

REPORT TO THE HEARING OFFICER

DATE ISSUED: January 8, 2025

HEARING DATE: January 21, 2025 AGENDA ITEM: 4

PROJECT NUMBER: PRJ2022-001917-(2)

PERMIT NUMBER(S): Conditional Use Permit (“CUP”) No. RPPL2022005808

SUPERVISORIAL DISTRICT: 2

PROJECT LOCATION: 4148 Via Marina, Marina del Rey, CA 90290

OWNER: County of Los Angeles

APPLICANT: Maria Impala, Art Rodriguez Associates

CASE PLANNER: Nathan M. Merrick, Principal Planner
NMerrick@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2022-001917-(2), CUP Number RPPL2022005808, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motions:

CEQA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT:

I, THE HEARING OFFICER, APPROVE CONDITIONAL USE PERMIT NUMBER RPPL2022005808 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

The applicant is requesting a CUP to authorize the retail sale of a full line of alcoholic beverages (i.e., beer, wine, and distilled spirits) for offsite consumption (California Department of Alcoholic Beverage Control (“ABC”) Type 21 License) in association with an existing legally established market with an accessory delicatessen (“Project”) pursuant to County Code Section 22.140.030 (Alcoholic Beverage Sales). The Project is located at 4148 Via Marina, Leased Parcel 22, in the Marina del Rey Land Use Plan’s (“Land Use Plan”) H (Hotel) land use designation and in the SP (Specific Plan) Zone in the unincorporated community of Marina del Rey (“Project Site”).

B. Project

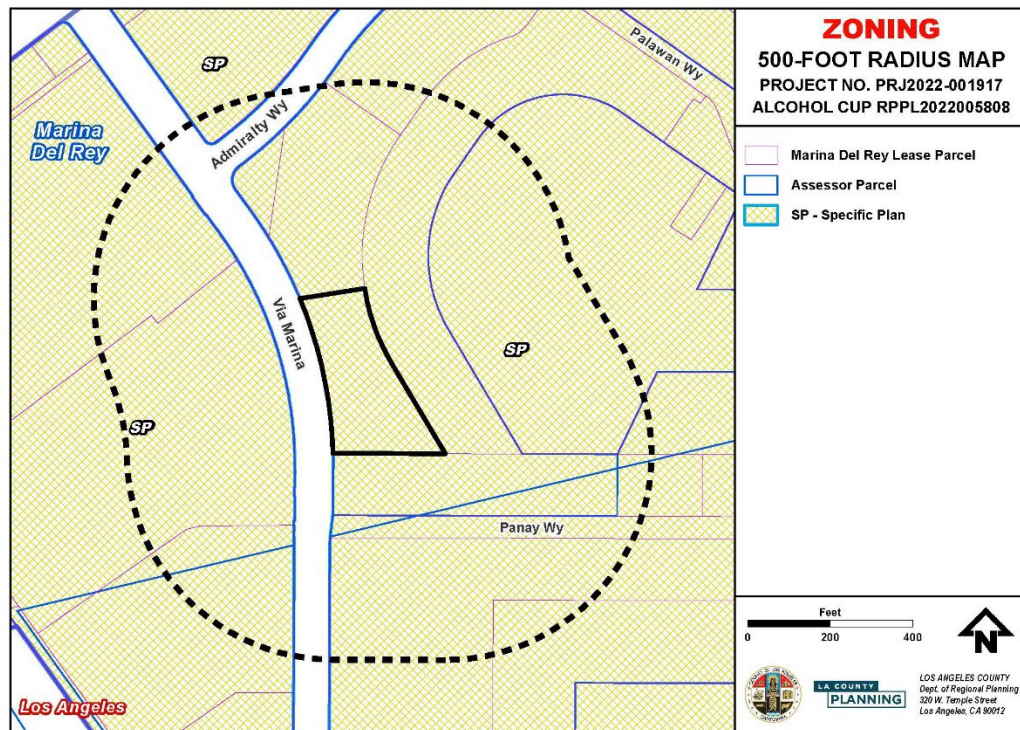
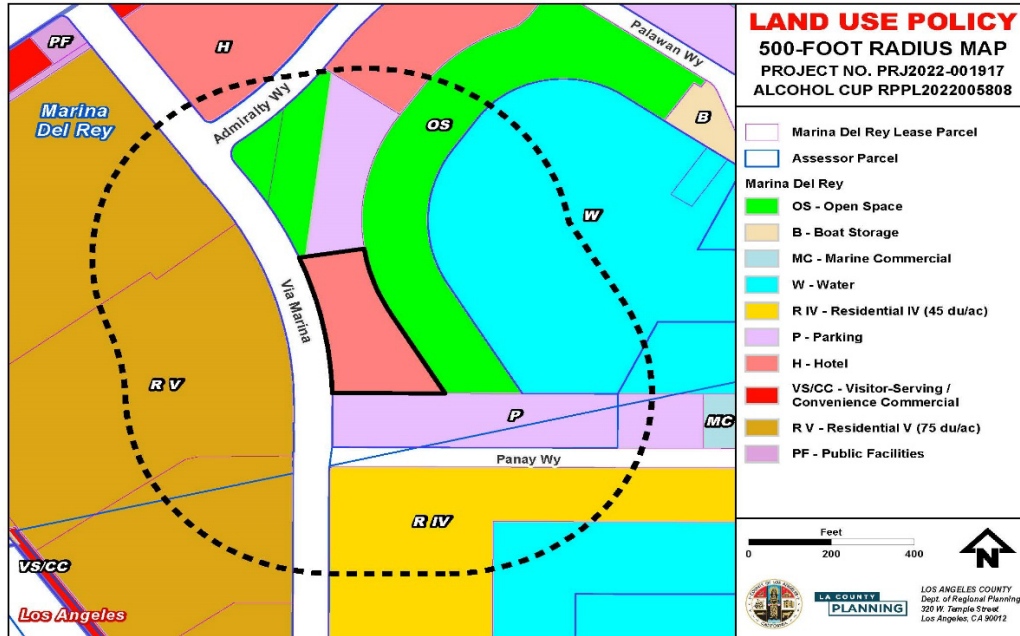
The Project consists of a request to authorize the retail sale of a full line of alcoholic beverages for offsite consumption in association with an existing legally established market with an accessory delicatessen on a property located at 4148 Via Marina, Leased Parcel 22, in the unincorporated community of Marina del Rey. The retail sales would occur during the hours of 8:00 a.m. to 10:00 p.m. Sunday through Thursday and during the hours of 8:00 a.m. to 11:00 p.m. on Friday and Saturday. The market is in an existing 4,352-square-foot tenant space, which contains 2,926 square feet of market space, 1,050 square feet of storage/backroom space, and 376 square feet of accessory delicatessen space. Parking for the subject property is provided in the parking lots located to the north and south of the tenant space. The County Department of Public Works’ Building and Safety Division determined that the market and accessory delicatessen have an overall occupancy load of 54 persons, requiring 17 parking spaces. A total of 94 spaces are provided in the parking lots adjacent to the tenant space.

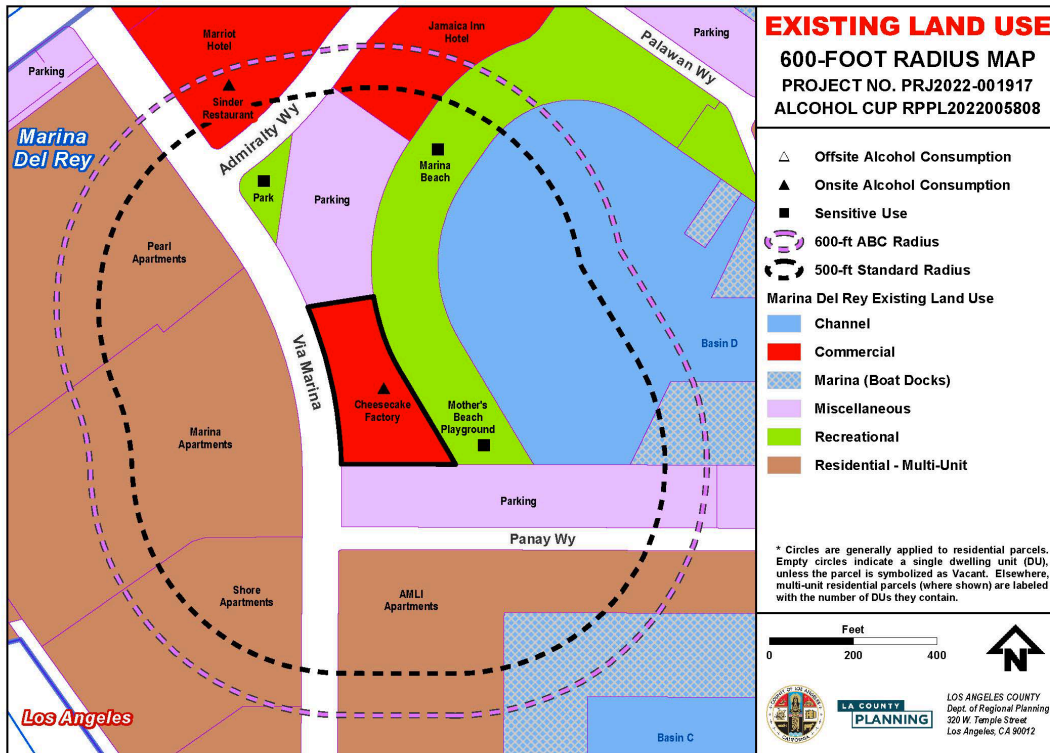
SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

| LOCATION | MARINA DEL REY LAND USE POLICY | ZONING | EXISTING USES |
|------------------|---|--------|--|
| SUBJECT PROPERTY | H (Hotel) | SP | Market, delicatessen, hotel, restaurant, dry cleaner |
| NORTH | P (Parking) OS (Open Space) H (Hotel) | SP | Park, parking, hotels |
| EAST | OS (Open Space) W (Water) | SP | Beach/park, marina, boat slips/boat parking |
| SOUTH | P (Parking) RIV (Residential – IV) | SP | Parking, apartments, |

| | | | |
|------|----------------------|----|---------------------------------|
| | W (Water) | | marina, boat slips/boat parking |
| WEST | RV (Residential - V) | SP | Apartments |





PROPERTY HISTORY

A. Zoning History

| ORDINANCE NO. | ZONING | DATE OF ADOPTION |
|---------------|-------------------------------|--------------------|
| 1494 | 7 - Unrestricted | September 12, 1927 |
| 8150 | C-4 (Unrestricted Commercial) | January 23, 1962 |
| 900157z | SP (Specific Plan) | November 6, 1990 |

B. Previous Cases

| CASE NO. | REQUEST | DATE OF ACTION |
|---|---|----------------|
| Ministerial Site Plan Review RPPL2024001436 | Re-establish market use, which ceased operations due to the COVID-19 pandemic, and establish accessory delicatessen | March 27, 2024 |

C. Violations

| CASE NO. | VIOLATION | CLOSED/OPEN |
|----------|-----------|-------------|
| N/A | N/A | N/A |

ANALYSIS

A. Land Use Compatibility

The Project Site is located in the Land Use Plan's H land use designation and is within the Marina del Rey Local Coastal Program's Waterfront Overlay. The Waterfront Overlay is intended to allow commercial uses in this area, such as a market with an accessory delicatessen, and the Project supports the Land Use Plan by taking advantage of the unique and desirable conditions in Marina del Rey. The Project is compatible with surrounding uses as it provides residents, boaters, recreators, and other visitors with a convenient location to purchase, among other things, sandwiches, fresh produce, whole grain items, and a full line of alcoholic beverages for offsite consumption.

B. Neighborhood Impact (Need/Convenience Assessment)

The existing legally established market, accessory delicatessen, and the associated sale of a full line of alcoholic beverages for offsite consumption contribute to Marina del Rey's lively public environment, which is well-known and appreciated by residents and visitors. The existing market and accessory delicatessen add to the critical mass of convenience commercial uses in Marina del Rey. The continued operation of the market and accessory delicatessen, and the associated sale of a full line of alcoholic beverages for offsite consumption, will positively impact the neighborhood by providing a local, safe, and well-stocked store for residents and visitors alike. The request would support the public convenience of purchasing a full line of alcoholic beverages for offsite consumption in association with the various other land uses authorized nearby. The request would contribute to the dynamic and urban environment in Marina del Rey and would enhance the aesthetic character and ambiance of the location by supporting a local establishment committed to providing high-quality goods in a thoughtfully laid out physical space.

When a CUP includes the sale of alcoholic beverages for offsite consumption, Staff typically recommends a condition of Project approval limiting sales from 10 a.m. to 10 p.m. every day. However, for this CUP, Staff recommends a condition of Project approval that will allow the sale of a full line of alcoholic beverages for offsite consumption from 8:00 a.m. to 10:00 p.m. Sunday through Thursday and from 8:00 a.m. to 11:00 p.m. on Friday and Saturday, due to the following factors.

A market previously operated at this location that sold alcoholic beverages for offsite consumption without a CUP pursuant to a "deemed-approved" status in accordance with County Code Section 22.140.030.H.1 because the sales were legally established before a CUP was required. However, the market ceased operations due to the COVID-19 pandemic and was closed for more than three consecutive months, so a CUP is now required pursuant to County Code Section 22.140.030.H.3.c. Staff's recommended condition of Project approval would allow the sale of a full line of alcoholic beverages for offsite consumption during hours that are similar to the hours when the market that previously operated at this location sold alcoholic beverages for off-site consumption, as evidenced by the applicant's search of ABC records. As noted above, the previous sale

of alcoholic beverages for off-site consumption only ceased due to the COVID-19 pandemic and, as noted below, Staff is not aware of any issues related to the previous sale of alcoholic beverages for off-site consumption at this location and the Sheriff's Department recommended approval of the CUP. Additionally, the applicant's requested hours of alcoholic beverage sales for offsite consumption, which are consistent with the market's hours of operation, are critical to providing an expected convenience to patrons of Marina del Rey, particularly within the boating community. The market is located near various marina basins and is frequented by boaters to purchase food and beverages before departing.

Although the Project's Census Tract has a high concentration of ABC licenses authorizing the sale of alcoholic beverages for offsite consumption (seven existing where seven are allocated by ABC), the request supports the public convenience of purchasing a full line of alcoholic beverages for offsite consumption to compliment the other land uses authorized nearby. As noted below, the Sheriff's Department, in a letter received on July 3, 2023, stated all calls for service have been routine in nature, stated that the establishment has not been a problem, and recommended approval of the CUP. There have been no issues with the market and the previous sale of alcoholic beverages for offsite consumption at this location according to records maintained by the Sheriff's Department and LA County Planning's Land Use Regulation Division, which handles zoning enforcement activities.

C. Design Compatibility

The existing legally established market and associated alcoholic beverage sales for offsite consumption will be located in an existing structure. The location of this convenience commercial tenant supports the neighborhood and contributes to its medium-density, multi-use character. The existing market and associated alcoholic beverage sales for offsite consumption will be a significant contributor to the urban character and relatively intense development of the Marina del Rey community and will support Marina del Rey's residents and visitors alike. This Project does not propose altering any previously approved structures.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Land Use Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by County Code Sections 22.140.030 (Alcoholic Beverage Sales) and 22.158.050 (Conditional Use Permit Findings and Decision). The Burden of Proof with the applicant's responses is attached (Exhibit E –

Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this Project qualifies for a Categorical Exemption (Class 1 Exemption, Existing Facilities) under the California Environmental Quality Act ("CEQA") and the County environmental guidelines. The Project only authorizes the retail sale of a full line of alcoholic beverages for offsite consumption in association with an existing legally established market located at 4148 Via Marina, Leased Parcel 22, in the unincorporated community of Marina del Rey. Therefore, Staff recommends that the Hearing Officer determine that the Project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

1. The Sheriff's Department, in a letter received on July 3, 2023, recommended approval of the CUP.

B. Other Agency Comments and Recommendations

1. ABC provided a completed Worksheet with relevant information on November 15, 2023.

C. Public Comments

Staff has not received any comments at the time of report preparation.

