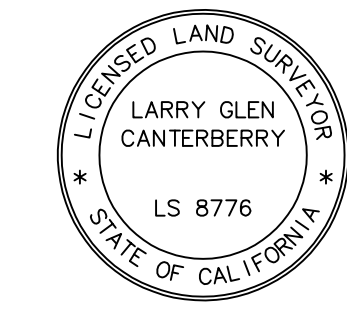
**NOTES:**

ALL DISTANCES AND DIMENSIONS SHOWN HEREON  
 ARE IN FEET AND DECIMALS THEREOF.  
 NO TITLE REPORT WAS PROVIDED FOR THIS SURVEY.

**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND  
 IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE  
 CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT  
 THE REQUEST OF WALTONIA LLC IN DECEMBER OF 2020.

*Larry G. Canterberry*  
 LARRY G. CANTERBERRY, LS 8776 12/17/20 DATE



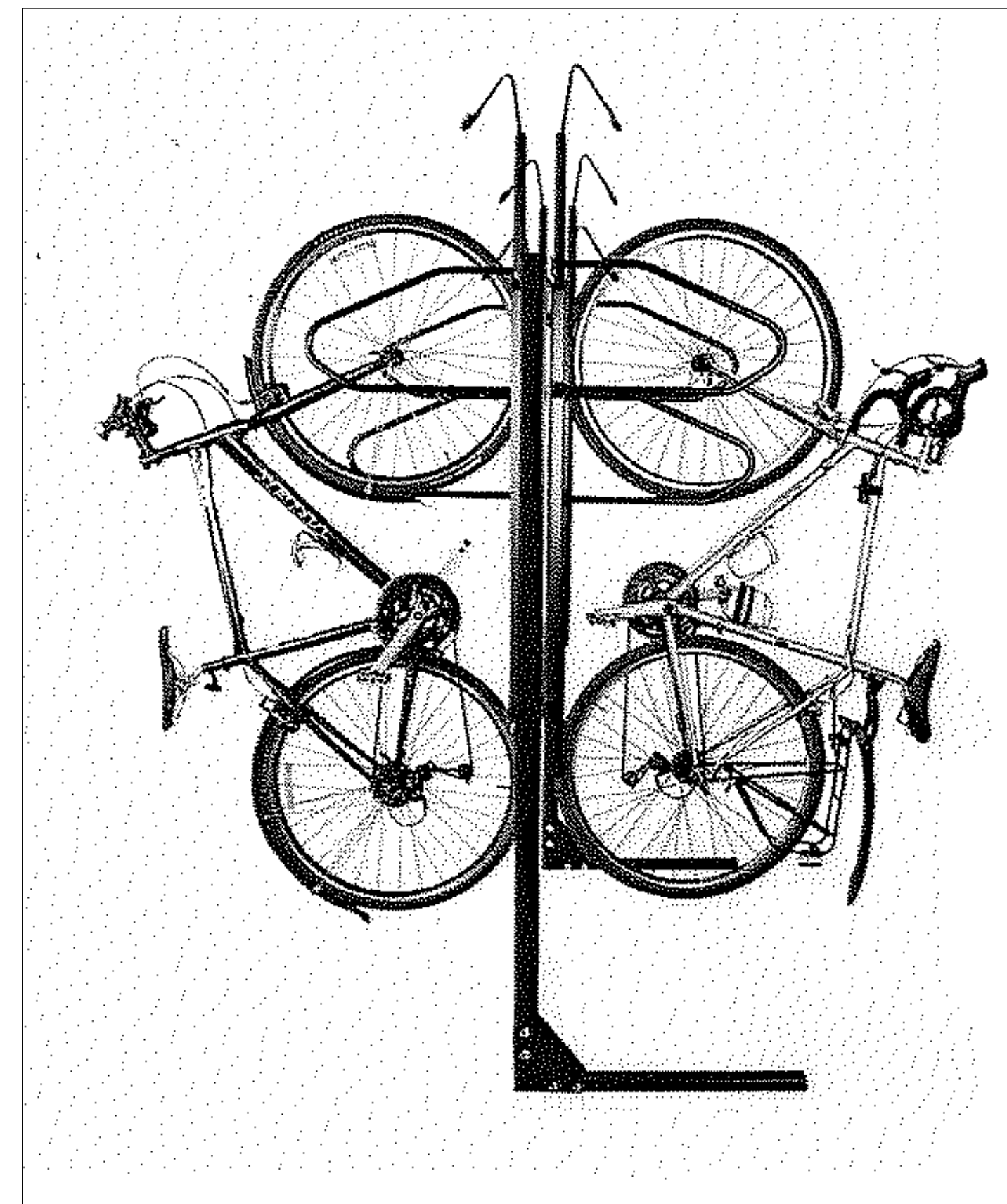
PREPARED BY:  
**CALIFORNIA ENGINEERING & SURVEYING INC**  
 5210 MOLISE COURT, BAKERSFIELD, CA 93308  
 (661) 809-7372 glen@calengr.com

DRAWN: GC  
 CHECKED: GC  
 DATE: 12/17/20  
 JOB NO: 20-1874  
 DWG. NAME: TOPO

**2242 DEL MAR ROAD**  
**TOPOGRAPHIC SURVEY**  
**MONTROSE, CA 91020 APN 5807-003-013**

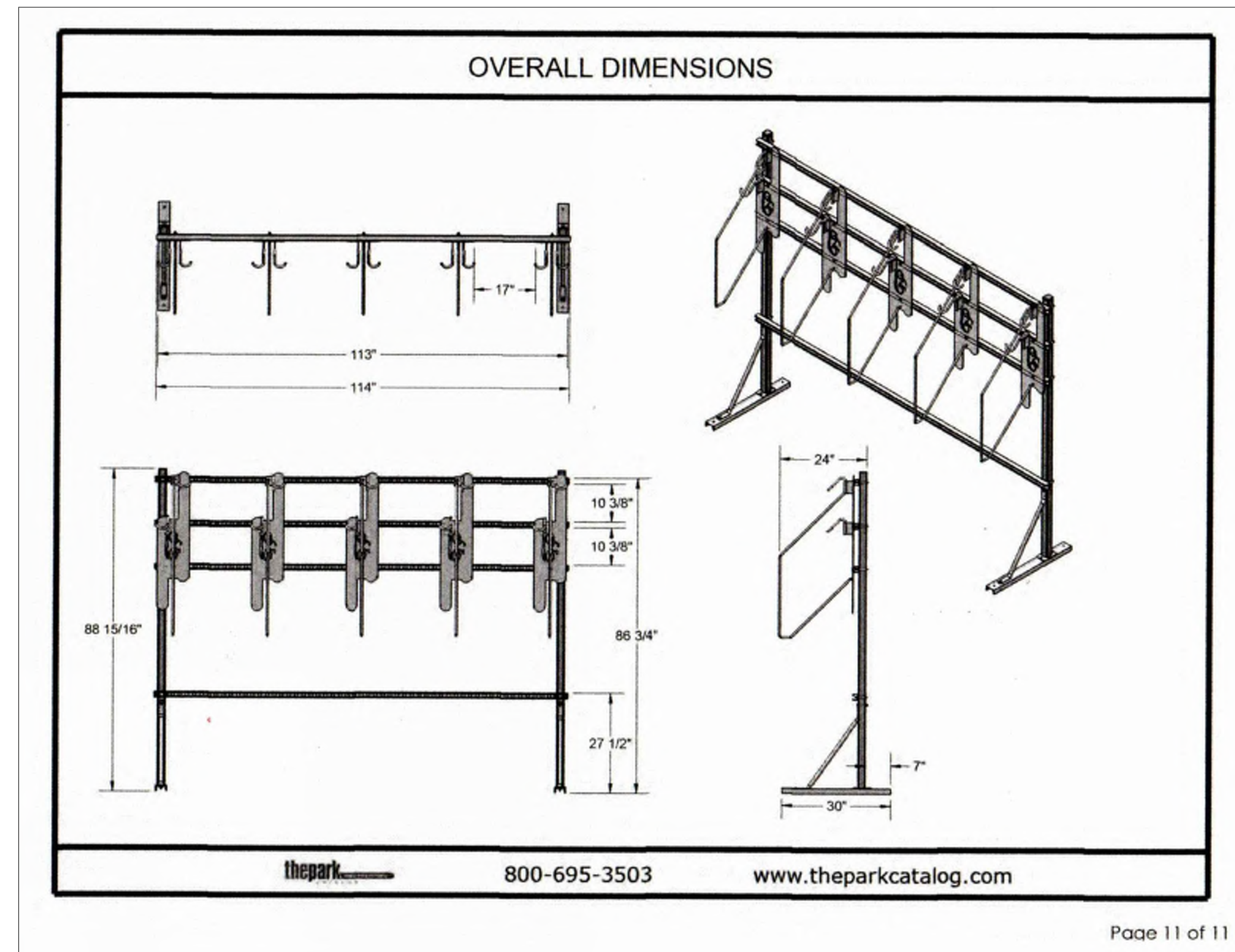
REVISIONS

SHEET NO. 1 OF 1 SHEETS

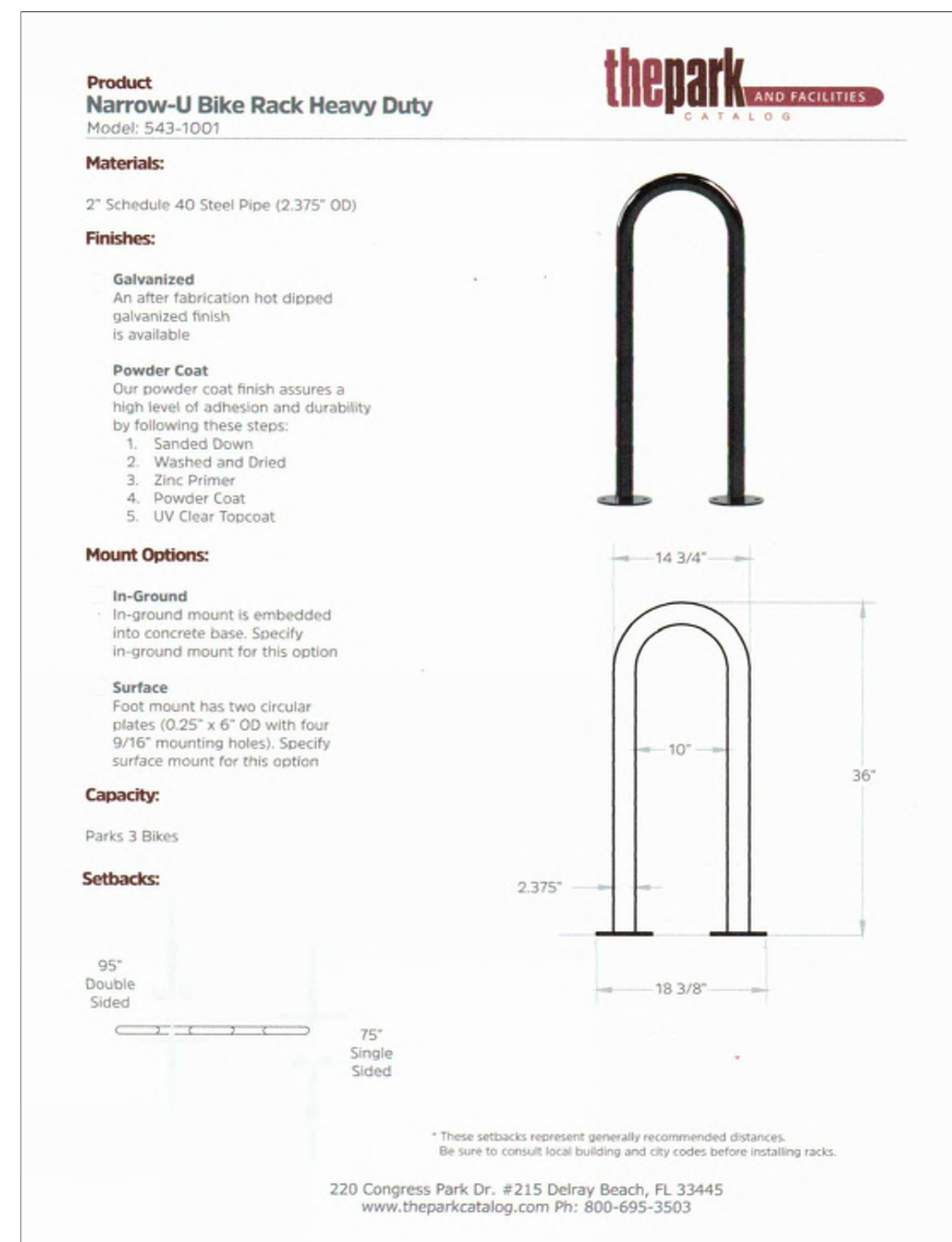


**BIKE RACKS SPECIFICATIONS :**  
 FREE STANDING  
 / DOUBLE SIDED  
 6 - 18 BIKE CAPACITY  
 BIKE SPACING : 18" - CEILING HEIGHT : 84"  
 FLOOR MOUNT  
 NON LOCKING OR LOCKING

