AMY J. BODEK, AICP
Director,
Regional Planning

DENNIS SLAVIN
Chief Deputy Director,
Regional Planning

REPORT TO THE HEARING OFFICER

DATE ISSUED:	April 4, 2024		
HEARING DATE:	April 16, 2024	AGENDA ITEM:	6
PROJECT NUMBER:	PRJ2022-004640-(5)		
PERMIT NUMBER:	Oak Tree Permit ("OTP") RPPL2022001007		
SUPERVISORIAL DISTRICT:	5		
PROJECT LOCATION:	515 Madre Street, Pasadena		
OWNER:	Robert A. Wyman, Jr & Lisa C. Krueger		
APPLICANT:	Robert A. Wyman, Jr & Lisa C. Krueger		
CASE PLANNER:	Anthony M. Curzi, Regional Planner acurzi@planning.lacounty.gov		

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2022-004640-(5), OTP RPPL2022001007, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

CEQA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT:

I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NUMBER RPPL2022001007 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement Requested

OTP to authorize encroachment into the protected zone of two oak trees identified as tree numbers 2 and 3, including one heritage oak tree, associated with the construction of a detached 775-square-foot Accessory Dwelling Unit ("ADU") in the R-1-40,000 (Single-Family Residence – 40,000 Square Feet Minimum Required Lot Area) Zone pursuant to Los Angeles County ("County") Code Section 22.174.030 (Applicability).

B. Project

The Project is a request to encroach into the protected zone of two oak trees (identified as tree numbers 2 and 3), including one heritage oak tree (tree number 2), associated with the construction of a new detached 775-square-foot ADU [under associated Site Plan Review ("SPR") No. RPPL2022014305] on a property containing an existing 7,885-square-foot single-family residence ("SFR") built in 1931. The ADU is a single-story studio design with one bathroom.

An Oak Tree Report, prepared by Javier Cabral, dated February 18, 2022, identified the trees as coast live oaks and concluded that impacts to the oak trees are not expected to cause significant negative impacts to their health or structure. There are a total of 23 oak trees on the subject property. The encroached-upon trees are summarized in the table below:

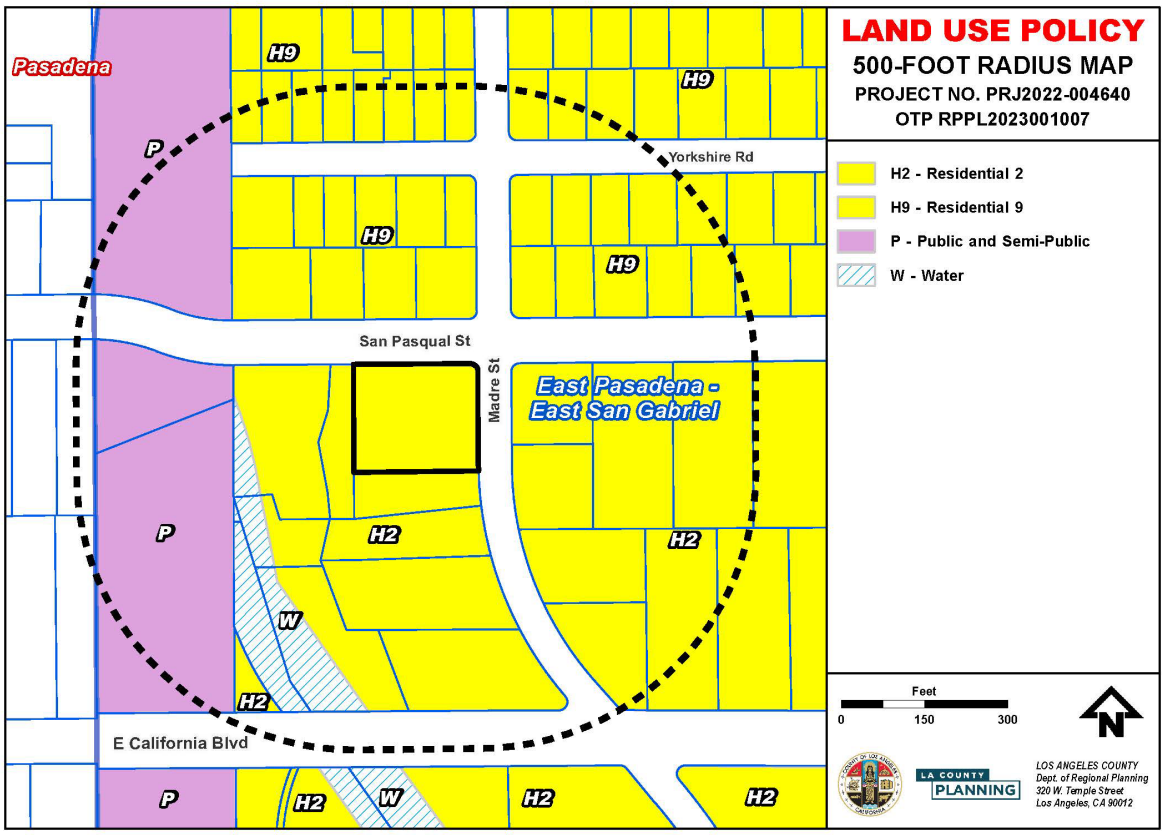
Oak Tree	DBH (Diameter at Breast Height) (in inches)	Height (in feet)	Health	Encroachment
#2 (Heritage)	41	85	Good (B)	ADU (10%)
#3	31	45	Good (B)	ADU (10%)

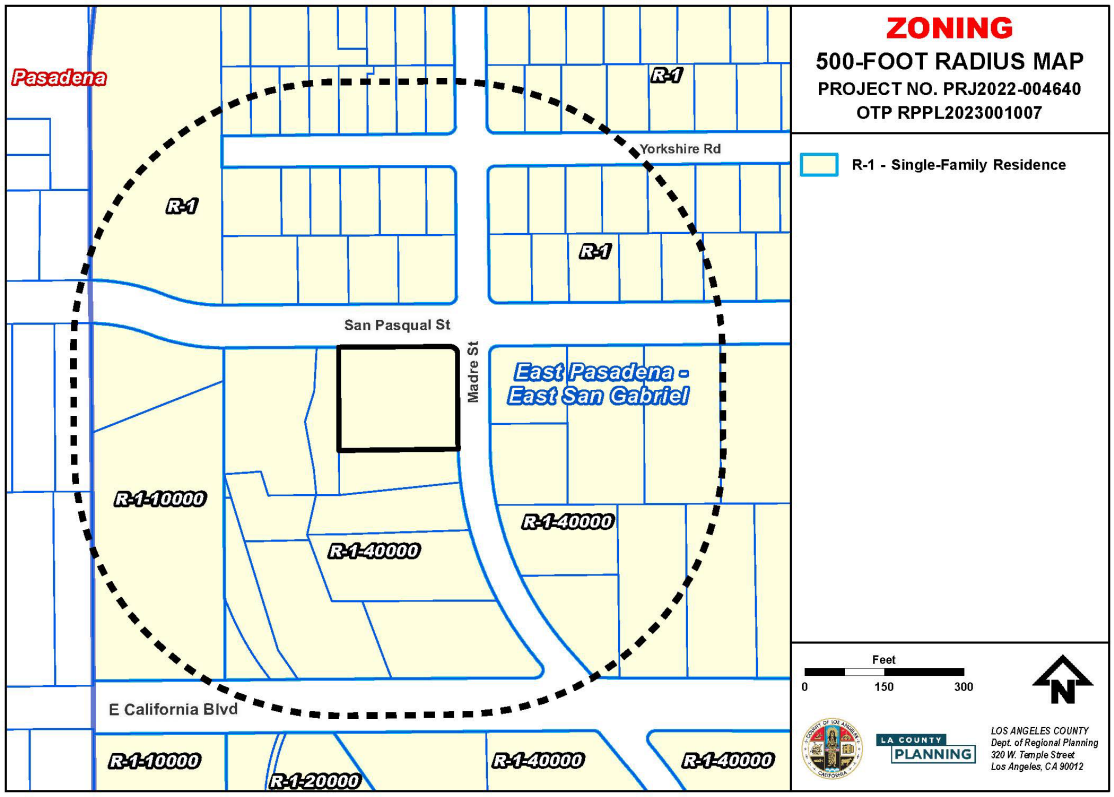
SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	GENERAL PLAN LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	H2 (Residential 2 - 0 to 2 dwelling units per net acre)	R-1-40,000	SFR
NORTH	H9 (Residential 9 – 0 to 9 dwelling units per net acre)	R-1 (Single-Family Residence)	SFRs

EAST	H2, H9	R-1, R-1-40,000	SFRs
SOUTH	H2, W (Water)	R-1-40,000	SFRs
WEST	H2, W, P (Public and Semi-Public), City of Pasadena	R-1-10,000 (Single-Family Residence - 10,000 Square Feet Minimum Required Lot Area), City of Pasadena	SFRs, Eaton Canyon Wash





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
ZCO 42	Zone 1 – Single Family Residence	September 6, 1927
ZCO 1959	R-1 (Single Family Residence)	July 11, 1931
ZCO 4359	E-1 (Single Family Residence - 40,000 Square Feet Minimum Required Lot Area)	May 17, 1944
ZCO 4368	E-1	June 13, 1944
ZCO 10042	R-1-20,000 (Single Family Residence - 20,000 Square Feet Minimum Required Lot Area)	June 16, 1970
ZCO 910024Z	R-1-40,000	February 12, 1991

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
Site Plan Review RPPL2022014305	Construct new ADU	Pending

There are no County Planning records for the existing SFR. According to the County Assessor, the SFR was constructed in 1931.

C. Violations

CASE NO.	VIOLATION	CLOSED/OPEN
NONE	NA	NA

ANALYSIS

A. Land Use Compatibility

While the OTP is for the encroachment into the protected zone of two oak trees, including one heritage oak tree, the associated proposed new ADU would be compatible with the surrounding area in terms of size and use, maintaining a residential nature in the neighborhood without removal of the existing oak trees. Surrounding land uses consist of other SFRs and accessory structures. The addition of a new ADU at the rear of the property will not be out of character with the neighborhood.

B. Neighborhood Impact (Need/Convenience Assessment)

The impacts to the oak trees will be minor and are not expected to cause significant effects to their health or structures, resulting in the continued benefits of the trees to the surrounding area. The new single-story ADU will be located behind the existing SFR, largely hidden from public view, and will be consistent with the residential character of the neighborhood.

C. Design Compatibility

While the Project is for the encroachment into the protected zone of two oak trees, including one heritage oak tree, the associated proposed new ADU would be compatible with the surrounding area in terms of size and use, maintaining an existing residential use in the neighborhood. Maintaining the oak trees on the property will ensure the benefits of the oak trees to the community remain. The Project Site is located within the East Pasadena-East San Gabriel Community Standards District. All applicable development standards for the proposed structures will be verified before the related SPR is approved.

GENERAL PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Section 22.174.060 (Findings) of the County Code. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this project qualifies for a Categorical Exemption (Class 3 Exemption, New Construction or Conversion of Small Structures and Class 4 Exemption, Minor Alterations to Land) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The Project involves the encroachment into the protected zone of two oak trees to allow the construction of a detached ADU. The types of projects that typically fall within Class 3, include but are not limited to, ADUs, the construction of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 4 exemptions consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed. The encroachment into the protected zone of oak trees is a case of a minor alteration in the condition of land and where no trees will be removed.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated. Due to the existing degraded condition of the oak woodland, associated with its disturbed state, there is no significant impact to the oak woodland. As such, the affected oak trees are part of a degraded oak woodland due to decades of development in this residential community. Consequently, there are no significant impacts due to woodland condition. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

The County Fire Department, in a letter dated June 13, 2023, recommended the Project proceed to public hearing with the required conditions of approval.

B. Other Agency Comments and Recommendations

Staff has not received any comments at the time of report preparation.

C. Public Comments

Staff has not received any comments at the time of report preparation.

Report Reviewed By: Michele R. Bush

Michele R. Bush, Supervising Planner

Report Approved By:

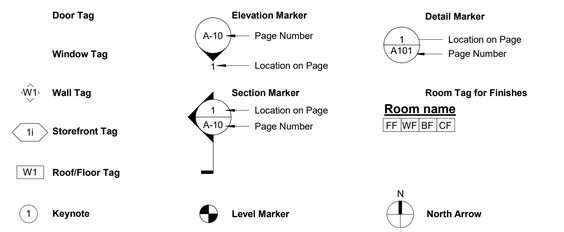
Susan M. Tae, AICP, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBITJ	Oak Tree Report

ANNOTATIONS

@	at	f.o.c.	face of concrete	plumb.	plumbing
a.b.	anchor bolt	f.o.s.	face of stud	ptd.	painted
a.c.	asphalt concrete	f.r.	fire rated	pwdr.	powder room
a.d.	area drain	fin.	finish	r.r.	roof rafter
a/c	air conditioning	fixt.	fixture	rec.	recommendation
acous.	acoustic	fnd.	foundation	ref.	refrigerated
add'l.	additional	flr.	floor	reinf.	reinforced
adj.	adjustable	ft.	foot/feet	resc.	rescue window
a.f.f.	above finish floor	ftg.	footing	req'd.	required
alum.	aluminum	furr.	furring	rev.	revision
&	and	g.b.	grab bar	rm.	room
approx.	approximately	g.c.	general contractor	s.c.	solid core
arch.	architectural/ architect	ga.	gauge	s.d.	smoke detector soap dispenser
bd.	board	galv.	galvanized	s.s.	stainless steel
bldg.	building	gl.	glass, glazing	safe.	safety glass
bm.	beam	gnd.	ground	sched.	schedule
bot.	bottom	grd.	grade	sect.	section
c.b.	catch basin	gyp.	gypsum wall board	sht.	sheet
c.i.	continuous insulation	h.b.	hose bibb	shwr.	shower
c.j.	control joint ceiling joist	h.w.	hot water	sim.	similar
c.l.	clear centerline	horiz.	horizontal	sl.	slope
cab.	cabinet	hdwd.	hardwood	sq.	square
cem.	cement	hdwr.	hardware	std.	standard
civ.	civil	hr.	hour	stl.	steel
clg.	ceiling	ht.	height	stor.	storage
cl.	closet	in.	inches	struct.	structural
clr.	clear	int.	interior	t.b.	towel bar
col.	column	insul.	insulation	t.o.c.	top of curb
conc.	concrete	jst.	joist	t.o.p.	top of plate
conn.	connection	kit.	kitchen	t.o.w.	top of wall
cont.	continuous	lin.	linen closet	t.v.	television
ctr.	center	loc.	location/located	t&g	tongue and groove
d.f.	Douglas Fir	lt.	light	tel.	telephone
d.s.	downspout	lt.wt.	lightweight	temp.	tempered
d/w	dishwasher	m.c.	medicine cabinet	thk.	thick
dbl.	double	mat.	material	typ.	typical
det.	detail	max.	maximum	u.n.o.	unless noted otherwise
dia.	diameter	mech.	mechanical	v.c.t.	vinyl compo-sition tile
dim.	dimension	min.	minimum	v.i.f.	verify in field
dn.	down	mir.	mirror	vert.	vertical
dwg.	drawing	misc.	miscellaneous	vest.	vestibule
(e)	existing	mtl.	metal	w.i.	wrought iron
e.j.	expansion joint	(n)	new	w.p.	waterproof
ea.	each	n.i.c.	not in contract	w.r.	water resistant
elec.	electrical	n.t.s.	not to scale	w/	with
elev.	elevation	o.c.	on center	w/h	water heater
emer.	emergency	o.f.c.i.	owner furnished contractor installed	w/o	without
eq.	equal	opp.	opposite	wain.	wainscot
f.d.	floor drain	ply.	plywood	wd.	wood
f.f.	finish floor finish face	p.l.	property line	win.	window
f.g.	finish grade	p.t.	pressure treated	wt.	weight
f.j.	floor joist				
f.l.	flow line				

SYMBOLS LEGEND



PROJECT DESCRIPTION

New 1-story accessory dwelling unit; replace existing driveway.

APPLICABLE BUILDING CODES

2019 California Building Code
2019 California Residential Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Electrical Code
2019 California Energy Code
2019 California Green Building Standards Code
2019 California Fire Code
2019 California Building Energy Efficiency Standards Code
Local County Amendments

SHEET INDEX

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GENERAL	
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G-20	RESIDENTIAL MANDATORY MEASURES
G-21	RESIDENTIAL MANDATORY MEASURES
G-30	TITLE-24
G-31	TITLE-24
G-32	TITLE-24
CIVIL	
C-10	SITE SURVEY
ARCHITECTURAL	
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A-11	SITE DEMO & CONSTRUCTION PLANS
A-20	FLOOR, ROOF & CEILING PLANS
A-40	ELEVATIONS & SECTIONS
A-50	INTERIOR ELEVATIONS
A-60	ARCHITECTURAL DETAILS

GENERAL NOTES

1. All work shall conform to the governing codes, documents & agencies having jurisdiction over the project. The governing codes are the 2019 CRC, CBC, CEC, CMC, CPC, CGBC, CFC, & 2019 Title 24 Energy Standards.

2. Contractor shall obtain & pay for all necessary permits from all agencies having jurisdiction over the work, except only general building permit.

3. Verify all conditions & dimensions at the job site. Deviations from the Contract Documents shall be reported to the Architect before proceeding with the work. Commencement of work shall be construed as acceptance of all conditions, dimension, & substrates.

4. All dimensions are to face of stud or sheathing & center line of columns, unless noted otherwise.

5. Drawings are not to be scaled, use written dimensions only. Report dimensional discrepancies to the Architect before proceeding with the work.