Report Reviewed By: Rob Glaser
Robert Glaser, Supervising Regional Planner

Report Approved By: M. Glaser
Mitch Glaser, Assistant Administrator

| LIST OF ATTACHED EXHIBITS | |
|---------------------------|-----------------------------|
| EXHIBIT A | Plans |
| EXHIBIT B | Project Summary Sheet |
| EXHIBIT C | Findings |
| EXHIBIT D | Conditions of Approval |
| EXHIBIT E | Applicant's Burden of Proof |
| EXHIBIT F | Environmental Determination |

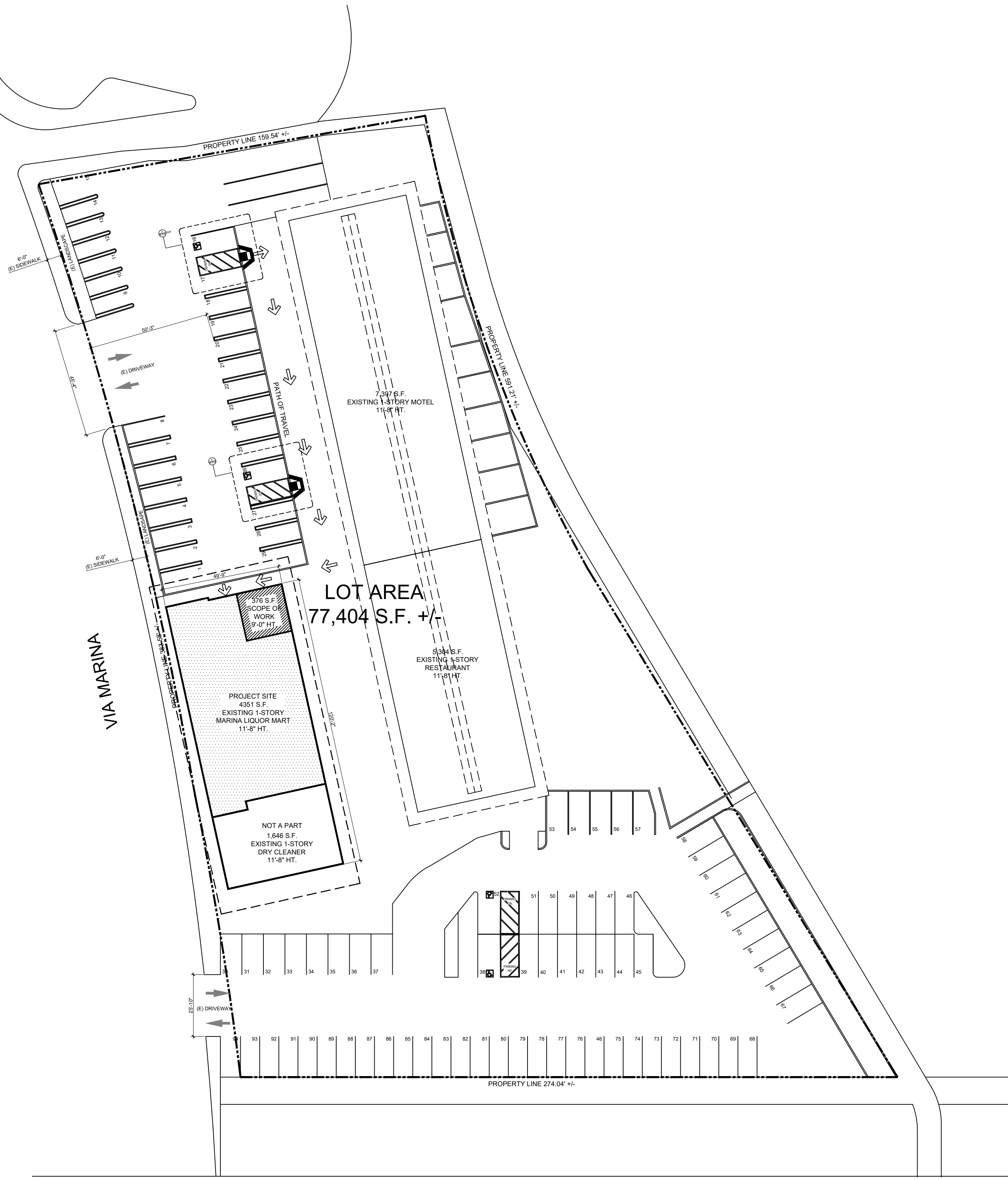
| | |
|-----------|-----------------------|
| EXHIBIT G | Informational Maps |
| EXHIBIT H | Photos |
| EXHIBIT I | Agency Correspondence |

MARINA LIQUOR MART

GENERAL NOTES

- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING AGENCIES AND APPLICABLE CODES.
- PROVIDE PEDESTRIAN PROTECTION AS REQUIRED. CONSTRUCTION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL. A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE.
- CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 4A60BC FOR PROTECTION DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES ON THE JOB SITE IF NECESSARY OR REQUIRED BY LOCAL CODE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURE AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAYS MAY BE SUBJECTED DURING CONSTRUCTION.
- ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY, OMISSION OR AMBIGUITY IN THE DRAWINGS OR SPECIFICATIONS UNTIL THE ARCHITECT HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE INCLUSION OR MORE CLEARLY EXPLAINED THE INTENT OF THE DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE ARCHITECT FOR BANK USE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.
- SPECIFIC DETAILS AND NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR'S WORK TO SECURE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT. SUBMIT SHOP DRAWINGS AND CATALOGS OF EQUIPMENT AS REQUIRED.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK. ALL PENETRATIONS IN STRUCTURAL MEMBERS ARE TO COMPLY WITH STRUCTURAL REQUIREMENTS. REFER TO STRUCTURAL DRAWINGS, SPECIFICATIONS & CALCULATIONS & APPLICABLE CODES.
- A SEPERATE PERMIT SHALL BE OBTAINED BY CONTRACTOR FOR ELECTRICAL AND MECHANICAL WORK BY THE SUBCONTRACTORS.
- PROVIDE ALL ACCESS PANELS AS REQUIRED. LOCATION AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL.
- ALL OPENINGS (DOORS AND WINDOWS) IN ENERGY INSULATED WALLS SHALL BE PROPERLY WEATHERSTRIPPED TO LIMIT AIR INFILTRATION.
- INSULATION SHALL CONFORM TO FEDERAL SPEC. HH-1-521E FOR BLANKET TYPE. RIGID INSULATION MUST BE A TYPE APPROVED BY THE BUILDING DEPT. RESEARCH BUREAU OF THE CALIFORNIA ENERGY COMMISSION. A CERTIFICATE OF COMPLIANCE SIGNED BY THE CONTRACTOR AND INSULATION SUBCONTRACTOR SHALL BE PROMINENTLY POSTED ON THE JOB SITE.
- ALL GLASS DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED TO SHOW COMPLIANCE WITH AIR INFILTRATION STANDARDS OF THE 1972 ANSI A134.1, A134.2, A134.3 AND A134.4.
- ALL NEW WATER SUPPLY LINES SHALL BE COPPER, AND ALL NEW HOT WATER LINES SHALL BE INSULATED AS REQUIRED.
- ALL FLASHING, GUTTERS, SCUPPERS, DOWNSPOUTS AND CATCH BASIN CONNECTIONS SHALL BE PROPERLY JOINED AND SEALED SO THAT THEY ARE WATER-TIGHT. ALL FLASHINGS SHALL BE INSTALLED PER LOCAL CODES AND U.B.C. REQUIREMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ALL POINTS WHERE WATER MAY SEEP FOR ADDITIONAL WATER-PROTECTIVE MEASURES.
- CONTRACTOR SHALL COORDINATE WITH FIXTURE CONTRACTOR AND EQUIPMENT MANUFACTURER FOR INSTALLATION OF THEIR EQUIPMENT AND FIXTURE.
- ALL PLASTER AND DRY WALL MATERIAL AND INSTALLATION UNLESS OTHERWISE SPECIFIED SHALL BE ACCORDING TO THE CURRENT U.S. GYPSUM HANDBOOK SPECIFICATIONS AND LOCAL CODE REQUIREMENTS. ALL G.W.B. SHALL BE 5/8" THICK TYPE FIRECODE-X.
- ALL ROOF AREAS SHALL BE FULLY AND EVENLY LOADED TO ULTIMATE FINAL LOADING PRIOR TO APPLYING LATH AND PLASTER TO WALLS.
- CONTRACTOR AND ROOFING CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO OWNER COVERING NEW ROOFING, FLASHING & MEMBRANES FOR A PERIOD OF 10 YEARS FOLLOWING FINAL COMPLETION OF WORK.

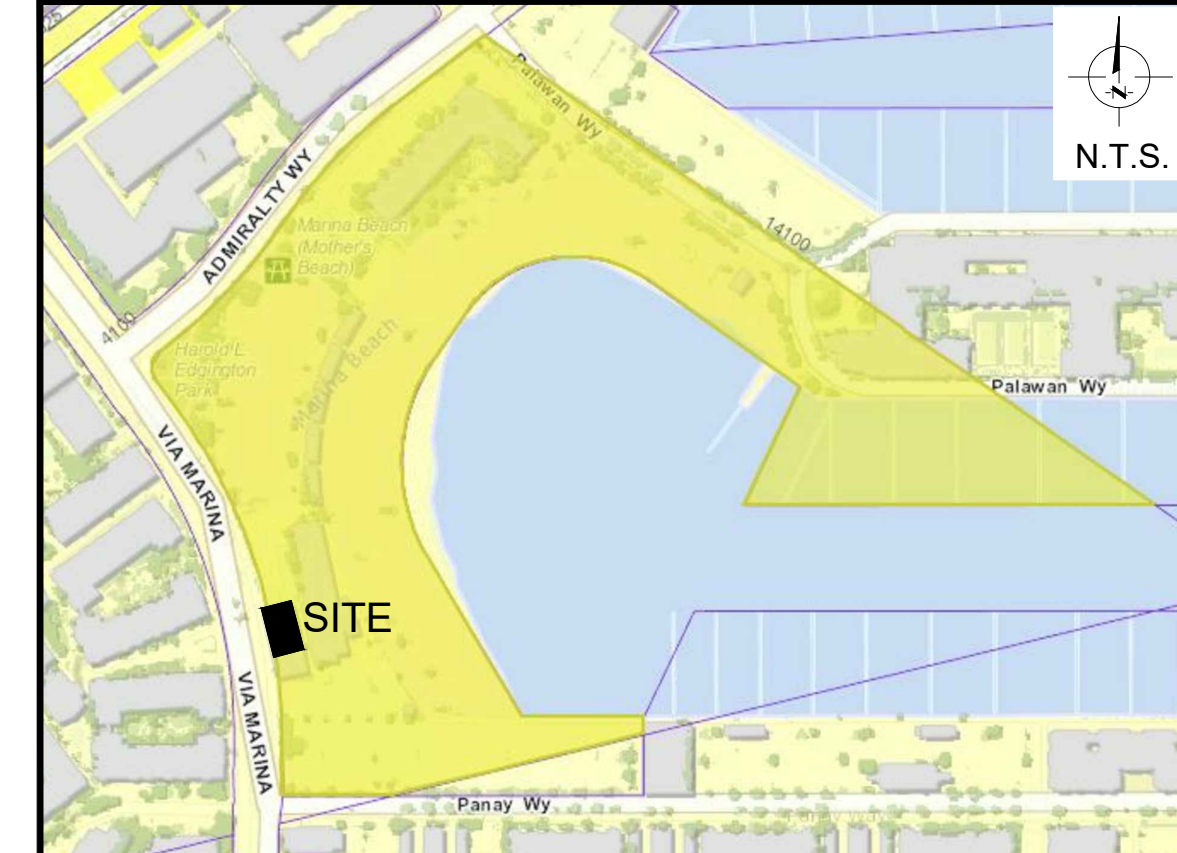
- CONTRACTOR SHALL INCLUDE WITHIN THE SCOPE OF HIS WORK PREPARATION, PRIMING & FINISH PAINTING AND STAINING OF ENTIRE EXTERIOR AND INTERIOR WALLS AND CEILINGS, INCLUDING DOORS, SASH AND TRIM WORK, AND EXPOSED BEAMS AND CEILINGS. CONFIRM PAINT AND STAIN SELECTIONS AND SPECIFICATIONS WITH ARCHITECT.
- ALL CABINERY AND MILLWORK, UNLESS OTHERWISE SPECIFIED, SHALL BE ACCORDING TO CURRENT WOODWORKER INSTITUTE OF CALIFORNIA HANDBOOK STANDARDS, PREMIUM GRADE.
- ALL CERAMIC TILE WORK SHALL BE ACCORDING TO CURRENT STANDARDS AND SPECIFICATIONS OF THE TILE COUNCIL OF AMERICA AND CERAMIC TILE INSTITUTE. VERIFY ALL LAYOUTS AND SPECIFICATIONS WITH ARCHITECT. WORK SHALL BE LAID OUT IN SUCH A MANNER THAT THE TILES CUT ARE AT LEAST HALF THE NOMINAL SIZE.
- ALL SHEET METAL WORK SHALL BE ACCORDING TO SMACNA MANUAL STANDARDS AND SPECIFICATIONS.
- ALL HEATING DUCTS LOCATED OUTSIDE THE BUILDING ENERGY ENVELOPE SHALL HAVE ALL JOINTS AND SEAMS SEALED AND SHALL BE INSULATED WITH A MINIMUM OF 1" THICK (0.6 LBS/CU.FT.) FIBROUS INSULATION.
- PROVIDE BACKDRAFT DAMPERS IN ALL FAN SYSTEMS EXHAUSTING AIR FROM THE ENERGY ENVELOPE.
- GLASS DOORS, ADJACENT PANELS AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
- HVAC SYSTEM SHALL BE DESIGN-BUILD SUBCONTRACT TO BE INCLUDED IN THE BID. PROVIDE ALL NECESSARY DUCT WORK, INSULATION, DIFFUSERS, GRILLES, TEMPERATURE CONTROLS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO START OF WORK.
- FLUSH OUT ALL NEW WATER LINES PRIOR TO CONNECTING PLUMBING FIXTURES.
- PROVIDE SECURE PROTECTION OF THE REMAINING PORTION OF THE HOUSE DURING CONSTRUCTION.
- RECESSED LIGHTS AT INSULATED CEILINGS SHALL BE UL LISTED FOR DIRECT CONTACT WITH INSULATION (ITC FIXTURES)
- PROVIDE MOIST-STOP FLASHING AROUND ALL WINDOWS, DOORS AND OTHER OPENINGS.
- PROVIDE BITCHUTHANE AT OTHER NEEDED LOCATIONS SUCH AS INTERSECTING EXTERIOR CONSTRUCTION SURFACES, SMALL EXTERIOR SHELVES AND AT EXTERIOR PENETRATIONS.
- EXTERIOR STUCCO SHALL COMPLY WITH CHAPTER 25 CBC. PROVIDE SEPARATE INSPECTION FOR EACH INSPECTION AT PHASES OF EXTERIOR PLASTER AS FOLLOWS: SCRATCH COAT, BROWN COAT, AND COLOR COAT. PROVIDE 60-MINUTE BUILDING PAPER MINIMUM FOR EXTERIOR STUCCO. PROVIDE ONLY FURRING NAILS AT ALL WIRE LATH THAT SUPPORTS STUCCO.
- MAIN PLUMBING WASTE (3"-4") TO TERMINATE AT THE BEST LOCATION AS DETERMINED DURING CONSTRUCTION
- TILE MUST BE APPLIED OVER CEMENT PLASTER BACKING AT SURFACES SUBJECT TO WATER SPLASH. (SHOWERS, TUB AND OTHER WET AREAS.)
- OWNER SHALL EMPLOY THE SERVICES OF A REGISTERED DEPUTY INSPECTOR, WHO MUST REPORT TO THE CITY BUILDING OFFICIAL PRIOR TO REPORTING TO THE JOB SITE.
- PROVIDE A MINIMUM CLASS 'A' ROOFING MATERIAL WITH AN ICBO OR UL LISTING. ROOFING MATERIALS SHALL BE INSTALLED TO MEET HIGH WIND EXPOSURE 'C' CONSTRUCTION REQUIREMENTS. PLYWOOD ROOF SHEATHING IS REQUIRED UNDER ALL ROOFS (UNLESS RE-ROOFING OVER EXISTING SHINGLES).
- TILE ROOFING SHALL BE INSTALLED AS REQUIRED FOR HIGH WIND AREAS. ENFORCEMENT OF THE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE ROOFING CONTRACTOR AND JOB GENERAL CONTRACTOR. BUILDING DEPARTMENT INSPECTOR MAY ONLY SPOT CHECK TO OBSERVE PROPER INSTALLATION.
- THE OWNER AND PROFESSIONAL DESIGNER HAVE RESEARCHED THE PARCEL'S SETBACKS AND EASEMENTS. THE PARCEL'S SETBACK AND EASEMENTS ARE CORRECTLY SHOWN ON THIS SITE PLAN.
- PLYWOOD SHEAR WALL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- PROVIDE 2 LAYERS OF GRADE "D" PAPER AT ALL EXTERIOR WALLS WITH WOOD BASE SHEATHING AND STUCCO COVERING PER SECTION 2506.4 CBC
- DUCT SYSTEM OPENINGS MUST BE SEALED WITH MASTIC, TAPE, AEROSOL SEALANT OR OTHER DUCT CLOSURE SYSTEM THAT MEETS THE APPLICABLE REQUIREMENTS OF UL 181, UL 181A OR UL 181B.
- DUCTS PENETRATING WALL OR CEILING SEPARATIONS BETWEEN A GARAGE AND A DWELLING UNIT SHALL BE CONSTRUCTED OF MINIMUM 0.019 INCH SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- SPECIAL PERIODIC INSPECTION IS REQUIRED FOR THE FOLLOWING CONSTRUCTION. (DEPUTY INSPECTION)
 - SIMPSON SET-XP EPOXY ANCHOR TO EXISTING CONCRETE FOOTING (ESR#2508) (PERIODIC INSPECTION DURING ANCHOR INSTALLATION)
 - FIELD WELDING OF ALL STRUCTURAL STEEL
 - CONCRETE F'C IS GREATER THAN 2,500 PSI.
- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE.