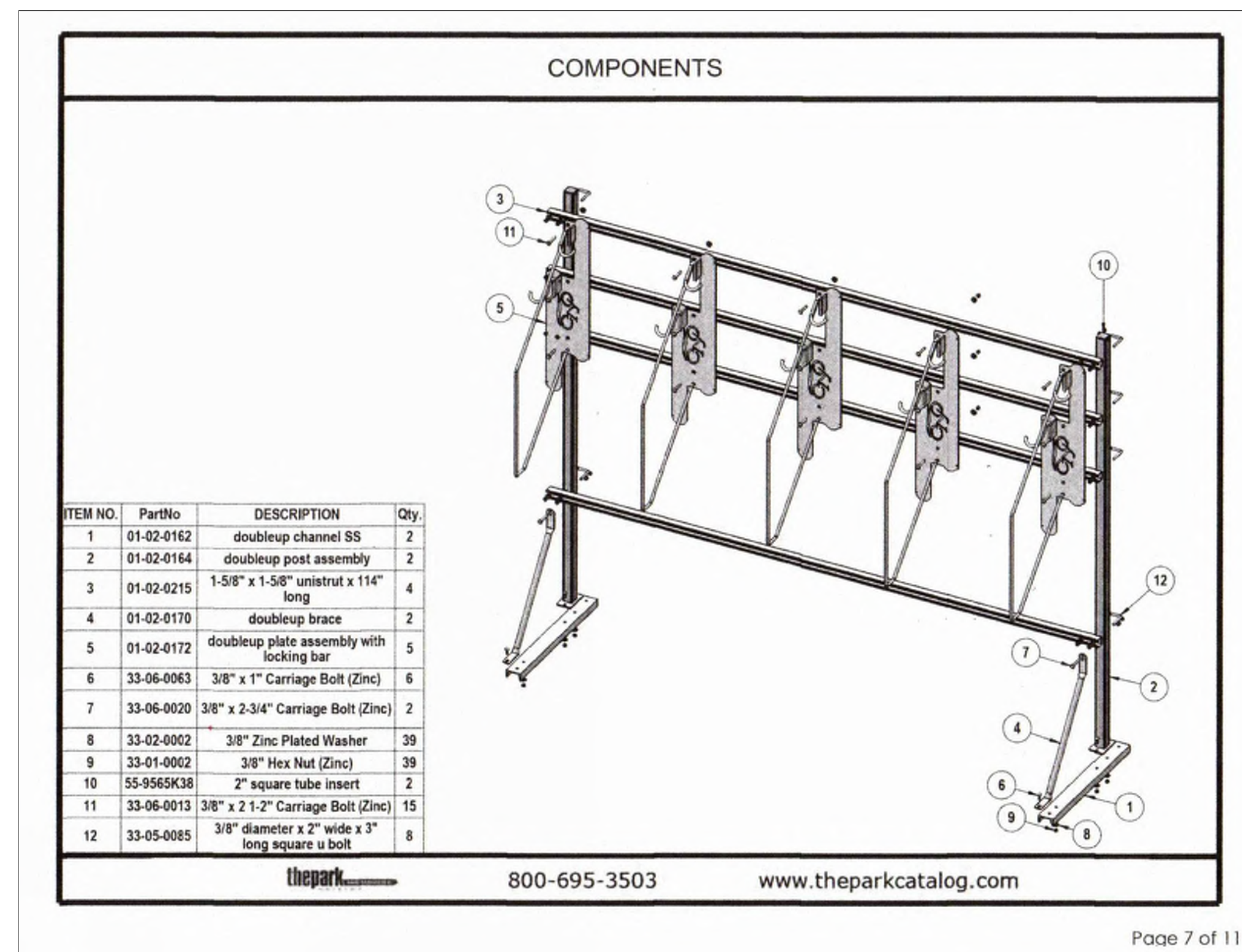
**1b** (LONG TERM BICYCLE PARKING)  
**TYP. BICYCLE RACK PARKING DET.**  
 SCALE : 3/16" = 1'-0"



**1** (LONG TERM BICYCLE PARKING)  
**TYP. BICYCLE RACK PARKING DET.**  
 SCALE : 3/16" = 1'-0"



**2** (SHORT TERM BICYCLE PARKING)  
**TYP. BICYCLE RACK PARKING DET.**  
 SCALE : 3/16" = 1'-0"



**1a** (LONG TERM BICYCLE PARKING)  
**TYP. BICYCLE RACK PARKING DET.**  
 SCALE : 3/16" = 1'-0"

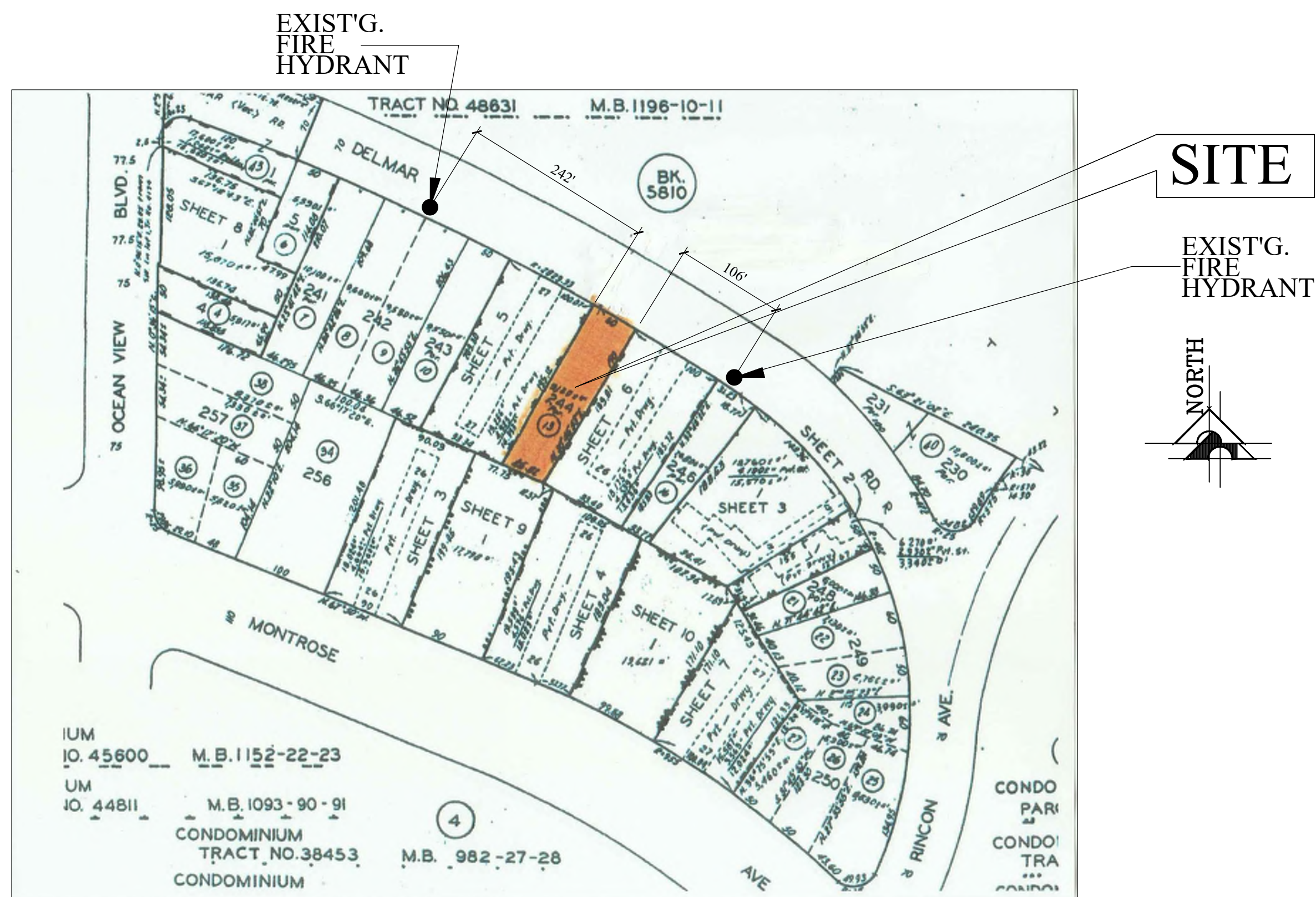
Revisions	By

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF V J & ASSOCIATES AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF V J & ASSOCIATES. ANY UNAUTHORIZED USE OF THESE DRAWINGS IS PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

**V J & ASSOCIATES**  
 building design • planning • interior  
 1224 E. BROADWAY, SUITE 202,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**  
 OWNER : **WALTONIA LLC**  
 2242 DEL MAR RD., MONTEROSE, CA. 91020  
 DRAWG. TITLE : **TYP. BICYCLE RACK PARKING DETAILS,**

Drawn by  
**NEIL A.**  
 Checked by  
**V. J.**  
 Date  
**JULY 29, 2024**  
 Scale  
**3/16" = 1'-0"**  
 Job No.  
 Sheet No.  
**AD-1**  
 of Sheets



1 EXIST'G. HYDRANT LOCATION  
SCALE : 1/8" = 1'-0"



2 EXIST'G. HYDRANT LOCATION (AERIAL VIEW)  
SCALE : 1/8" = 1'-0"

FIRE FLOW TEST FORM & FIRE FLOW AVAILABILITY FOR BUILDING PERMIT :

**COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION**  
 Fire Prevention Engineering  
 5823 Rickenbacker Road  
 Commerce, CA 90040  
 Telephone (323) 890-4125 Fax (323) 890-4129

**Information on Fire Flow Availability for Building Permit**  
**For All Buildings Other Than Single Family Dwellings (R-3)**

**INSTRUCTIONS:**  
 Complete parts I, II (A) when:  
 Verifying fire flow, fire hydrant location and fire hydrant size.  
 Complete parts I, II (A), & II (B) when:  
 For buildings equipped with fire sprinkler systems, and/or private on-site fire hydrants.

**PROJECT INFORMATION (To Be Completed By Applicant)**

**PART I**

Building Address: 2242 DEL MAR RD  
 City or Area: MONTROSE CA 91020  
 Nearest Cross Street: \_\_\_\_\_  
 Distance of Nearest Cross Street: \_\_\_\_\_  
 Applicant: VARIAN JANGOUZIAN Telephone: (818) 207-1114  
 Address: 1224 E BROADWAY #202  
 City: GLENDALE  
 Occupancy (Use of Building): RESIDENTIAL Sprinklered: Yes  No   
 Type of Construction: VA  
 Square Footage: 11,809 SF Number of Stories: 2 STORY  
 Present Zoning: R-3 W/BASEMENT GARAGE

Applicant's Signature: \_\_\_\_\_ Date: APR 15/2022

**CRESCENTA VALLEY WATER DISTRICT FIRE FLOW TEST FORM**

**REQUEST**  
 Applicant's Name & Address: VARIAN JANGOUZIAN Applicant's Telephone: (818) 207-1114  
1224 E BROADWAY #202 GLENDALE CA 91020  
6/16/2022 (818) 956-0570

Property Owner or  Owner's Representative

Address of Building Requiring Fire Flow Test: 2242 DEL MAR RD  
MONTROSE CA 91020

Zoning: R-3 Type of Construction: VA

Occupancy or Use: RESIDENTIAL Fire Flow Requirements: \_\_\_\_\_ gpm @ \_\_\_\_\_ hr. duration as required by L.A. County/Glendale Fire Department

Signature of Applicant: \_\_\_\_\_ Date: APR 27/2022 CK# 2996  
 District Approval of Flow Test: \_\_\_\_\_ Date: 6/16/2022  Fee Paid

**RESULTS:**

To Be Completed By Tester:  
 Flow Hydrant Distance from Structure: 106'  
 Flow Hydrant Static Pressure: 110 P.S.I.  
 Flow Hydrant Pitot Gauge Read (psi): 75 P.S.I.  
 Flow Hydrant Orifice Size (in.): 2.5"  
 Flow Rate (gpm): 1,454  
 Flow Rate @ 20 psi Residual: 4,887  
 Residual Hydrant Static Pressure (psi): 105  
 Residual Hydrant Residual Pressure (psi): 96  
 Tester's Name: David Rawlings  
 Tester's Company: Crescenta Valley Water  
 Tester's Phone: (818) 248-3925

To Be Completed By District:  
 Flow Hydrant No.: Page 32 F.H. #1  
 Flow Hydrant Street: Del Mar  
 Flow Hydrant Cross Street: Rincon  
 Flow Hydrant Dist. to Cross Street: 360'  
 Flow Hydrant Size: 6" x 4" x 2.5"  
 Flow Hydrant Main Size: 8"  
 Residual Hydrant No.: Page 29 F.H. #16  
 CVWD Witness: PETER MILKE  
 Flow Test Date: 6.15.22 11:00 am  
 Comments: Flowed for 4 mins

NOTES :

1. SPACING OF FIRE HYDRANTS SHALL NOT EXCEED THE DISTANCES SPECIFIED IN FIRE CODE C105 & C106

TABLE C102.1  
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS

FIREFLOW REQUIREMENTS (gpm)	MIN. NUMBERS OF HYDRANTS	AVERAGE SPACING a,b,c,f,g BETWEEN HYDRANTS (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR RD. FRONTAGE TO A HYDRANT d, f, g
1,750 OR LESS	1	500	250

EXISTING FIRE HYDRANTS:  
 FLOW RATE (gpm) = 1,454  
 FLOW HYDRANT DISTANCE FROM STRUCTURE = 106' (EXISTING HYDRANT 1)  
 = 242' (EXISTING HYDRANT 2)  
 FLOW HYDRANT MAIN SIZE = 8"

FIRE DEPARTMENT STAMP

**PART II-A INFORMATION ON FIRE FLOW AVAILABILITY (To be completed by Water Purveyor)**

Location: 2242 Del Mar Rd, Montrose CA, 91020 Hydrant Number: Page 32 F.H. #1

Distance from Nearest Property Line: 106' Size of Hydrant: 6" x 4" x 2.5" Size of Water main: 8"

Static PSI: 105 Residual PSI: 96 Orifice size: 2.5" Pitot: 75 PSI

Fire Flow at 20 PSI: 4,887 Duration: 2 hours Flow Test Date / Time: 6.15.22 11:00 am

**PART II-B SPRINKLERED BUILDINGS/PRIVATE FIRE HYDRANTS ONLY**

Detector Location (check one)  Above Grade  Below Grade  Either

Backflow Protection Required (Fire Sprinklers/Private Hydrant) (check one)  Yes  No

Minimum Type of Protection Required (check one)  Single Check Detector Assembly  Double Check Detector Assembly  Reduced Pressure Principle Detector Assembly

Water Purveyor: Crescenta Valley WTD Signature: \_\_\_\_\_ Date: 6/16/2022 Title: Engineering Manager

This information is considered valid for twelve months.