6. Maintain a complete set of drawings & specifications on the job site at all times, including copies of all the Architect's supplemental instructions, construction change authorization, reviewed shop drawings & product submittals.

7. Provide construction barriers to conform with the requirements of local and County agencies.

8. All finish grades shall slope away from the building 2% minimum.

9. Building address number to be provided on the front of the building, & shall be visible & legible from street fronting the property, said numbers shall contrast with their background & must be at least 4" in height and 2" in width.

10. Fire blocking shall be installed per: CBC 708.4.2

11. Storage of construction materials in the public right-of-way is NOT PERMITTED. Specify on site plan the proposed location of the storage of construction materials. NOTE: In times of high fire hazard in brush areas, temporary fire protection of the construction materials may be required.

12. Pedestrians shall be protected during construction and demolition activities as required.

13. Combustible materials are only permitted in accordance with CBC Section 603.1.

BUILDING CODE & ZONING SUMMARY

Building Code:
Occupancy Group/Construction Type: R3/VB

Sprinklered: No

Zoning:
Zone: R-1-40000

CSD: East Pasadena-East San Gabriel

APN: 5377-003-001

Lot Area: 43,436 SF

Existing House & Attached Garage: 7,885 SF

New ADU: 775 SF

Floor Area & Lot Coverage
Allowable: 9,000 SF [(0.25 x Net Lot Area) + 1,000 SF not to exceed 9,000 SF]
[(0.25 x 43,436 SF) + 1,000 SF = 11,859 SF so 9,000 SF rules]

Total Proposed Floor Area: 8,660 SF

Proposed Lot Coverage: 6,609 SF (5,934 SF house & garage + 775 SF ADU)

Max. Height: 35' allowed, 11'-2" proposed

Legal Description: LAND OF A B CHAPMAN IN RANCHO SANTA ANITA 1.0 MORE OR LESS AC COM ON S LINE OF SAN PASQUAL ST E 218.88 FT FROM E LINE OF SO CALIF EDISON CO R W TH E ON SD S LINE 208.88 FT TH SE ON A CURVE CONCAVE TO SW RADIUS EQUALS 15 FT 23.56 FT TH S ON W LINE OF MADRE ST 179.79 FT TH N 89¢34' W 224 FT TH N 0¢26' E 194.79 FT TO BEG

VICINITY MAP (not to scale)

FIRE DEPARTMENT NOTES

1. Smoke alarm/carbon monoxide detectors shall be provided in accordance with California Fire Code.

2. A set of plans must remain on the job site at all times. Appointments for inspections should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.

4. Any approvals made are based upon submitted plans. Final approval is subject to required field inspection(s) and acceptance test(s), with acceptable results, as required. Additional requirements may be issued at the time of field inspection.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

Storm Water Pollution Control Requirements for Construction Activities
Min. Water Quality Protection Requirements for All Dev. Construction Projects

The following is intended as minimum notes for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

1. Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.

2. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.

3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.

4. Non-storm-water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.

5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.

6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.

7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.

8. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

DEFERRED SUBMITTALS

Separate permit is required for the following:

1. Photovoltaic System Installation (per California Energy Code 150.1(c) 14)

**The architect/ engineer of record shall review and approve deferred submittals prior to submittal to building department for review*

**When appropriate, the individual in responsible charge of the project shall forward the deferred submittal to the building department with a notation that the plans have been reviewed and have been found to be in general conformance to the building design.*

**Deferred items shall not be installed until the building department has approved the submittal package.*

GREEN BUILDING NOTES & REQUIREMENTS

1. Openings in the building envelope separating conditioned space from unconditioned space shall be sealed.

2. All ducts and other related air distribution component openings shall be covered with tape, plastic, or other acceptable material at the time of rough installation or during storage, and until final startup.

3. Adhesives, sealants, caulks shall meet the local or regional air pollution control & Statewide VOC standards per the 2019 California Green Building Standards Code, Section 4.504.2, & Table 4.504.1.

4. Paints & coatings shall comply with the VOC limits per table 4.504.3

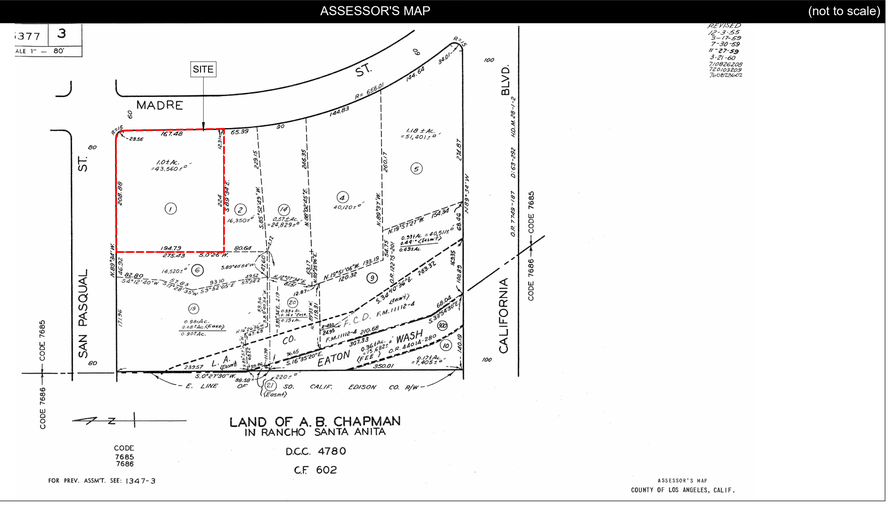
5. Aerosol paints & coatings shall meet the Product-Weighted MIR Limits for ROC per Section 4.504.2.3.

6. Interior or exterior use of hardwood, plywood, particleboard, and medium-density fiberboard composite wood products shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR93120)

7. Moisture content of building materials used in wall and floor framing shall be verified per the instructions of section 4.505.3 prior to being enclosed.

8. During construction, provide a filter prior to introducing such runoff into the public storm drain system. Filtration system shall be a barrier system, or other method approved by the enforcing agency.

ASSESSOR'S MAP (not to scale)



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Tyler Kelly Architecture.com
(626) 396-9599

Seal

LICENSED ARCHITECT
Robert G. Tyler
No. C18812
Exp. 8-31-21
STATE OF CALIFORNIA

Issue Dates

No.	Description	Date
1	PC #1	2022-02-28

New Accessory Dwelling Unit
515 Madre St., Pasadena, CA 91107

Use of Architect's Drawings

Do not scale drawings. Contractor shall verify and be responsible for all dimensions and conditions on the site and the Architect shall be notified immediately of any variations from the dimensions and conditions indicated on these drawings.

Drawings, specifications, and other documents, including those in electronic form, prepared by the Architect and the Architect's consultants are Instruments of Service for use solely with respect to this Project. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. Visual contact with these documents constitute prima facie acceptance of these conditions.
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Date	Project No.
2022-08-11	21-13

Sheet Number
G-10

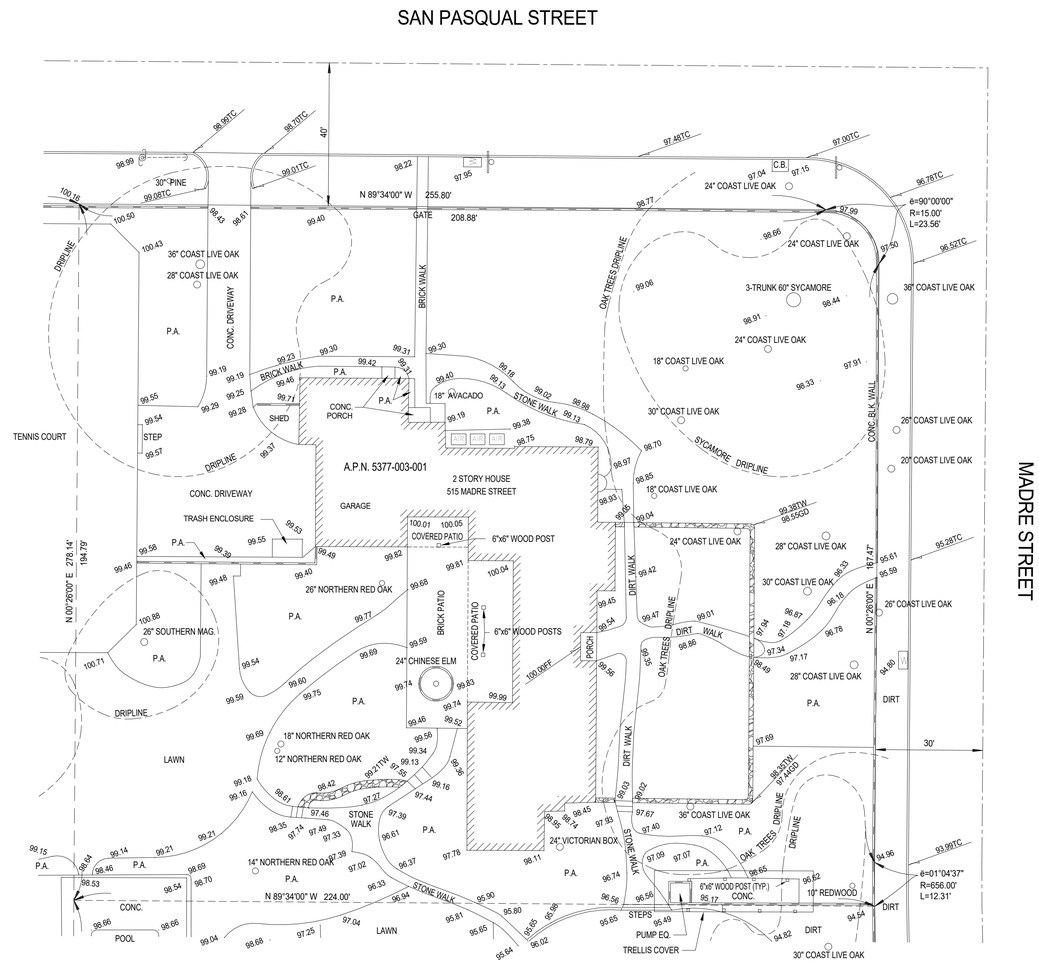
Description
PROJECT INFORMATION

Scale 1/4" = 1'-0"

CALIFORNIA SURVEYING SERVICE

PORTION OF RANCHO SANTA ANITA,
APN: 5377-003-001

R.J. Smith - L.S. 5189
Phone: (818) 957-3345
Email: randall2741@att.net
Date: August 26, 2021
Job No. 2476



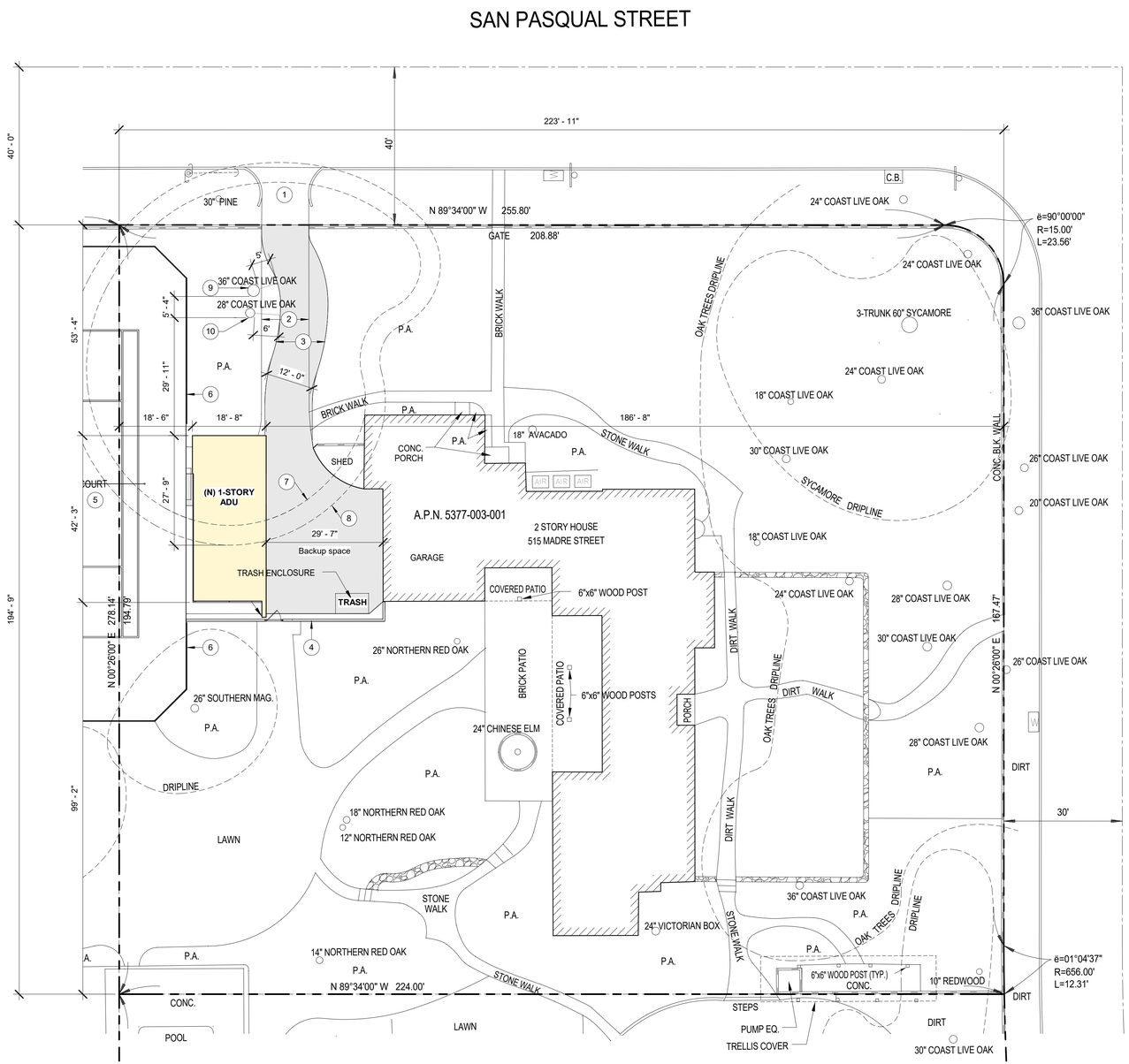
N

1" = 20'

LEGEND:

A.C.	ASPHALT CONCRETE
BW	BACK OF WALK
C.B.	CATCH BASIN
CONC.	CONCRETE
E	EAST
FF	FINISHED FLOOR
FL	FLOWLINE
N	NORTH
S	SOUTH
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
W	WEST

BUILDING LINE
CENTERLINE
FENCE, CHAIN-LINK
FENCE, WOOD
FENCE, WROUGHT IRON
FENCE, PICKET FENCE
POWER POLE
PROPERTY LINE
52.52 52.52 SPOT ELEVATIONS
STREET SIGN
WALL
WALL, ROCK
WATER METER



See Enlarged Site Demo Plan & Site Construction Plan on Sheet A-11

SITE PLAN GENERAL NOTES

1. Carefully remove items scheduled for demolition. Take care to protect property from unscheduled damage. Damaged items, surfaces, finishes, etc. shall be returned to their original condition at no additional cost to the Owners.
2. All exposed concrete paving shall have Colorful Series "Fawn" Integral Color available from Admixtures, Inc. (626) 357-3263 and a washed finish for "antique" effect.