SITE PLAN

SC: 1"=30'-0"

KEY MAP



PROJECT INFORMATION:

APPLICANT: STEVE OH C/O SHIKL Enterprises, Inc. dba Marina Liquor Mart
 TEL: 213-219-0477
 EMAIL: soh1014@gmail.com
 PROJECT LOCATION: 4148 VIA MARINA MARINA DEL REY, CA 910292
 LEGAL DESCRIPTION: APN 4224-004-901
 PROJECT DESCRIPTION: T.I. REMODEL OF 376 S.F. FOR TAKE-OUT DELI KITCHEN WITHIN EXISTING FOOD MART OF 4,351 S.F.
 CONSTRUCTION TYPE: TYPE V - B NON SPRINKLERED
 OCCUPANCY: M / S-2
 USE OCCUPANCY AND FLOOR AREAS
 (E) RETAIL AREA BEFORE CONVERSION : 3,301 S.F (E) OCC.LOAD = 58.5
 (E) RETAIL AREA CONVERTED TO KITCHEN /PREP AREA : 376 S.F

| (N) OCCUPANCY USE | AREA | (N) OCC. LOAD | REMARKS |
|-------------------------|-----------|---------------|---------------|
| MERCANTILE (60) | 2,926 S.F | 48.77 | EXISTING |
| STORAGE/BACKROOM (300) | 1,050 S.F | 3.5 | EXISTING |
| KITCHEN/PREP AREA (200) | 376 S.F | 1.88 | SCOPE OF WORK |
| TOTAL OCC. LOAD | | 54.15 | |

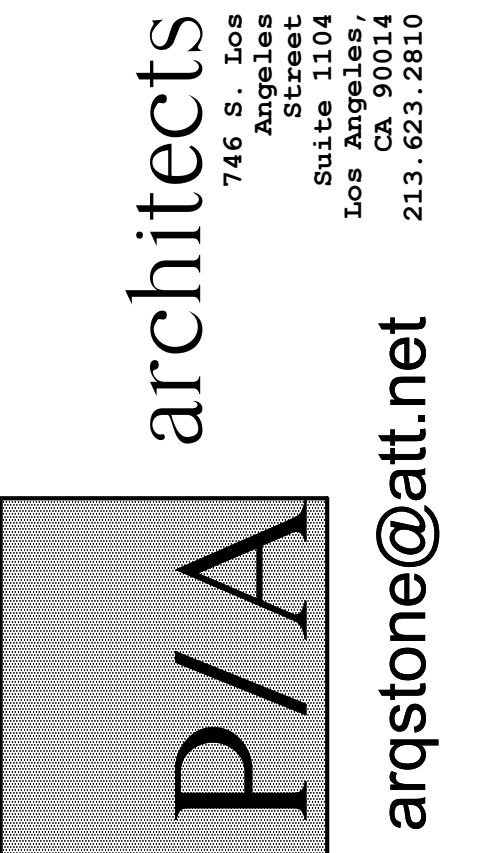
TOTAL MARKET OCCUPANCY LOAD: 54.15
 MINIMUM NUMBER OF EXITS REQUIRED = 2
 ACTUAL NUMBER OF EXITS PROVIDED = 2
PARKING SUMMARY
 EXISTING GROSS SQUARE FEET AREA: 4,351 S.F.
 4351/ 200 GFA= 21.75 SPACES
 PROVIDED PARKING: 94 SPACES

GOVERNING CODE:

THIS PROJECT SHALL COMPLY WITH THE LOCAL ORDINANCE AND THE 2019 CBC, CPC, CMC, CEC, CFC, CALIFORNIA CODE OF REGULATIONS TITLE 19 AND THE 2019 CALIFORNIA ENERGY AND THE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE EDITIONS AND WITH 2020 LOS ANGELES COUNTY CODES AMENDMENTS

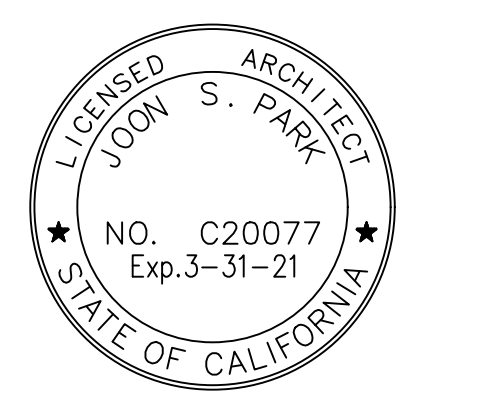
SHEET INDEX

| SHEET | DESCRIPTION | SHEET # |
|-------|---|---------|
| 1 | PROJECT SUMMARY, GENERAL NOTES, PARKING MATRIX, SITE MAP, VICINITY MAP | A0.0 |
| 2 | COMMERCIAL ACCESSIBILITY GENERAL NOTES | A0.1 |
| 3 | SECURITY REQUIREMENT, BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES | A0.2 |
| 4 | FLOOR PLANS, DOOR SCHEDULE, FINISH SCHEDULE, EQUIPMENT SCHEDULE | A1.0 |
| 5 | (E) REFLECTED CEILING PLAN, (N) PROPOSED REFLECTED CEILING PLAN | A1.1 |
| 6 | SECTIONS, SUSPENDED CEILING DETAILS | A2.0 |
| 7 | ALL- GENDER RESTROOM DETAILS, PARTITION WALL/ SUSPENDED CEILING DETAILS | A3.0 |
| 8 | (E) ACCESSIBLE PATH/ RAMP DETAILS, (E) ACCESSIBLE PARKING DETAILS, (N) BIKE RACK DETAIL | A3.1 |
| 9 | SUSPENDED CEILING SYSTEM IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL GENDER | A3.2 |



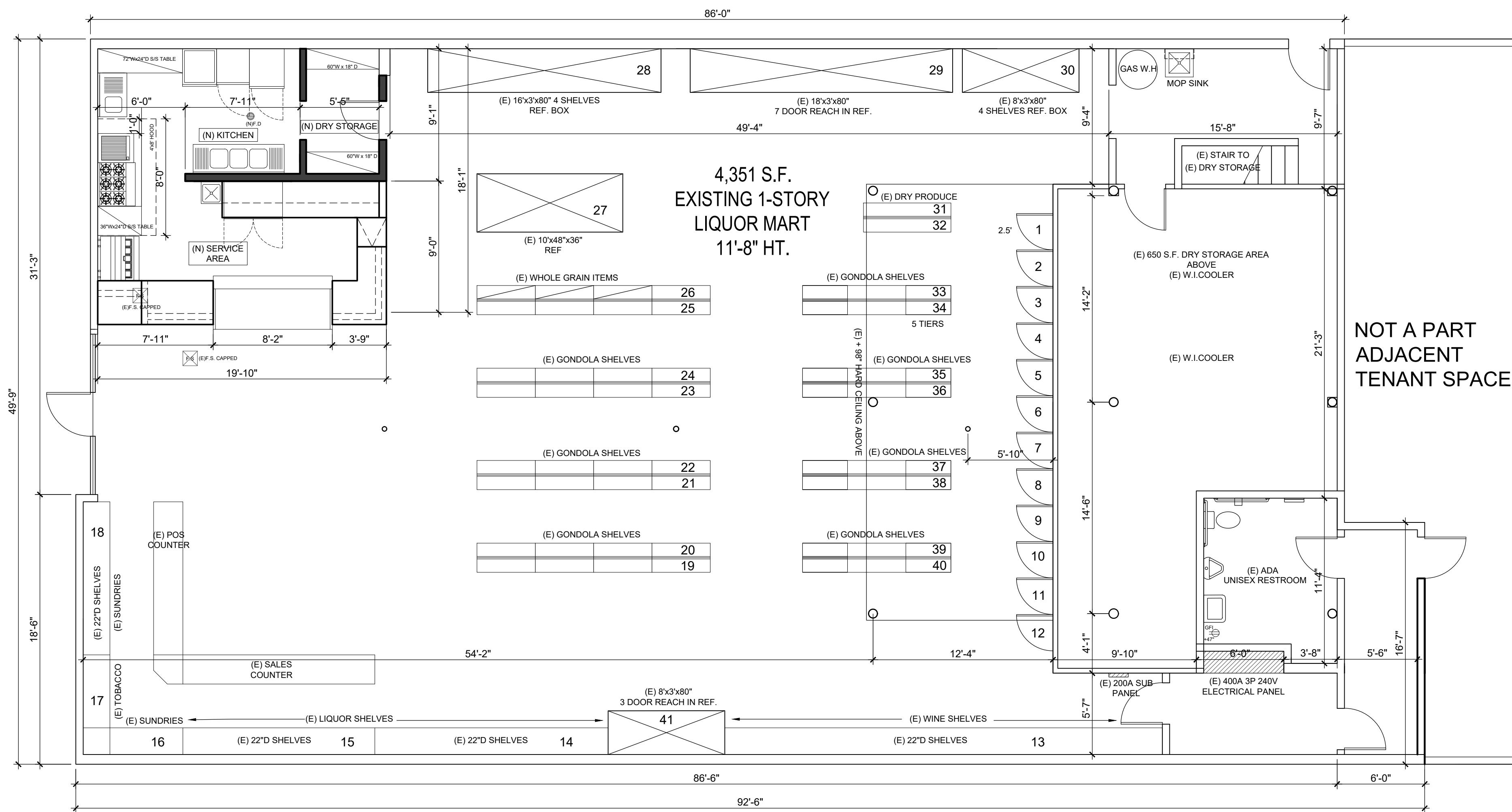
MARINA LIQUOR MART
 4148 VIA MARINA
 MARINA DEL REY, CA 90292
 APN: 4224-004-901

PROJECT SUMMARY
 SITE PLAN
 SHEET INDEX

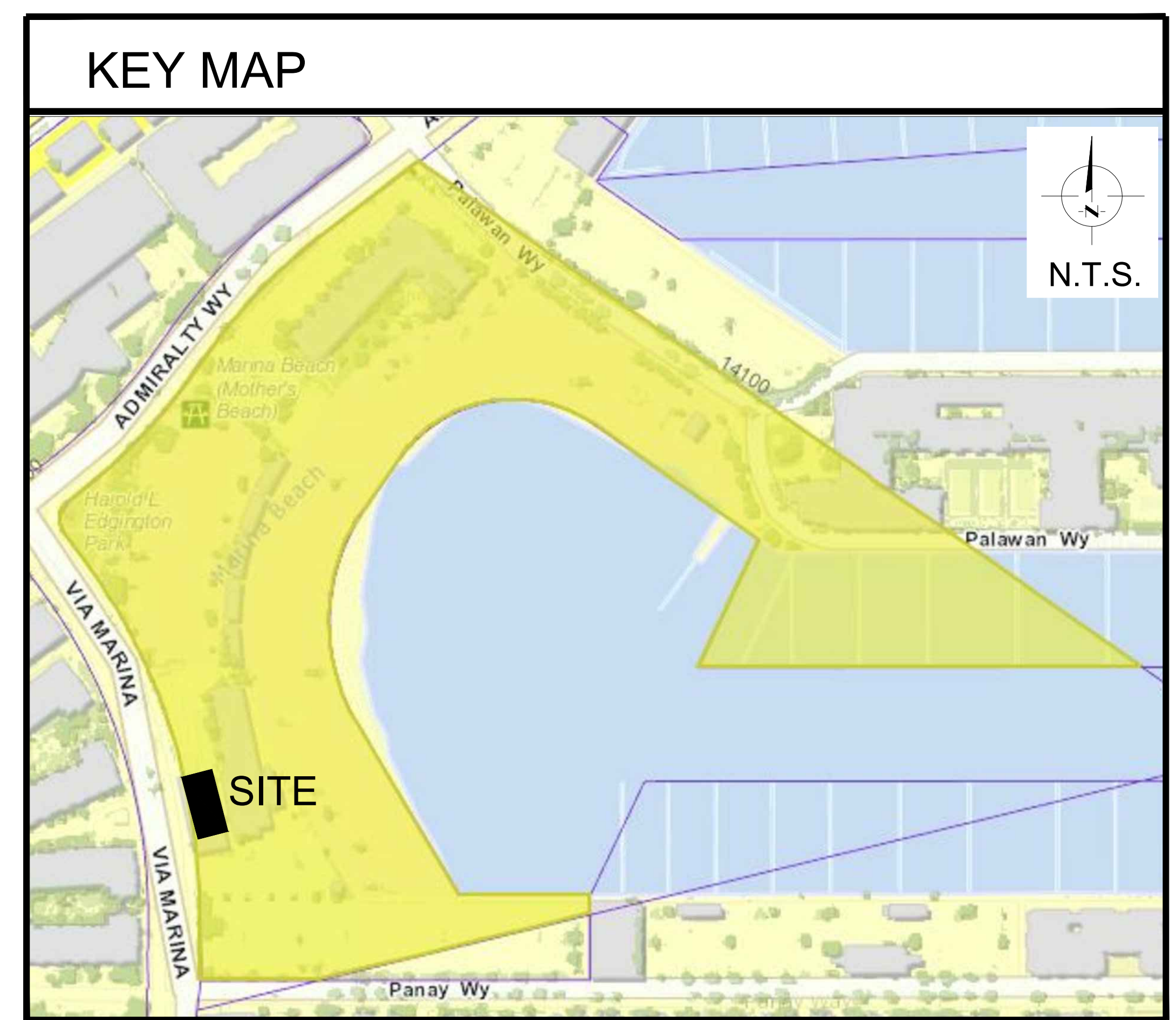


PREPARED BY:
 1/18/21

SHEET NO:
A0.0



SHELF PLAN
1/4"=1'-0"



NOTE:

- CABINET #25 & #26 CONTAINS WHOLE GRAIN BREAD, RICE & PASTA ON PERMANENT SHELVES
- CABINET #30 CONTAINS FRESH PRODUCE (TOMATO, LETTUCE, BROCCOLI & CABBAGE) IN REFRIGERATOR CASE

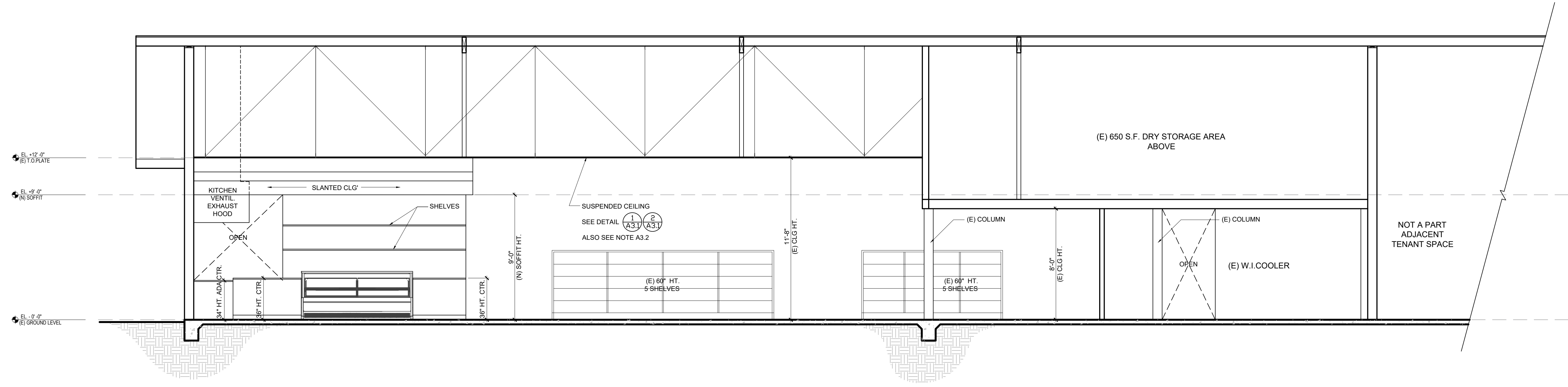
| ALCOHOL BEVERAGE % CALCULATION TABLE | | | | | | |
|--------------------------------------|-----------------|--------------------|---|------------------------------|--|--|
| CABINET KEY # | LENGTH (L) FEET | TOTAL # OF SHELVES | TOTAL# OF SHELVES DEVOTED TO ALCOHOL BEVERAGE | TOTAL LINEAR FEET OF SHELVES | TOTAL LINEAR FEET OF SHELVES DENOTED TO ALCOHOL BEVERAGE | TOTAL LINEAR FEET OF SHELVES DENOTED TO ALCOHOL BEVERAGE |
| 1 | 2.5 | 6 | 6 | 15 | 15 | |
| 2 | 2.5 | 6 | 6 | 15 | 15 | |
| 3 | 2.5 | 6 | 6 | 15 | 15 | |
| 4 | 2.5 | 6 | 6 | 15 | 15 | |
| 5 | 2.5 | 6 | 6 | 15 | 15 | |
| 6 | 2.5 | 6 | 6 | 15 | 15 | |
| 7 | 2.5 | 6 | 6 | 15 | 15 | |
| 8 | 2.5 | 6 | 0 | 15 | 0 | |
| 9 | 2.5 | 6 | 0 | 15 | 0 | |
| 10 | 2.5 | 6 | 0 | 15 | 0 | |
| 11 | 2.5 | 6 | 0 | 15 | 0 | |
| 12 | 2.5 | 6 | 0 | 15 | 0 | |
| 13 | 30 | 5 | 5 | 150 | 150 | |
| 14 | 16 | 5 | 5 | 80 | 80 | |
| 15 | 13.2 | 5 | 5 | 66 | 66 | |
| 16 | 5 | 8 | 0 | 40 | 0 | |
| 17 | 5 | 8 | 0 | 40 | 0 | |
| 18 | 10.5 | 8 | 0 | 84 | 0 | |
| 19 | 16 | 5 | 0 | 80 | 0 | |
| 20 | 16 | 5 | 0 | 80 | 0 | |
| 21 | 16 | 5 | 0 | 80 | 0 | |
| 22 | 16 | 5 | 0 | 80 | 0 | |
| 23 | 16 | 5 | 0 | 80 | 0 | |
| 24 | 16 | 5 | 0 | 80 | 0 | |
| 25 | 16 | 5 | 0 | 80 | 0 | |
| 26 | 16 | 5 | 0 | 80 | 0 | |
| 27 | 10 | 1 | 0 | 40 | 0 | |
| 28 | 16 | 4 | 0 | 64 | 0 | |
| 29 | 18 | 6 | 0 | 108 | 0 | |
| 30 | 8 | 4 | 0 | 32 | 0 | |
| 31 | 6 | 5 | 0 | 30 | 0 | |
| 32 | 6 | 5 | 0 | 30 | 0 | |
| 33 | 10 | 5 | 0 | 50 | 0 | |
| 34 | 10 | 5 | 0 | 50 | 0 | |
| 35 | 10 | 5 | 0 | 50 | 0 | |
| 36 | 10 | 5 | 0 | 50 | 0 | |
| 37 | 10 | 5 | 0 | 50 | 0 | |
| 38 | 10 | 5 | 0 | 50 | 0 | |
| 39 | 10 | 5 | 0 | 50 | 0 | |
| 40 | 10 | 5 | 0 | 50 | 0 | |
| 41 | 8 | 4 | 4 | 32 | 32 | |
| TOTAL | 389.7 | 220 | 61 | 1,986 | 433 | 21.8% |