Fire Department approval of building plans shall be required prior to the issuance of a Building Permit by the jurisdictional Building Department. Any deficiencies in water systems will need to be resolved by the Fire Prevention Division prior to this department's approval of building plans.

Revisions	By

**V J & ASSOCIATES**  
 building design • interior  
 1224 E. BROADWAY, SUITE 202,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE: **PROPOSED 6 UNITS 2-STORY WITH BASEMENT GARAGE APARTMENT BUILDING**

PROJ. ADDRESS: **2242, DEL MAR RD., MONTROSE, CA. 91020**

OWNER: **WALTONIA LLC**  
 2242 DEL MAR RD., MONTROSE, CA. 91020

DRWG. TITLE: **EXISTING HYDRANT LOCATION & FIREFLOW TEST**

Drawn by: **NEIL A.**  
 Checked by: **V. J.**  
 Date: **FEB. 22, 2023**  
 Scale: **1/8" = 1'-0"**  
 Job No.: \_\_\_\_\_

Sheet No.: **FP-1**



**PROJECT NUMBER** PRJ2022-003300-(5)  
**HEARING DATE** November 19, 2024  
**REQUESTED ENTITLEMENTS**  
 Oak Tree Permit (“OTP”) No. RPPL2022011582

## PROJECT SUMMARY

**OWNER / APPLICANT**  
 Waltonia LLC/Hamlet Hovespyan

**MAP/EXHIBIT DATE**  
 September 18, 2023

### PROJECT OVERVIEW

The Project is a request for an OTP to allow for the removal of one (non-heritage) dual-trunk oak tree to accommodate the construction of a six-unit townhouse project with subterranean garage containing 12 automobile parking spaces (two per six interior-partitioned garages) and five bicycle parking spaces (two short-term and three long-term) to be separately reviewed under related Ministerial Site Plan Review No. RPPL2022010001 and with an affordable set-aside of one unit for lower income households to be reviewed under related Administrative Housing Permit (“AHP”) No. RPPL2021008028. The existing single-family residence and detached garage will be demolished. Two on-site replacement oak trees will be planted as required by the Los Angeles County (“County”) Forester. As part of the associated AHP, two waivers from development standards are sought: (1) to exceed the maximum height (35 feet) to 39 feet 2½ inches, and (2) to allow an 8-inch side yard setback at the basement level in lieu of the required 5-foot side yard setback.

**LOCATION**  
 2242 Del Mar Road, Montrose

**ACCESS**  
 Del Mar Road

**ASSESSORS PARCEL NUMBER**  
 5807-003-013

**SITE AREA**  
 0.21 acres (9,120 square feet)

**GENERAL PLAN / LOCAL PLAN**  
 General Plan

**ZONED DISTRICT** Montrose  
**PLANNING AREA** West San Gabriel Valley

**LAND USE DESIGNATION**  
 H30 (Residential 30 - 20 to 30 dwelling units per net acre)

**ZONE**  
 R-3 (Limited Density Multiple Residence)

**PROPOSED UNITS** 6 units  
**MAX DENSITY/UNITS** 7 units

**COMMUNITY STANDARDS DISTRICT**  
 La Crescenta-Montrose

### ENVIRONMENTAL DETERMINATION (CEQA)

- Class 3 – New Construction or Conversion of Small Structures, Categorical Exemption under State CEQA Statute and Guidelines Section 15303.
- Class 4 - Minor Alterations to Land, Categorical Exemption under State CEQA Statute and Guidelines Section 15304.

### KEY ISSUES

- Consistency with the County General Plan
- Satisfaction of the following portions of Title 22 of the County Code:
  - Section 22.174.060 (OTP Findings)
  - Chapter 22.328 (La Crescenta – Montrose CSD requirements)
  - Section 22.18.040 (Development Standards for Residential Zones)
  - Chapter 22.121 (Inclusionary Housing)
  - Section 22.120.090 (Waivers or Reductions of Development Standards)

**CASE PLANNER:**  
 Anthony M. Curzi

**PHONE NUMBER:**  
 (213) 873 - 7016

**E-MAIL ADDRESS:**  
[acurzi@planning.lacounty.gov](mailto:acurzi@planning.lacounty.gov)

LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING  
DRAFT FINDINGS OF THE HEARING OFFICER  
AND ORDER  
PROJECT NO. PRJ2022-003300-(5)  
OAK TREE PERMIT NO. RPPL2022011582

**RECITALS**

1. **HEARING DATE.** The Los Angeles County (“County”) Hearing Officer conducted a duly noticed public hearing in the matter of Oak Tree Permit ("OTP") No. **RPPL2022011582** on November 19, 2024.
2. **HEARING PROCEEDINGS.** *Reserved*
3. **ENTITLEMENT REQUESTED.** The Permittee, Hamlet Hovespyan ("Permittee"), requests the OTP to authorize the removal of one non-heritage oak tree to accommodate the construction of a six-unit townhouse building with one affordable housing set-aside (“Project”) on a property located at 2242 Del Mar Road (Assessor’s Parcel Number: 5807-003-013) in the unincorporated community of Montrose ("Project Site") in the R-3 (Limited Density Multiple Residence) Zone pursuant to County Code Section 22.174.030 (Applicability).
4. **RELATED ENTITLEMENTS.** Ministerial Site Plan Review No. RPPL2022010001 (“related SPR”) and Administrative Housing Permit No. RPPL2021008028 (“related AHP”) are related requests to construct a six-unit townhouse building with a subterranean parking level (“associated townhouse development”). The associated townhouse development consists of the following:
  - Demolish an existing vacant (previously owner-occupied) single-family residence (“SFR”) and detached garage.
  - Construct a six-unit townhouse with a subterranean parking level. Each rental unit will consist of three bedrooms, two full bathrooms, powder room (half bathroom) and two assigned parking spaces. A 903-square-foot open area is provided in the rear yard.
  - Set aside proposed one unit of six rental units to be income-restricted for a lower income household (set at 80% of the Area Median Income level), as required by the County Inclusionary Housing Ordinance.
  - Request two waivers for a reduction in the east side yard setback for subterranean parking garages (from 5 feet to provided 8 inches) and increase in the maximum height (from 35 feet to roughly over 39 feet) under the Density Bonus Ordinance.
  - Install five bicycle parking spaces (two short-term and three long-term)
  - Nearly 890 square feet of landscaping in the front and rear yard.

The impacted non-heritage oak tree is a dual-trunk oak measuring 25 and 27 inches at diameter at breast height (4½ feet above grade level) and is located in the existing rear yard. There are no alternatives to removing the tree due to its location on the property, which is a relatively small and narrow lot that measures 46 feet 10 inches at its narrowest point and 50 feet at its widest. The lot is also 195 feet-1½ inch deep with a total lot size of 9,120 square feet. While the tree trunk is very close to the western property line, most of its canopy extends to one side, over the subject lot, covering approximately 1,700 square feet (19 percent) of the subject property. Therefore, to accommodate the type and density of development allowed as a by-right project, removal of the non-heritage oak tree is necessary. The footprint of the associated development would occupy most of the lot and conflicts with keeping the oak tree in place.

The associated townhouse development site plan/basement garage plan depicts the six-unit, two-story townhouses occupying 5,617 square feet of the 9,120-square-foot lot (approximately 62% lot coverage). The townhouse building will be 39 feet and 2½ inches at maximum height when measured from natural grade, above basement parking with each unit having an enclosed individual garages with direct stairway access to the townhouse units above. Unit sizes will range from 1,451 square feet to 1,749 square feet. All townhouse units will contain three bedrooms and two full bathrooms plus a powder room (half bathroom).

A 21-foot ½-inch-wide driveway leading to the basement parking is depicted. Basement level plans depict the six interior-partitioned two-car garages with 17-foot-wide doors. The dimensions of the garages are 19 feet 5 inches wide by 19 feet deep. Connected to the garages are staircases leading up to each individual unit. A 5-foot-wide concrete pedestrian walkway is depicted alongside the west side of the basement level leading to the rear of the property and then south to stairs up to a walkway that will run along the east side of the building, providing access to each unit's front door. A wheelchair lift is also depicted.

The first-floor plan depicts each of the six townhouse units with kitchen, living room, dining room, laundry room, and powder room (half bathroom) and stairs that lead up to the second floor. The second-floor plan depicts each unit with three bedrooms and two bathrooms.

5. **PREVIOUS ENTITLEMENT.** LA County Planning records were not found for the existing single-family residence ("SFR") and detached garage, but County building records show that those structures were built in 1947.
6. **LAND USE DESIGNATION.** The Project Site is located within the H30 (Residential 30 - 20 to 30 dwelling units per net acre) land use category of the General Plan Land Use Policy Map.

7. **ZONING.** The Project Site is located in the Montrose Zoned District, La Crescenta-Montrose CSD, and is currently zoned R-3 within the West San Gabriel Valley Planning Area.

**8. SURROUNDING LAND USES AND ZONING**

<b>LOCATION</b>	<b>GENERAL PLAN LAND USE POLICY</b>	<b>ZONING</b>	<b>EXISTING USES</b>
NORTH	I-210 Freeway	I-210 Freeway	Freeway
EAST	H30, H18 (Residential 18 – 0 to 18 dwelling units per net acre)	R-3, R-2 (Two-Family Residence)	Multi-family residences (“MFRs”)
SOUTH	H30	R-3	MFRs
WEST	H30, CG (General Commercial)	R-3, C-1 (Restricted Business), C-3 (General Commercial), C-3-DP-BE (General Commercial-Development Program-Billboard Exclusion)	MFRs, medical offices, health club, oxygen therapy, salon, hospice, laboratory.

**9. PROJECT AND SITE PLAN DESCRIPTION.**

**A. Existing Site Conditions**

The Project Site is 0.21 acres (9,120 square feet) in size and consists of one lot. The Project Site is rectangular in shape with gentle-sloping topography and is developed with an SFR with detached garage. A dual-trunk, non-heritage oak tree is located on the property at the western side property line in the existing rear yard, with a canopy that extends over the Project Site.

**B. Site Access**

The Project Site is accessible via Del Mar Road, a 70-foot-wide public street, to the northeast. Primary access to the Project Site will be via a new entrance/exit on Del Mar Road.

**C. Site Plan**

The oak tree map sheet depicts the subject property with the non-heritage oak tree approximately one foot from the western (side) property line and 150 feet from the northern (front) property line. The existing SFR and detached garage to be demolished are also depicted.

The associated townhouse development site plan/basement garage plan depicts the six-unit, two-story townhouses occupying 5,617 square feet of the 9,120-



square-foot lot (approximately 62% lot coverage). The townhouse building will be 39 feet and 2½ inches at maximum height when measured from natural grade, above basement parking with each unit having an enclosed individual garages with direct stairway access to the townhouse units above. Unit sizes will range from 1,451 square feet to 1,749 square feet. All townhouse units will contain three bedrooms and two full bathrooms plus a powder room (half bathroom).

A 21-foot ½-inch-wide driveway leading to the basement parking is depicted. Basement level plans depict the six interior-partitioned two-car garages with 17-foot-wide doors. The dimensions of the garages are 19 feet 5 inches wide by 19 feet deep. Connected to the garages are staircases leading up to each individual unit. A 5-foot-wide concrete pedestrian walkway is depicted alongside the west side of the basement level leading to the rear of the property and then south to stairs up to a walkway that will run along the east side of the building, providing access to each unit's front door. A wheelchair lift is also depicted.