SITE PLAN KEYNOTES

1. (E) drive apron to remain
2. (E) concrete driveway to be removed
3. (N) concrete driveway
4. (E) block site wall to remain
5. (E) tennis court to remain
6. (E) tennis court fence to remain
7. Oak tree dripline
8. Oak tree protection zone extending 5-ft beyond dripline
9. 36" Coast Live Oak
10. 28" Coast Live Oak

(E) electrical panel

(E) gas meter

___ 55-gallon rain barrel collection containers, connect to downspouts. See: www.lastormwater.org/green-la/low-impact-development/residential-solutions/rain-barrels-and-cisterns/where-to-get-a-rain-barrel. For example - BlueBarrel Rainwater Catchment Systems, www.bluebarrelsystems.com

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Issue Dates

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1	PC #1	2022-02-28

New Accessory Dwelling Unit

515 Madre St., Pasadena, CA 91107

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Date	Project No.
2022-08-11	21-13

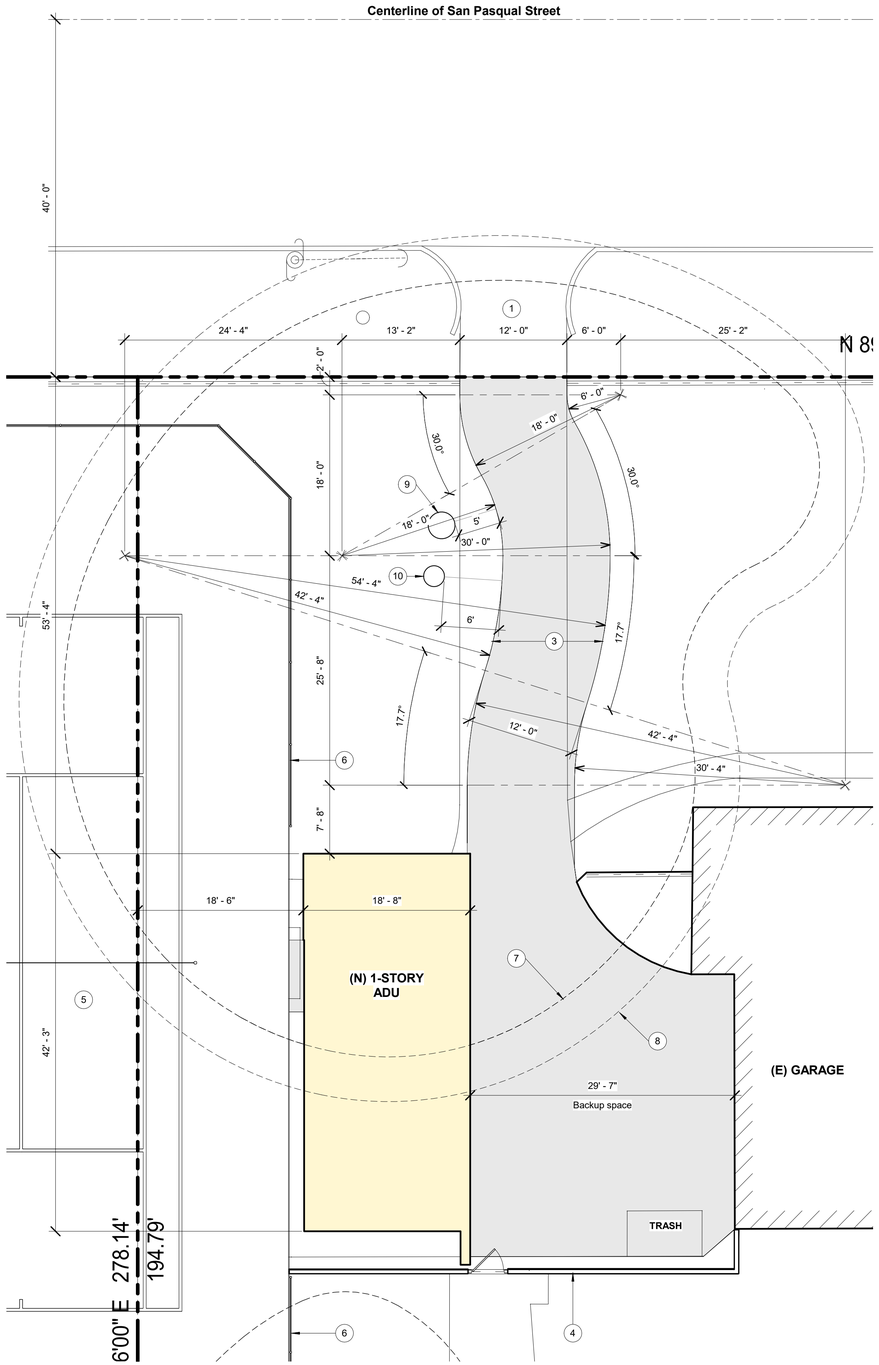
Sheet Number

A-10

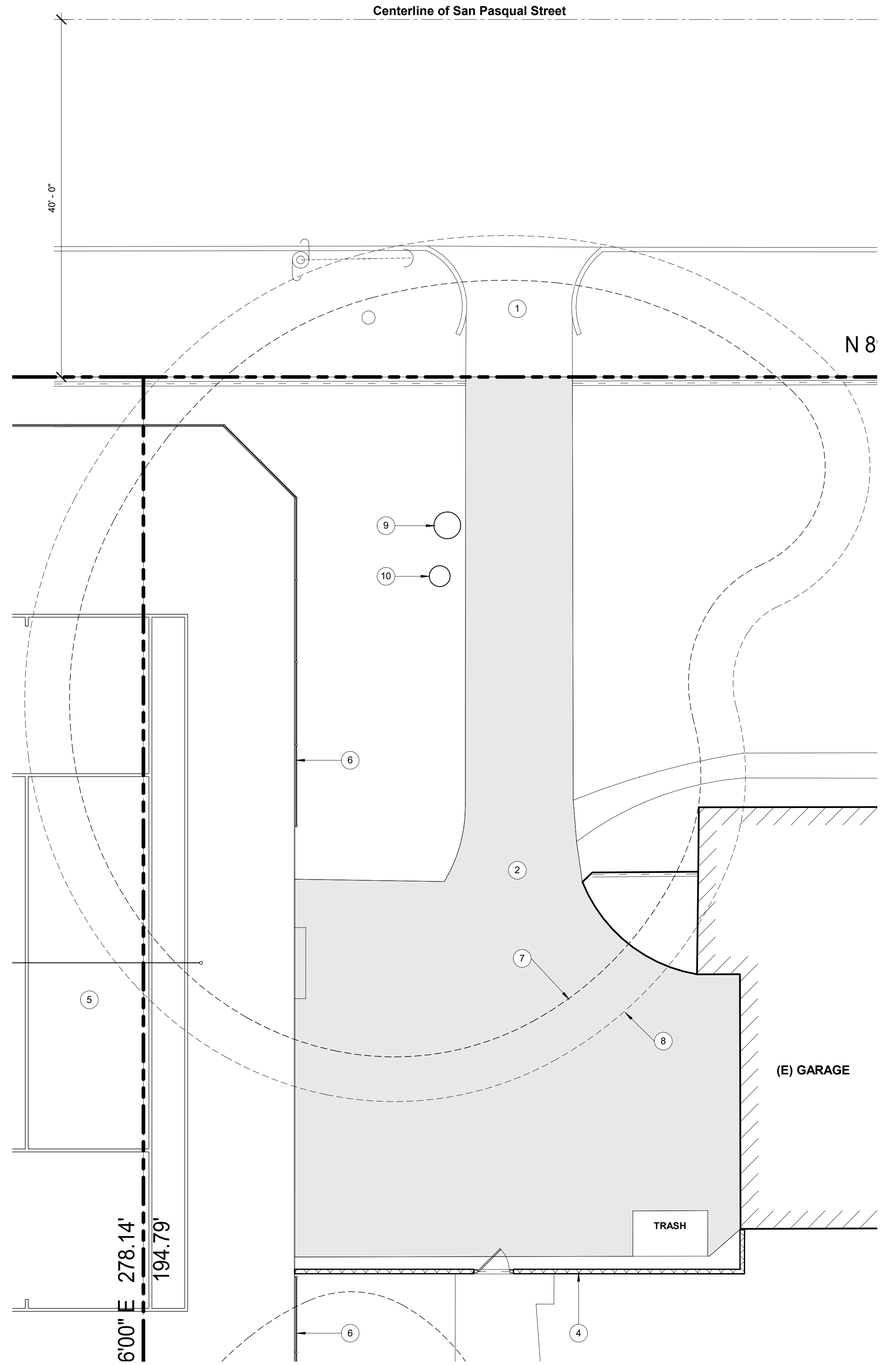
Description

SITE PLAN

Scale 1/16" = 1'-0"



2 Proposed Site Construction Plan
1/8" = 1'-0"



1 Demo Site Plan
1/8" = 1'-0"

SITE PLAN GENERAL NOTES

1. Carefully remove items scheduled for demolition. Take care to protect property from unscheduled damage. Damaged items, surfaces, finishes, etc. shall be returned to their original condition at no additional cost to the Owners.
2. All exposed concrete paving shall have Colorful Series "Fawn" Integral Color available from Admixtures, Inc. (626) 357-3263 and a washed finish for "antique" effect.

SITE PLAN KEYNOTES

1. (E) drive apron to remain
2. (E) concrete driveway to be removed
3. (N) concrete driveway
4. (E) block site wall to remain
5. (E) tennis court to remain
6. (E) tennis court fence to remain
7. Oak tree dripline
8. Oak tree protection zone extending 5-ft beyond dripline
9. 36" Coast Live Oak
10. 28" Coast Live Oak

(E) electrical panel

(E) gas meter

___ 55-gallon rain barrel collection containers, connect to downspouts. See: www.lastormwater.org/green-la/low-impact-development/residential-solutions/rain-barrels-and-cisterns/where-to-get-a-rain-barrel. For example - BlueBarrel Rainwater Catchment Systems, www.bluebarrelsystems.com

N

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LICENSED ARCHITECT
Robert G. Tyler
No. C18812
Exp. 8-31-21
STATE OF CALIFORNIA

Issue Dates

No.	Description	Date
1	PC #1	2022-02-28

New Accessory Dwelling Unit

515 Madre St., Pasadena, CA 91107

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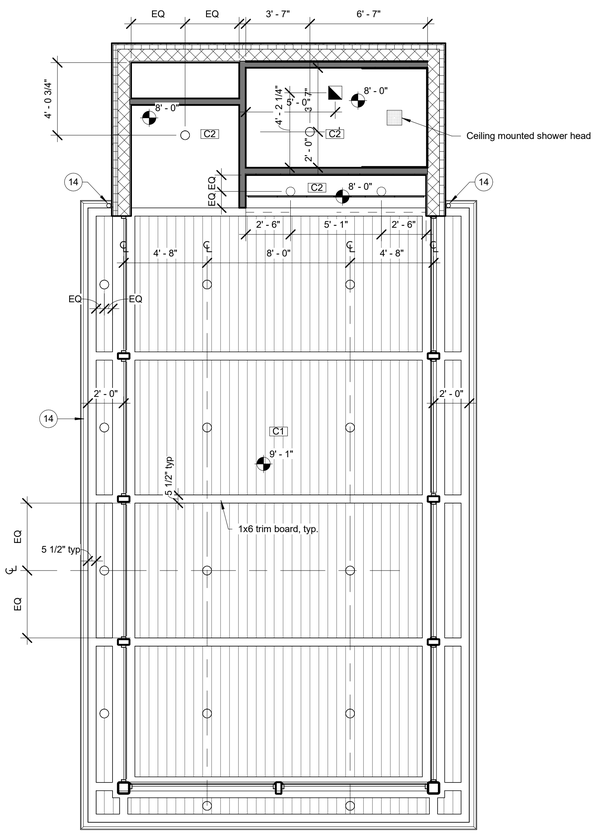
Sheet Number

A-11

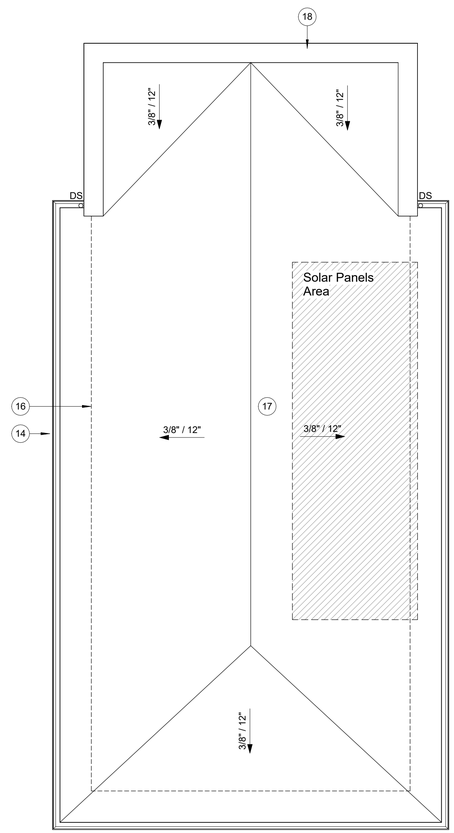
Description

SITE DEMO & CONSTRUCTION PLANS

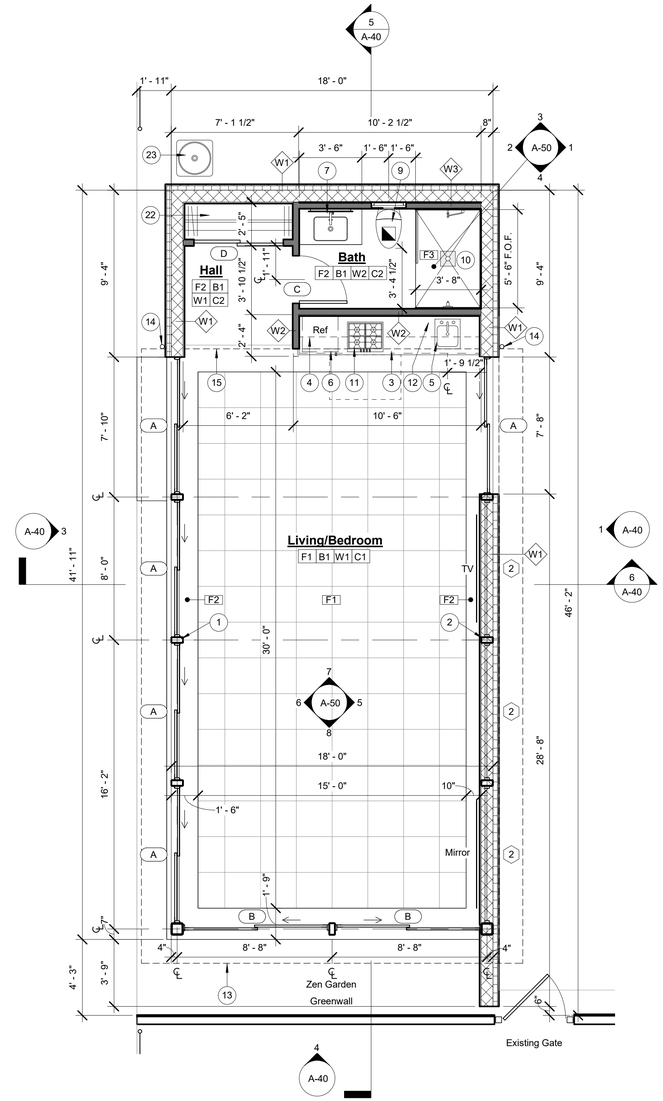
Scale As indicated



3 Reflected Ceiling Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



1 Floor Plan
1/4" = 1'-0"

PLAN GENERAL NOTES

1. Contractor shall install all Owner-furnished plumbing fixtures, decorative lighting, appliances, and bathroom accessories.
2. See Structural plans for foundation and framing design, requirements, and details.
3. Tile at bar backsplash shall be installed over cementitious backer units. Comply with TCNA Assembly W244C, with optional vapor retarder membrane.
4. Tile at walls in other wet areas shall be installed over cementitious backer units. Installation shall conform to TCNA Assembly B415.
5. Owner to select all stone and tile types and patterns. Contractor shall install and provide material only with allowances of $125/sf for stone counters and $15/sf for tile.
6. All plumbing material used in the water supply system, except valves and similar devices, shall be of like materials. Plumbing fixtures and fittings shall be installed in accordance with California Plumbing Code (CPC), and shall meet the applicable standards reference in Table 1701.1 of the CPC.
7. Water heaters (new or existing) shall be anchored or strapped to the structure. Provide 1 ½" x 16 gauge straps at top and bottom with 3/8" X 3" long lag bolt at each end per CPC 507.2.
8. Per CRC 311.3.2, all exterior door landings shall be not more than 7-3/4" below the top of the threshold. See Elevations for Dimensions.

PLAN KEYNOTES

1. Steel column per Structural drawings.
2. Steel column mounted on top of CMU wall per Structrual drawings.
3. Base cabinets with solid-surface counter top.
4. Upper cabinets.
5. Kitchen sink & faucet.
6. Under-counter refrigerator. O.F.C.I.
7. Lavatory & faucet. The max. flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The min. flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
8. Medicine cabinet with prefinished birch interior & glass shelves.
9. Floor-mounted water closet. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush per CPC 411.
10. Shower & bench w/ a pressure balance, thermostatic mixing valve, or a combo pressure balance/thermostatic mixing type valve per CPC, Section 408, and frameless tempered glass shower enclosure/doors. Tile walls to ceiling.
11. Electric cooktop.
12. Heat pump water heater.
13. Edge of roof above.
14. Copper gutter & downspouts.
15. Edge of dropped ceiling above.
16. Edge of building below.
17. Single-ply, PVC roofing membrane over tapered rigid insulation
18. Parapet
19. Fan coil unit.
20. Heat pump.
21. Solar panels.
22. Closet shelf & rod.
23. E) HVAC Unit w/ prefabricated concrete pad relocated. See Title-24 for additional info.

FINISH LEGEND

Floor
- F1 Rubber floor tile
- F2 Polished concrete
- F3 Tile: to be selected by owner.

Base
- B1 6" painted wood baseboard: profile to be selected by owner.
- B2 6" tile base: profile to be selected by owner.

Wall
- W1 Painted stucco.
- W2 Painted GWB: color to be selected by owner.
- W3 Wall tile 1: see interior elevations. To be selected by owner.
- W4 Wall tile 2: see interior elevations. To be selected by owner.

Ceiling
- C1 Stained 1x6 T&G with 1x6 trim boards.
- C2 Painted GWB: color to be selected by owner.

DOOR & WINDOW SCHEDULE

A — Door type A
Alpen High Performance Products Zenith Series ZR-10 fiberglass sliding glass door, XO, 7'-8" x 7'-0" with 2'-0" tall transom, block frame. Color: gun barrel at interior & exterior. 0.14 U-value, 0.14 SHGC

B — Door type B
Alpen High Performance Products Zenith Series ZR-10 fiberglass sliding glass door, XO, 8'-2" x 7'-0" with 2'-0" tal transom, block frame. Color: gun barrel at interior & exterior. 0.14 U-value, 0.14 SHGC

C — Door type C
32" x 80" interior solid wood french door, stained, w/ frosted glass.

D — Door type D
60" x 80" bypass sliding closet door, solid wood, stained.

1 — Window type 1
Alpen High Performance Products Zenith Series ZR-10 fiberglass picture window, 7'-8" x 1'-10", block frame. Color: gun barrel at interior & exterior. 0.14 U-value, 0.14 SHGC

WALL TYPE SCHEDULE

- W1: 8" CMU, Tyvek HomeWrap, 3" polyiso rigid insulation on exterior side & 7/8" cement stucco over lath installed per manufacturer's specifications on both sides.
- W2: 2x4 interior wd. stud on 2x4 wd. sill plate; Both sides 5/8" GWB.
- W3: 2x4 interior wd. stud on 2x4 wd. sill plate; 1 side 5/8" GWB.

1. Studs in walls spaced @ 16" O.C. unless noted otherwise. **See Structural Dwgs.** for additional info.
2. Interior walls in all wet areas shall be tiled floor to ceiling. Tile shall be installed over cementitious backer units.
3. All wood in contact with concrete or masonry shall be pressure treated.