MARINA LIQUOR MART
4148 VIA MARINA
MARINA DEL REY, CA 90292
APN: 4224-004-901

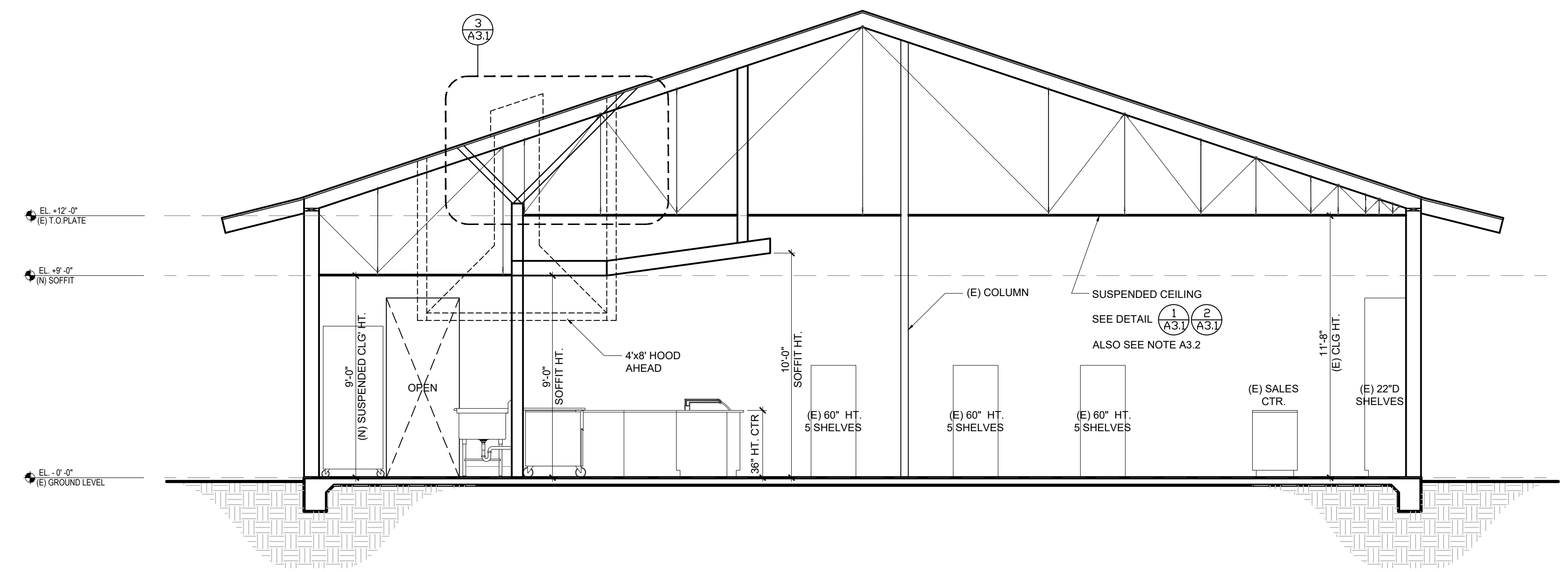
SHELF PLAN

PREPARED BY:
6/22/23

SHEET NO:
1 OF 1



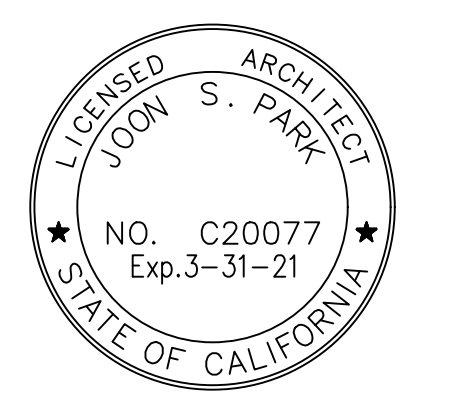
SECTION A-A
1/4"=1'-0"



SECTION B-B
1/4"=1'-0"

MARINA LIQUOR MART
4148 VIA MARINA
MARINA DEL REY, CA 90292
APN: 4224-004-901

SECTIONS



| | |
|--------------|---------|
| PREPARED BY: | 1/18/21 |
| | |
| | |
| | |
| | |



PROJECT NUMBER PRJ2022-001917-(2)
HEARING DATE January 21, 2025
REQUESTED ENTITLEMENT(S)
 Conditional Use Permit (“CUP”) No. RPPL2022005808

PROJECT SUMMARY

OWNER / APPLICANT

County of Los Angeles/Maria Impala, Art Rodriguez Associates

MAP/EXHIBIT DATE

January 18, 2021 (site plan and sections) and June 22, 2023 (floor plan and shelf plan)

PROJECT OVERVIEW

The application is a request for a CUP to authorize the retail sale of beer, wine, and distilled spirits for offsite consumption (California Department of Alcoholic Beverage Control Type 21 License) in association with an existing legally established market with an accessory delicatessen on Leased Parcel 22 in the unincorporated community of Marina del Rey. The sales would occur during the hours of 8:00 a.m. to 10:00 p.m. Sunday through Thursday and during the hours of 8:00 a.m. to 11:00 p.m. on Friday and Saturday.

LOCATION

4148 Via Marina, Marina del Rey, CA 90292

ACCESS

Via Marina

ASSESSORS PARCEL NUMBER

Leased Parcel 22 (a portion of Assessor’s Parcel Number 4224-004-901)

SITE AREA

1.72 Acres

GENERAL PLAN / LOCAL PLAN

Marina del Rey Land Use Plan

ZONED DISTRICT

Playa del Rey

PLANNING AREA

Westside

LAND USE DESIGNATION

H (Hotel)

ZONE

SP (Specific Plan)

PROPOSED UNITS

N/A

MAX DENSITY/UNITS

N/A

COMMUNITY STANDARDS DISTRICT

N/A

ENVIRONMENTAL DETERMINATION (CEQA)

Class 1 Categorical Exemption – Existing Facilities

KEY ISSUES

- Consistency with the Marina del Rey Land Use Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.46.1710 (Waterfront Overlay Zone – Permitted Uses)
 - Section 22.46.1370 (Hotel – Development Standards)
 - Section 22.46.1730 (Waterfront Overlay Zone – Development Standards)
 - Section 22.140.030 (Alcoholic Beverage Sales)
 - Section 22.158.050 (Conditional Use Permits Findings and Decision)

CASE PLANNER:

Nathan M. Merrick

PHONE NUMBER:

(213) 974 - 0051

E-MAIL ADDRESS:

NMerrick@planning.lacounty.gov

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
FINDINGS OF THE HEARING OFFICER
AND ORDER
PROJECT NO. PRJ2022-001917-(2)
CONDITIONAL USE PERMIT NO. RPPL2022005808

RECITALS

1. **HEARING DATE(S).** The Los Angeles County (“County”) Hearing Officer conducted a duly-noticed public hearing in the matter of Conditional Use Permit (“CUP”) No. RPPL2022005808 on January 21, 2024.
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT REQUESTED.** The permittee, Marina Liquor Mart ("Permittee"), requests the CUP to authorize the retail sale of a full line of alcoholic beverages (i.e., beer, wine, and distilled spirits) for offsite consumption (California Department of Alcoholic Beverage Control (“ABC”) Type 21 License) in association with an existing legally established market with an accessory delicatessen (“Project”) on a property located at 4148 Via Marina, Leased Parcel 22, in the unincorporated community of Marina del Rey ("Project Site") in the SP (Specific Plan) Zone pursuant to Los Angeles County Code ("County Code") Section 22.140.030 (Alcoholic Beverage Sales).
4. **PREVIOUS ENTITLEMENT.** Ministerial Site Plan Review No. RPPL2024001436, approved on March 27, 2024, authorized the re-establishment of a market use onsite, which ceased operations due to the COVID-19 pandemic, and authorized the establishment of an accessory delicatessen.
5. **LAND USE DESIGNATION.** The Project Site is located within the H (Hotel) land use designation of the Marina del Rey Land Use Plan (“Land Use Plan”) Land Use Policy Map.
6. **ZONING.** The Project Site is located in the Playa del Rey Zoned District and is currently zoned SP (Specific Plan). Pursuant to County Code Section 22.140.030 (Alcoholic Beverage Sales), a CUP is required for the sale of alcoholic beverages for offsite consumption.

7. SURROUNDING LAND USES AND ZONING

| LOCATION | MARINA DEL REY LAND USE POLICY | ZONING | EXISTING USES |
|----------|---|--------|-----------------------|
| NORTH | P (Parking) OS (Open Space) H (Hotel) | SP | Park, parking, hotels |

| | | | |
|-------|---|----|---|
| EAST | OS (Open Space) W (Water) | SP | Beach/park, marina, boat slips/boat parking |
| SOUTH | P (Parking) RIV (Residential – IV) W (Water) | SP | Parking, apartments, marina, boat slips/boat parking |
| WEST | RV (Residential – V) | SP | Apartments |

8. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is 20.30 gross acres (1.72 net acres) in size and consists of one legal lot and one leased parcel (Leased Parcel 22). The Project Site is rectangular in shape with flat topography and is developed with an existing hotel, restaurant, dry cleaner, parking lots, and a market with an accessory delicatessen.

B. Site Access

The Project Site is accessible via Via Marina to the west, Admiralty Way to the north, and Panay Way to the south. Primary access to the Project Site is via multiple entrances/exits on Via Marina.

C. Site Plan

The Site Plan depicts the Project Site with the existing hotel, restaurant, dry cleaner, market with an accessory delicatessen, landscaping, and parking. The Permittee utilizes a 4,352-square-foot portion of an existing building that contains 2,926 square feet of market space, 1,050 square feet of backroom/storage space, and 376 square feet of delicatessen space. Parking is provided to the north and south of the subject building and a total of 94 spaces are depicted. The shelf plan depicts a total of 21.8% of shelf space devoted to the sale of alcoholic beverages for offsite consumption.

9. CEQA DETERMINATION. Prior to the Hearing Officer’s public hearing on the Project, County Department of Regional Planning (“LA County Planning”) staff (“Staff”) determined the Project qualified for a Class 1, Existing Facilities, categorical exemption from the California Environmental Quality Act (“CEQA”) (Public Resources Code Section 21000, et seq.), the State CEQA Guidelines, and the Environmental Document reporting Procedures and Guidelines for the County, because the Project involves the sale of a full line of alcoholic beverages for offsite consumption in association with an existing market with an accessory delicatessen with no expansion of the previously permitted use and structures. Moreover, there are no anticipated cumulative impacts due to successive projects of the same type in the same place as no additional projects of a similar type have recently been proposed onsite. Additionally, there are no unusual circumstances associated with the Project that would necessitate a finding of a reasonable possibility that the proposed activity will have a significant effect on the environment. Finally, the Project is not associated with any scenic highways, hazardous waste sites, or historical resources.

10. **COMMUNITY OUTREACH.** Community outreach was conducted for the existing market use and the request for the sale of a full line of alcoholic beverages for offsite consumption, which included the Permittee contacting and discussing the Project with nearby residents and the office of the member of the County Board of Supervisors who represents the unincorporated community of Marina del Rey.
11. **PUBLIC COMMENTS.** Prior to the publication of the Report to the Hearing Officer dated January 8, 2025, Staff received no correspondence from the public regarding the Project.
12. **AGENCY RECOMMENDATIONS.**
 - A. The County Sheriff's Department, in a letter received July 3, 2023, recommended approval of the CUP.
 - B. ABC provided a completed Worksheet with relevant information on November 15, 2023.
13. **LEGAL NOTIFICATION.** Pursuant to County Code Section 22.222.120 (Public Hearing Procedure), the community was properly notified of the public hearing by mail, newspaper (*The Argonaut*), and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On November 25, 2024, a total of three Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 500-foot radius from the Project Site, as well as 33 notices to those on the courtesy mailing list for the Playa del Rey Zoned District and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

14. **LAND USE POLICY.** The Hearing Officer finds that the Project is consistent with the goals and policies of the Land Use Plan because the H (Hotel) land use designation, coupled with the Waterfront Overlay Zone, is intended to provide flexibility for development on waterfront parcels and allows for various visitor-serving/convenience commercial uses, including a market with an accessory delicatessen and the associated sale of a full line of alcoholic beverages for offsite consumption, such as this Project.
15. **GOALS AND POLICIES.** The Hearing Officer finds that the Project is consistent with the applicable goals and policies of the General Plan and Land Use Plan as follows:

General Plan:

- A. **Policy LU 5.2: Encourage a diversity of commercial and retail services, and public facilities at various scales to meet regional and local needs.** Authorizing the existing market to sell a full line of alcoholic beverages for offsite consumption encourages a diversity of commercial and retail services to meet local needs because there are no existing markets in the immediate vicinity of the Project Site that sell alcoholic beverages for offsite consumption, the market is appropriately

scaled to fit in with the community aesthetic, and the alcoholic beverage sales will serve the needs of nearby residents, visitors, and the greater Marina del Rey community.

- B. **Policy LU 5.3: Support a mix of land uses that promote bicycling and walking and reduce vehicle miles traveled.** The market is located near existing residential, commercial, and recreation uses and will provide residents and visitors with the opportunity to purchase alcoholic beverages for offsite consumption without having to drive or leave Marina del Rey to do so.
- C. **Policy LU 9.3: Encourage patterns of development that increase convenient, safe access to healthy foods, especially fresh produce, in all neighborhoods.** As conditioned, the Project is required to provide a minimum of three varieties of fresh produce free from spoilage and a minimum of two whole grain items for sale on a continuous basis. The products are required to be displayed in high-visibility areas as depicted on the Project's floor plan/shelf plan.

Land Use Plan:

- A. **Element A.1 Policy 14: Public opportunities for viewing the Marina's scenic elements, particularly the small craft harbor water areas, shall be enhanced and preserved.** By authorizing the sale of a full line of alcoholic beverages for offsite consumption in conjunction with an existing market, the Project will entice visitation to the area and will enhance opportunities for public access and viewing of Marina del Rey's various scenic elements and water areas, particularly given the Project Site's location directly adjacent to Mother's Beach and Basin D.
- B. **Element A.2 Policy 6: All projects shall be subject to the applicable parking requirements set forth in County Code Title 22.** The previously authorized market use with an accessory delicatessen, which is related to the Project, complies with Title 22 parking requirements and all parking spaces are depicted on the Project's Site Plan.
- C. **Element C.9 Policy 2: On-premise signs shall be restrained in size and color and subordinated to the setting.** The signage associated with the Project is the minimum amount necessary to provide important use-related information and is required to comply with all relevant permitting requirements and development standards found in the Marina del Rey Specific Plan.

ZONING CODE CONSISTENCY FINDINGS

- 16. **PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the H (Hotel) land use district and Waterfront Overlay Zone classifications as markets and are permitted in such classifications with a Ministerial Site Plan Review pursuant to County Code Section 22.46.1710 (Waterfront Overlay Zone – Permitted Uses). The market use with an accessory delicatessen, which is related to the Project, was previously legally authorized by Ministerial Site Plan Review No. RPPL2024001436. Additionally, the Project is consistent with alcoholic beverage sale

regulations because the sale of a full line of alcoholic beverages for offsite consumption that is accessory to one or more uses is permitted within the H (Hotel) land use district and Waterfront Overlay Zone with a CUP pursuant to County Code Section 22.140.030.

17. **PARKING.** The Hearing Officer finds that the Project is consistent with the standards identified in County Code Chapter 22.52, Part 11, as that chapter has been incorporated into the Marina del Rey Specific Plan. The County Department of Public Works' Building and Safety Division has determined that the market and accessory delicatessen have an overall occupancy of 54 persons. The Project's Site Plan indicates the total square footage associated with the market and accessory delicatessen is 4,352 square feet. Based on the occupancy load and square footage of the market and accessory delicatessen, 17 parking spaces are required, one of which must be accessible to persons with disabilities in compliance with the Americans with Disabilities Act. All 17 required parking spaces are available on the Project Site and are shown on the Project's Site Plan. An additional 77 parking spaces are also provided on the Project Site and are shown on the Project's Site Plan.
18. **SIGNS.** The Hearing Officer finds that the Project is consistent with the standards identified in County Code Section 22.46.1060 (Communitywide Design Guidelines) and all sign proposals required as part of the Project must comply with those standards.
19. **OPERATING REGULATIONS FOR ALCOHOL USES.** The Hearing Officer finds that the Project is consistent with the applicable standards identified in County Code Section 22.140.030.E. The Project is not required to limit shelf space devoted to the sale of alcoholic beverages to 5% because the Project proposes the sale of alcoholic beverages for offsite consumption, is not located within a 500-foot radius of another use selling alcoholic beverages for offsite consumption, and is not associated with an automobile service station. The Project has been conditioned to require the offering of at least three varieties of fresh produce free from spoilage and a minimum of two whole grain items for sale on a continuous basis to be displayed in high-visibility areas as depicted on the Project's floor plan/shelf plan. Additionally, the Project has been conditioned to require all employees of the underlying use who directly serve or are in the practice of selling alcoholic beverages to participate in the License Education on Alcohol and Drugs Program provided by ABC or a similar program. The Permittee is also required to display a certificate or plaque indicating participation in the training program in a publicly accessible area of the market. Proof of employees' completion of the training program is also required to be made available upon request. Lastly, the Project has been conditioned to limit the sale of a full line of alcoholic beverages for offsite consumption to between the hours of 8:00 a.m. to 10:00 p.m. Sunday through Thursday and between the hours of 8:00 a.m. to 11:00 p.m. Friday and Saturday. More information regarding this condition of Project approval is provided in Finding 28, below.

CONDITIONAL USE PERMIT FINDINGS

20. **The Hearing Officer finds that the proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the**

surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare. The operation of a market with an accessory delicatessen and the associated sale of alcoholic beverages for offsite consumption presents minimal risk of adversely affecting the health, peace, comfort, or welfare of persons residing or working in the area because it will not create negative impacts to the circulation, aesthetic, or environmental conditions in Marina del Rey. As conditioned, the authorization of the sale of alcoholic beverages for offsite consumption in association with the Permittee's market will contribute to an active and vibrant urban milieu enjoyed by residents and visitors of Marina del Rey and in no way constitutes a menace to the public health, safety, or general welfare.

A condition of Project approval limits the sale of a full line of alcoholic beverages for offsite consumption from 8:00 a.m. to 10:00 p.m. Sunday through Thursday and from 8:00 a.m. to 11:00 p.m. on Friday and Saturday. More information regarding this condition of Project approval is provided in Finding 28, below.

21. **The Hearing Officer finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.** The Project will be located on Leased Parcel 22 in Marina del Rey, which represents only a small part of a larger parcel occupied by other commercial, recreational, and residential uses. The Project does not propose any additions to the previously approved market with an accessory delicatessen.
22. **The Hearing Officer finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.** Via Marina is an arterial roadway with multiple lanes in each direction. The Project does not propose any changes to the existing entrances to Leased Parcel 22. The operation of a market with an accessory delicatessen and the associated sale of a full line of alcoholic beverages for offsite consumption will not generate any additional need for public or private services.
23. **GRANT TERM.** The Hearing Officer finds that to ensure continued compatibility between the Project and the surrounding land uses, it is necessary to limit the CUP to 10 years.

SUPPLEMENTAL FINDINGS

24. **The Hearing Officer finds that the requested use at the proposed location will not adversely affect the use of a place used exclusively for religious worship, school, park, playground, or any similar use within a 600-foot radius.** While the Project is located within 600 feet of Mother's Beach, the Mother's Beach playground, and an unnamed park, the Project's immediate surroundings include a hotel, a dry cleaner, Via Marina, various parking lots, and physical barriers (e.g., walls and dense landscaping).