The first-floor plan depicts each of the six townhouse units with kitchen, living room, dining room, laundry room, and powder room (half bathroom) and stairs that lead up the second floor. The second-floor plan depicts each unit with three bedrooms and two bathrooms.

D. Affordable Housing

The associated townhouse development will contain six units, one of which will be income-restricted to lower income households earning up to 80 percent of the Area Median Income ("AMI"). The affordable unit will be identical to the other units in the townhouse project in terms of size, fixtures, etc.

E. Vehicular Parking

Parking will be provided for the associated townhouse development in accordance with the County Code. The County Code Section 22.14.130 under M defines townhouses as a single-family dwelling unit. Therefore, parking is provided at the same ratio as that required for single-family residences, which is two covered spaces. Twelve (12) covered spaces (two each per unit in individual garages) will be provided. No guest parking is required or provided.

F. Bike Parking

Five bicycle parking spaces will also be provided at a ratio of one short-term space per 10 dwelling units with a minimum of two spaces and one long-term space for every two dwelling units, resulting in two short-term and three long-term bicycle parking spaces for the associated townhouse development. The two short-term bicycle parking spaces will be provided in front of the building at two U-shaped racks and the three long-term bicycle parking spaces will be provided toward the rear of the building, in a secured room.

G. Landscaping/Communal area

Communal open space area is provided for the associated townhouse development at the rear of the building in an L-shaped 903-square-foot area. A 375-square-foot landscaped area is depicted at the front of the building as well. Amenities such as a barbecue and outdoor seating are depicted in the communal area. One mitigation replacement oak tree and two other trees are depicted in this communal area. The other mitigation replacement oak tree is depicted in the front yard, within the landscaped area. In conjunction with this OTP, the related SPR and related AHP for the associated townhouse development have been filed and are under review.

**10. CEQA DETERMINATION.**

For the purposes of California Environmental Quality Act (“CEQA”) compliance, the environmental analysis will cover both the oak tree removal and the associated townhouse development. Although the review of the associated townhouse development with one affordable unit and waiver requests are ministerial actions under the County’s zoning regulations, Density Bonus Ordinance, and the Inclusionary Housing Ordinance are typically exempt from CEQA analysis, the removal of one oak tree associated with a MFR requires an OTP with a public hearing, which is a discretionary action subject to a higher level of CEQA review. Pursuant to Section 15268(d) of the CEQA Statute and Guidelines (“CEQA Guidelines”), “where a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” Moreover, the term “Project” under CEQA, as specified in Section 15378 of the CEQA Guidelines, in this environmental analysis will mean the whole of an action and to the underlying physical activity being approved and does not mean each governmental approval. Under the CEQA context and the stated CEQA Guidelines above, the following will analyze the Project as a whole, including the associated townhouse development that triggered the OTP.

Staff recommends that the Project qualifies for a Class 3, New Construction or Conversion of Small Structures, categorical exemption under Section 15303 of the CEQA Guidelines and a Class 4, Minor Alterations to Land, categorical exemption under Section 15304. Class 3 generally consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. The proposed oak tree removal in conjunction with the associated six-unit townhouse development is located in an urbanized area, as defined by the 2020 U.S. Census Bureau. The Project Site is surrounded by qualified urbanized uses and is sited in a highly paved urban setting. The six-unit townhouse development is a similar MFR construction to an apartment and meets the unit limit permitted under Class 3 for an urbanized area.

Class 4 would apply to the removal of one protected oak tree as well as the associated development because the Project consists of minor private alterations in the condition of land and does not involve the removal of any healthy, mature, scenic trees. The oak tree to be removed is not a heritage oak and is not considered scenic in the community. It is similar to other urban trees in the area and does not pose itself as unique in the urban landscape. The Project would convert one qualified urban use (single-family residential) to another qualified urban use (townhouses). The standalone oak tree is not part of any intact oak woodland. Project site does not have any value as habitat for endangered, rare, or threatened species and can be served by public utilities and services as it is in a fully urbanized area. Project will not cause significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

No exceptions to the categorical exemption also apply to the Project. No conditions, characteristics or circumstances are found to preclude the use of this categorical exemption under CEQA Statute and Guidelines Section 15300.2 for the following reasons:

- a) Location: This exception applies to Classes 3, 4, 5, 6 and 11, and not Class 1, where there is consideration of where the Project is to be located. It mainly concerns particularly sensitive environments with rich biological resources or “environmental resources of hazardous or critical concern where designated, precisely mapped, and officially adopted under law by federal, state, or local agencies” (CEQA Guidelines Section 15300.2(a)). The Project is located on a property containing an SFR, in a fully developed, urbanized area. The Project Site is not in a Significant Ecological Area.
- b) Cumulative Impacts: The Project is a minor intensification of use allowed under the General Plan, with a net increase of five residential units. The residential density is consistent with the underlying zoning and plan designation.
- c) “Unusual Circumstances” or Significant Effects: The Project has a net increase of five residential use. Adequate utilities and roadway infrastructure exist to serve the planned density under the County’s long-range plan, and no environmentally sensitive areas will be impacted.
- d) Scenic Highways: According to California’s Scenic Highway Program, which is administered by the California Department of Transportation (“Caltrans”), the Project Site is not located within or near an officially designated state scenic highway.
- e) Hazardous Waste Sites: The Project Site is not located on a property which is included on any list compiled pursuant to Government Code Section 65962.5. According to the California Department of Toxic Substances Control’s EnviroStor and State Water Resources Control Board’s GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List–Site

Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts with the lists compiled by the State Department of Health Services. Finally, the Project Site is not included in any Water Board's list of solid waste disposal sites, list of "active" orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).

- f) **Historical Resources:** The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the National Register of Historic Places, California Register of Historical Resources or included in a local register of historical resources. According to the County's Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The property is not designated by the County's Historic Preservation Ordinance in the Registry of Landmarks and Historic District. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1. While the onsite existing SFR structure is over 50 years old, it does not meet the criteria to be considered an historic resource. The SFR is not associated with any historic events, lives of persons that are historically significant, and does not embody significant historic distinctive characteristics or distinctive construction method.

Therefore, no exceptions to the exemption apply and the Project is eligible for a Class 3 and Class 4 categorical exemptions.

**11. AGENCY RECOMMENDATIONS.**

County Fire Department Forestry Division: Recommended clearance to public hearing with conditions in a letter dated October 31, 2023.

- 12. LEGAL NOTIFICATION.** Pursuant to Section 22.174.040 (Application and Review Procedure for OTPs) of the County Code, the community was properly notified of the public hearing by mail and newspaper (*San Gabriel Valley Tribune*). On September 18, 2024, a total of 13 Notices of Public Hearing were mailed to those individuals on the courtesy mailing list for the Montrose Zoned District and to any additional interested parties. Additionally, case materials were available on LA County Planning's website.

**GENERAL PLAN CONSISTENCY FINDINGS**

- 13. LAND USE POLICY.** The Hearing Officer finds that while the Project is for the removal of one non-heritage oak tree, the associated townhouse development is consistent with the goals and policies of the General Plan because the H30 land use designation is intended for a variety of housing such as SFRs, two-family residences, and MFRs, categories into which the associated townhouse development falls into. The Hearing Officer further finds that the Project promotes increased housing opportunities as approval of the OTP will allow the construction of the associated townhouse development, leading to an additional five net units to what currently exists at the Project Site.

14. **GOALS AND POLICIES.** The Hearing Officer finds that while the is for the removal of one non-heritage oak tree, the associated townhouse development is consistent with the goals and policies of the General Plan.

Goal LU 4: Infill development and redevelopment that strengthens and enhances communities.

*Policy LU 4.1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfields.*

Goal LU 5: Vibrant, livable and healthy communities with a mix of land uses, services and amenities.

*Policy LU 5.1: Encourage a mix of residential land use designations and development regulations that accommodate various densities, building types and styles.*

The subject property that will contain the associated townhouse building is currently occupied by one 77-year-old SFR in poor condition. Replacing that one housing unit with six modern units on a property zoned for such use and density would lead to an overall enhancement in the community. The new six-unit townhouse project will offer an MFR housing option in an architectural style that is compatible with other housing types in the neighborhood. The townhouses will contain spacious two-level housing units, individual laundry room, balconies, secured vehicular parking, short- and long-term bicycle parking, and a communal open space area for all residents. While one oak tree will be removed, two mitigation replacement oak trees will be planted onsite.

### **ZONING CODE CONSISTENCY FINDINGS**

15. **PERMITTED USE IN ZONE.** The Hearing Officer finds that while the is for the removal of one non-heritage oak tree, the associated by-right townhouse is consistent with the R-3 zoning classification as townhouses are permitted in such zone with a Ministerial Site Plan Review (“SPR”) pursuant to County Code Section 22.18.030. (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4, and R-5).

16. **REQUIRED YARDS.** The Hearing Officer finds that while the is for the removal of one non-heritage oak tree, the townhouse is consistent with the standards identified in County Code Section 22.18.040 (Development Standards for Residential Zone), which require a minimum 15-foot front yard, 5-foot interior side yards, and a 15-foot rear yard as part of the related AHP. The townhouses will contain a 17-foot front yard, a 15-foot rear yard, and a 5-foot west side yard. However, the east side yard will contain a partial 8-inch setback to accommodate the upper 5-foot section of the basement retaining wall. The residential component of the building (first and second levels) will meet the required 5-foot side yard requirement. Compliance with these requirements will be reviewed under a ministerial Site Plan Review.

17. **HEIGHT.** The Hearing Officer finds that while the is for the removal of one non-heritage oak tree, the associated townhouse development is consistent with the applicable height standard in the County Code after waiver is granted under the related AHP. County Code Section 22.18.040.C.1 (Maximum Height) establishes a maximum

height of 35 feet for structures in the R-3 Zone. While most of the building is within the 35-foot height limit, due to fill material that will be placed at the rear of the building, the height, when measured from natural grade, extends up to 39 feet 2½ inches. A waiver from this requirement, pursuant to the related AHP, will be granted to allow this 4-foot 2½-inch extra height. Compliance with these requirements will be reviewed under a ministerial Site Plan Review.

18. **PARKING.** The Hearing Officer finds that while the Project is for the removal of one non-heritage oak tree, the associated ministerially permitted townhouse is consistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces). County Code Section 22.14.130 under M defines townhouses as a single-family dwelling unit. Therefore, parking is provided at the same ratio as that required for SFRs, which is two covered spaces per unit. Twelve (12) covered spaces (two each per unit in individual garages) will be provided. Compliance with these requirements will be reviewed under a ministerial Site Plan Review.

Bicycle Parking is provided pursuant to County Code Section 22.112.100 (Required Bicycle Parking Spaces), which requires one short-term bicycle parking space for every 10 dwelling units in MFR projects with a minimum of two, and one long-term bicycle parking space for every two dwelling units. Accordingly, two short-term bicycle parking spaces and three long-term bicycle parking spaces will be provided as part of the associated townhouse development. Compliance with these requirements will be reviewed under a ministerial Site Plan Review

19. **COMMUNITY STANDARDS DISTRICT.** The Hearing Officer finds while the the Project is for the removal of one non-heritage oak tree, the associated townhouse development is consistent with the standards for the La Crescenta-Montrose CSD identified in County Code Section 22.328.070 (R-3 Zone Specific Development Standards). Compliance with these requirements will be reviewed under a ministerial Site Plan Review.

- a. *At least 50 percent of the required front yard must be landscaped.*  
Fifty (50) percent or 375 square feet of the required front yard, will be landscaped.
- b. *Where a lot is less than 100 feet or less in average width, only one driveway is permitted in the required front yard.*  
Only one driveway is proposed as part of the associated townhouse development.
- c. *Where a lot is 50 feet or less in average width, minimum 5-foot interior side yards are required.*  
Except for the partial 8-inch west side yard setback to accommodate an upper 5-foot portion of the basement garage retaining wall, minimum 5-foot side yards (especially for the residential component of the building) will be provided for the property, which is slightly less than 5 feet in average width.

- d. *Where a lot is developed with four or more dwelling units, open space at a ratio of not less than 150 square feet per dwelling unit must be provided.*  
Communal open spaces will be provided totaling 903 square feet, which is slightly more than the required 150 square feet per unit (900 square feet total required).
- e. *Where a lot is 100 feet or less in average width, not more than one garage entrance may be placed on the front of the building and such garage entrance may not exceed 26 feet in width.*  
The lot is less than 100 feet in width. Only one 20-foot-wide driveway and garage entrance will be provided at the front.
- f. *For each building that fronts a public street, at least one window shall be located on the building wall that faces the street.*  
Eight windows and three glass doors will be provided at the front façade off of Del Mar Road.
- g. *For each building that fronts a public street, at least one front entrance with a portico shall be provided.*  
At the front façade along with an entrance to the building, a portico will be provided.
- h. *Roof structure with pitches of at least 1:3 is required.*  
The building's roof will be pitched at a slope of 1:3.

20. **TREE PLANTING.** The Hearing Officer finds that while the Project is for the removal of one non-heritage oak tree, the associated townhouse is consistent with the standards identified in County Code Section 22.126.030 (Tree Requirements), which state that residential projects with four or more units provide a minimum of one tree for every 5,000 square feet of building footprint. The associated townhouse will have a building footprint of 5,617 square feet and four trees will be planted, including two onsite mitigation replacement oak trees as required by the OTP. Two trees are required and compliance with these requirements will be reviewed under a ministerial Site Plan Review.