REFLECTED CEILING PLAN LEGEND

- Recessed light fixture, see sheet A-21 Composite Utility Plan for more information.
- Exhaust Fan, see sheet A-21 Composite Utility Plan for more information.

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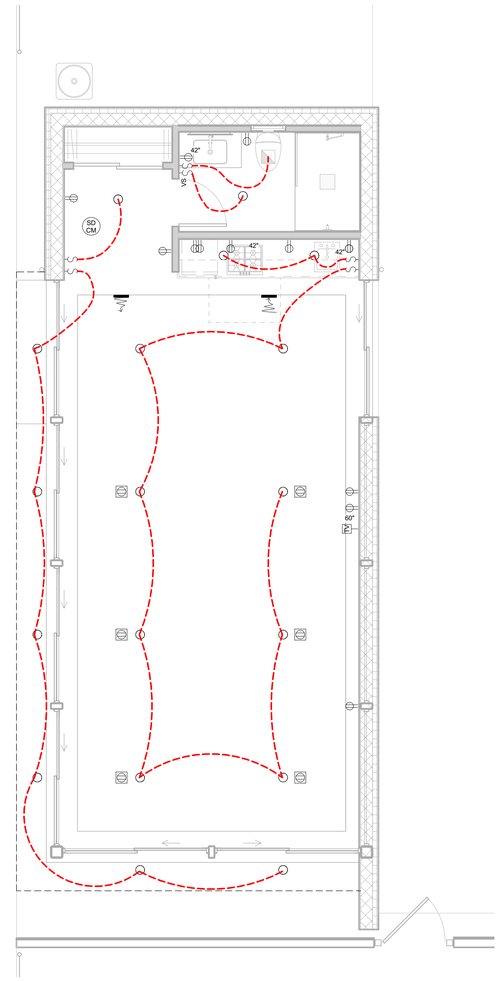
Date	Project No.
2022-08-11	21-13

Sheet Number
A-20

Description
FLOOR, ROOF & CEILING PLANS

Scale 1/4" = 1'-0"



GENERAL UTILITY NOTES

1. For locations of lighting fixtures & additional dimensions, see Reflected Ceiling Plan.
2. Verify adequacy of existing electrical service. Advise Owner of service capacity prior to submitting bid.
3. Lights recessed in insulated ceilings must be IC rated and be airtight to prevent the migration of air.
4. All exterior lighting shall be shielded and downward facing, reducing glare on-site, on the public right-of-way, and on adjacent properties.
5. All standard outlets shall be protected by approved combination AFCI outlets.
6. All outlets in bathrooms and within 6ft. of sinks shall be protected by approved GFCI outlets.
7. Outlet plugs shall be installed inside all built-in medicine cabinets and inside all bathroom cabinets.
8. All outlets shall be installed 12" AFF, oriented vertically, unless noted otherwise.
9. All switches shall be installed 48" AFF, oriented vertically, unless noted otherwise.
10. All plumbing material used in the water supply system, except valves and similar devices, shall be of like materials.
11. Bathrooms, water closet compartments and other similar rooms shall be provided with minimum local exhaust rates of 50 cubic feet per minute for intermittent ventilation or 20 cubic feet per minute for continuous ventilation in accordance with the California Municipal Code, Chapter 4. Exhaust air from the space shall be exhausted directly to the outdoors.
12. Any work on the utility side of the electrical service will require a work order and disconnect/reconnect from the utility. Regulations do not allow service changes to be performed "HOT".
13. Two or more circuits sharing the same neutral and terminating in the same junction box shall be protected by a double pole breaker that will trip at the same time. CEC 230.71(B) "Disposal and dishwasher circuits in the same box".
14. The gas supply line will have an available capacity for not less than a 200,000 BTU/hr system.
15. Where exhaust fans are installed, additional air shall be provided to replace the exhausted air. A secondary duct/air inlet will be provided in the HVAC system for this purpose. (NFPA 54:9.3.6.1).
16. Per BEES 150.0(n)1A-D, A Category III or IV vent, or a Type B vent with straight pipe shall be installed for systems using gas or propane water heater.
17. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar methods. (4.406.1)
18. At the time of rough installation, or during storage on the construction site and until final startup of the heating, cooling, and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal, or other acceptable methods to reduce the amount of water, dust, and debris which may enter the system. (4.504.1)
19. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. (4.505.3)

TITLE 24 LIGHTING REQUIREMENTS

Kitchen: Provide High Efficacy fixtures per Section 150.0(K)1.A. All luminaries shall be controlled by either Manual-On occupancy sensors (vacancy sensors), or Dimmers. All High Efficacy fixtures must be controlled separately.

Bathroom, Garage, Laundry Room: Provide High Efficacy fixtures per Section 150.0(K)1.A. and Vacancy Sensors.

All Other Interior Rooms: Provide High Efficacy fixtures per Section 150.0(K)1.A. and Manual-On occupancy sensors (vacancy sensors), or Dimmers.

COMPOSITE UTILITY LEGEND

Switching & Power

- 110 Duplex Outlet w/ Approved Arc-Fault Circuit Interrupter, Tamper resistant
- GFCI — 110 Duplex Outlet w/ Approved Ground-Fault Circuit Interrupter, Tamper resistant
- GFCI/WP — Approved Exterior Weather-Proof Duplex Outlet w/ Ground-Fault Circuit Interrupter, Tamper resistant
- 110 Duplex Outlet w/ Approved Arc-Fault Circuit Interrupter, ceiling or floor mounted with flush brass coverplate (floor only), Tamper resistant
- 110 Duplex Half-Hot Outlet w/ Approved Arc-Fault Circuit Interrupter, Tamper resistant
- $ — Wall Switch
- $3 — 3-Way Wall Switch
- $D — Dimmable Wall Switch
- Manual-On (Vacancy Sensor) Wall Switch

Communication & Low Voltage

- Voice/Data Phone Line w/ Cable TV Outlet. Verify service req. w/ Owner. Mounted 12" AFF, U.N.O.

Mechanical & Plumbing

- Exhaust Fan, humidity-controlled ceiling mounted & separate switch activated. ENERGY STAR compliant. 50cfm. w/ Humidistat.
- SD CM — Ceiling-mounted combination Smoke Detector & Carbon Monoxide Detector. Interconnected hard-wired w/ battery backup & shall be installed in accordance w/ NFPA 72. Alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the dwelling unit. (CRC R314.3). Smoke alarms shall be hardwired with a 10-year life backup battery in a sealed compartment and alarms interconnected (R314.4)
- Perforated Supply Grille on Wall 8'-9" High F.F.
- Perforated Return Grille on Wall 8'-9" High F.F.
- Perforated Return Grille on Ceiling

Lighting

- Recessed 4" LED Downlight, Dimmable. Use exterior-rated fixture at eaves.

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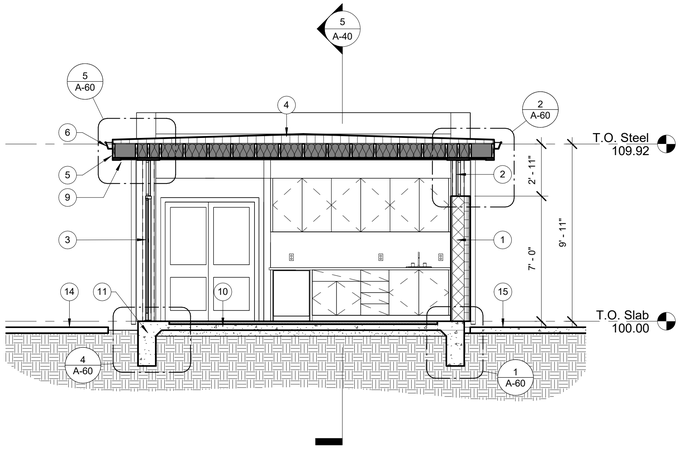
Sheet Number

A-21

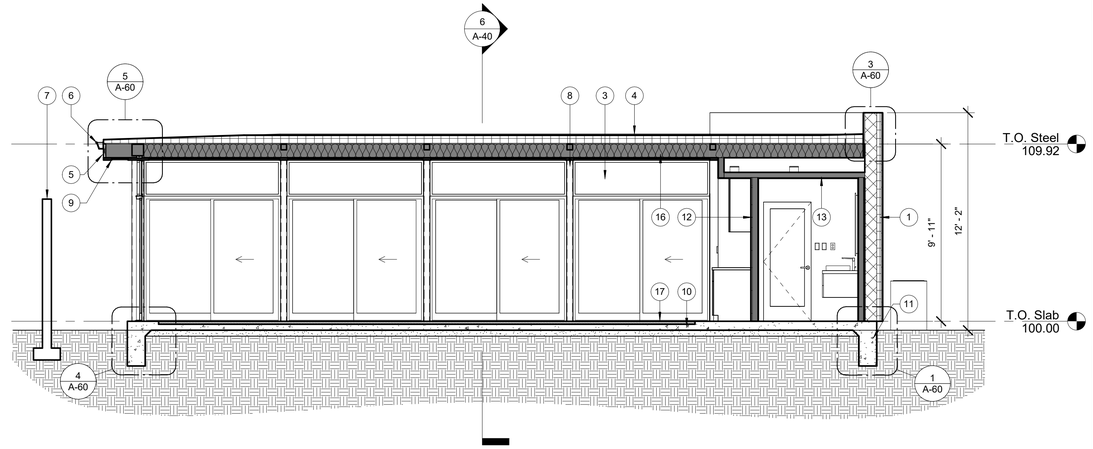
Description

COMPOSITE UTILITY PLAN

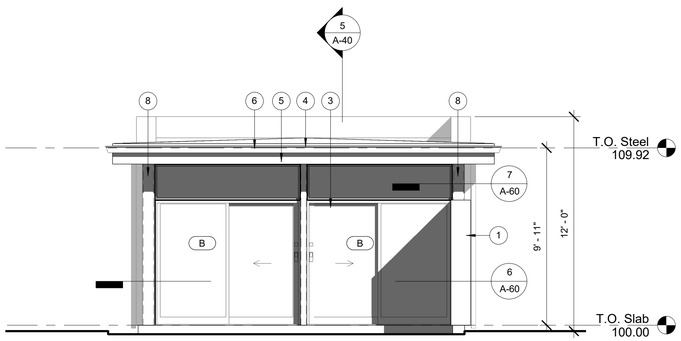
Scale 1/4" = 1'-0"



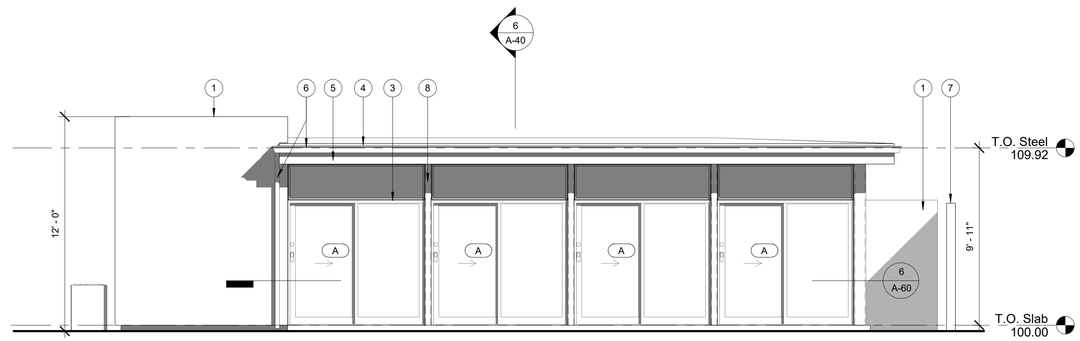
6 Section 2
1/4" = 1'-0"



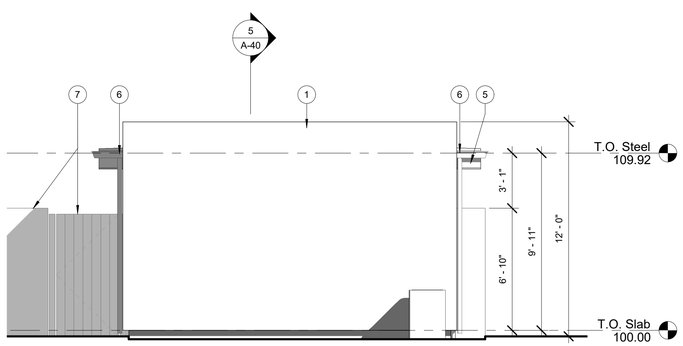
5 Section 1
1/4" = 1'-0"



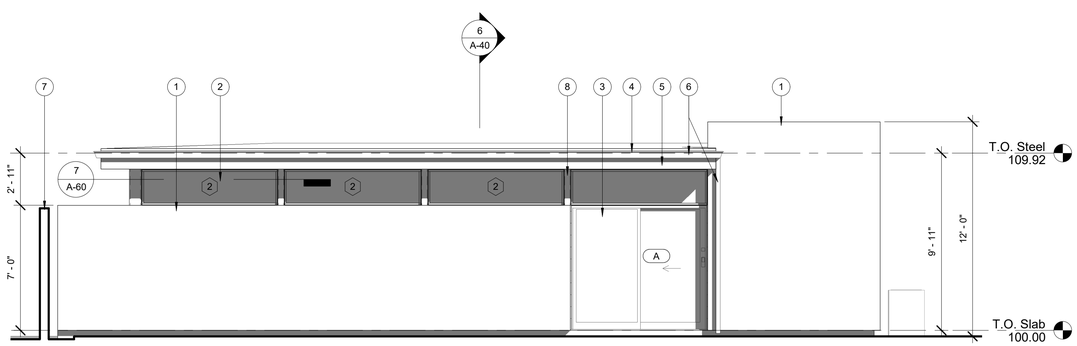
4 South Elevation
1/4" = 1'-0"



3 West Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"



1 East Elevation
1/4" = 1'-0"

ELEVATION & SECTION GENERAL NOTES

1. See Structural plans for foundation and framing design, requirements, and details
2. See Floor Plans for additional Wall Type information.
3. See Door & Window Schedules on Sheet A-20 for additional door & window information.
4. Entire ADU Exterior shall be painted.
5. New CMU Exterior walls & Roof shall have **Rigid Insulation**.
   See Title 24 report for additional information.
6. See Interior & Exterior Elevations for wall material patterns, breaks, & extents, as well as additional finishes, baseboards, etc.
7. All wood in contact with concrete or masonry shall be Pressure Treated.
8. Provide a note on the plans "Fasteners for preservativetreated
   or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153."

ELEVATION & SECTION KEYNOTES

1. CMU wall with stucco finish over 3" rigid insulation
2. Fiberglass windows. See plan for spec.
3. Fiberglass sliding door, see plan for specs.
4. PVC roof over tapered rigid insulation.
5. Prefinished metal eave flashing.
6. Prefinished metal gutters & downspouts.
7. Existing garden wall & gate.
8. Structural steel column, painted.
9. Stained 1x6 T&G eave soffit & interior ceiling
10. Concrete slab on grade.
11. Concrete footing.
12. Interior partition, 2x4 studs with 1/2" GWB.
13. Dropped ceiling, 2x4 framing with 1/2" GWB.
14. Existing tennis court pavement.
15. Driveway
16. Steel beams & sawn lumber roof framing
17. Rubber floor tiles

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A-40

Description

ELEVATIONS & SECTIONS

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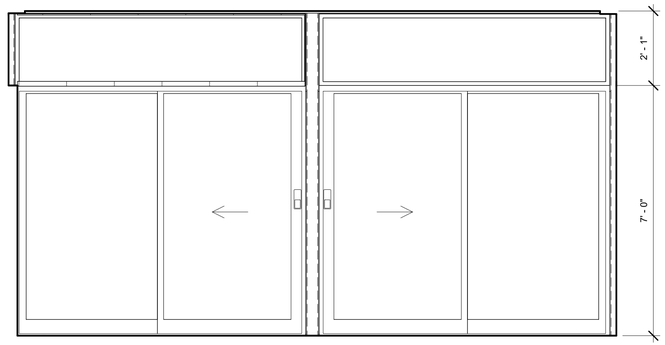
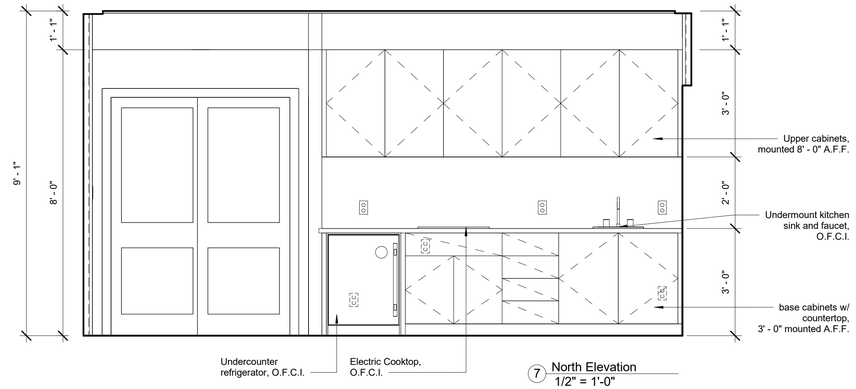
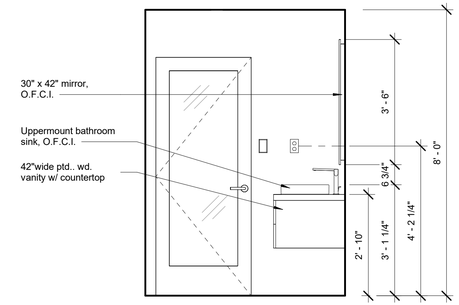