Therefore, the use selling alcoholic beverages for offsite consumption is appropriately buffered so as not to adversely affect any sensitive uses in the area.

25. **The Hearing Officer finds that the requested use at the proposed location is sufficiently buffered in relation to any residential area within the immediate vicinity, so as not to adversely affect said area.** The Project Site is buffered to the west by Via Marina, a highly trafficked arterial roadway, which separates the use selling alcoholic beverages for offsite consumption from a neighboring apartment complex. Additionally, the Project Site is buffered to the south by multiple parking lots and Panay Way, a well-traveled road, all of which separate the use selling alcoholic beverage sales for offsite consumption from a neighboring apartment complex. Therefore, the Project is sufficiently buffered so as not to adversely affect the residential uses in the vicinity.
26. **The Hearing Officer finds that the requested use at the proposed location will not adversely affect the economic welfare of the nearby community.** The market with an accessory delicatessen and its associated sale of a full line of alcoholic beverages for offsite consumption is located on a leased parcel within a larger County-owned parcel. The Project includes an existing market as the primary use with the sale of alcoholic beverages for offsite consumption as a supplemental activity to the primary activities associated with the market (e.g., the retail sale of goods and the accessory operation of a delicatessen). It is not anticipated that the sale of alcoholic beverages for offsite consumption will create any identifiable negative economic impacts to the nearby community.
27. **The Hearing Officer finds that the exterior appearance of the structure will not be inconsistent with the exterior appearance of commercial structures already constructed or under construction within the immediate neighborhood, so as to cause blight, deterioration, or substantially diminish or impair property values within the neighborhood.** The Project does not propose any physical changes to the existing building being utilized by the Permittee.
28. **The Hearing Officer finds that even though the proposed sale of alcohol would occur at a site within a high crime reporting district or in an area of undue concentration, pursuant to the California Alcoholic Beverage Control Act and the regulations adopted under that Act, or that the use selling alcoholic beverages for off-site consumption is proposed within a 500-foot radius of another use selling alcoholic beverages for off-site consumption, the sale of alcohol at the subject property contributes to the public convenience or necessity.** The Project is located in an existing structure and there are no other uses within 500 feet selling alcoholic beverages for offsite consumption. The Project is located in a community categorized by ABC as a high crime reporting district and an area of undue concentration. Although the Project's Census Tract has a high concentration of ABC licenses authorizing the sale of alcoholic beverages for offsite consumption (seven existing where seven are allocated by ABC), the Project is in Marina del Rey, a community widely considered to be densely populated and often visited. Therefore, the high concentration of uses authorizing the sale of alcoholic beverages for offsite consumption is warranted given the number of people working, playing, and living in the area.

The sale of alcoholic beverages for offsite consumption is related and essential to the associated market with an accessory delicatessen, which cannot operate in a viable manner without the inclusion of alcoholic beverage sales. The requested sale of alcoholic beverages for offsite consumption will enhance the economic viability of Marina del Rey by adding to its critical mass of convenience commercial uses. The requested sale of alcoholic beverages for offsite consumption compliments the established businesses in the area by providing a convenient location where patrons of nearby hotels, and residents of nearby apartments, can purchase these products.

Given that the existing uses onsite include a market with an accessory delicatessen, the Project's sale of alcoholic beverages for offsite consumption provides patrons with a convenient opportunity to purchase a number of related goods in one spot, thereby reducing the need to travel to multiple locations, which could create increased traffic in the area and the emission of additional greenhouse gases.

When a CUP includes the sale of alcoholic beverages for offsite consumption, Staff typically recommends a condition of Project approval limiting sales from 10 a.m. to 10 p.m. every day. However, for this CUP, Staff recommended a condition of Project approval that allowed the sale of a full line of alcoholic beverages for offsite consumption from 8:00 a.m. to 10:00 p.m. Sunday through Thursday and from 8:00 a.m. to 11:00 p.m. on Friday and Saturday. The Hearing Officer finds that this condition of Project approval is appropriate due to the following factors.

A market previously operated at this location that sold alcoholic beverages for offsite consumption without a CUP pursuant to a "deemed-approved" status in accordance with County Code Section 22.140.030.H.1 because the sales were legally established before a CUP was required. However, the market ceased operations due to the COVID-19 pandemic and was closed for more than three consecutive months, so this CUP was required pursuant to County Code Section 22.140.030.H.3.c. The condition of Project approval allowing the sale of a full line of alcoholic beverages for offsite consumption from 8:00 a.m. to 10:00 p.m. Sunday through Thursday and from 8:00 a.m. to 11:00 p.m. on Friday and Saturday identifies hours that are similar to the hours when the market that previously operated at this location sold alcoholic beverages for off-site consumption, as evidenced by the Permittee's search of ABC records. As noted above, the previous sale of alcoholic beverages for off-site consumption only ceased due to the COVID-19 pandemic and as noted below, Staff was not aware of any issues related to the previous sale of alcoholic beverages for off-site consumption at this location and, as also noted below and in Finding 12, above, the Sheriff's Department recommended approval of this CUP. Additionally, the Permittee's requested hours of alcoholic beverage sales for offsite consumption, which are consistent with the market's hours of operation, are critical to providing an expected convenience to patrons of Marina del Rey, particularly within the boating community. The market is located near various marina basins and is frequented by boaters to purchase food and beverages before departing.

The Sheriff's Department, in a letter received on July 3, 2023, stated they had 16 calls for service at the Project Site in the five-year period preceding the letter's issuance and that the calls for service have been routine in nature, stated that the establishment has not been a problem, and recommend approval of this CUP. There have been no issues with the market and the previous sale of alcoholic beverages for offsite consumption at this location according to records maintained by the Sheriff's Department and LA County Planning's Land Use Regulation Division, which handles zoning enforcement activities.

ENVIRONMENTAL FINDINGS

29. The Hearing Officer finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1, Existing Facilities Categorical Exemption). The Project is located in an existing structure and involves the retail sale of a full line of alcoholic beverages for offsite consumption in association with an existing market with no expansion of the previously permitted use and structures.

ADMINISTRATIVE FINDINGS

30. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Coastal Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed use with the attached conditions will be consistent with the adopted Land Use Plan.
- B. The proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare.
- C. The proposed use is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed by County Code Title 22, or as is otherwise required to integrate said use with the uses in the surrounding area.
- D. The proposed site is adequately served by highways or streets improved as necessary to shorten trip length and reduce vehicle miles traveled for the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.

- E. The requested use at the proposed location will not adversely affect the use of a place used exclusively for religious worship, school, park, playground, or any similar use within a 600-foot radius.
- F. The requested use at the proposed location is sufficiently buffered in relation to any residential area within the immediate vicinity, so as not to adversely affect said area.
- G. The requested use at the proposed location will not adversely affect the economic welfare of the nearby community.
- H. The exterior experience of the structure will not be inconsistent with the exterior appearance of commercial structures already constructed or under construction within the immediate neighborhood, so as to cause blight, deterioration, or substantially diminish or impair property values within the neighborhood.
- I. The requested use at the proposed location would contribute to the public's convenience or necessity and the Project has been conditioned to ensure compatibility with the surrounding area given the Project Site's location in a high crime reporting district and an area of undue concentration.

THEREFORE, THE HEARING OFFICER:

1. Finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1, Existing Facilities Categorical Exemption); and
2. Approves **CONDITIONAL USE PERMIT NO. RPPL2022005808**, subject to the attached conditions.

ACTION DATE: January 21, 2025

MG:RG:NMM

1/8/2025

c: Hearing Officer, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

CONDITIONS OF APPROVAL
PROJECT NO. PRJ2022-001917-(2)
CONDITIONAL USE PERMIT NO. RPPL2022005808

PROJECT DESCRIPTION

The project is a request to authorize the retail sale of beer, wine, and distilled spirits for offsite consumption (California Department of Alcoholic Beverage Control (“ABC”) Type 21 License) in association with an existing legally established market located at 4148 Via Marina, Leased Parcel 22, in Marina del Rey subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term “Permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid pursuant to Condition No. 9. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 8 shall be effective pursuant to Section 22.222.230 of the County Code.
3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring

the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. **This grant shall terminate on January 21, 2035.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the Permittee intends to continue operations after such date, whether or not the Permittee proposes any modifications to the use at that time, the Permittee shall file a new Conditional Use Permit application with LA County Planning or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least twelve months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the Permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
8. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
9. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of or any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum **\$2,205.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **five (5)** inspections.

Inspections may be unannounced. Inspections may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (“UAS”). Use of the UAS requires the approval of the Permittee pursuant to LA County Planning’s UAS Policy, which may be updated from time to time, and which shall be provided to the Permittee upon request.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$441.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

10. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission (“Commission”) or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public’s health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
11. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
12. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
13. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning (“Director”).
14. The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
15. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours of such

notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

16. The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **one (1) digital copy, in PDF format**, of a modified Exhibit "A" shall be submitted to LA County Planning by **March 18, 2025**.
17. In the event that subsequent revisions to the approved Exhibit "A" are submitted, the Permittee shall submit **one (1) digital copy, in PDF format**, of the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.
18. The conditions of this grant shall always be retained on the premises and shall be immediately produced upon request by any County Sheriff, LA County Planning Zoning Enforcement ("Zoning Enforcement") inspector, or ABC agent. The manager and all employees of the facility shall be knowledgeable of the conditions herein. Violation of the conditions herein may subject the use to the provisions of County Code Chapter 22.238 (Modifications and Revocations).

PERMIT-SPECIFIC CONDITIONS – CONDITIONAL USE PERMIT

19. Loitering shall be prohibited on the subject property, including loitering by employees of the subject property. Signage in compliance with County Code Section 22.46.1060 (Communitywide Design Guidelines) shall be placed on the premises indicating said prohibition. Employees shall be instructed to enforce these regulations and to call local law enforcement if necessary. If loitering occurs on a continuous basis, as determined by the County Sheriff, a security guard shall be required during business hours at the discretion of the Director.
20. All employees who directly serve or are in the practice of selling alcoholic beverages, including managers and security personnel, shall participate in the Licensee Education on Alcohol and Drugs (LEAD) Program provided by the ABC, or a similar program, such as Standardized Training for Alcohol Retailers (STAR) or another comparable State of California-certified program. All new designated employees shall be required to attend. The licensee shall display a certificate or plaque in a publicly accessible area of the establishment, such as the lobby, indicated they have participated in this program. Proof of completion of the facility's training program by employees, the licensee, and all managers shall be provided to Zoning Enforcement within 90 days of the effective date of this Conditional Use Permit, and subsequently within 90 days of the hire date of all new employees and/or managers.
21. The Permittee and all managers and employees shall not allow the sale of alcoholic beverages to any intoxicated person, any person appearing to be intoxicated, or any person exhibiting behaviors associated with being intoxicated.

22. The Permittee shall not advertise the sale of alcoholic beverages on the exterior of any structure on the subject property, including windows, walls, fences or similar structures, or within any portion of the interior of any structure that is visible from the outside.
23. No publicly accessible telephones shall be maintained or permitted on the exterior of the premises. Any existing publicly accessible telephones shall be removed within 90 days of the effective date of this Conditional Use Permit.
24. Alcoholic beverages shall only be sold or served to patrons aged 21 or older.
25. The consumption of alcoholic beverages shall be prohibited on the subject property. The Permittee shall post signage on the premises prohibiting consumption of alcoholic beverages on the premises.
26. Alcoholic beverages shall not be sold from a drive-in or drive-through window.
27. Malt beverages (e.g., beer, ale, stout, and malt liquors) shall not be sold in a single bottle or container less than 16 ounces or greater than 750 milliliters or 25.4 ounces. The Permittee shall post signs on the coolers and cashier station stating that the selling of single bottles or containers of malt beverages (e.g., beer, ale, stout, and malt liquors) less than 16 ounces or greater than 750 milliliters or 25.4 ounces is prohibited. Notwithstanding this condition, malt beverages (e.g., beer, ale, stout, and malt liquors) in single bottles or containers less than 16 ounces or greater than 750 milliliters or 25.4 ounces may be sold in manufacturer pre-packaged multi-unit quantities, such as a six-pack of 12-ounce bottles or containers or a three-pack of 24-ounce bottles or containers.
28. There shall be no wine, except for wine coolers, sold in containers of less than 750 milliliters. No miniatures of any type may be sold. Wine coolers shall not be sold in less than four-pack quantities.
29. Alcoholic beverages shall not be displayed in an ice tub.
30. The Permittee shall display alcoholic beverages only in the cooler or shelving designated for storage of said beverages as depicted on the floor plan and shelf plans labeled Exhibit "A." No additional display of alcoholic beverages shall be provided elsewhere on the premises.
31. The licensed premises shall have no coin operated amusements, such as pool tables, juke boxes, video games, small carousel rides or similar riding machines, except for official State Lottery machines.
32. The Permittee shall offer a minimum of three (3) varieties of fresh produce free from spoilage and two (2) whole grain items for sale on a continuous basis. For purposes of this condition, "fresh produce" shall be defined as any edible portion of a fresh fruit or vegetable, whether offered for sale whole or pre-sliced, and "whole grain items" shall be defined as any food from either:

- a. A single ingredient product of the seed or fruits of various food plants, such as brown rice, whole oats, quinoa, or barley; or
- b. A pre-packaged grain product, such as whole wheat bread or whole wheat crackers, in which the word “whole” appears first in the ingredients list of the product.

These products shall be displayed in high-visibility areas meeting one or more of the following criteria, as depicted on the approved floor and shelf plans labeled Exhibit “A:”

- a. Within ten feet of the front door;
 - b. Within five feet of a cash register;
 - c. At eye-level on a shelf or within a cooler, refrigerator, or freezer case;
 - d. On an end cap of an aisle; or
 - e. Within a display area dedicated to produce that is easily accessible to customers.
33. The Permittee is required to purchase an existing ABC License for offsite consumption within the Second Supervisorial District no later than December 17, 2026. If the Permittee needs additional time, after providing evidence of best efforts to obtain an existing alcohol license for offsite consumption to the Director, then the Permittee may request additional time from the Director in writing. If the Director determines that the Permittee has been unable to acquire an existing alcohol license for offsite consumption despite best efforts, the Director shall grant an extension or extensions, which cumulatively shall not exceed one year. The rights granted hereunder shall expire and lapse if the Permittee fails to acquire an ABC License for offsite consumption within the timeframe set forth in this condition.
34. Deliveries shall be limited to non-peak hours, generally between 9:00 a.m. and 6:00 p.m.
35. All commercial delivery trucks shall use commercial streets, routes depicted on the adopted Highway Plan Map in the General Plan, and/or designated truck routes for deliveries.
36. The Permittee shall provide adequate exterior lighting above all entrances and exits to the premises and in all parking areas and walkways under control of the Permittee or required as a condition of this grant. All exterior lighting required by this grant shall be of sufficient power to illuminate and make easily discernable the appearance and conduct of all persons within lighted areas during operating hours and shall be designed to direct light and glare only onto the premises. All exterior lighting by this grant shall also be hooded and directed away from neighboring residences to prevent direct illumination and glare, and shall be turned off within thirty minutes after the conclusion of activities, except for sensor-activated security lights and/or low level lighting along all pedestrian walkways leading to and from the parking lot.
37. A numbering address sign, in compliance with County Code Section 22.46.1060 (Communitywide Design Guidelines), shall be located at the front of the building in a

location clearly visible from the property grounds and the nearest public street to the satisfaction of the Director.

38. Exterior security bars and roll-up doors applied to windows and pedestrian building entrances shall be prohibited.
39. The premises, including exterior facades, designated parking areas, fences, and adjacent sidewalks and other public rights-of-way, shall be maintained in a neat and orderly condition and be free of garbage, trash, debris, or junk and salvage, except in designated trash collection containers and enclosures. All garbage, trash, debris, or junk and salvage shall be collected, and disposed of, daily.
40. This grant authorizes the sale of alcoholic beverages from 8:00 a.m. to 10:00 p.m. Sunday through Thursday and 8:00 a.m. to 11:00 p.m. on Friday and Saturday.

PROJECT SITE-SPECIFIC CONDITIONS

41. This grant shall authorize the retail sale of beer, wine, and distilled spirits for offsite consumption (ABC Type 21 License) in association with an existing legally established market located at 4148 Via Marina, Leased Parcel 22, in Marina del Rey.

APPLICATION FOR CONDITIONAL USE PERMIT FOR OFF-SITE ALCOHOL SALES

APPLICANT: **SHIKL ENTERPRISES INC. (STEVE OH)
4148 VIA MARINA, MARINA DEL REY, CA 90292**

AGENT: **ART RODRIGUEZ ASSOCIATES**

OWNER: **MARINA PROPERTIES, LLC**

REFERENCE: **A CONDITIONAL USE PERMIT (CUP) PURSUANT TO ZONING
CODE SECTION 22.56.040, TO ALLOW THE SALE OF A FULL
LINE OF ALCOHOLIC BEVERAGES FOR OFF-SITE
CONSUMPTION, IN CONJUNCTION WITH AN EXISTING 4,351
SQUARE-FOOT MARKET AND DELI LOCATED AT 4148 VIA
MARINA**

In addition to the Conditional Use Permit Findings required pursuant to Section 22.158.050 (Findings and Conditions), pursuant to Section 22.140.030 (Alcoholic Beverage Sales), the applicant shall substantiate the following:

F.1.a. The requested use at the proposed location will not adversely affect the use of a place used exclusively for religious worship, school, park, playground, or any similar use within a 600-foot radius.

Sensitive uses within 600 feet of the subject property include the Marina Beach, the Mother's Beach playground, and a Park at the south-east corner of Admiralty Way and Vía Marina. The request to allow the continued sale of alcoholic beverages in conjunction with an existing grocery, liquor market, and deli will not adversely affect nearby sensitive uses, since no major changes have been proposed to the existing use. Marina Mart has been authorized for the sale of alcoholic beverages at this location by the State Department of Alcoholic Beverage Control (ABC) since 1982 and has maintained an impeccable disciplinary record with ABC. The applicant will continue to maintain the market's operations in full compliance with the conditions imposed by ABC, and as part of this request, the applicant will be in full compliance with County conditions. The applicant has had a long history operating family owned markets since 1986 and is fully aware and adheres to laws and regulations for selling alcoholic beverages. Thus, the applicant will ensure that the use is maintained in an appropriate and desirable posture in relation to adjacent uses and properties.