21. **INCLUSIONARY UNITS.** The Hearing Officer finds that while the Project is for the removal of one non-heritage oak tree, the associated townhouse development is consistent with the Inclusionary Housing Ordinance ("IHO"). Small housing projects consisting of rental units located within the San Gabriel Valley Submarket Area with less than 15 baseline dwelling units are required to provide affordable housing set-aside units. The Project will meet the IHO under Option 3 for rental projects. Option 3 requires a minimum of 10 percent affordable housing set-aside at an average affordability of 80 percent AMI or less for small projects. The associated townhouse development includes one set-aside unit (17 percent) for lower-income households earning up to 80 percent of the AMI.

22. **DENSITY BONUS: WAIVERS OR REDUCTIONS.** The Hearing Officer finds that while the Project is for the removal of one non-heritage oak tree, the associated

townhouse development is consistent with the County Density Bonus Ordinance (Chapter 22.120 [Density Bonus]). The associated townhouse development is an eligible project for a density bonus and is also eligible to receive waivers or reductions of the development standards, to be reviewed separately under the related AHP). While the associated townhouse development does not request an increase in permitted density, it seeks to reduce the required side yard setback (on the east side of the property) and increase in the maximum height using two waivers.

### **OAK TREE PERMIT FINDINGS**

23. **The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property.** There is only one non-heritage oak tree on the subject property. No other oak tree is identified in the Project vicinity. Moreover, two mitigation oak trees will be planted as part of the conditions of approval for the OTP, and they must be from indigenous varieties of *Quercus agrifolia* (Coastal live oaks) grown from a local seed source. The Permittee will also be required to maintain the mitigation trees and to replace any trees that failed to survive due to a lack of proper care and maintenance with a tree that meets specifications of the County Forester and Fire Warden (“County Forester”). These mitigation trees will be protected in perpetuity by the County Oak Tree Ordinance and subsequent monitoring by the County Forester will also be required.
24. **The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.** The proposed townhouse building will be constructed where the subject oak tree presently is located, and the building will be designed to manage water flows and drainage per County requirements. Aforementioned, two replacement trees will also be planted within one year of the oak tree removal. These mitigation trees will be protected in perpetuity and monitored by the County Forester. Any impermeable surfaces added to the Project Site resulting in an increased flow of surface water will be subject to the County’s Low Impact Development (“LID”) standards and be required to be adequately addressed on site. The LID compliance review will be conducted by County Department of Public Works and a drainage plan for this Project will be in place before construction.
25. **The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at the present location frustrates the planned improvement or proposed use of the subject property to the extent that (i) alternative development plans cannot achieve the same permitted density or that the cost of alternative would be prohibitive, and (ii) placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.** The onsite non-heritage oak tree, located near the western side property line, has a canopy that largely extends toward the center of the lot, covering approximately 1,700 square feet or 19 percent of the property. Therefore, avoiding the oak tree and its protected zone would result in development plans that would not achieve the same permitted density allowed under the General Plan. Furthermore, given the placement of the oak tree, its canopy, and its protected zone,



the reasonable and efficient use of the property for the proposed MFR, which is permitted with a by-right Ministerial SPR, is precluded. This is because any development plan that seeks to maximize the use of the Project Site for MFR purposes could not avoid removal of the oak tree due to its large presence on the site. Also given the County's desire to increase the supply of housing options, granting the OTP is appropriate.

26. **The Hearing Officer finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.** The removal of the oak tree is necessary to carry out a Ministerial SPR use that meets all relevant zoning requirements and policies and goals of the General Plan, except for the requested waiver for the reduced side yard setback along the east property line. The County Forester has reviewed the Oak Tree Report prepared for the Project and confirmed the accuracy and completeness of the report. Subsequently, it has issued recommendations for the planting of two mitigation oak trees. While the existing oak tree will be removed, the two new oak trees, at maturity, will provide increased benefits to residents and the community.

### **ENVIRONMENTAL FINDINGS**

27. The Hearing Officer finds that the Project in conjunction with the associated townhouse development qualify for a Class 3, New Construction or Conversion of Small Structures, categorical exemption under Section 15303 of the CEQA Guidelines and a Class 4, Minor Alterations to Land, categorical exemption under Section 15304. Class 3 generally consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. The proposed oak tree removal in conjunction with the associated six-unit townhouse development is located in an urbanized area, as defined by the 2020 U.S. Census Bureau. The Project Site is surrounded by qualified urbanized uses and is sited in a highly paved and urban setting. The associated six-unit townhouse development is a similar MFR construction to an apartment building and meets the unit limit permitted under Class 3 for an urbanized area. Class 4 would apply to the removal of one protected oak tree as well as the associated development because the Project consists of minor private alterations in the condition of land and does not involve the removal of any healthy, mature, scenic trees. The oak tree to be removed is not a heritage oak and is not considered scenic in the community. It is similar to other urban trees in the area and does not pose itself as unique in the urban landscape. The Project would be conversion one qualified urban use (single-family residential) to another qualified urban use (townhouses). The oak tree is not part of any intact oak woodland. Project site does not have any value as habitat for endangered, rare, or threatened species and can be served by public utilities and services as it is in a fully urbanized area. Project will not cause significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

No exceptions to the categorical exemption also apply to the Project. No conditions, characteristics or circumstances are found to preclude the use of this categorical exemption under CEQA Statute and Guidelines Section 15300.2 for the following reasons:

- a) **Location:** This exception applies to Classes 3, 4, 5, 6 and 11, and not Class 1, where there is consideration of where the Project is to be located. It mainly concerns particularly sensitive environments with rich biological resources or “environmental resources of hazardous or critical concern where designated, precisely mapped, and officially adopted under law by federal, state, or local agencies” (CEQA Guidelines Section 15300.2(a)). The Project is located on a property containing an SFR, in a fully developed, urbanized area. The Project Site is not in a Significant Ecological Area.
- b) **Cumulative Impacts:** The Project is a minor intensification of use allowed under the General Plan, with a net increase of five residential units. The residential density is consistent with the underlying zoning and plan designation.
- c) **“Unusual Circumstances” or Significant Effects:** The Project has a net increase of five residential use. Adequate utilities and roadway infrastructure exist to serve the planned density under the County’s long-range plan, and no environmentally sensitive areas will be impacted.
- d) **Scenic Highways:** According to California’s Scenic Highway Program, which is administered by the California Department of Transportation (“Caltrans”), the Project Site is not located within or near an officially designated state scenic highway.
- e) **Hazardous Waste Sites:** The Project Site is not located on a property which is included on any list compiled pursuant to Government Code Section 65962.5. According to the California Department of Toxic Substances Control’s EnviroStor and State Water Resources Control Board’s GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List–Site Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts with the lists compiled by the State Department of Health Services. Finally, the Project Site is not included in any Water Board’s list of solid waste disposal sites, list of “active” orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).
- f) **Historical Resources:** The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the National Register of Historic Places, California Register of Historical Resources or included in a local register of historical resources. According to the County’s Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The property is not designated by the County’s Historic Preservation Ordinance in the Registry of Landmarks and Historic

District. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1. While the onsite existing SFR structure is over 50 years old, it does not meet the criteria to be considered an historic resource. The SFR is not associated with any historic events, lives of persons that are historically significant, and does not embody significant historic distinctive characteristics or distinctive construction method.

**ADMINISTRATIVE FINDINGS**

- 28. PUBLIC MEETINGS.** The Hearing Officer finds that pursuant to SB 330 (The Housing Crisis Act), the number of publicly held meetings do not exceed the five-meeting limit. One meeting was held for the Project.
- 29. LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Services Section, LA County Planning.

**BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:**

- A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to County Code Title 22 regulations, if any, on the subject property.
- B. The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.
- C. The removal or relocation of the oak trees proposed is necessary as continued existence at the present location frustrates the planned improvement or proposed use of the subject property to the extent that (i) alternative development plans cannot achieve the same permitted density or that the cost of alternative would be prohibitive, and (ii) placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.
- D. The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

**THEREFORE, THE HEARING OFFICER:**

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Statute and Guidelines sections 15303 (New Construction or Conversion of Small Structures) and 15304 (Class 4, Minor Alterations to Land categorical exemption).

**PROJECT NO. PRJ2022-003300-(5)**  
**OAK TREE PERMIT NO. RPPL2022011582**

**EXHIBIT C**  
**FINDINGS**  
**PAGE 15 OF 15**

2. Approves **OAK TREE PERMIT NO. RPPL2022011582**, subject to the attached conditions.

**ACTION DATE: November 19, 2024**

MRB:AMC

November 7, 2024

c: Hearing Officer, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL  
PROJECT NO. PRJ2022-003300-(5)  
OAK TREE PERMIT NO. RPPL2022011582

**PROJECT DESCRIPTION**

The project is a request to authorize the removal of one non-heritage oak tree (Oak Tree Number 1) for the proposed construction of a six-unit townhouse project, subject to the following conditions of approval:

**GENERAL CONDITIONS**

1. Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$441.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.

10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").

**PERMIT SPECIFIC CONDITIONS – OAK TREE PERMIT**

13. This grant shall authorize the removal of one oak tree (Oak Tree Number 1) associated with the construction of a six-unit townhouse building with a subterranean parking level consisting of 12 parking spaces.
14. The grant shall not be effective until a site plan review, administrative housing permit, and a certificate of compliance is approved for the construction of the six-unit townhouse building.
15. The Permittee shall comply with all conditions and requirements contained in the County Forester and Fire Warden ("County Forester"), Forestry Division letter dated October 31, 2023 (attached hereto), to the satisfaction of the said Division, except as otherwise required by said Division.
16. All replacement trees that may be necessary shall be planted on native undisturbed soil and shall be the same species of oak (*Quercus sp.*) as a removed tree. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
17. If site constraints dictate that replacement trees must be planted on disturbed soil or not in the vicinity of the same species of oak (*Quercus sp.*) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

Attachments:

- Exhibit D-1 Fire Department Letter dated October 31, 2023
- Exhibit D-2 Oak Trees: Care and Maintenance Guide



ANTHONY C. MARRONE  
FIRE CHIEF  
FORESTER & FIRE WARDEN

*"Proud Protectors of Life,  
the Environment, and Property"*

# COUNTY OF LOS ANGELES FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE  
LOS ANGELES, CALIFORNIA 90063-3294  
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THIRD DISTRICT

KATHRYN BARGER  
FIFTH DISTRICT

October 31, 2023

Anthony Curzi, Planner  
Department of Regional Planning  
Zoning Permits Section  
320 West Temple Street  
Los Angeles, CA 90012

Dear Anthony Curzi:

### **OAK TREE PERMIT NUMBER RPPL2022011582 2242 DEL MAR ROAD, MONTROSE**

We have reviewed the "Request for Oak Tree Permit #RPPL2022011582." The project is located at 2242 Del Mar Road in the unincorporated area of Montrose. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Chris Falco, the consulting arborist, dated November 11, 2022.

**We recommend the following as conditions of approval:**

### **OAK TREE PERMIT REQUIREMENTS:**

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to

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PARAMOUNT

PICO RIVERA  
POMONA  
RANCHO PALOS VERDES  
ROLLING HILLS  
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ROSEMEAD  
SAN DIMAS  
SANTA CLARITA

SIGNAL HILL  
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SOUTH GATE  
TEMPLE CITY  
VERNON  
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WEST HOLLYWOOD  
WESTLAKE VILLAGE  
WHITTIER



the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

**PERMITTED OAK TREE REMOVAL:**

7. This grant allows the removal of one (1) tree of the Oak genus (*Quercus agrifolia*) identified as Tree Number 1 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

**MITIGATION TREES:**

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for each tree removed for a total of two (2) trees. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of Quercua agrifolia, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

**NON-PERMITTED ACTIONS AND VIOLATIONS:**

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

Anthony Curzi, Planner

October 31, 2023

Page 4

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5758.