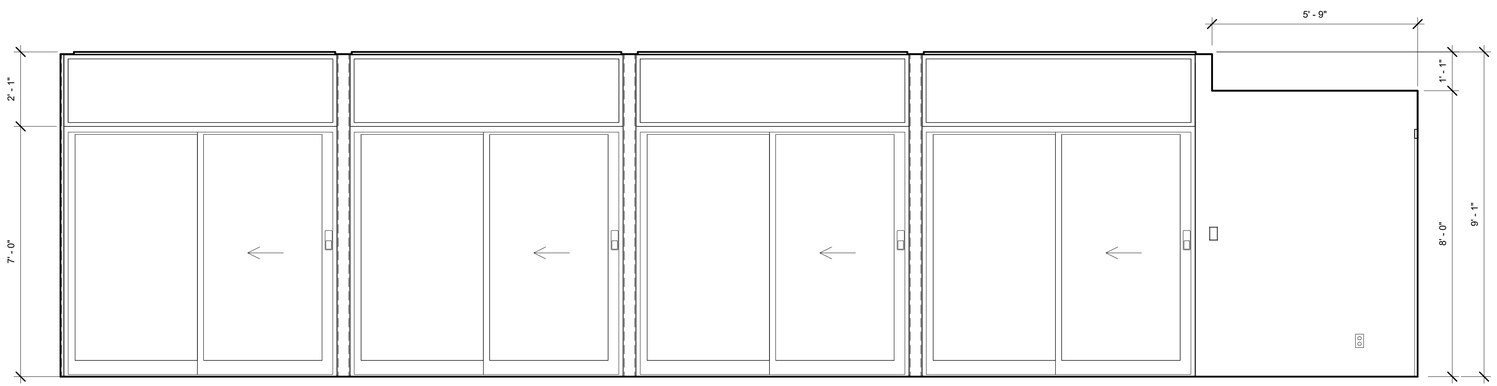
8 South Elevation
1/2" = 1'-0"



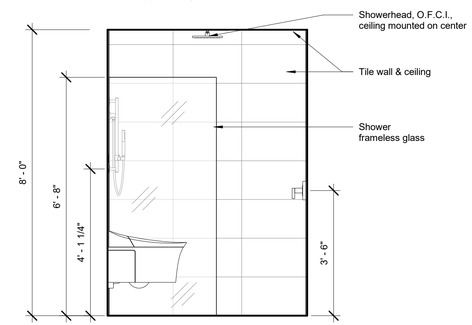
7 North Elevation
1/2" = 1'-0"



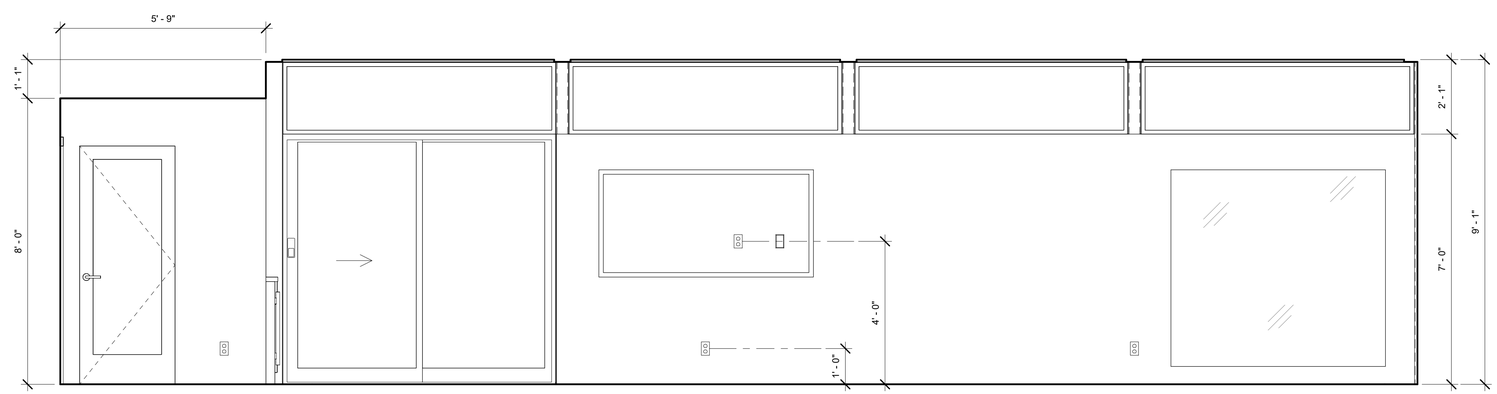
2 Bathroom - West Elevation
1/2" = 1'-0"



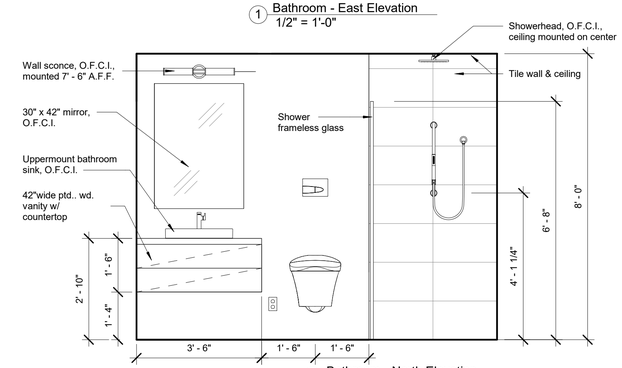
6 West Elevation
1/2" = 1'-0"



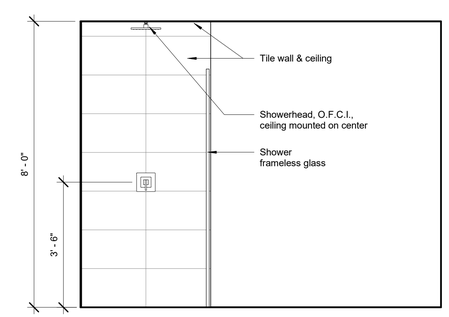
1 Bathroom - East Elevation
1/2" = 1'-0"



5 East Elevation
1/2" = 1'-0"



3 Bathroom - North Elevation
1/2" = 1'-0"



4 Bathroom - South Elevation
1/2" = 1'-0"

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Date	Project No.
2022-08-11	21-13

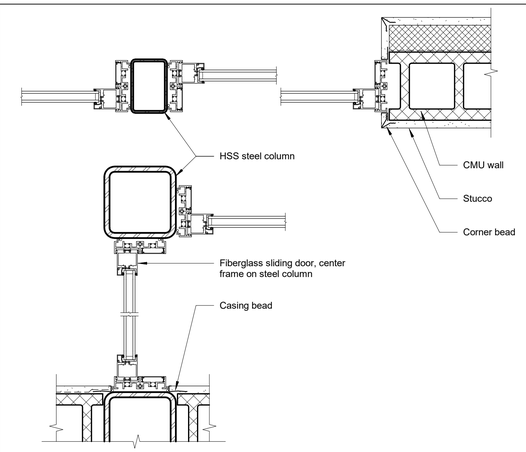
Sheet Number

A-50

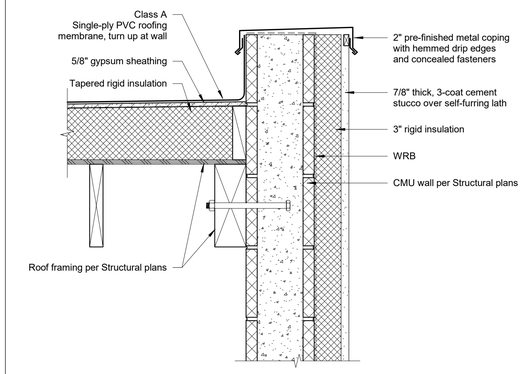
Description

INTERIOR ELEVATIONS

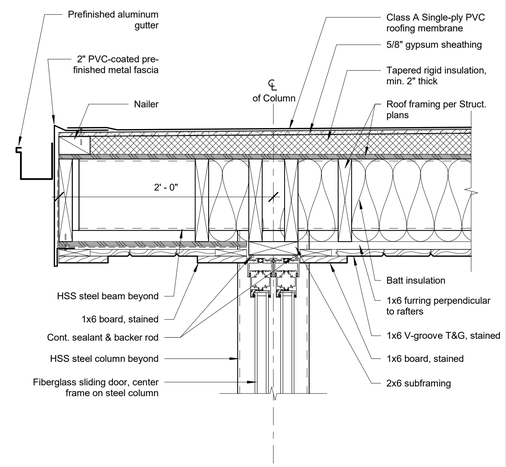
Scale 1/2" = 1'-0"



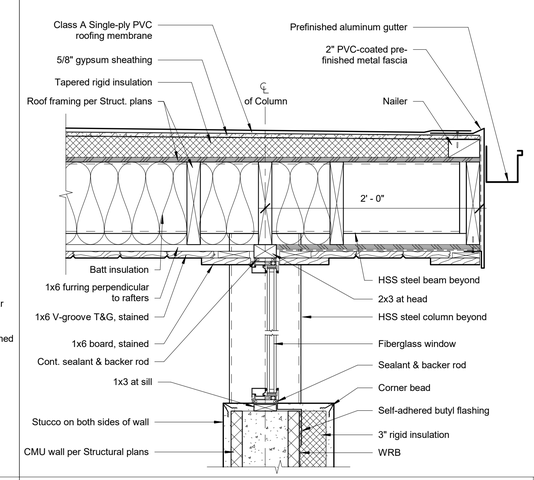
Door Jamb Details 1 1/2" = 1'-0" 6



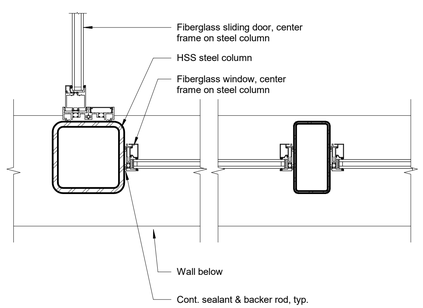
Detail at Parapet 1 1/2" = 1'-0" 3



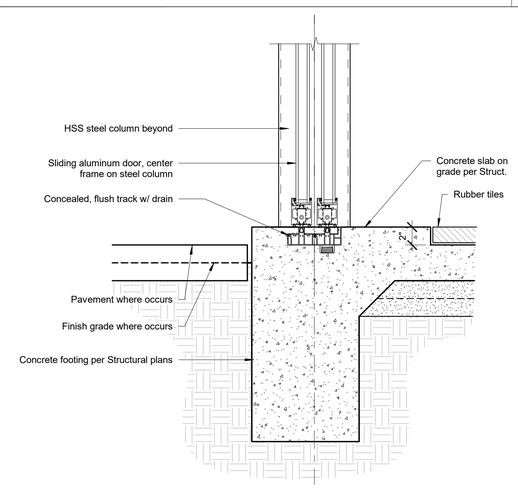
Detail at Eave & Door Head 1 1/2" = 1'-0" 5



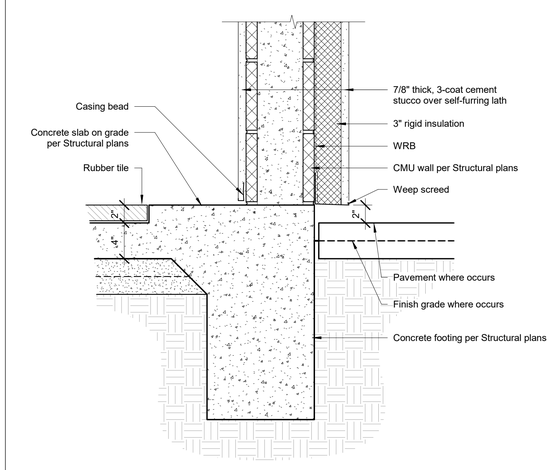
Window Head & Sill Detail 1 1/2" = 1'-0" 2



Window Jamb Detail 1 1/2" = 1'-0" 7



Detail at Door Threshold 1 1/2" = 1'-0" 4



Detail at Base of Wall 1 1/2" = 1'-0" 1

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Seal

LICENSED ARCHITECT
Robert G. Tyler
No. C18812
Exp. 8-31-21
STATE OF CALIFORNIA

Issue Dates

No.	Description	Date
1	PC #1	2022-02-28

New Accessory Dwelling Unit
515 Madre St., Pasadena, CA 91107

Use of Architect's Drawings

Do not scale drawings. Contractor shall verify and be responsible for all dimensions and conditions on the site and the Architect shall be notified immediately of any variations from the dimensions and conditions indicated on these drawings.

Drawings, specifications, and other documents, including those in electronic form, prepared by the Architect and the Architect's consultants are Instruments of Service for use solely with respect to this Project. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. Visual contact with these documents constitute prima facie acceptance of these conditions.
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Date	Project No.
2022-08-11	21-13

Sheet Number

A-60

Description

ARCHITECTURAL DETAILS

Scale 1 1/2" = 1'-0"

PROJECT NUMBER	HEARING DATE
PRJ2022-004640-(5)	April 16, 2024

REQUESTED ENTITLEMENT(S)
Oak Tree Permit ("OTP") No. RPPL2022001007

PROJECT SUMMARY

OWNER / APPLICANT	MAP/EXHIBIT DATE
Robert A. Wyman, Jr. & Lisa C. Krueger	August 11, 2022

PROJECT OVERVIEW

A request for an OTP to allow for the encroachment into the protected zone of two oak trees identified as tree numbers 2 and 3, including one heritage oak tree (tree number 2), associated with the construction of a detached 775-square-foot Accessory Dwelling Unit (under associated Site Plan Review RPPL2022014305) on a single-family residence property in the unincorporated Pasadena. All oak trees are identified as coast live oaks in an arborist report prepared by Javier Cabral dated February 18, 2022. No removal of any oak tree is proposed. The County Forester has reviewed the Project's arborist report and has issued a clearance letter with recommended conditions on June 13, 2023.

LOCATION	ACCESS
515 Madre Street, Pasadena	Madre Street
ASSESSORS PARCEL NUMBER	**SITE AREA**
5377-003-001	1.0 Acre (43,560 square feet)
GENERAL PLAN / LOCAL PLAN	**ZONED DISTRICT**
General Plan	East Pasadena
LAND USE DESIGNATION	**ZONE**
H2 (Residential 2 (0 to 2 dwelling units per net acre)	R-1-40,000 (Single-Family Residence – 40,000 Square Feet Minimum Required Lot Area)

PROPOSED UNITS	MAX DENSITY/UNITS	COMMUNITY STANDARDS DISTRICT
NA	2 du/ac	East Pasadena - East San Gabriel

ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures
Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the Los Angeles County ("County") General Plan
- Satisfaction of the following portions of Title 22 of the County Code:
  - Chapter 22.174 (Oak Tree Permits)
  - Chapter 22.318 (East Pasadena-East San Gabriel Community Standards District)
  - Section 22.18.040 (Development Standards for Residential Zones)

CASE PLANNER:	PHONE NUMBER:	E-MAIL ADDRESS:
Anthony M. Curzi	(213) 893 - 7016	acurzi@planning.lacounty.gov

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

DRAFT FINDINGS OF THE HEARING OFFICER
AND ORDER
PROJECT NO. PRJ2022-004640-(5)
OAK TREE PERMIT NO. RPPL2022001007

RECITALS

1. **HEARING DATE.** The Los Angeles County ("County") Hearing Officer conducted a duly noticed public hearing in the matter of Oak Tree Permit ("OTP") No. **RPPL2022001007** on April 16, 2024.

2. **HEARING PROCEEDINGS.** *Reserved.*

3. **ENTITLEMENT REQUESTED.** The permittee, Robert A. Wyman Jr. and Lisa C. Krueger ("permittee"), requests the OTP to authorize the encroachment into the protected zone of two oak trees identified as tree numbers 2 and 3, including one heritage oak tree (tree number 2) associated with the construction of a new Accessory Dwelling Unit ("ADU") [to be reviewed under separate permit - Site Plan Review ("SPR") No. RPPL2022014305] ("Project") on a property located at 515 Madre Street in unincorporated Pasadena ("Project Site") in the R-1-40,000 (Single-Family Residence - 40,000 Square Feet Minimum Required Lot Area) Zone pursuant to County Code Section 22.174.030 (Applicability).

4. The encroached-upon oak trees range in size from 31 inches in diameter at breast height ("DBH") to 41 inches at DBH. All trees are identified as coast live oak trees in an oak tree report prepared by Javier Cabral, dated February 18, 2022. The report concluded impacts to the oak trees are not expected to cause significant negative impacts to tree health or structure. There are a total of 23 oak trees on the subject property. The encroached-upon trees are summarized in the table below:

Oak Tree	DBH (Diameter at Breast Height) (in inches)	Height (in feet)	Health	Encroachment
#2 (Heritage)	41	85	Good (B)	ADU (10% into protected zone)
#3	31	45	Good (B)	ADU (10% into protected zone)

5. **LOCATION.** The Project Site is located within the East Pasadena - East San Gabriel Community Standards District ("CSD") and West San Gabriel Valley Planning Area.

6. **LAND USE DESIGNATION.** The Project Site is located within the H2 (Residential 2 - 0 to 2 dwelling units per net acre) land use category of the County General Plan Land Use Policy Map.

7. **ZONING.** The Project Site is located in the East Pasadena Zoned District and is currently zoned R-1-40,000. Pursuant to County Code Section 22.174.030 (Applicability), an OTP is required for encroachments into protected zones of oak trees.