F.1.b. The requested use at the proposed location is sufficiently buffered in relation to any residential area within the immediate vicinity, so as not to adversely affect said area.

There are no residences immediately abutting the subject property. The closest residential units are located across Vía Marina to the west of the property and are sufficiently buffered by the six-lane thoroughfare, so that no light, noise, or activity emanating from the subject property will affect the residential uses. The applicant will nevertheless ensure that their operations and physical characteristics do not negatively impact, or cause nuisances to, residential zones or uses. The continued operation and sales of alcoholic beverages at the subject location will simply allow nearby residents to avail themselves of the convenient retail option provided by Marina Mart for 30 years.

F.1.c. The requested use at the proposed location will not adversely affect the economic welfare of the nearby community.

Marina Mart is the only use selling alcoholic beverages for off-site consumption within a 500-foot radius of the subject location. As such, Marina Mart provides a public convenience by offering a one-stop shopping destination for nearby residents, workers, commuters, and businesses. The store carries a greatly expanded selection of products in key categories including produce, fresh meat, frozen foods, deli sandwiches, and grocery basics, such as cereal, yogurt, bread, and snacks. The sale of alcoholic beverages will remain ancillary to the many goods and services provided by the grocery market and deli. Thus, Marina Mart will continue to provide a public convenience and will not adversely affect the economic welfare of the nearby community.

F.1.d. The exterior appearance of the structure will not be inconsistent with the exterior appearance of commercial structures already constructed or under construction within the immediate neighborhood, so as to cause blight, deterioration, or substantially diminish or impair property values within the neighborhood.

Marina Mart will utilize its existing retail space without any physical alterations. As such, the market and deli will continue to follow all applicable standards pertaining to size, height, parking, fences, and landscaping, and will remain consistent with the exterior appearance of the surrounding neighborhood. The existing building does not cause blight nor diminish or impair property values in the neighborhood but rather assists in the area's sustainability as the only retail food and beverage outlet in the immediate vicinity.

PROPOSED ENVIRONMENTAL DETERMINATION

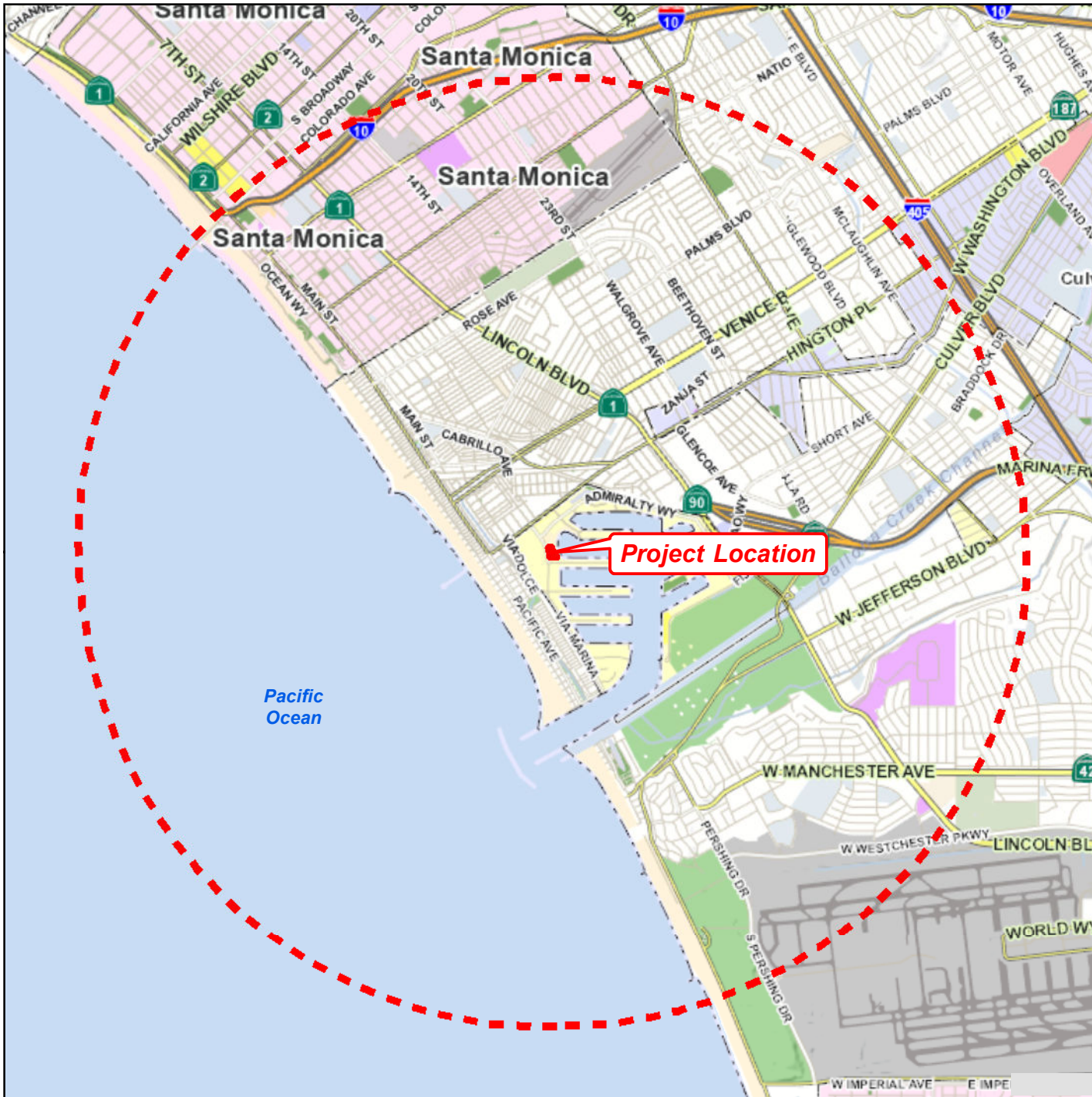
DETERMINATION DATE: January 8, 2025
PROJECT NUMBER: PRJ2022-001917-(2)
PERMIT NUMBER(S): Conditional Use Permit No. RPPL2022005808
SUPERVISORIAL DISTRICT: 2
PROJECT LOCATION: 4148 Via Marina, Marina del Rey, CA 90292
OWNER: County of Los Angeles
APPLICANT: Maria Impala, Art Rodriguez Associates
CASE PLANNER: Nathan M. Merrick, Principal Planner
NMerrick@planning.lacounty.gov

Los Angeles County (“County”) completed an initial review for the above-mentioned Project. Based on examination of the Project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (“CEQA”). The Project qualifies for a Class 1 (Existing Facilities) Categorical Exemption under State CEQA Guidelines Section 15301 because the Project involves the proposed retail sale of a full line of alcoholic beverages (i.e., beer, wine, and distilled spirits) for offsite consumption through a California Department of Alcoholic Beverage Control Type 21 License,. This proposed sale of alcoholic beverages is associated with an existing legally established market with an accessory delicatessen and no expansion of the existing use or related structures is contemplated. Moreover, there are no anticipated cumulative impacts due to successive projects of the same type in the same place as no additional projects of a similar type have recently been proposed onsite. Additionally, there are no unusual circumstances associated with the Project that would necessitate a finding of a reasonable possibility that the proposed activity will have a significant effect on the environment. Finally, the Project is not associated with any scenic highways, hazardous waste sites, or historical resources.

3-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-001917
ALCOHOL CUP RPPL2022005808



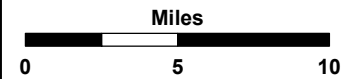
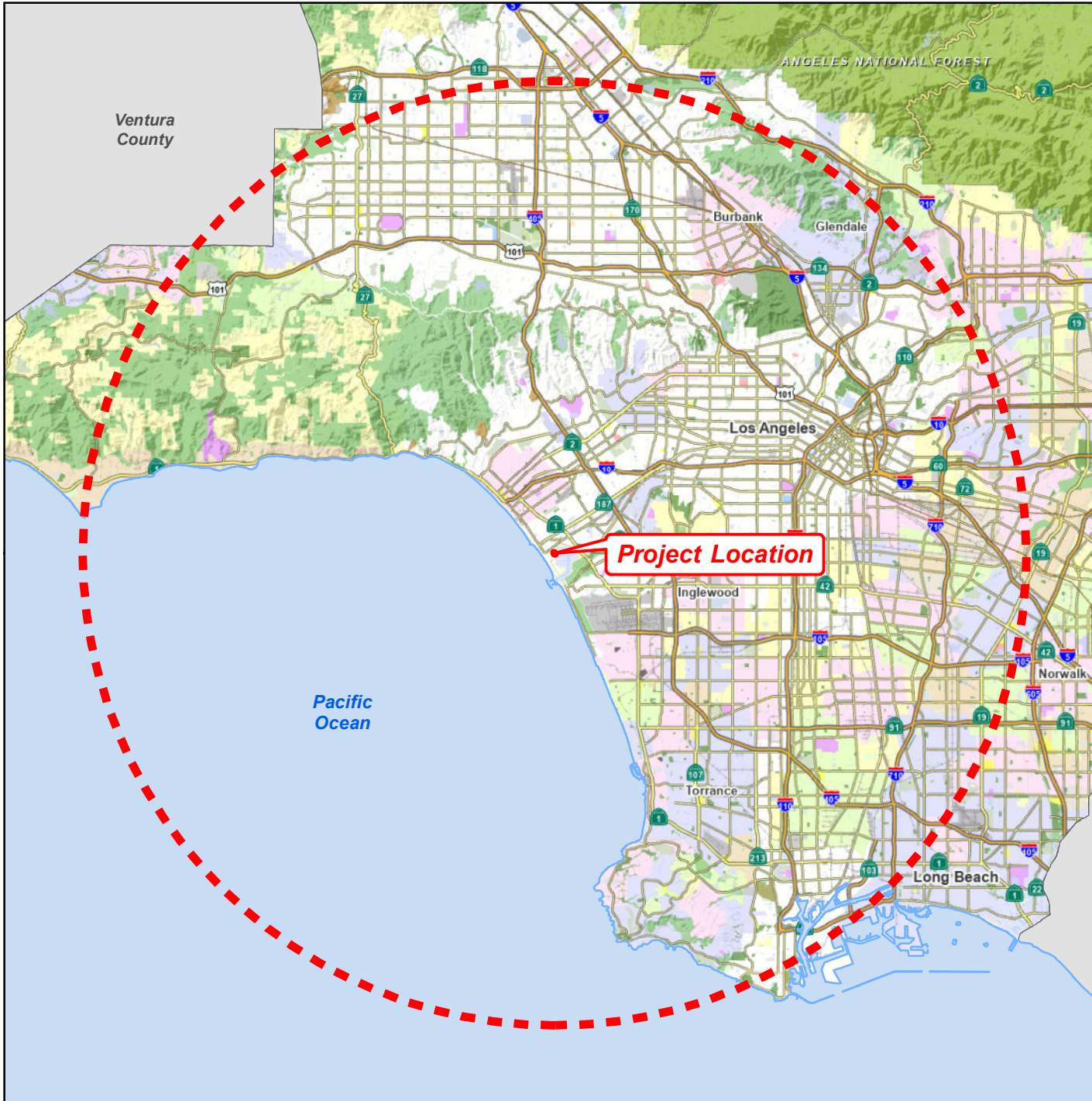
LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-001917
ALCOHOL CUP RPPL2022005808



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



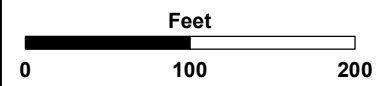
AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2022-001917
ALCOHOL CUP RPPL2022005808

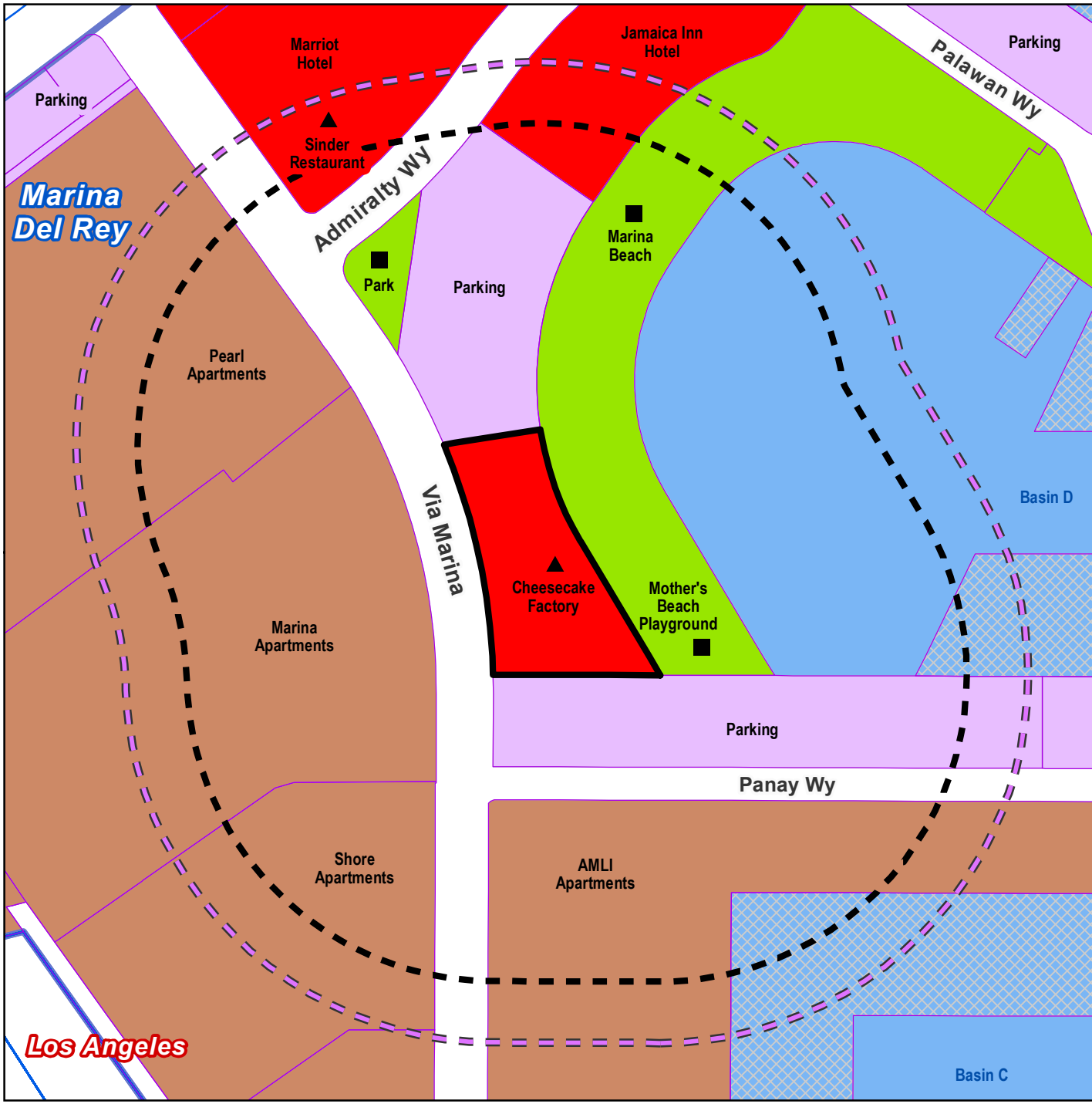
Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2024

-  Marina Del Rey Lease Parcel
-  Assessor Parcel



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
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Los Angeles, CA 90012



EXISTING LAND USE

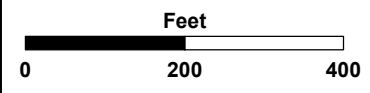
600-FOOT RADIUS MAP
 PROJECT NO. PRJ2022-001917
 ALCOHOL CUP RPPL2022005808

- △ Offsite Alcohol Consumption
- ▲ Onsite Alcohol Consumption
- Sensitive Use
- 600-ft ABC Radius
- 500-ft Standard Radius

Marina Del Rey Existing Land Use

- Channel
- Commercial
- Marina (Boat Docks)
- Miscellaneous
- Recreational
- Residential - Multi-Unit

* Circles are generally applied to residential parcels. Empty circles indicate a single dwelling unit (DU), unless the parcel is symbolized as Vacant. Elsewhere, multi-unit residential parcels (where shown) are labeled with the number of DUs they contain.