Very truly yours,



TREVOR MOORE, ASSISTANT CHIEF, FORESTRY DIVISION  
PREVENTION SERVICES BUREAU

TM:jl

Enclosure



# OAK TREE PERMIT WITH PUBLIC HEARING STATEMENT OF FINDINGS

Please identify the number of oak trees proposed for:

\_\_\_\_ Removal    \_\_\_\_ Encroachment    \_\_\_\_ To Remain    \_\_\_\_ Total existing oak trees

Pursuant to County Code Section [22.174.060](#): Findings, the applicant shall substantiate the following:

*(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)*

<p><b>B.1</b> The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.</p>
<p><b>B.2</b> The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.</p>
<p><b>B.3</b> In addition to the above facts, at least one of the following findings apply:</p> <ul style="list-style-type: none"> <li>a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that:                             <ul style="list-style-type: none"> <li>i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or</li> <li>ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized;</li> </ul> </li> <li>b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or</li> <li>c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.</li> </ul>

B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

## PROPOSED ENVIRONMENTAL DETERMINATION

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DETERMINATION DATE: November 19, 2024  
PROJECT NUMBER: PRJ2022-003300-(5)  
PERMIT NUMBER: Oak Tree Permit (OTP) RPPL2022011582  
SUPERVISORIAL DISTRICT: 5  
PROJECT LOCATION: 2242 Del Mar Road  
OWNER: Waltonia, LLC  
APPLICANT: Hamlet Hovespyan  
CASE PLANNER: Anthony M. Curzi, Regional Planner  
[acurzi@planning.lacounty.gov](mailto:acurzi@planning.lacounty.gov)

---

For the purposes of California Environmental Quality Act (“CEQA”) compliance, the environmental analysis will cover both the oak tree removal and the associated townhouse development. Although the review of the associated townhouse development with one affordable unit and waiver requests are ministerial actions under the County’s zoning regulations, Density Bonus Ordinance, and the Inclusionary Housing Ordinance are typically exempt from CEQA analysis, the removal of one oak tree associated with a MFR requires an OTP with a public hearing, which is a discretionary action subject to a higher level of CEQA review. Pursuant to Section 15268(d) of the CEQA Statute and Guidelines (“CEQA Guidelines”), “where a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” Moreover, the term “Project” under CEQA, as specified in Section 15378 of the CEQA Guidelines, in this environmental analysis will mean the whole of an action and to the underlying physical activity being approved and does not mean each governmental approval. Under the CEQA context and the stated CEQA Guidelines above, the following will analyze the Project as a whole, including the associated townhouse development that triggered the OTP.

Staff recommends that the Project qualifies for a Class 3, New Construction or Conversion of Small Structures, categorical exemption under Section 15303 of the CEQA Guidelines and a Class 4, Minor Alterations to Land, categorical exemption under Section 15304. Class 3 generally consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. The proposed oak tree removal in conjunction with the associated six-unit townhouse development is located in an urbanized area, as defined by the 2020 U.S. Census Bureau. The Project Site is surrounded by qualified urbanized uses and is

sited in a highly paved urban setting. The six-unit townhouse development is a similar MFR construction to an apartment and meets the unit limit permitted under Class 3 for an urbanized area.

Class 4 would apply to the removal of one protected oak tree as well as the associated development because the Project consists of minor private alterations in the condition of land and does not involve the removal of any healthy, mature, scenic trees. The oak tree to be removed is not a heritage oak and is not considered scenic in the community. It is similar to other urban trees in the area and does not pose itself as unique in the urban landscape. The Project would convert one qualified urban use (single-family residential) to another qualified urban use (townhouses). The oak tree is not part of any intact oak woodland. Project site does not have any value as habitat for endangered, rare, or threatened species and can be served by public utilities and services as it is in a fully urbanized area. Project will not cause significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

No exceptions to the categorical exemption also apply to the Project. No conditions, characteristics or circumstances are found to preclude the use of this categorical exemption under CEQA Statute and Guidelines Section 15300.2 for the following reasons:

- a) Location: This exception applies to Classes 3, 4, 5, 6 and 11, and not Class 1, where there is consideration of where the Project is to be located. It mainly concerns particularly sensitive environments with rich biological resources or “environmental resources of hazardous or critical concern where designated, precisely mapped, and officially adopted under law by federal, state, or local agencies” (CEQA Guidelines section 15300.2(a)). The Project is located on a property containing an SFR, in a fully developed, urbanized area. The Project Site is not in a Significant Ecological Area.
- b) Cumulative Impacts: The Project is a minor intensification of use allowed under the General Plan, with a net increase of five residential units. The residential density is consistent with the underlying zoning and plan designation.
- c) “Unusual Circumstances” or Significant Effects: The Project has a net increase of five residential use. Adequate utilities and roadway infrastructure exist to serve the planned density under the County’s long-range plan, and no environmentally sensitive areas will be impacted by any additional development as none is proposed.
- d) Scenic Highways: According to California’s Scenic Highway Program, which is administered by the California Department of Transportation (“Caltrans”), the Project Site is not located within or near an officially designated state scenic highway.
- e) Hazardous Waste Sites: The Project Site is not located on a property which is included on any list compiled pursuant to Government Code Section 65962.5.

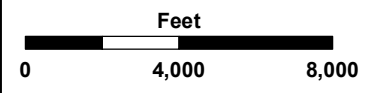
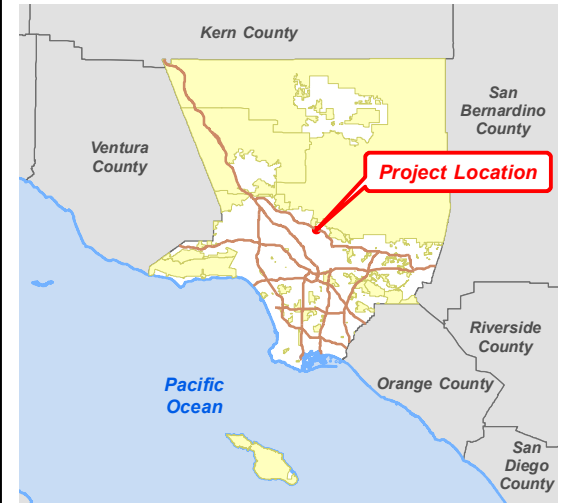
According to the California Department of Toxic Substances Control's EnviroStor and State Water Resources Control Board's GeoTracker web databases, no active or open hazardous waste sites were identified at the Project Site. A review of the Hazardous Waste and Substances Site List–Site Cleanup database also shows no records on the Project Site. There are no public drinking wells within the Project Site that may pose conflicts with the lists compiled by the State Department of Health Services. Finally, the Project Site is not included in any Water Board's list of solid waste disposal sites, list of "active" orders where necessary actions have not yet been completed (known as Cease-and-Desist Orders and Cleanup and Abatement Orders).

f) Historical Resources: The Project Site does not contain any historical resource listed in, or determined to be eligible for listing in, the National Register of Historic Places, California Register of Historical Resources or included in a local register of historical resources. According to the County's Historic Resources Sites Policy mapping, there is no historic or cultural resource site within the vicinity of the Project Site. The property is not designated by the County's Historic Preservation Ordinance in the Registry of Landmarks and Historic District. The County also does not consider the Project Site to be a discretionary historical resource per Public Resources Code Section 21084.1. While the onsite existing SFR structure is over 50 years old, it does not meet the criteria to be considered an historic resource. The SFR is not associated with any historic events, lives of persons that are historically significant, and does not embody significant historic distinctive characteristics or distinctive construction method.



# 3-MILE RADIUS LOCATOR MAP

PROJECT NO. PRJ2022-003300  
OTP RPPL2022011582



LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012





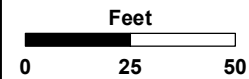
# AERIAL IMAGERY

## SITE-SPECIFIC MAP

PROJECT NO. PRJ2022-003300

OTP RPPL2022011582

Digital Ortho Aerial Imagery:  
Los Angeles Region Imagery  
Acquisition Consortium (LARIAC)  
2023



LA COUNTY  
**PLANNING**

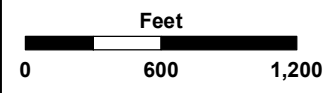
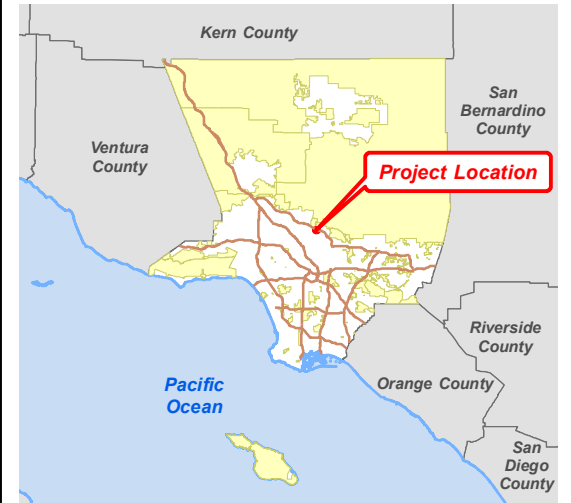
LOS ANGELES COUNTY  
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# HALF-MILE RADIUS

## LOCATOR MAP

PROJECT NO. PRJ2022-003300

OTP RPPL2022011582



**LA COUNTY**  
**PLANNING**

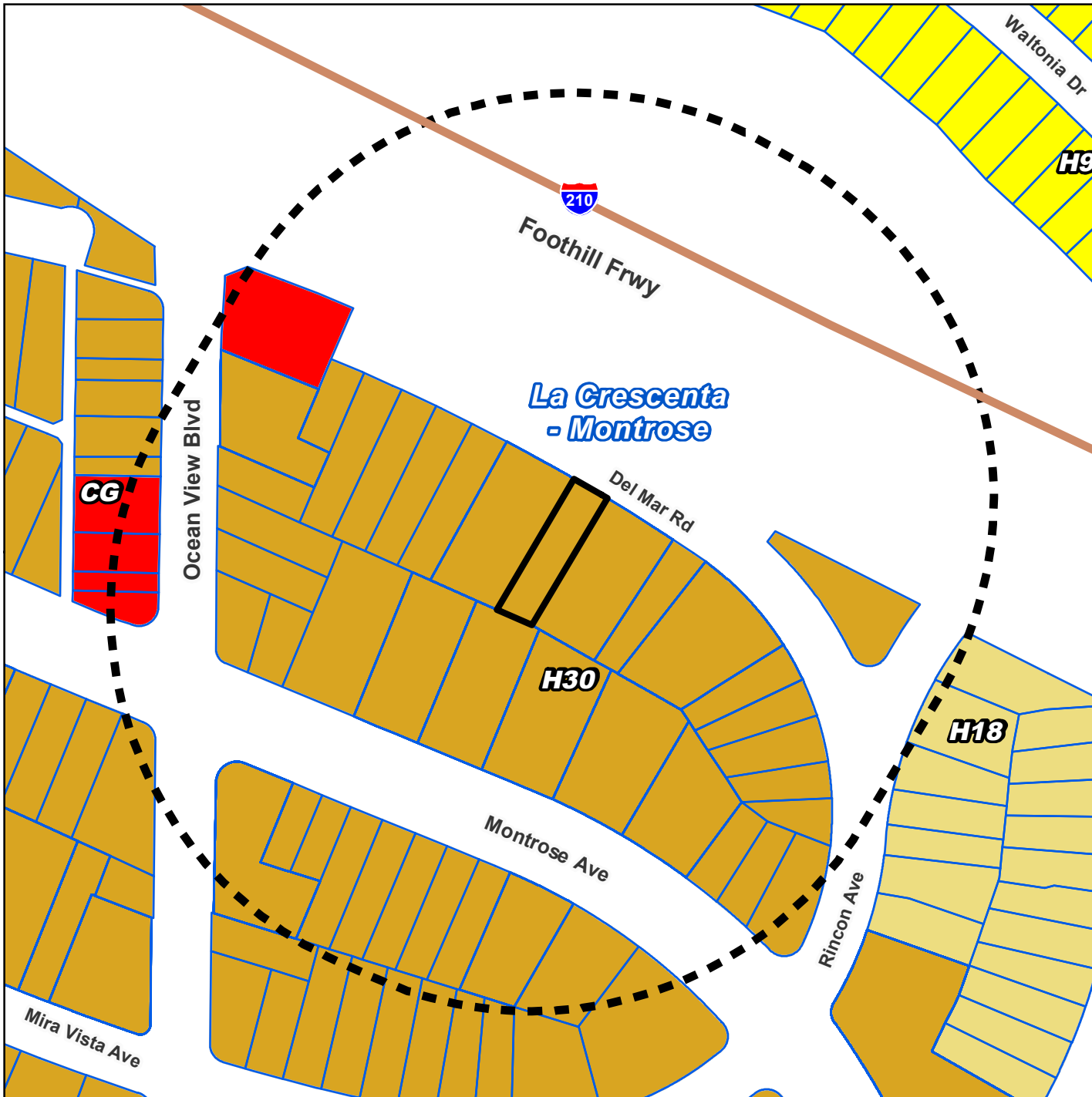
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# LAND USE POLICY

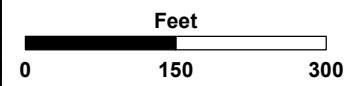
## 500-FOOT RADIUS MAP

PROJECT NO. PRJ2022-003300

OTP RPPL2022011582



-  H9 - Residential 9
-  H18 - Residential 18
-  H30 - Residential 30
-  CG - General Commercial