8. **SURROUNDING LAND USES AND ZONING**

LOCATION	GENERAL PLAN LAND USE POLICY	ZONING	EXISTING USES
NORTH	H9 (Residential 9 – 0 to 9 dwelling units per net acre)	R-1 (Single-Family Residence)	SFRs
EAST	H2, H9	R-1, R-1-40,000	SFRs
SOUTH	H2, W (Water)	R-1-40,000	SFRs
WEST	H2, W, P (Public and Semi-Public), City of Pasadena	R-1-10,000 (Single-Family Residence - 10,000 Square Feet Minimum Required Lot Area), City of Pasadena	SFRs, Eaton Canyon Wash

9. **PROJECT AND SITE PLAN DESCRIPTION.**

   A. Existing Site Conditions
   The Project Site is 1.0 acre (43,560 square feet) in size and consists of one legal lot. The Project Site is rectangular in shape with relatively flat topography and is developed with an SFR and garage.

   B. Site Access
   The Project Site is accessible via San Pasqual Street, an 80-foot-wide public street, to the north. Primary access to the Project Site is via an existing entrance/exit on San Pasqual Street.

   C. Site Plan
   The site plan depicts the existing SFR, garage, associated proposed ADU, and the 23 on-site oak trees. The ADU is shown encroaching into the protected zone of the two oak trees, including one heritage oak.

10. **CEQA DETERMINATION.** Prior to the Hearing Officer's public hearing on the Project, LA County Planning staff determined that the Project qualified for a Class 3, New Construction or Conversion of Small Structures, and Class 4, Minor Alterations in Land categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and

the Environmental Document Reporting Procedures and Guidelines for the County because the Project involved the encroachment into the protected zone of two oak trees, including one heritage oak tree, to allow the construction of a new ADU. The types of projects that typically fall within Class 3, include but are not limited to, SFRs, the construction of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 4 exemptions consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed. The encroachment into the protected zone of oak trees is a case of a minor alteration in the condition of land where no trees will be removed.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated. Due to the existing degraded condition of the oak woodland, associated with its disturbed state, there is no significant impact to the oak woodland. As such, the affected oak trees are part of a degraded oak woodland due to decades of development in this residential community. Consequently, there are no significant impacts due to woodland condition. Therefore, County Staff recommends that the Hearing Officer determine that the Project is categorically exempt from CEQA.

11. The Project Site has been used as an SFR since 1931. The County Forester and Fire Warden ("Forester") has reviewed the Project for the requested encroachments. The County Forester will require proper temporary fencing to secure the protected zones during construction and the use of hand tools or hand-held power tools if trenching or clearance of vegetation is needed within the protected zones to reduce negative impacts on the roots. The arborist's tree protection measures and tree care instructions during construction will also be required. The two future inspections by the Forester will ensure that the trees survive, or if they do not survive that they are replaced. If an oak tree should die from the construction impacts, the permittee will be required to replace each such oak tree at a 2:1 ratio for Tree Number 3 and 10:1 for Tree Number 2 (a heritage oak) on the property. Follow-up monitoring will also continue to be required to ensure survival. These recommended conditions of approval by the Forester and the recommendations provided in the oak tree report are incorporated by reference in the OTP. They have been determined by the Forester to be sufficient to recover any potential losses to trees and woodland values.

12. **PUBLIC COMMENTS.** Staff has not received any comments at the time of report preparation.

13. **AGENCY RECOMMENDATIONS.** County Fire Department (Forestry Division): Recommended clearance to public hearing with conditions in a letter dated June 13, 2023.

14. **LEGAL NOTIFICATION.** Pursuant to Section 22.174.040.E.1.b (Public Hearing Procedure) of the County Code, the community was properly notified of the public hearing by newspaper (*Pasadena Star News*). Additionally, the Project case materials were available on LA County Planning's website. On March 7, 2024, a total of 10 Notices of Public Hearing were mailed on the courtesy mailing list for the East Pasadena - East San Gabriel Zoned District and OTP courtesy lists, and any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

15. **LAND USE POLICY.** The Hearing Officer finds that the Project (a request to encroach into the protected zone of two oak trees, including one heritage oak tree) is consistent with the goals and policies of the General Plan because the H2 designation is intended for SFR development and associated accessory uses, a category into which this Project falls. The Hearing Officer further finds that the Project promotes the continued SFR use and character of the surrounding area.

16. **GOALS AND POLICIES.** The Hearing Officer finds the Project is consistent with the following goals and policies of the General Plan:

    - Goal LU 7: *Compatible land uses that complement neighborhood character and the natural environment*.

    - Land Use Element, Policy 4.1*: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.*

    - Land Use Element, Policy 5.1: *Encourage a mix of residential land use designations and development regulations that accommodate various densities, building types, and styles.*

    Maintaining the oak trees and SFR use, which includes the associated proposed ADU on the Project Site will ensure that the existing character of the Project Site will continue to be compatible with that of the neighborhood and surrounding natural environment. While the OTP is for the encroachment into the protected zone of two oak trees, including one heritage oak tree, the associated construction of an ADU would not conflict with the above goal and policies. The improvements would provide greater amenities and convenience to existing and future residents. The location of the proposed ADU is sited in such a way to avoid major impacts to the encroached-upon oak trees and public view.

ZONING CODE CONSISTENCY FINDINGS

17. **PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the R-1-40,000 zoning classification as the encroachment into the protected zone of two oak trees, including one heritage oak tree, to facilitate the construction of an ADU, is permitted in such zone and subject to an OTP pursuant to County Code Section 22.174.030 (Applicability).

18. **COMMUNITY STANDARDS DISTRICT.** The Hearing Officer finds that while the Project is a request for encroachment into the protected zone of two oak trees, including one heritage oak tree, the associated existing SFR on the property is consistent with the standards identified in County Code Section 22.318.070.A (Zone Specific Development Standards), including required maximum lot coverage and floor area. The maximum lot coverage and floor area allowed is (0.25xnet lot area) + 1,000 square feet, but in no case more than 9,000 square feet. Lot coverage shall include all enclosed buildings, and floor area shall include all enclosed buildings except cellars and garages. The existing SFR has lot coverage of 6,609 square feet, and floor area of 7,885 square feet. All applicable development standards for the proposed structures will be verified before the related SPR is approved.

19. **ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS.** The Hearing Officer finds that while the Project is a request for encroachment into the protected zone of two oak trees, including one heritage oak tree, the associated proposed ADU will be required to meet applicable development standards pertaining to size, height, and setbacks pursuant to County Code 22.140.640.G (Development Standards). The ADU's compliance with all applicable development standards will be verified by associated SPR RPPL2022014305.

20. **PARKING.** The Hearing Officer finds that while the Project is a request for encroachment into the protected zone of two oak trees, including one heritage oak tree, associated development is consistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces) for SFRs. Two covered parking spaces are required, and both are provided in an existing attached two-car garage. No parking is required for the proposed ADU. Furthermore, as the property is one acre in size, no covered parking for the SFR is required.

OAK TREE PERMIT FINDINGS

21. **The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property.** Of the 23 oak trees on the property, two oak trees will be encroached upon with the related construction of a new ADU. No oak trees are proposed for removal. No adverse impact to any oak tree is anticipated. Conditions of approval have been required by the Forester, requiring the permittee to provide mitigation trees should any tree specified die as a result of the approved encroachments, at a ratio of 2 to 1 for Tree 3, and 10 to 1 Tree 2 (a heritage oak).

22. **The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.** No removal or relocation of any oak tree is proposed; the Project requests the encroachment into the protected zone of two Coast Live Oaks, including one heritage oak. The proposed encroachments will not result in soil erosion.

23. **The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that (i) Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or (ii) Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.** No removal of relocation of any oak tree is proposed; the Project requests the encroachment into the protected zone of two Coast Live Oaks, including one heritage oak. Given the location of such trees on the Project Site, together with the location of the existing SFR, the selected area for the ADU was the most reasonable and efficient to minimize impacts to oak trees, and visual impacts from the public right-of-way.

24. **The Hearing Officer finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.** No oak trees will be removed as part of the proposed Project.

ENVIRONMENTAL FINDINGS

25. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15303 and 15304 (Class 3, Existing Facilities and Class 4, Minor Alterations to Land categorical exemptions). The County completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act ("CEQA"). The project qualifies as a Class 3 (New Construction or Conversion of Small Structures) and Class 4 (Minor Alterations to Land) under the Los Angeles County Environmental Reporting Guidelines and the State CEQA Guidelines Sections 15303 and 15304 because the request to encroach into the protected zone of oak trees is related to minor alterations in the condition of private land and vegetation that do not involve the removal of healthy mature, scenic trees associated with the development of a new ADU, which is an accessory structure or appurtenance that will not alter the primary use of the property as an SFR.

    Per section 15303 of the CEQA Statute and Guidelines, Class 3 is intended for the construction of small structures and facilities such as an ADU. The Project Site and the surrounding properties have been altered from their natural conditions. The Project Site is currently occupied by a two-story 7,885-square-foot SFR with an attached

garage. Due to the existing degraded condition of the oak woodland, associated with its disturbed state, there is no significant impact to the oak woodland. As such, the affected oak trees are part of a degraded oak woodland due to decades of development in this residential community. Consequently, there are no significant impacts due to woodland condition.

Per section 15304, Class 4 is intended for small-scale grading, new landscaping, and minor trenching, among other activities. The requested encroachments are considered minor impacts that would not result in further loss of an ecosystem. The Project Site has been developed with an SFR since 1931. Furthermore, the County Forester has reviewed the Project for the requested encroachments. The Project's conditions have been determined by the Forester to be sufficient to recover any losses to trees and woodland values, which include replacement ratios of 2 to 1 and 10 to 1 for heritage oak trees.

No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated.

ADMINISTRATIVE FINDINGS

26. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to County Code Title 22 regulations, if any, on the subject property.

B. There will be no removal or relocation of oak trees proposed that will result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated.

C. There will be no removal or relocation of oak trees proposed that is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that (i) Alternative development plans cannot achieve the same permitted density or that the cost of

such alternative would be prohibitive, or (ii) Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized.

D. There will be no removal of oak trees proposed that will be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

THEREFORE, THE HEARING OFFICER:

1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 and 15304 (Class 3, New Construction or Conversion of Small Structures and Class 4, Minor Alterations to Land categorical exemptions categorical exemption); and

2. Approves **OAK TREE PERMIT NO. RPPL2022001007**, subject to the attached conditions.

ACTION DATE: April 16, 2024

MRB:AMC

April 4, 2024

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

CONDITIONS OF APPROVAL
PROJECT NO. PRJ2022-004640-(5)
OAK TREE PERMIT NO. RPPL2022001007

PROJECT DESCRIPTION

The project is a request for an Oak Tree Permit to authorize the encroachment into the protected zone of two oak trees (trees number 2 and 3), including one heritage oak tree (tree No. 2) associated with the construction of a 775-square-foot Accessory Dwelling Unit ("ADU") subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.

2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Conditions No. 3, 4, 7, 8 and 14 shall be effective pursuant to Section 22.222.230 of the County Code.

3. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.

4. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to $5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

   If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of $5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.

6. Upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.

7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.

8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The permittee shall deposit with the County the sum **$441.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of this grant. The fund provides for **one** inspection. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

   If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be $441.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the

public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.

10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.

11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.

12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").

PROJECT SITE-SPECIFIC CONDITIONS

13. This grant shall authorize the encroachment into the protected zone of two oak trees (oak trees number 2 and 3), including one heritage oak tree (oak tree number 2) associated with the construction of a 775-square-foot ADU.

14. This grant shall not be effective until a site plan review is approved for the construction of the ADU.

15. The permittee shall comply with all conditions and requirements contained in the Forester letter dated June 13, 2023 (attached hereto), to the satisfaction of said Forester, except as otherwise required by the Forester and by these conditions.

16. In the event of the death of any oak tree as a result of the Project, the permittee shall:

    a. Plant one healthy acorn of the same species of oak (Quercus sp.) The acorns shall be planted at the same time as and within the watering zone of each mitigation tree.

    b. All replacement trees shall be planted on native undisturbed soil and shall be the same species of oak (Quercus sp.) as the tree. The location of the replacement tree shall be in the vicinity of other oak trees of the same species. A layer of humus and litter from beneath the canopy of the tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

    c. When replacement trees are planted on disturbed soil or are not in the vicinity of the same species of oak (Quercus sp.) as the tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

17. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director and the Forester stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director and the Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of any mitigation trees planted as well as planting dates.

Attachments:
Exhibit D-1 Fire Department Letter dated June 13, 2023
Exhibit D-2 Oak Trees: Care and Maintenance Guide

OAK TREE PERMIT FINDINGS

Please identify the number of oak trees proposed for:

0 **Removal** 2 **Encroachment** 22 **To Remain** 22 **Total existing oak trees**

Pursuant to Section 22.174.060 (Findings and Conditions), the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

B.1 The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.

From arborist's report:
"Based on the minimal total amount of encroachment into the drip line and the distance of the gym to the tree trunks it is my professional opinion that if the included tree protection plan is followed and adhered to, that the proposed gym will have minimal to no impact on the overall health of the trees and can be approved as designed.

Based on the minimal total amount of encroachment into the drip line and driveway is proposed in the footprint of the existing driveway, more space is proposed between the tree trunks and new driveway, and the driveway is being moved slightly away from the trunk it is my professional opinion that if the included tree protection plan is followed and adhered to, that the proposed gym will have minimal impact on the overall health of the trees and can be approved as designed."

B.2 The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

No oak trees will be removed or relocated.

B.3 In addition to the above facts, at least one of the following findings apply:

a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that:
   i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or
   ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized;
b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or
c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.

Not applicable
B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.
Not applicable

AMY J. BODEK, AICP
Director,
Regional Planning

DENNIS SLAVIN
Chief Deputy Director,
Regional Planning

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE:	April 16, 2024
PROJECT NUMBER:	PRJ2022-004640-(5)
PERMIT NUMBER:	Oak Tree Permit (OTP) RPPL2022001007
SUPERVISORIAL DISTRICT:	5
PROJECT LOCATION:	515 Madre Street, Altadena
OWNER:	Robert A. Wyman, Jr. & Lisa C. Krueger
APPLICANT:	Robert A. Wyman, Jr. & Lisa C. Krueger
CASE PLANNER:	Anthony M. Curzi, Regional Planner acurzi@planning.lacounty.gov

Los Angeles County ("County") completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act ("CEQA"). The project qualifies as a Class 3 (New Construction or Conversion of Small Structures) and Class 4 (Minor Alterations to Land) under the Los Angeles County Environmental Reporting Guidelines and the State CEQA Guidelines Sections 15303 and 15304 because the Project involved the encroachment into the protected zone of two oak trees, including one heritage oak tree, associated with the construction of a new ADU. The types of projects that typically fall within Class 3, include but are not limited to SFRs, the construction of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 4 exemptions consist of alterations in the conditions of land where no removal of healthy, mature, or scenic trees are removed. The encroachment into the protected zone of oak trees is a case of a minor alteration in the condition of land and where no live trees will be removed. No exceptions to the Categorical Exemption are found to apply to the Project per section 15300.2 of the California Code of Regulations. The subject property is not located within or near an environmentally sensitive area, a historical resource, a hazardous waste site, or a scenic highway. The surrounding area is an urbanized residential neighborhood. The subject property and its surroundings are developed with roadways, driveways, utility poles and lines, buildings, ornamental landscaping, and other infrastructure. No significant effect due to unusual circumstances and no cumulative impacts are anticipated. Due to the existing degraded condition of the oak woodland, associated with its disturbed state, there is no significant impact to the oak woodland. As such, the affected oak trees are part of a degraded oak woodland due to decades of development in this residential community. Consequently,

there are no significant impacts due to woodland condition. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA.