Los Angeles



LA COUNTY
PLANNING

LOS ANGELES COUNTY
 Dept. of Regional Planning
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 Los Angeles, CA 90012

HALF-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-001917
ALCOHOL CUP RPPL2022005808



LA COUNTY
PLANNING

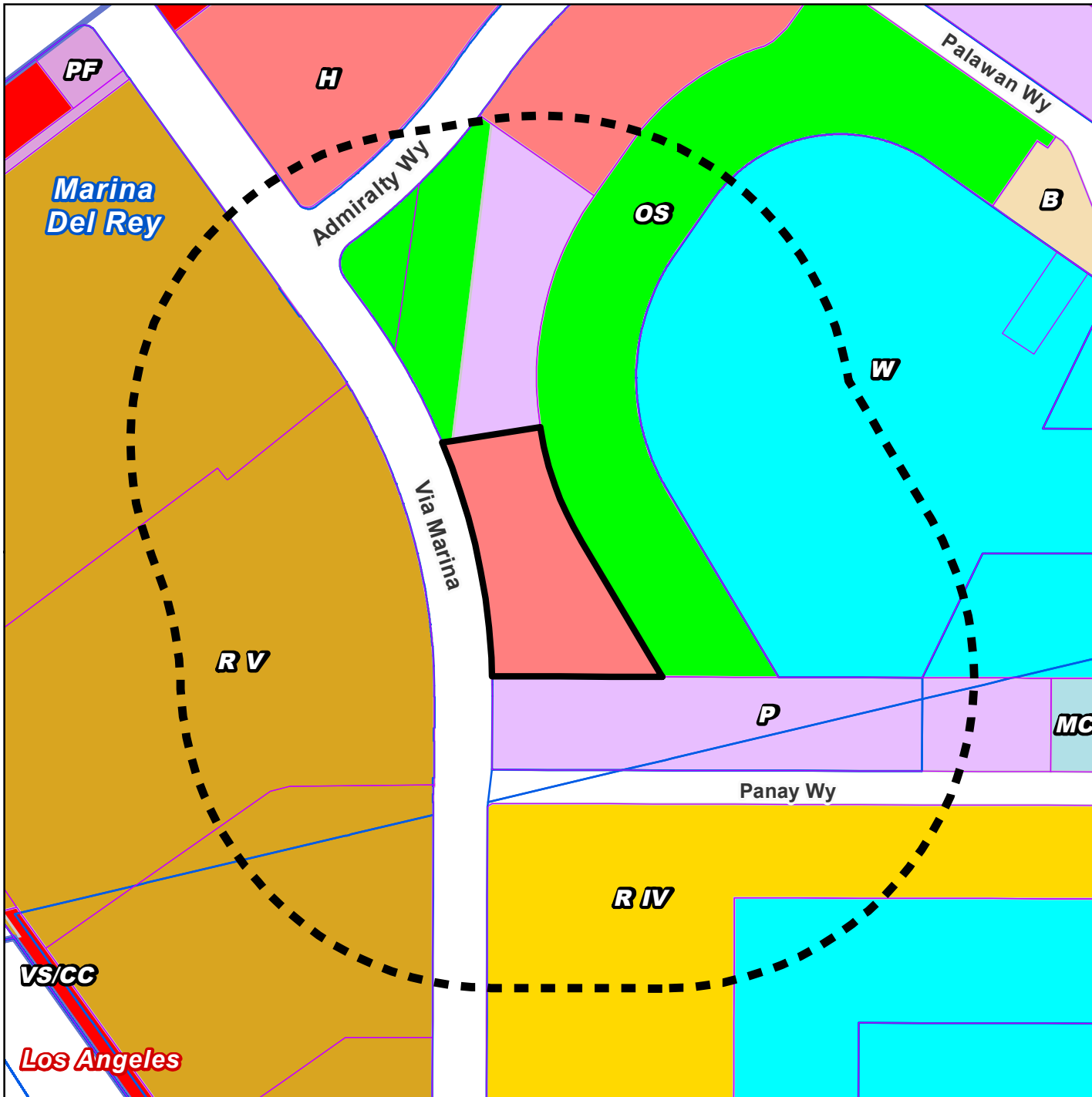
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

LAND USE POLICY

500-FOOT RADIUS MAP

PROJECT NO. PRJ2022-001917

ALCOHOL CUP RPPL2022005808



Marina Del Rey Lease Parcel

Assessor Parcel

Marina Del Rey

OS - Open Space

B - Boat Storage

MC - Marine Commercial

W - Water

R IV - Residential IV (45 du/ac)

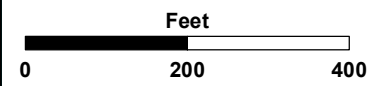
P - Parking

H - Hotel

VS/CC - Visitor-Serving / Convenience Commercial

R V - Residential V (75 du/ac)

PF - Public Facilities



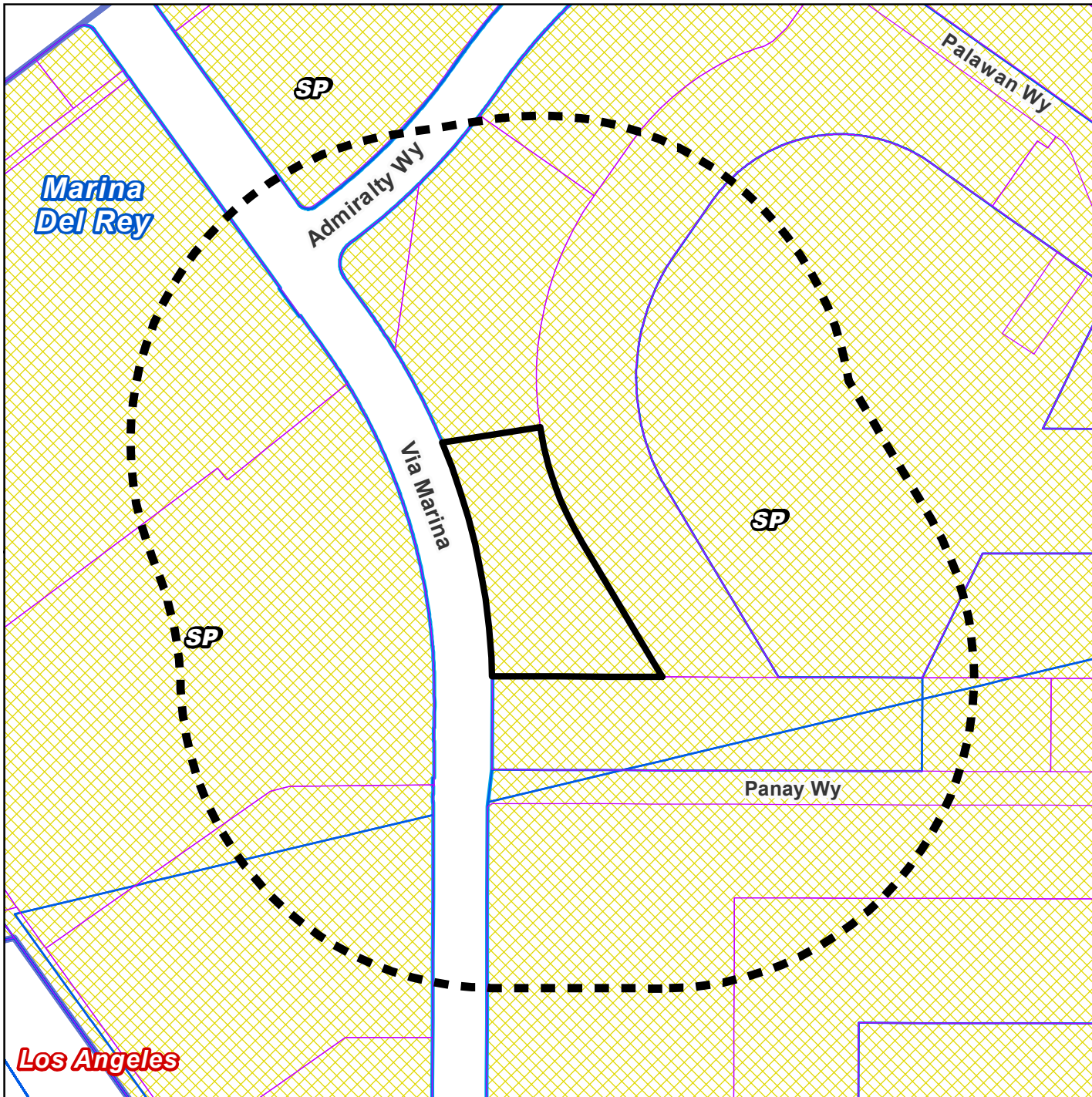
LA COUNTY
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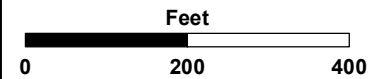
VS/CC
Los Angeles

ZONING

500-FOOT RADIUS MAP
PROJECT NO. PRJ2022-001917
ALCOHOL CUP RPPL2022005808



-  Marina Del Rey Lease Parcel
-  Assessor Parcel
-  SP - Specific Plan



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Los Angeles



PACIFIC
PLUMBING &
HEATING
837-5333

4
1
4
8

Marina
MARKET & LIQUOR

PRIVATE PROPERTY
NO PARKING





oghorn
Harbor Inn



OGHORN
Harbor Inn





Marriott

MARKET LIQUOR

ogho

RIGHT LANE TURNS RIGHT AHEAD

MARKET LIQUOR

oghorn
Harbor Inn

RIGHT LANE
TURNS RIGHT
AHEAD

SKTUS
AVZ

SCOTTIE

INFORMATION AND INSTRUCTIONS -

SECTION 23958.4 B&P

- Instructions This form is to be used for all applications for original issuance or premises to premises transfer of licenses.
- Part 1 is to be completed by an ABC employee, given to applicant with pre-application package, with copy retained in holding file or applicant's district file.
 - Part 2 is to be completed by the applicant, and returned to ABC.
 - Part 3 is to be completed by the local governing body or its designated subordinate officer or body, and returned to ABC.

PART 1 - TO BE COMPLETED BY ABC

1. APPLICANT'S NAME Marina Market & Liquor

2. PREMISES ADDRESS (Street number and name, city, zip code) 4148 Via Marina, Marina Del Rey 90292

3. LICENSE TYPE 21

4. TYPE OF BUSINESS

| | | | |
|---|--|--|--|
| <input type="checkbox"/> Full Service Restaurant | <input type="checkbox"/> Hofbrau/Cafeteria | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Private Club |
| <input type="checkbox"/> Deli or Specialty Restaurant | <input type="checkbox"/> Comedy Club | <input type="checkbox"/> Night Club | <input type="checkbox"/> Veterans Club |
| <input type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Brew Pub | <input type="checkbox"/> Tavern: Beer | <input type="checkbox"/> Fraternal Club |
| <input type="checkbox"/> Bed & Breakfast: | <input type="checkbox"/> Theater | <input type="checkbox"/> Tavern: Beer & Wine | <input type="checkbox"/> Wine Tasting Room |
| <input type="checkbox"/> Wine only <input type="checkbox"/> All | | | |
| <input checked="" type="checkbox"/> Supermarket | <input type="checkbox"/> Membership Store | <input type="checkbox"/> Service Station | <input type="checkbox"/> Swap Meet/Flea Market |
| <input checked="" type="checkbox"/> Liquor Store | <input type="checkbox"/> Department Store | <input type="checkbox"/> Convenience Market | <input type="checkbox"/> Drive-in Dairy |
| <input type="checkbox"/> Drug/Variety Store | <input type="checkbox"/> Florist/Gift Shop | <input type="checkbox"/> Convenience Market w/Gasoline | |
| <input type="checkbox"/> Other - describe: | | | |

5. COUNTY POPULATION 10,044,458

6. TOTAL NUMBER OF LICENSES IN COUNTY 11,373 On-Sale Off-Sale

7. RATIO OF LICENSES TO POPULATION IN COUNTY 1605 On-Sale Off-Sale

8. CENSUS TRACT NUMBER 7029

9. NO. OF LICENSES ALLOWED IN CENSUS TRACT 7 On-Sale Off-Sale

10. NO. OF LICENSES EXISTING IN CENSUS TRACT 7 On-Sale Off-Sale

11. IS THE ABOVE CENSUS TRACT OVERCONCENTRATED WITH LICENSES? (i.e., does the ratio of licenses to population in the census tract exceed the ratio of licenses to population for the entire county?)
 Yes, the number of existing licenses exceeds the number allowed
 No, the number of existing licenses is lower than the number allowed

12. DOES LAW ENFORCEMENT AGENCY MAINTAIN CRIME STATISTICS?
 Yes (Go to Item #13) No (Go to Item #20)

13. CRIME REPORTING DISTRICT NUMBER 2760

14. TOTAL NUMBER OF REPORTING DISTRICTS 543

15. TOTAL NUMBER OF OFFENSES IN ALL REPORTING DISTRICTS 37,731

16. AVERAGE NO. OF OFFENSES PER DISTRICT 69.5

17. 120% OF AVERAGE NUMBER OF OFFENSES 83.4

18. TOTAL NUMBER OF OFFENSES IN REPORTING DISTRICT 561

19. IS THE PREMISES LOCATED IN A HIGH CRIME REPORTING DISTRICT? (i.e., has a 20% greater number of reported crimes than the average number of reported crimes as determined from all crime reporting districts within the jurisdiction of the local law enforcement agency)
 Yes, the total number of offenses in the reporting district equals or exceeds the total number in item #17
 No, the total number of offenses in the reporting district is lower than the total number in item #17

20. CHECK THE BOX THAT APPLIES (check only one box)

a. If "No" is checked in both item #11 and item #19, Section 23958.4 B&P does not apply to this application, and no additional information will be needed on this issue. Advise the applicant to bring this completed form to ABC when filing the application.

b. If "Yes" is checked in either item #11 or item #19, and the applicant is applying for a non-retail license, a retail bona fide public eating place license, a retail license issued for a hotel, motel or other lodging establishment as defined in Section 25503.16(b) B&P, or a retail license issued in conjunction with a beer manufacturer's license, or winegrower's license, advise the applicant to complete Section 2 and bring the completed form to ABC when filing the application or as soon as possible thereafter.


c. If "Yes" is checked in either item #11 or item #19, and the applicant is applying for an off-sale beer and wine license, an off-sale general license, an on-sale beer license, an on-sale beer and wine (public premises) license, or an on-sale general (public premises) license, advise the applicant to take this form to the local governing body, or its designated subordinate officer or body to have them complete Section 3. The completed form will need to be provided to ABC in order to process the application.

Governing Body/Designated Subordinate Name:

FOR DEPARTMENT USE ONLY

PREPARED BY (Name of Department Employee)

S. Harden

 An official website of the United States government



Find Address Geographies

House number & Street name:

4148 via marina

City:

marina del rey

State:

california

ZIP Code:

90292

Benchmark:

Public_AR_Current ▾

Vintage:

Current_Current ▾

Get Results

Input:

Address: 4148 via marina

City: marina del rey

State: california

ZIP Code: 90292

Benchmark: Public_AR_Current (4)

Vintage: Current_Current (4)

Matched Address: 4148 VIA MARINA, MARINA DEL REY, CA, 90292

Interpolated Longitude (X) Coordinates: -118.45906255259735

Interpolated Latitude (Y) Coordinates: 33.97889074122305

Tigerline ID: 650064366

Tigerline ID Side: L

Address Range Components:**Tiger Address Range:** 4142 - 4298**Street PreQualifier:****Street PreDirection:****Street PreType:** VIA**Street Name:** MARINA**Street SuffixType:****Street SuffixDirection:****Street SuffixQualifier:****City:** MARINA DEL REY**State:** CA**ZIP Code:** 90292**Geographies:****States:****STATE CODE:** 06**CENTLON:** -119.5277735**GEOID:** 06**CENTLAT:** +37.1547616**AREAWATER:** 20291770234**AREALAND:** 403673296401**NAME:** California**County Subdivisions:****STATE CODE:** 06**CENTLON:** -118.3584810**COUSUB:** 91750**GEOID:** 0603791750**CENTLAT:** +33.9935728**COUNTY CODE:** 037**AREAWATER:** 135025322**AREALAND:** 692183205**NAME:** Los Angeles CCD**Census Designated Places:****STATE CODE:** 06

PLACECC: U1
CENTLON: -118.4485979
GEOID: 0645806
CENTLAT: +33.9764928
AREAWATER: 1546421
AREALAND: 2221335
PLACENS: 02408179
PLACE: 45806
NAME: Marina del Rey CDP

Urban Areas:

CENTLON: -118.1231810
GEOID: 51445
CENTLAT: +33.9845927
AREAWATER: 45611507
AREALAND: 4242041967
UA: 51445
NAME: Los Angeles--Long Beach--Anaheim, CA Urban Area

Counties:

STATE CODE: 06
CENTLON: -118.2618084
GEOID: 06037
CENTLAT: +34.1959609
COUNTY CODE: 037
AREAWATER: 1785003256
AREALAND: 10515988121
NAME: Los Angeles County

2022 State Legislative Districts - Upper:

STATE CODE: 06
CENTLON: -118.5843877
GEOID: 06024
CENTLAT: +33.9906658
AREAWATER: 486697083
AREALAND: 848330573
NAME: State Senate District 24

2022 State Legislative Districts - Lower:

STATE CODE: 06

CENTLON: -118.4017958
GEOID: 06061
CENTLAT: +33.9468895
AREAWATER: 51322865
AREALAND: 120320220
NAME: Assembly District 61

2020 Census Blocks:

STATE CODE: 06
GEOID: 060377029003001
CENTLAT: +33.9778646
COUNTY CODE: 037
OID_1:
AREAWATER: 0
NAME: Block 3001
CENTLON: -118.4562991
AREA: 154546.25797880499
LEN: 3539.2065176345504
TRACT CODE: 702900
AREALAND: 106008
BLOCK CODE: 3001
UR: U

Census Tracts:

STATE CODE: 06
CENTLON: -118.4485633
GEOID: 06037702900
CENTLAT: +33.9764929
COUNTY CODE: 037
TRACT CODE: 702900
AREAWATER: 1546421
AREALAND: 2209652
NAME: Census Tract 7029

118th Congressional Districts:

STATE CODE: 06
CENTLON: -118.4214223
GEOID: 0636
CENTLAT: +33.8699382
AREAWATER: 252540525

CD118: 36

AREALAND: 251515348

NAME: Congressional District 36

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Measuring America's People, Places, and Economy

| License Nu | Status | License Ty | Orig. | Iss. D | Expir. Date | Primary Ov | Premises A | Business N | Geo Code |
|------------|--------|------------|----------|--------|------------------|-----------------|------------|------------|----------|
| 41700 | ACTIVE | 21 | 1/1/1994 | ##### | ALPHA BET 4700 | ADMIRALPHS 27 | | | 1933 |
| 442887 | ACTIVE | 20 | ##### | ##### | HEO, JIN K\ 4111 | VIA M OAKWOOD | | | 1933 |
| 467609 | ACTIVE | 20 | 9/3/2008 | ##### | DEL REY FU 13800 | BOR DEL REY FU | | | 1933 |
| 561210 | ACTIVE | 20 | ##### | ##### | THALIAELE, 14000 | CAP BREAK WA | | | 1933 |
| 572629 | SUSPEN | 21 | ##### | ##### | SKY'S GOUI 4333 | ADMISKY'S GOUI | | | 1933 |
| 585459 | ACTIVE | 21 | ##### | ##### | TRADER JO 4675 | ADMITRADER JO | | | 1933 |
| 628345 | ACTIVE | 21 | ##### | ##### | MAIN ST. C 536 | WASHI WOLFS LIQ | | | 1933 |