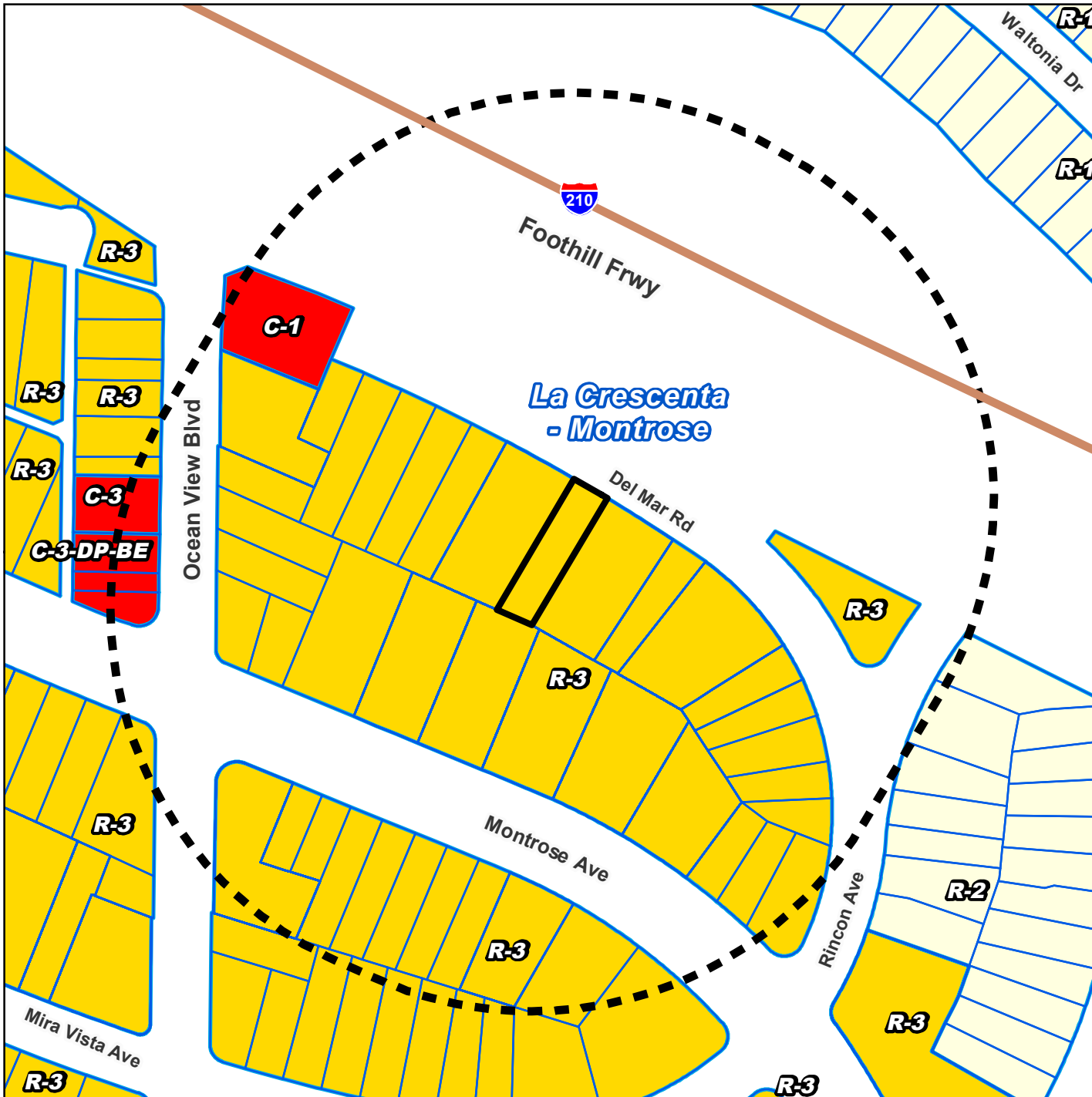
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# ZONING

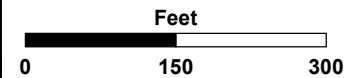
## 500-FOOT RADIUS MAP

PROJECT NO. PRJ2022-003300

OTP RPPL2022011582



-  R-1 - Single-Family Residence
-  R-2 - Two-Family Residence
-  R-3-(U) - Limited Density Multiple Residence
-  C-1 - Restricted Business
-  C-3 - General Commercial



LA COUNTY  
**PLANNING**

LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012

**EXHIBIT H: PHOTOS**

2242 Del Mar Road

Overview



**Looking SSW, an oak tree is located in conflict with proposed construction. All features of the site are to be demolished to construct a new multi-unit building.**



**Looking SSW Oak #1 is located on the west property boundary at the base of a retaining wall.**

**EXHIBIT H: PHOTOS**

2242 Del Mar Road

Oak #1



**Looking NNE, Oak #1 spreads across most of the yard between multi-story buildings on both sides.**



**#1 Oak has fair structure due to codominant trunks with included bark at 2 feet above grade, retaining wall at the base, and entirely one side crown distribution.**

Craig Crotty Arbor Culture LLC

December 18, 2020



2242 Del Mar Road

Oak #1



**#1 Oak is shown on the west property boundary. The codominant trunk attachment, trunk lean, and past encroachment are shown.**



ANTHONY C. MARRONE  
FIRE CHIEF  
FORESTER & FIRE WARDEN

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the Environment, and Property"*

# COUNTY OF LOS ANGELES FIRE DEPARTMENT

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October 31, 2023

Anthony Curzi, Planner  
Department of Regional Planning  
Zoning Permits Section  
320 West Temple Street  
Los Angeles, CA 90012

Dear Anthony Curzi:

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WHITTIER

Anthony Curzi, Planner

October 31, 2023

Page 2

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5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

**PERMITTED OAK TREE REMOVAL:**

7. This grant allows the removal of one (1) tree of the Oak genus (*Quercus agrifolia*) identified as Tree Number 1 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

Anthony Curzi, Planner

October 31, 2023

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9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

**MITIGATION TREES:**

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for each tree removed for a total of two (2) trees. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of Quercua agrifolia, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

**NON-PERMITTED ACTIONS AND VIOLATIONS:**

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

Anthony Curzi, Planner

October 31, 2023

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17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5758.

Very truly yours,



TREVOR MOORE, ASSISTANT CHIEF, FORESTRY DIVISION  
PREVENTION SERVICES BUREAU

TM:jl

Enclosure

**CRAIG CROTTY  
ARBOR CULTURE LLC**

December 18, 2020

Waltonia LLC  
6830 Wexford Place  
Tujunga, CA 91042  
818-585-1649  
ferrellandco@aol.com

**Regarding: New multi-family residential at 2242 Del Mar Road,  
Montrose, 91020 Unincorporated Los Angeles County**

**OAK TREE REPORT  
Oak Tree Permit Application**

**Subject:**

This is an impact study for one ordinance regulated Oak tree due to construction of a new multi-family residential complex at 2242 Del Mar Road in Montrose, Los Angeles County.

**Summary:**

There is one regulated Coast Live Oaks, *Quercus agrifolia*, located on this proposed multi-unit residential site. The oak tree is located at the west property boundary in the backyard of the existing single-family home. Proposed construction conflicts with the tree location, well inside the tree protection zone.

Tree No.	Species	Trunk Size	Condition	Encroachment
#1	<i>Quercus agrifolia</i>	27-25 in. dia.	Good health/fair structure	Remove due to conflict

Note: Trunk measured at 4.5 ft. above grade.

The regulated tree is identified and recorded for approximate location, size, and condition. Tree location is shown on the site plan provided.

**Observations:**

There is one regulated oak tree located on this property (see Photos and Tree Plan). The site is currently single-family but bounded by multi-family, two story residential units on both sides. The tree is located approximately 12 inches from the west property boundary at the base of a ten feet height retaining wall. The common name, genus, and species is Coast Live Oak, *Quercus agrifolia*. Site topography is sloping from the street, north to south. This tree is proposed for removal.

**CRAIG CROTTY ARBOR CULTURE LLC**  
P.O. Box 246, Verdugo City, CA 91046 Tel. 818 636-4917  
[craigcrotty@arborconsultant.com](mailto:craigcrotty@arborconsultant.com)

**#1 Coast Live Oak:**

The tree is located in the rear yard of this site at the west property line. All existing site structures and pavements are proposed to be removed.

Multi-trunk diameters are 27 and 25 inches with height estimated at 40 feet. Crown spread is estimated at N 8', S 33', E 36', W 5', NE 28', NW 6', SE 36' and SW 10'. This is an individual stand-alone specimen with leaning form. The crown is severely one-sided due to previous encroachment by the multi-story structure to the west. A retaining wall is located approximately 12 inches from the base of the trunk.

Tree health is good. Crown density and annual shoot elongation appears normal. Crown density and color is good. Structure is rated fair due to codominant trunks and included bark at two feet above grade. The southeast trunk and crown leans and spreads southeast over much of the yard.

Construction assessment: Oak #1 is to be removed due to proposed encroachment.

**Conclusion:**

One regulated tree is encroached and removed due to proposed construction.



Craig Crotty, Consulting Arborist

**Supplemental Information:**

- Tree Plan
- Photos (5)
- Assumptions and Limiting Conditions





# EXHIBIT J: OAK TREE REPORT

2242 Del Mar Road

Overview



**Looking SSW, an oak tree is located in conflict with proposed construction. All features of the site are to be demolished to construct a new multi-unit building.**



**Looking SSW Oak #1 is located on the west property boundary at the base of a retaining wall.**

**EXHIBIT J: OAK TREE REPORT**

2242 Del Mar Road

Oak #1



**Looking NNE, Oak #1 spreads across most of the yard between multi-story buildings on both sides.**



**#1 Oak has fair structure due to codominant trunks with included bark at 2 feet above grade, retaining wall at the base, and entirely one side crown distribution.**

Craig Crotty Arbor Culture LLC

December 18, 2020

# EXHIBIT J: OAK TREE REPORT

2242 Del Mar Road

Oak #1



**#1 Oak is shown on the west property boundary. The codominant trunk attachment, trunk lean, and past encroachment are shown.**

## EXHIBIT J: OAK TREE REPORT

2242 Del Mar Road

Assumptions and Limiting Conditions

### **Assumptions and Limiting Conditions**

This arborist report is made in compliance with County of Los Angeles requirements for construction where regulated trees are present. This report discusses proposed construction in relation to regulated oak trees.

This report is not a risk assessment of any tree. Thus, no warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Consultant shall not be responsible for damages or injury caused by any tree defects and assumes no responsibility for the correction of defects or tree related problems.

The Consulting Arborist has no past, present or future interest in this property or the subject trees. Opinions contained herein are the independent and objective judgments of the Consultant relating to circumstances and observations made on the subject site.

It is assumed that statements of fact regarding property ownership, property boundaries, exact tree and structure locations are "as represented" by the client, in all verbal, written or drawn communications. The Consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.

Delivery of this report shall constitute completion of the original agreement. The Consulting Arborist shall not be required to give testimony, perform site monitoring, provide further documentation, be deposed, or to attend any meeting, court or hearing, without subsequent contractual arrangements for this additional employment, including payment of additional fees for such services as described by the Consultant.

The recommendations contained in this report are the opinions of the Consulting Arborist at the time of inspection. These opinions are based on the knowledge, experience, and education of the Consultant. The field inspection was a visual, grade level tree assessment.

It is assumed that any property referred to in this report is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations. Further, the consultant assumes no responsibility for any violations caused by others in regard to any such codes, ordinances, statutes, or regulations.

Any change or alteration to this report invalidates the entire report.

Client \_\_\_\_\_ Date \_\_\_\_\_

Craig Crotty Arbor Culture LLC

December 18, 2020

An illustration of several oak leaves and a branch. The leaves are detailed with veins and have a lobed, wavy edge. Some leaves are shaded in light gray, while others are white with black outlines. The branch is dark and textured, showing small knots and a rough surface.

# OAK TREES: Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

### **The Oak Tree**

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

## The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

### Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

<http://www.fire.lacounty.gov>

Or contact:

**Department of Regional Planning**  
320 W. Temple Street, 13th floor  
Los Angeles, CA 90012-3284  
(213) 974-6411  
TDD: (213) 617-2292  
<http://planning.co.la.ca.us>

## Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.



*Valley Oak*  
**QUERCUS LOBATA**

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG; PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS; FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERELY BY AGRICULTURE AND URBAN DEVELOPMENT.



*Coast Live Oak*  
**QUERCUS AGRIFOLIA**

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG; SPINY, ROUNDED, AND HOLLY-LIKE; BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.