3-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007

Feet

0 4,000 8,000

N

LA COUNTY PLANNING

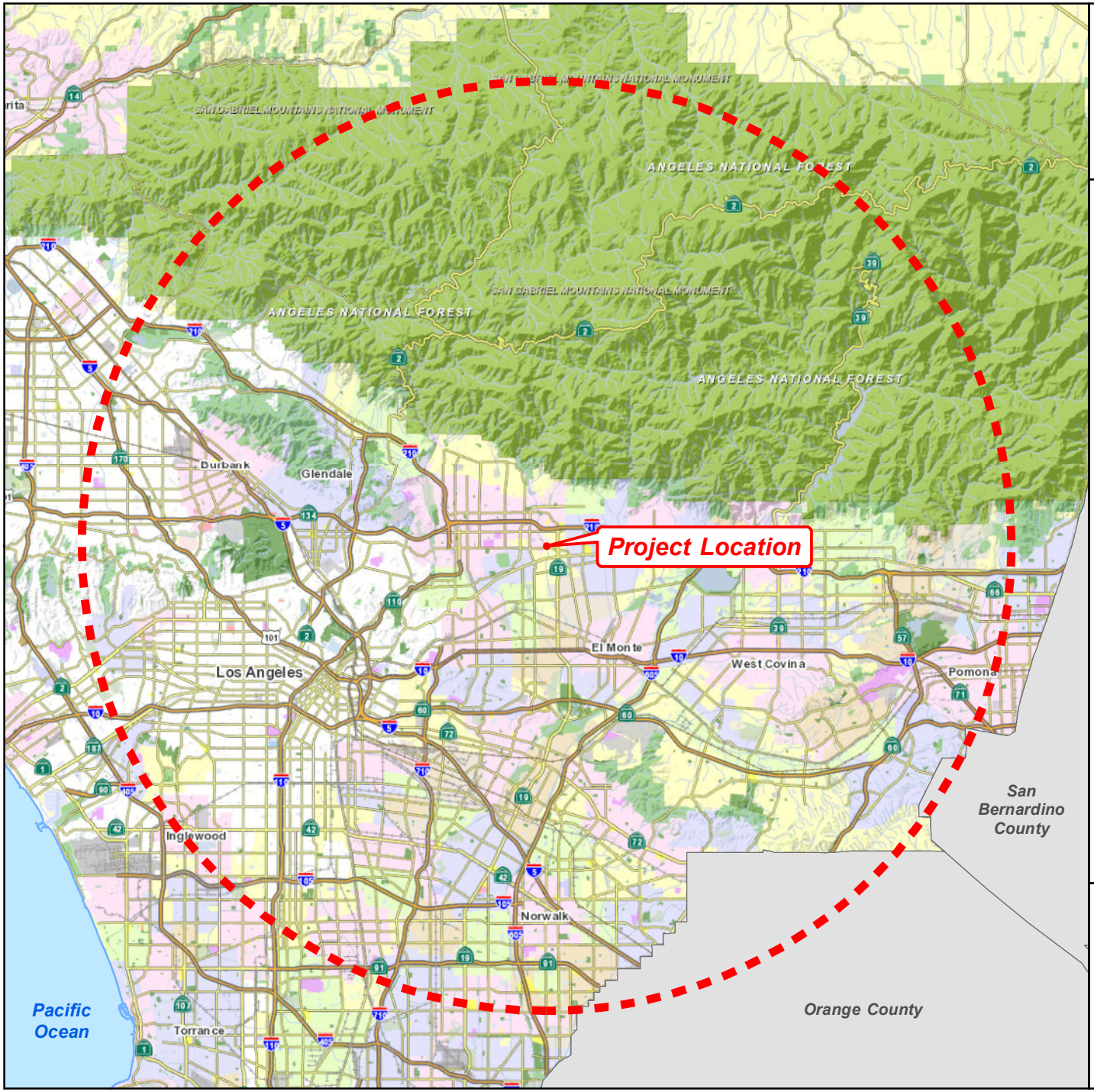
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007



Miles

0 5 10

N

LA COUNTY PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery Acquisition Consortium (LARIAC)
2023

Feet

0 25 50

N

LA COUNTY PLANNING

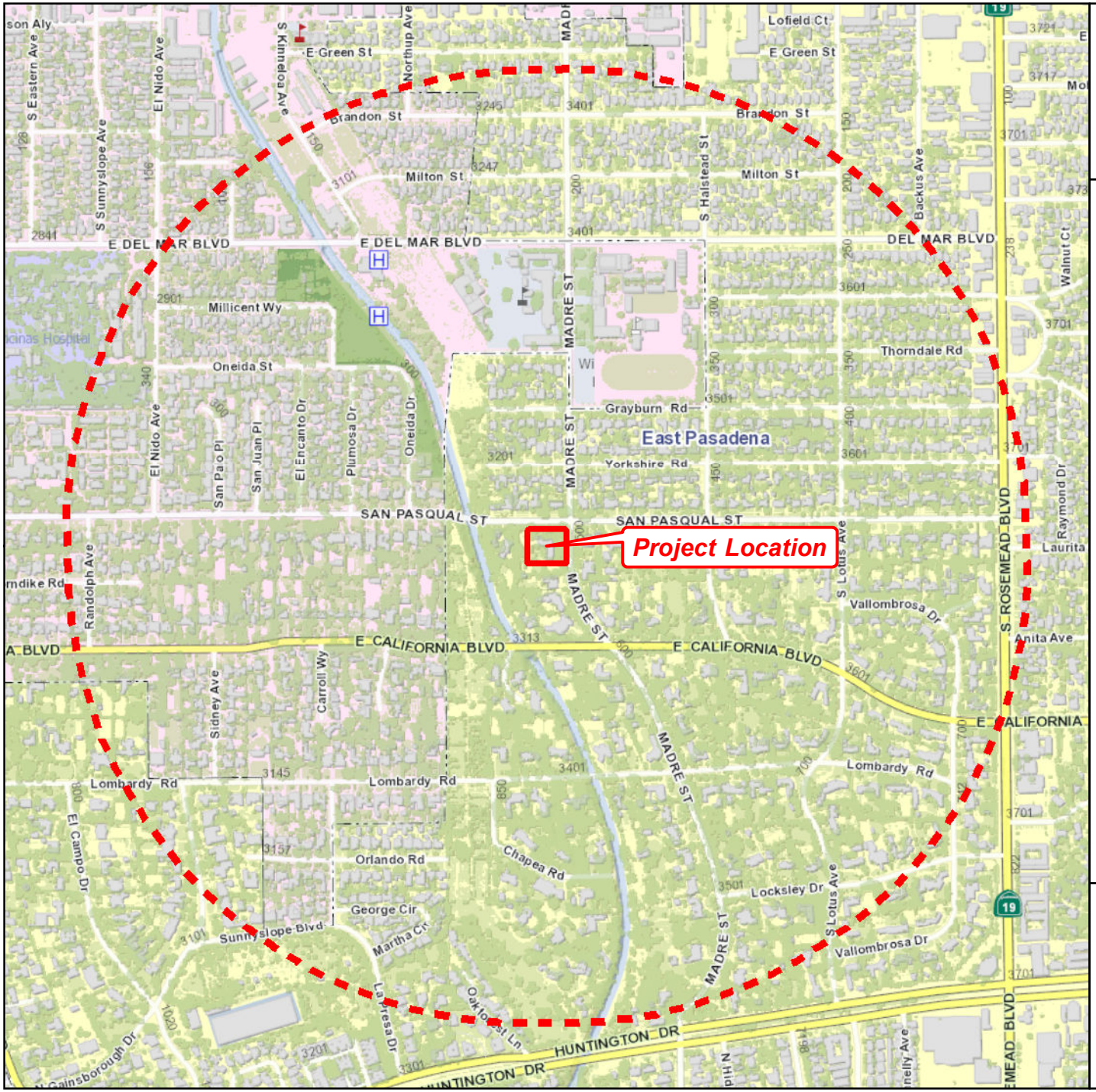
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

HALF-MILE RADIUS

LOCATOR MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007



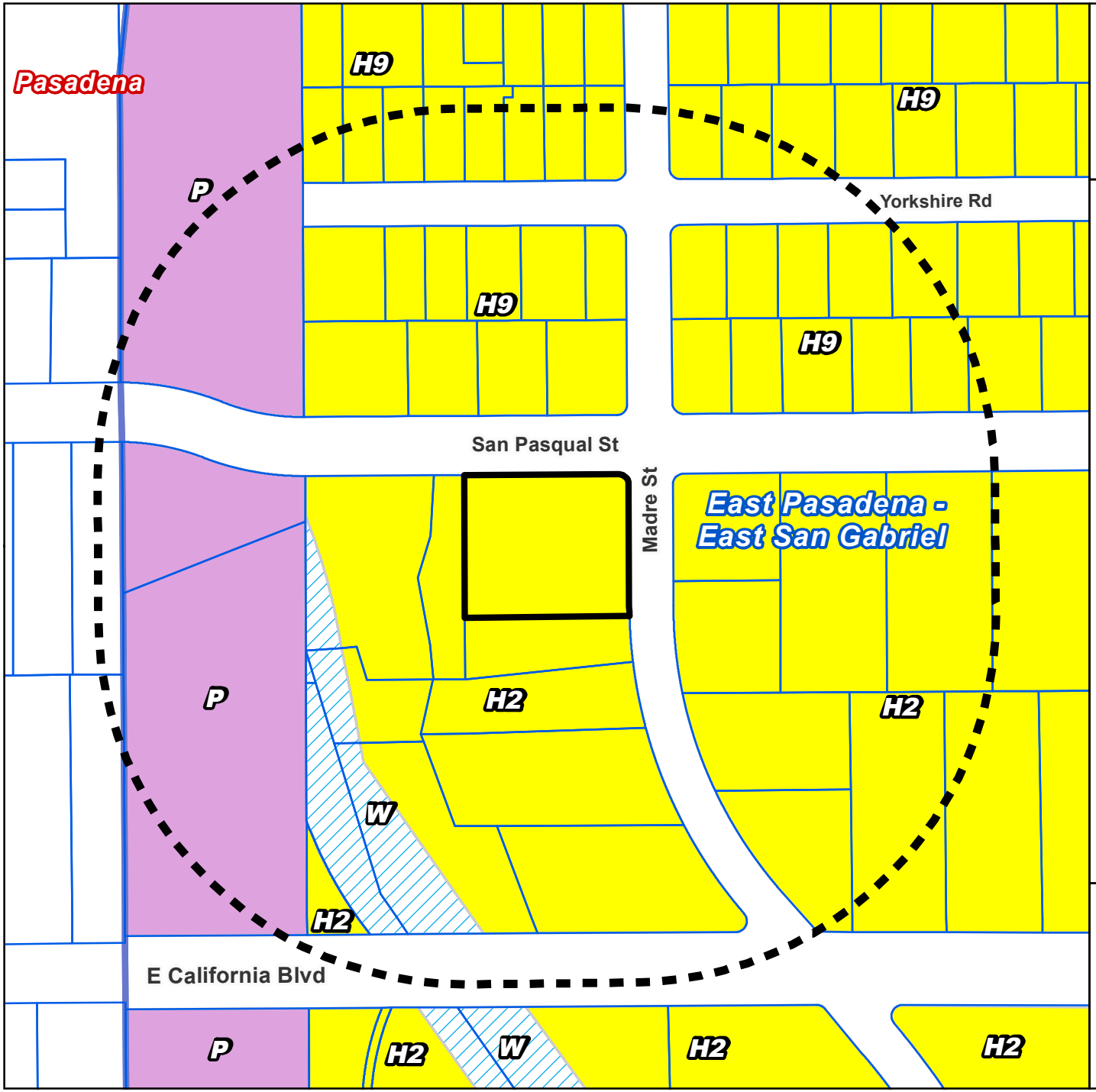
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

LAND USE POLICY

500-FOOT RADIUS MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007



- H2 - Residential 2
- H9 - Residential 9
- P - Public and Semi-Public
- W - Water

Feet

0 150 300

N

LA COUNTY PLANNING

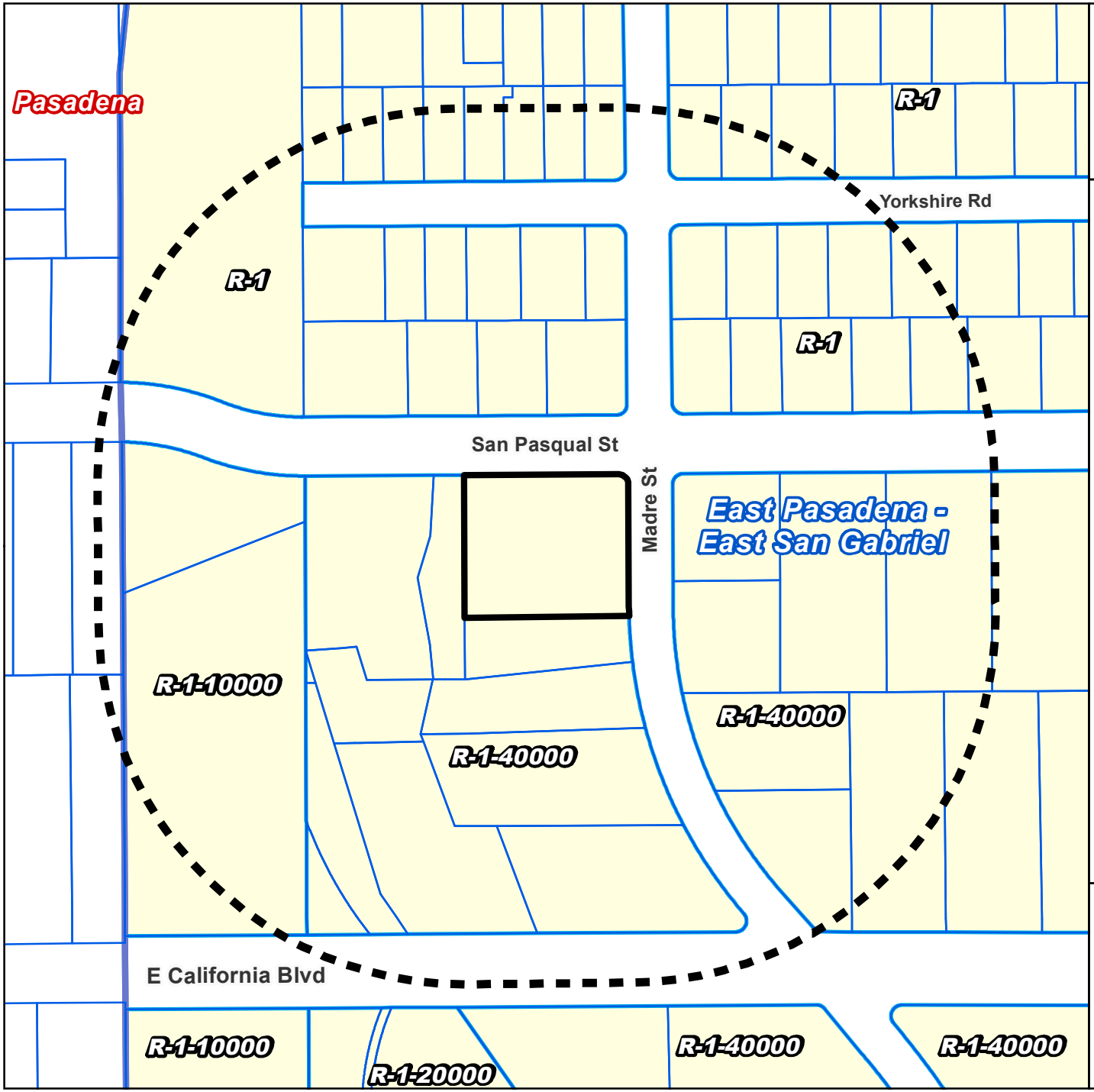
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

ZONING

500-FOOT RADIUS MAP

PROJECT NO. PRJ2022-004640

OTP RPPL2023001007



R-1 - Single-Family Residence

Feet

0 150 300

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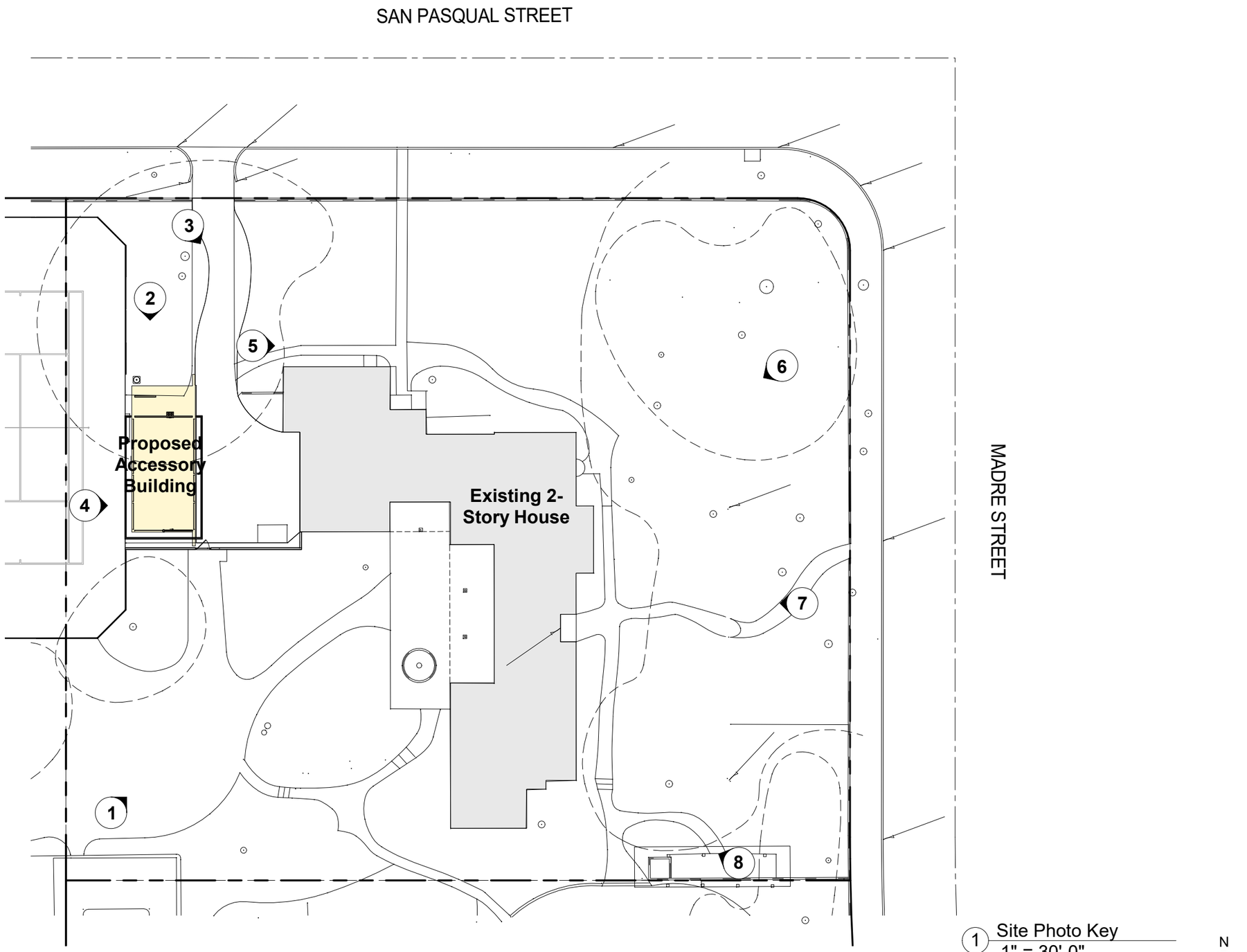
LA COUNTY PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



1 Site Photo Key
1" = 30'-0"

TYLER+KELLY
ARCHITECTURE
Tyler Kelly Architecture.com
(626) 396-9599

New Accessory Dwelling Unit

515 Madre St., Pasadena, CA 91107

Project No.
21-13

Sheet No.
G-001

Description
SITE PHOTO MAP

Scale
1" = 30'-0"

TYLER+KELLY
ARCHITECTURE

Tyler Kelly Architecture.com
(626) 396-9599

New Accessory Dwelling Unit

515 Madre St., Pasadena, CA 91107

Project No.