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

Transmittal: B&P Application Worksheet Request

| TO | ABC Office | Service Area | Fax | E-Mail |
|-------------------------------------|----------------------|------------------------|--------------|--|
| <input checked="" type="checkbox"/> | Long Beach/ Lakewood | Southeastern | 562-982-1337 | LongBeach/Lakewood@abc.ca.gov |
| <input type="checkbox"/> | LA Metro | Central | 213-833-6043 | LAMetro@abc.ca.gov |
| <input type="checkbox"/> | Monrovia | Northeastern | 626-256-3241 | Monrovia@abc.ca.gov |
| <input type="checkbox"/> | Van Nuys | North and Northwestern | 818-901-5017 | VanNuys@abc.ca.gov |

The Department of Regional Planning is processing a Conditional Use Permit (CUP) to authorize the sale of alcoholic beverages. Please provide (by fax or e-mail) a **"B&P Worksheet"** referencing if the subject property is located within a "high-crime reporting district," and indicate if there is an undue concentration of alcoholic beverage licenses within the subject census tract. If you need further information, please contact the case planner. Thank you for your assistance.

| | ABC License Type | Description |
|---|------------------|---|
| <input type="checkbox"/> | Type 20 | Beer and wine, off-site consumption (retail) |
| <input checked="" type="checkbox"/> | Type 21 | Full-line (beer, wine, distilled spirits), off-site consumption (retail) |
| <input type="checkbox"/> | Type 41 | Beer and wine, on-site consumption (restaurant) |
| <input type="checkbox"/> | Type 42 | Beer and wine, on-site consumption (bar, tavern) |
| <input type="checkbox"/> | Type 47 | Full-line (beer, wine, distilled spirits), on-site consumption (restaurant) |
| <input type="checkbox"/> | Type 48 | Full-line (beer, wine, distilled spirits), on-site consumption (bar, night club) |
| <input type="checkbox"/> | Other: | |
| DATE OF REQUEST: November 9, 2023 | | <input type="checkbox"/> 1st Request <input type="checkbox"/> 2nd Request <input checked="" type="checkbox"/> 3rd Request |
| PROJECT NO.: PRJ2022-001917 | | CUP NO. RPPL2022005808 |
| ESTABLISHMENT: Marina Market & Liquor | | |
| LOCATION: 4148 Via Marina, Marina del Rey, CA 90292 | | |

320 West Temple Street • Los Angeles, CA 90012 • 213-974-6411 • TDD: 213-617-2292

@LACDRP | planning.lacounty.gov

| | |
|--|-------------------------------|
| LICENSE OWNER'S NAME(S): Douglas Kim | ABC LICENSE NO.: 505090 |
| CRIME REPORTING DISTRICT NO.: 2760 | CENSUS TRACT NO.: 7029.00 |
| CASE PLANNER: Nathan M. Merrick | PLANNER'S PHONE: 213-974-0051 |
| E-MAIL: NMerrick@planning.lacounty.gov | FAX: 213-626-0434 |



OFFICE OF THE SHERIFF

COUNTY OF LOS ANGELES

HALL OF JUSTICE



ROBERT G. LUNA, SHERIFF

Subject: Conditional Use Permit (CUP) Consultation for Sale of Alcohol
Project No.: PRJ2022-001917
Permit No.: RPPL2022005808
Establishment: Marina Market & Liquor
Location: 4148 Via Marina, Marina del Rey, CA 90292
Description: CUP for the sale of a full line of alcoholic beverages for offsite consumption at an existing market.

(1) Summary of service calls and crime history for the project site over the last five years:

The Sheriff's Department has responded to 16 calls for service at 4148 Via Marina, Marina del Rey in the past five years; one call of a burglary, one call of a disturbance, one call for an employee refusing to leave, one call of a theft, three calls for medical issues, and nine calls involving homeless persons attempting to break into cars, panhandling, exposing themselves, harassing customers, refusing to leave, and/or attempting to commit theft at the site location. On August 22, 2019, an operation was conducted for the purpose of reducing the use of tobacco products to minors and persons under the age of 21 at the project site. A project site employee was arrested and cited for furnishing tobacco to a person under 21 years of age. Attached is the CFS report of the calls for your review.

(2) Comments/recommended conditions:

All the calls for service associated with the location have been routine in nature. The establishment has been closed for the past few months for remodeling. The establishment has not been a problem.

(3) Overall recommendation:

- Sheriff recommends approval of this CUP.
- Sheriff does **NOT** recommend approval of this CUP.

Sincerely,

ROBERT G. LUNA, SHERIFF

Keith C. Harrison, Captain
Marina Del Rey Station

211 WEST TEMPLE STREET, LOS ANGELES, CALIFORNIA 90012

A Tradition of Service
— Since 1850 —

S R P Location

Tag

Dispatch Text

Clearance Text

Incident Date: 12/20/18

| | | | | | | |
|---|---|---|----------------------|----|--|-------------------------------|
| C | D | R | 4148 VIA MARINA, MDR | 53 | INF SAW MW/35-40, TRANSIENT BREAK INTO CAR AT JAMAICA BAY INN TWO DAYS AGO; D/P NOW AT LOC BY MARINA LIQUOR MART, CHANGING CLOTHES FROM BLK HAT, RED VEST, GRY SHIRT TO RED SHIRT; IWMSK | CONT INF RE:925. GPA UTL D/P |
| C | D | R | 4148 VIA MARINA, MDR | 53 | INF SAW MW/35-40, TRANSIENT BREAK INTO CAR AT JAMAICA BAY INN TWO DAYS AGO; D/P NOW AT LOC BY MARINA LIQUOR MART, CHANGING CLOTHES FROM BLK HAT, RED VEST, GRY SHIRT TO RED SHIRT; IWMSK | ASSISTED 271 RE 925 AS NEEDED |

Incident Date: 02/08/19

| | | | | | | |
|---|---|---|----------------------|----|---|-------------------------------|
| C | B | P | 4148 VIA MARINA, MDR | 94 | F/38 AT LOCATION SAYS SHE IS INJURED AT THE LOCATION***FIRE ENRT*** | FW/A TO MDR HOSP RE MINOR INJ |
| C | B | P | 4148 VIA MARINA, MDR | 94 | F/38 AT LOCATION SAYS SHE IS INJURED AT THE LOCATION***FIRE ENRT*** | X AS NEEDED |

Incident Date: 03/01/19

| | | | | | | |
|---|---|---|---|----|--|--|
| C | D | R | 4148 VIA MARINA, MDR "MARINA LIQUOR MART" | 48 | MW/30'S, 6'00", SHORT BLNDE HAIR/GOATEE, WEARING BLU JACKET/DARK PANTS//SLIPPERS; PANHANDLINGAND HARASSING PATRONS/SHOP KEEPER; LAST SEEN IN FRONT OF LOC; POSSIBLY UNER THE INFLUENCE | D/P WAS GPA. STAYED AT LOC FOR APPROX 15 MIN TO ENSURE NO RETURN |
|---|---|---|---|----|--|--|

| S | R | P | Location | Tag | Dispatch Text | Clearance Text |
|--------------------------------|---|---|---|-----|--|---|
| Incident Date: 03/01/19 | | | | | | |
| C | D | R | 4148 VIA MARINA, MDR "MARINA LIQUOR MART" | 48 | MW/30'S, 6'00", SHORT BLNDE HAIR/GOATEE, WEARING BLU JACKET/DARK PANTS/SLIPPERS; PANTHANDLINGAND HARASSING PATRONS/SHOP KEEPER; LAST SEEN IN FRONT OF LOC; POSSIBLY UNER THE INFLUENCE | X-UNIT 271 AS NEEDED |
| Incident Date: 04/21/19 | | | | | | |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 80 | INF STATES HOMELESS MAN IS TRYING TO BREAK INTO VEHICLES NFD | X-AS NEEDED |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 80 | INF STATES HOMELESS MAN IS TRYING TO BREAK INTO VEHICLES NFD | X-271 AS NEEDED |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 80 | INF STATES HOMELESS MAN IS TRYING TO BREAK INTO VEHICLES NFD | U TL INF AND D/P'S, NO EV OF ANY CRIME |
| Incident Date: 04/27/19 | | | | | | |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET & LIQUOR" | 61 | MW/30-40, LONG DARK HAIR, BLK SHIRT, POSSIBLE TRANSIENT; EXPOSING HIMSELF IN PUBLIC IN FRONT OF LOC | C/ DP, SEE UNIT 272A FOR ALL CALL CLEARANCE |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET & LIQUOR" | 61 | MW/30-40, LONG DARK HAIR, BLK SHIRT, POSSIBLE TRANSIENT; EXPOSING HIMSELF IN PUBLIC IN FRONT OF LOC | X-271 AS NEEDED |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET & LIQUOR" | 61 | MW/30-40, LONG DARK HAIR, BLK SHIRT, POSSIBLE TRANSIENT; EXPOSING HIMSELF IN PUBLIC IN FRONT OF LOC | C/PED RE PC VIOLATION. BSD RE ID INV. W/A FOR THE OFFENSES INF/WIT LEFT LOC PRIOR TO OUR ARRIVAL. NO EV OF CRIME. |

| S | R | P | Location | Tag | Dispatch Text | Clearance Text |
|--------------------------------|---|---|--------------------------------------|-----|--|--|
| Incident Date: 07/28/19 | | | | | | |
| C | D | R | 4148 VIA MARINA, MDR | 71 | DP, FW/A, BALD HEAD, WEARING BLK HOODED AND SHORTS, YELLING AND SCREAMING IN PARKING LOT AREA OF LOC. | |
| C | D | R | 4148 VIA MARINA, MDR | 71 | DP, FW/A, BALD HEAD, WEARING BLK HOODED AND SHORTS, YELLING AND SCREAMING IN PARKING LOT AREA OF LOC. | DP GPA |
| Incident Date: 11/27/19 | | | | | | |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 79 | FIRE REQUESTS DEPS RE F/30S WRAPPED IN A SHEET ASKING FOR PARAMEDICS | X-271A |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 79 | FIRE REQUESTS DEPS RE F/30S WRAPPED IN A SHEET ASKING FOR PARAMEDICS | SELF ADMITT TO HOSP, MCCMK AMB 1801 TO MARINA HOSP, C4 |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 79 | FIRE REQUESTS DEPS RE F/30S WRAPPED IN A SHEET ASKING FOR PARAMEDICS | X/271A AS NEEDED |
| Incident Date: 03/16/20 | | | | | | |
| C | B | E | 4148 VIA MARINA, MDR "MARINA MARKET" | 72 | LA CO FIRE REQ DEPS RE: FEMALE COUGHING, CAUSING A DISTURBANCE WITH CUSTROMERS. **UPD** FIRE NOW ROSTING DEPS C-3. UNK REASON CAME IN FROM FIRE DISPATCH | |
| C | B | E | 4148 VIA MARINA, MDR "MARINA MARKET" | 72 | LA CO FIRE REQ DEPS RE: FEMALE COUGHING, CAUSING A DISTURBANCE WITH CUSTROMERS. **UPD** FIRE NOW ROSTING DEPS C-3. UNK REASON CAME IN FROM FIRE DISPATCH | |
| C | B | E | 4148 VIA MARINA, MDR "MARINA MARKET" | 72 | LA CO FIRE REQ DEPS RE: FEMALE COUGHING, CAUSING A DISTURBANCE WITH CUSTROMERS. **UPD** FIRE NOW ROSTING DEPS C-3. UNK REASON CAME IN FROM FIRE DISPATCH | X AS NEEDED |

| S | R | P | Location | Tag | Dispatch Text | Clearance Text |
|--------------------------------|---|---|-------------------------------------|-----|---|--|
| Incident Date: 03/16/20 | | | | | | |
| C | B | E | 4148 VIA MARINA,MDR "MARINA MARKET" | 72 | LA CO FIRE REQ DEPS RE: FEMALE COUGHING, CAUSING A DISTURBANCE WITH CUSTOMERS. **UPD** FIRE NOW ROSTING DEPS C-3. UNK REASON CAME IN FROM FIRE DISPATCH | MALE TRANSIENT AT LOC, REFUSING TO GET EXAMINED, FIRE AHS DEALT WITH IN THE PAST |
| C | B | E | 4148 VIA MARINA,MDR "MARINA MARKET" | 72 | LA CO FIRE REQ DEPS RE: FEMALE COUGHING, CAUSING A DISTURBANCE WITH CUSTOMERS. **UPD** FIRE NOW ROSTING DEPS C-3. UNK REASON CAME IN FROM FIRE DISPATCH | NO EV OF CRIME. DP GPA UTL |
| Incident Date: 05/02/20 | | | | | | |
| C | D | R | 4148 VIA MARINA,MDR "MARINA MARKET" | 49 | MW/50 WEARING WHT SHIRT, BLU JEANS TOUCHING ALL THE DISPLAY ITEMS AND REFUSING TO LEAVE | DP GPA UTL |
| C | B | P | 4148 VIA MARINA,MDR "MARINA MARKET" | 56 | C/INF RE T 48. DP IS BACK IN MARKET, REFUSING TO LEAVE. **U/D**DP JUST STOLE BOTTLE OF WINE | DP OPEND WINE BOTTLE, NO EV OF 422, DP LEFT LOC,BTH PARTIES |
| C | B | P | 4148 VIA MARINA,MDR "MARINA MARKET" | 56 | C/INF RE T 48. DP IS BACK IN MARKET, REFUSING TO LEAVE. **U/D**DP JUST STOLE BOTTLE OF WINE | WILCO |
| C | B | P | 4148 VIA MARINA,MDR "MARINA MARKET" | 56 | C/INF RE T 48. DP IS BACK IN MARKET, REFUSING TO LEAVE. **U/D**DP JUST STOLE BOTTLE OF WINE | |

| S | R | P | Location | Tag | Dispatch Text | Clearance Text |
|--------------------------------|---|---|--------------------------------------|-----|--|---|
| Incident Date: 07/13/20 | | | | | | |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 38 | INF STATES SHE IS HAVING A PROBLEM WITH AN EMPLOYEE WHO IS REFUSING TO LEAVE LINE DROPED NFD | NO ARGUMENT AT LOC JUST BAD ATTITUDE DP GPA UTL |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 38 | INF STATES SHE IS HAVING A PROBLEM WITH AN EMPLOYEE WHO IS REFUSING TO LEAVE LINE DROPED NFD | X-271 AS NEEDED |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 38 | INF STATES SHE IS HAVING A PROBLEM WITH AN EMPLOYEE WHO IS REFUSING TO LEAVE LINE DROPED NFD | X271 AS NEEDED |
| C | B | P | 4148 VIA MARINA, MDR "MARINA MARKET" | 38 | INF STATES SHE IS HAVING A PROBLEM WITH AN EMPLOYEE WHO IS REFUSING TO LEAVE LINE DROPED NFD | X-271 |
| Incident Date: 07/25/20 | | | | | | |
| C | D | R | 4148 VIA MARINA, MDR "MARINA MARKET" | 62 | MW/30 RED HAIR LAID OUT IN FRONT OF LOC SCARING CUSTOMERS | WO INCID, NO EV OF CRIME |
| C | D | R | 4148 VIA MARINA, MDR "MARINA MARKET" | 62 | MW/30 RED HAIR LAID OUT IN FRONT OF LOC SCARING CUSTOMERS | X- AS NEEDED |

S R P Location

Tag Dispatch Text

Clearance Text

Incident Date: 02/22/21

| | | | | | | |
|---|---|---|--------------------------------------|----|---|---------------------------|
| W | D | R | 4148 VIA MARINA, MDR "MARINA MARKET" | 68 | TRANSIENT AT LOC IN CONSTRUCTION AREA REFUSING TO LEAVE | ADV DP TO LEAVE DP WILLCO |
| W | D | R | 4148 VIA MARINA, MDR "MARINA MARKET" | 68 | TRANSIENT AT LOC IN CONSTRUCTION AREA REFUSING TO LEAVE | X-271 RE 925 AS NEEDED |

Incident Date: 09/27/21

| | | | | | | |
|---|---|---|----------------------|----|--|--|
| C | D | R | 4148 VIA MARINA, MDR | 34 | 2ND HAND INFO. A MW/A DK HAIR SITTING IN A BLK RANGE ROVER WANTS TO MAKE A REPORT, UNK PERSON STOLE ITEMS EITHER FROM HIS CAR OR FROM HIM. | |
|---|---|---|----------------------|----|--|--|

| S | R | P | Location | Tag | Dispatch Text | Clearance Text |
|--------------------------------|---|---|--|-----|---|--|
| Incident Date: 03/01/19 | | | | | | |
| C | D | R | 4148 VIA MARINA,MDR "MARINA LIQUOR MART" | 48 | MW/30'S, 6'00", SHORT BLNDE HAIR/GOATEE, WEARING BLU JACKET/DARK PANTS/SLIPPERS; PANHANDLINGAND HARASSING PATRONS/SHOP KEEPER; LAST SEEN IN FRONT OF LOC; POSSIBLY UNER THE INFLUENCE | D/P WAS GPA. STAYED AT LOC FOR APPROX 15 MIN TO ENSURE NO RETURN |
| C | D | R | 4148 VIA MARINA,MDR "MARINA LIQUOR MART" | 48 | MW/30'S, 6'00", SHORT BLNDE HAIR/GOATEE, WEARING BLU JACKET/DARK PANTS/SLIPPERS; PANHANDLINGAND HARASSING PATRONS/SHOP KEEPER; LAST SEEN IN FRONT OF LOC; POSSIBLY UNER THE INFLUENCE | X-UNIT 271 AS NEEDED |
| Incident Date: 03/14/19 | | | | | | |
| C | D | R | 4163 VIA MARINA,MDR "MARINA LIQUOR MART" | 95 | SEVERAL MALES IN A BLK VEH. WITH DOORS OPEN/MUSIC BLASTING | D/P'S GPA |
| Incident Date: 05/15/20 | | | | | | |
| Incident Date: 04/29/23 | | | | | | |
| C | B | P | 4140 VIA MARINA,MDR "MARINA LIQUOR" | 2 | MH/A WEARING BLK SHIRT DARK PANTS L/S S/B VIA MARINA ON A GRAY BIKE ///UPD DP HAD DARK CURLY HAIR | X-274 AS NEEDED. BWC ACT |
| C | B | P | 4140 VIA MARINA,MDR "MARINA LIQUOR" | 2 | MH/A WEARING BLK SHIRT DARK PANTS L/S S/B VIA MARINA ON A GRAY BIKE ///UPD DP HAD DARK CURLY HAIR | SEE REPORT FOR FURTHER 071 923 00929 2761 |