*Interior Live Oak*  
**QUERCUS WISLIZENII**

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

### OTHER COMMON OAKS :

CALIFORNIA BLACK OAK : QUERCUS KELLOGGI  
CANYON LIVE OAK : QUERCUS CHRYSOLEPIS  
ENGELMANN OAK : QUERCUS ENGELMANNII

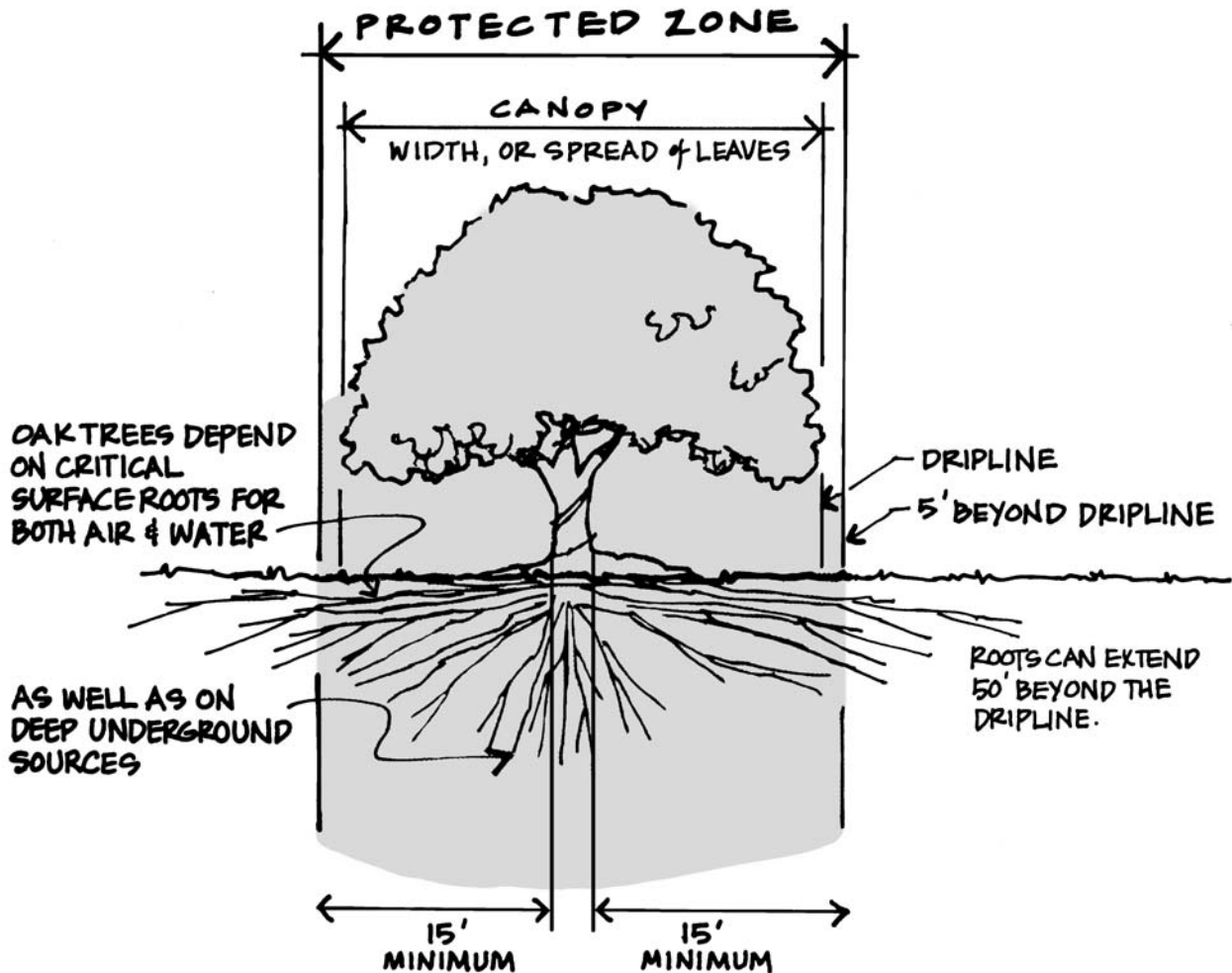
# THE PROTECTED ZONE

The **protected zone** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

“The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater.”



# CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

## Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should be avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

## Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

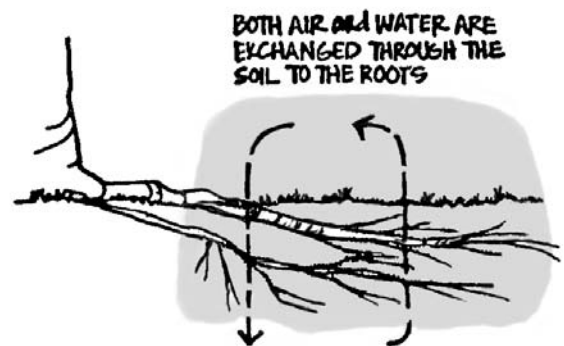
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

## Soil Compaction and Paving

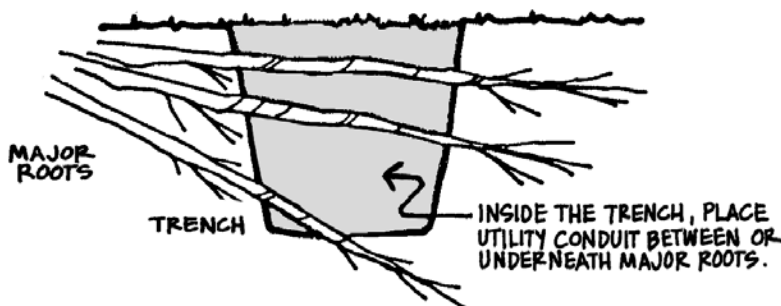
The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).

## SOIL COMPACTION



## TRENCHING





# MAINTENANCE

## Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

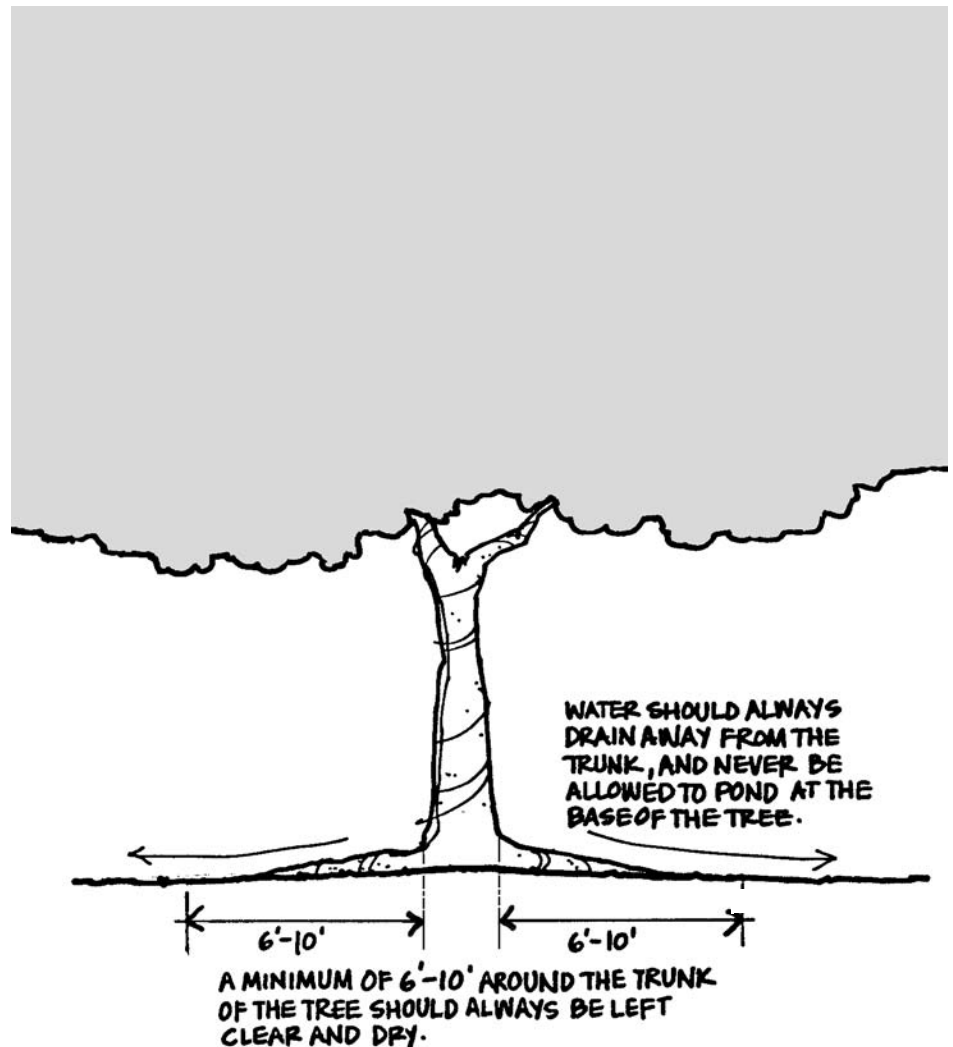
## Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

## Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



## Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

## Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for “dry shade.” Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

### PLANTS TO CONSIDER:

Plant Name	Description
<i>Arctostaphylos densiflora</i> 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
<i>Arctostaphylos edmundsii</i> Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
<i>Ceanothus griseus horizontalis</i> Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
<i>Heuchera spp.</i> Coral Bells	2-4' mound. Flowers on an upright stem 2-3' high and spotted with red or pink.
<i>Mahonia aquifolium compacta</i> Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
<i>Ribes viburnifolium</i> Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

### NOTES:

Before deciding on plants, check a source such as the [Sunset Western Garden Book](#) to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

# ADDITIONAL RESOURCES and Places to Visit

## Public Agencies

**County of Los Angeles Fire Department**  
Prevention Bureau, Forestry Division  
5823 Rickenbacker Road, Rm #123  
Commerce, CA 90040-3027  
(323) 890-4330  
<http://www.fire.lacounty.gov/forestry>

**University of California  
Oak Woodland Conservation Workgroup**  
[http://ucanr.edu/sites/oak\\_range/](http://ucanr.edu/sites/oak_range/)

## Private Organizations

**The Theodore Payne Foundation**  
10459 Tuxford Street  
Sun Valley, CA 91352-2126  
(818) 768-1802  
[www.theodorepayne.org](http://www.theodorepayne.org)

**California Native Plant Society**  
2707 K Street, Suite 1  
Sacramento, CA 95816-5113  
(916) 447-2677  
[www.cnps.org](http://www.cnps.org)

**California Oaks**  
428 13th. Street, Suite 10A  
Oakland, CA 94612  
(510) 763-0282  
[www.californiaoaks.org](http://www.californiaoaks.org)

## Arboretums and Botanic Gardens

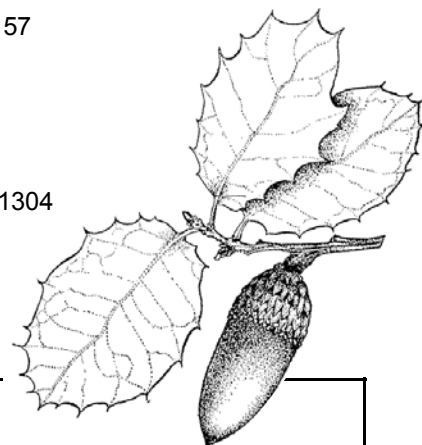
**Los Angeles County Arboreta and Botanic Gardens**  
301 N. Baldwin Ave.  
Arcadia, CA 91007-2697  
(626) 821-3222  
[www.arboretum.org](http://www.arboretum.org)

**Los Angeles County South Coast Botanic Garden**  
26300 Crenshaw Blvd.  
Palos Verdes Peninsula, CA 90274-2515  
(310) 544-1948  
[www.southcoastbotanicgarden.org](http://www.southcoastbotanicgarden.org)

**Los Angeles County Descanso Gardens**  
1418 Descanso Drive  
La Canada-Flintridge, CA 91011-3102  
(818) 949-4200  
[www.descansogardens.org](http://www.descansogardens.org)

**Rancho Santa Ana Botanic Garden**  
1500 North College  
Claremont, CA 91711-3157  
(909) 625-8767  
[www.rsabg.org](http://www.rsabg.org)

**The Lummis Home**  
200 E. Avenue 43  
Los Angeles, CA 90031-1304  
(818) 243-6488



## Publications

For a list of publications both free and for purchase checkout the **University of California Oak Woodland Conservation Workgroup** at [http://ucanr.edu/sites/oak\\_range/](http://ucanr.edu/sites/oak_range/)

*Goldspotted Oak Borer: Integrated Pest Management for Land Managers and Landscape Professionals*  
University of California Statewide Integrated Pest Management Program. January 2013.



# County of Los Angeles Fire Department Forestry Division

## County of Los Angeles Board of Supervisors

Hilda L. Solis, First District  
Mark Ridley Thomas, Second District  
Sheila Kuehl, Third District  
Janice Hahn, Fourth District  
Kathryn Barger, Fifth District

## County of Los Angeles Fire Department

Daryl L. Osby, Fire Chief

Brush Clearance Unit  
605 N. Angeleno Avenue  
Azusa, CA 91702-2904  
(626) 969-2375

Camp 17  
6555 Stephens Ranch Road  
La Verne, CA 91750-1144  
(909) 593-7147

Environmental Review Unit  
12605 Osborne Street  
Pacoima, CA 91331-2129  
(818) 890-5719

Fire Plan/Interpretive Unit  
12605 Osborne Street  
Pacoima, CA 91331-2129  
(818) 890-5783

Fuel Modification Unit  
605 N. Angeleno Avenue  
Azusa, CA 91702-2904  
(626) 969-5205

Henninger Flats Forestry Unit  
2260 Pinecrest Drive  
Altadena, CA 91001-2123  
(626) 794-0675

Lake Hughes Forestry Unit  
42150 N. Lake Hughes Road  
Lake Hughes, CA 93532-9706  
(661) 724-1810

Malibu Forestry Unit  
942 N. Las Virgenes Road  
Calabasas, CA 91302-2137  
(818) 222-1108

San Dimas Forestry Unit  
1910 N. Sycamore Canyon Road  
San Dimas, CA 91773-1220  
(909) 599-4615

Saugus Forestry Unit  
28760 N. Bouquet Canyon Road  
Saugus, CA 91390-1220  
(661) 296-8558

Vegetation Management Unit  
12605 Osborne Street  
Pacoima, CA 91331-2129  
(818) 890-5720