21-13

Sheet No.

G-002

Description

SITE PHOTOS

Scale

TYLER+KELLY
ARCHITECTURE

Tyler Kelly Architecture.com
(626) 396-9599

New Accessory Dwelling Unit

515 Madre St., Pasadena, CA 91107

Project No.
21-13

Sheet No.
G-003

Description
SITE PHOTOS

Scale

ANTHONY C. MARRONE
FIRE CHIEF
FORESTER & FIRE WARDEN

"Proud Protectors of Life, the Environment, and Property"

COUNTY OF LOS ANGELES
FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

BOARD OF SUPERVISORS
JANICE HAHN, CHAIR
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THIRD DISTRICT

KATHRYN BARGER
FIFTH DISTRICT

June 13, 2023

Anthony M. Curzi, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Anthony Curzi:

OAK TREE PERMIT NUMBER RPPL2023001007
515 MADRE STREET, PASADENA

We have reviewed the "Request for Oak Tree Permit #RPPL2023001007." The project is located at 515 Madre Street in the unincorporated area of Pasadena. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Javier Cabral, the consulting arborist, dated February 18, 2022.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.

2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to

the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.

4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.

5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.

6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

7. This grant allows encroachment within the protected zone of two (2) trees of the Oak genus identified as Tree Number 2 and Tree Number 3 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.

8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) or ten to one (10:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.

11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.

12. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.

13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."

14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.

15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."

18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.

19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.

20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.

21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.

22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5758.

Very truly yours,

Trevor Moore

TREVOR MOORE, ASSISTANT CHIEF, FORESTRY DIVISION
PREVENTION SERVICES BUREAU

TM:jl

Enclosure

OAK TREES:
Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

The Oak Tree

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or
- equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

http://www.fire.lacounty.gov

Or contact:

Department of Regional Planning
320 W. Temple Street, 13th floor
Los Angeles, CA 90012-3284
(213) 974-6411
TDD: (213) 617-2292
http://planning.co.la.ca.us

Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.

Valley Oak
QUERCUS LOBATA

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG: PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS: FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERLY BY AGRICULTURE and URBAN DEVELOPMENT.

Coast Live Oak
QUERCUS AGRIFOLIA

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG: SPINY, ROUNDED, AND HOLLY-LIKE: BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.

Interior Live Oak
QUERCUS WISLIZENII

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

OTHER COMMON OAKS:
CALIFORNIA BLACK OAK: QUERCUS KELLOGGI
CANYON LIVE OAK: QUERCUS CHRYSOLEPIS
ENGELMANN OAK: QUERCUS ENGELMANNII

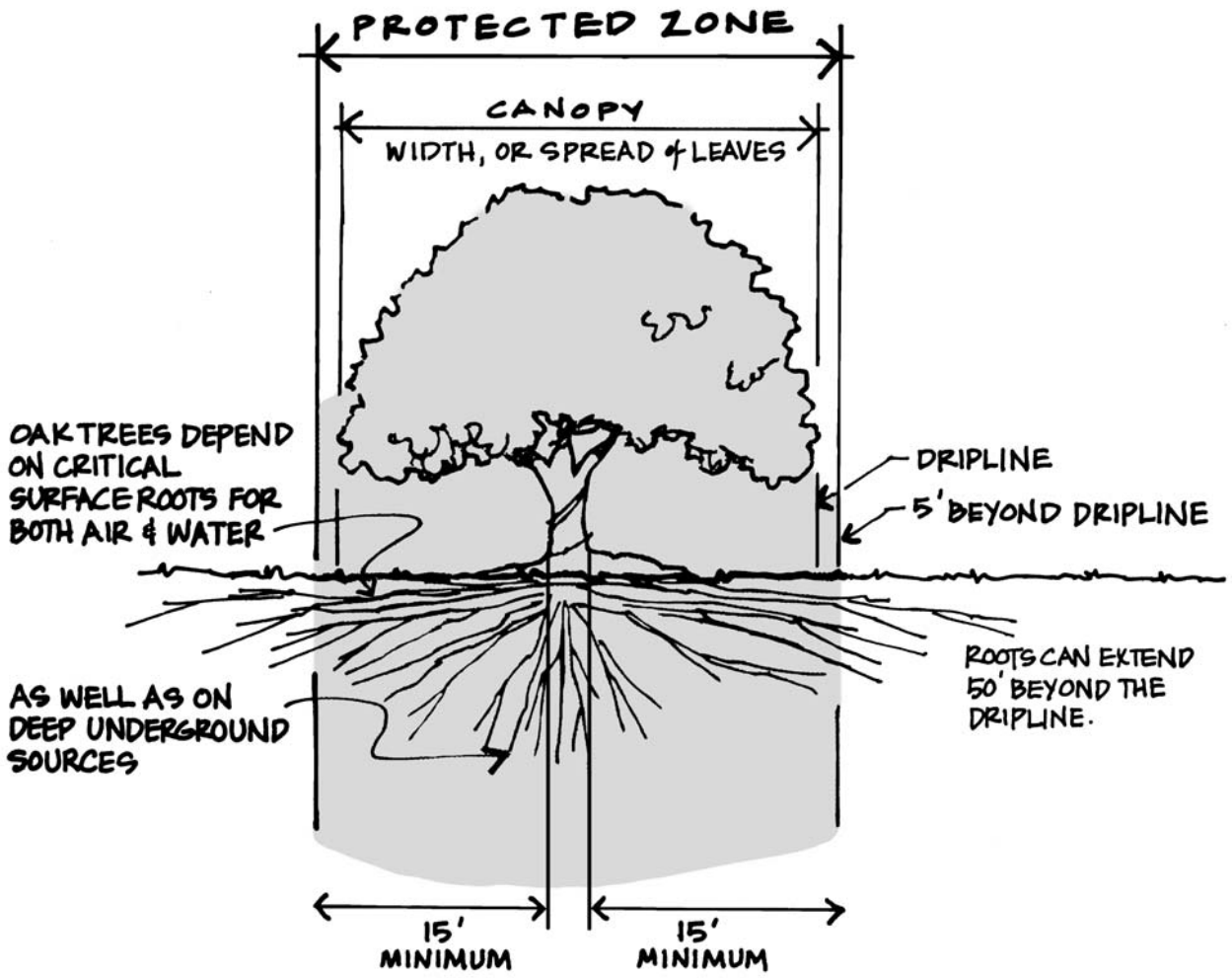
THE PROTECTED ZONE

The ***protected zone*** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

> "The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater."



CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

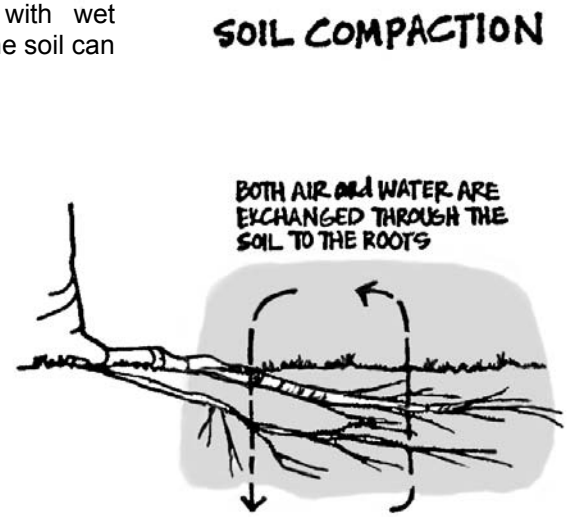
If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

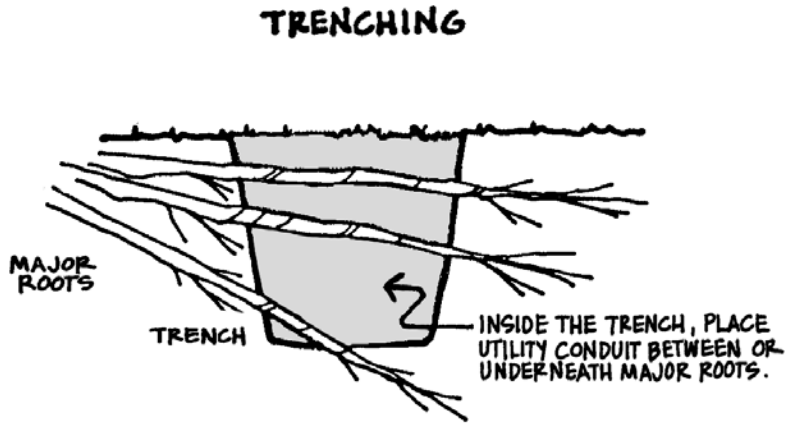
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

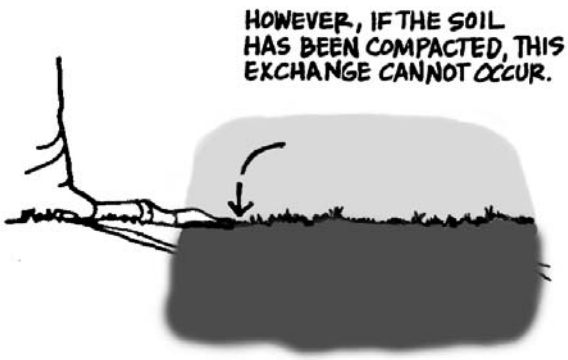
Soil Compaction and Paving

The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).







MAINTENANCE

Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

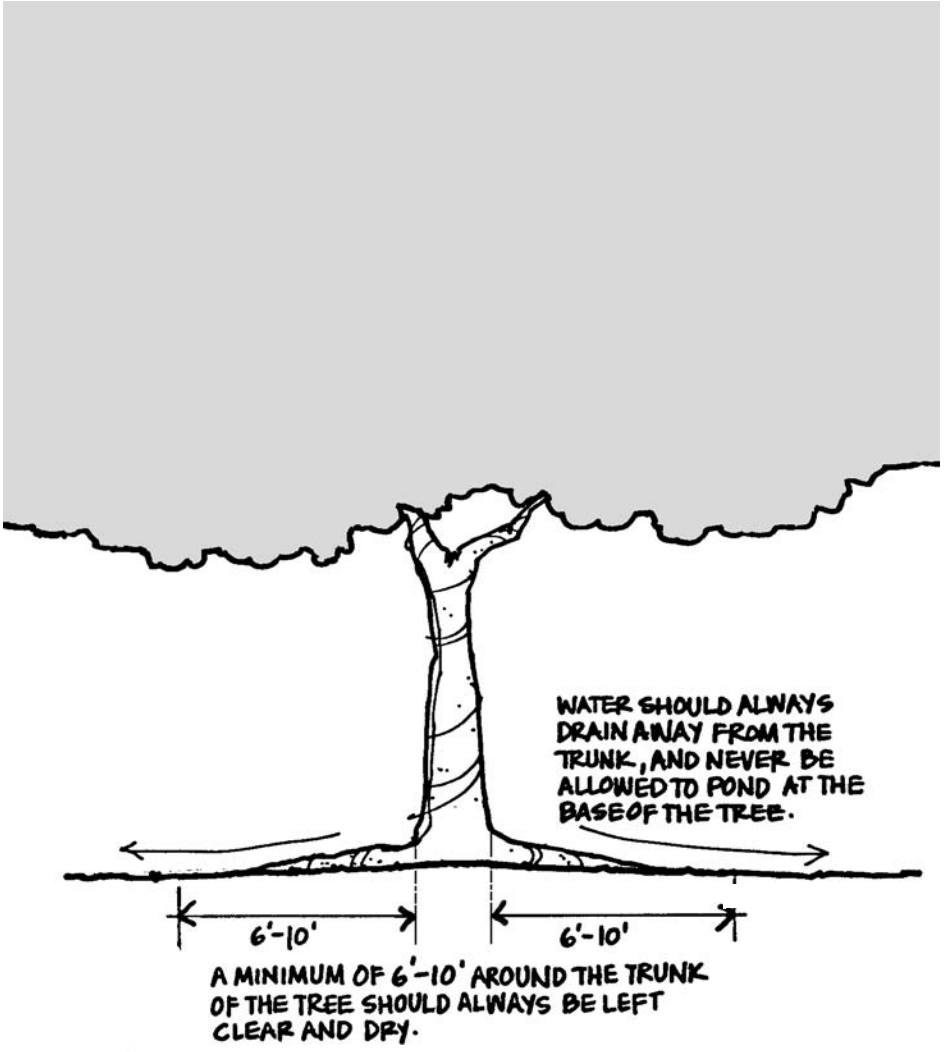
Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for "dry shade." Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

PLANTS TO CONSIDER:

Plant Name	Description
Arctostaphylos densiflora 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
Arctostaphylos edmundsii Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
Arctostaphylos hookeri Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
Ceanothus griseus horizontalis Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
Heuchera spp. Coral Bells	2-4' mound. Flowers on an upright stem 2-3" high and spotted with red or pink.
Mahonia aquifolium compacta Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
Ribes viburnifolium Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

NOTES:

Before deciding on plants, check a source such as the *Sunset Western Garden Book* to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

ADDITIONAL RESOURCES and Places to Visit

Public Agencies

County of Los Angeles Fire Department
Prevention Bureau, Forestry Division
5823 Rickenbacker Road, Rm #123
Commerce, CA 90040-3027
(323) 890-4330
http://www.fire.lacounty.gov/forestry

University of Califonia
Oak Woodland Conservation Workgroup
http://ucanr.edu/sites/oak_range/

Private Organizations

The Theodore Payne Foundation
10459 Tuxford Street
Sun Valley, CA 91352-2126
(818) 768-1802
www.theodorepayne.org

California Native Plant Society
2707 K Street, Suite 1
Sacramento, CA 95816-5113
(916) 447-2677
www.cnps.org

California Oaks
428 13th. Street, Suite 10A
Oakland, CA 94612
(510) 763-0282
www.californiaoaks.org

Arboretums and Botanic Gardens

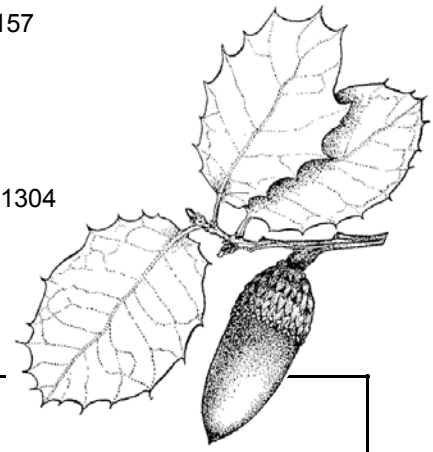
Los Angeles County Arboreta and Botanic Gardens
301 N. Baldwin Ave.
Arcadia, CA 91007-2697
(626) 821-3222
www.arboretum.org

Los Angeles County South Coast Botanic Garden
26300 Crenshaw Blvd.
Palos Verdes Peninsula, CA 90274-2515
(310) 544-1948
www.southcoastbotanicgarden.org

Los Angeles County Descanso Gardens
1418 Descanso Drive
La Canada-Flintridge, CA 91011-3102
(818) 949-4200
www.descansogardens.org

Rancho Santa Ana Botanic Garden
1500 North College
Claremont, CA 91711-3157
(909) 625-8767
www.rsabg.org

The Lummis Home
200 E. Avenue 43
Los Angeles, CA 90031-1304
(818) 243-6488



Publications

For a list of publications both free and for purchase checkout the **University of California Oak Woodland Conservation Workgroup at http://ucanr.edu/sites/oak_range/**

Goldspotted Oak Borer: Integrated Pest Management for Land Managers and Landscape Professionals
University of California Statewide Integrated Pest Management Program. January 2013.

County of Los Angeles Fire Department
Forestry Division

County of Los Angeles
Board of Supervisors

Hilda L. Solis, First District
Mark Ridley Thomas, Second District
Sheila Kuehl, Third District
Janice Hahn, Fourth District
Kathryn Barger, Fifth District

County of Los Angeles Fire Department

Daryl L. Osby, Fire Chief

Brush Clearance Unit
605 N. Angeleno Avenue
Azusa, CA 91702-2904
(626) 969-2375

Camp 17
6555 Stephens Ranch Road
La Verne, CA 91750-1144
(909) 593-7147

Environmental Review Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5719

Fire Plan/Interpretive Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5783

Fuel Modification Unit
605 N. Angeleno Avenue
Azusa, CA 91702-2904
(626) 969-5205

Henninger Flats Forestry Unit
2260 Pinecrest Drive
Altadena, CA 91001-2123
(626) 794-0675

Lake Hughes Forestry Unit
42150 N. Lake Hughes Road
Lake Hughes, CA 93532-9706
(661) 724-1810

Malibu Forestry Unit
942 N. Las Virgenes Road
Calabasas, CA 91302-2137
(818) 222-1108

San Dimas Forestry Unit
1910 N. Sycamore Canyon Road
San Dimas, CA 91773-1220
(909) 599-4615

Saugus Forestry Unit
28760 N. Bouquet Canyon Road
Saugus, CA 91390-1220
(661) 296-8558

Vegetation Management Unit
12605 Osborne Street
Pacoima, CA 91331-2129
(818) 890-5720

www.fire.lacounty.gov

515 Madre St Pasadena, CA 91107

Prepared for:

Jon Kelly / co Tyler + Kelly Architecture
80 S Lake Ave Suite #500
Pasadena, CA 91101

February 18, 2022

Prepared by:

Javier Cabral Consulting Arborist
International Society of Arborists # WE- 8116A

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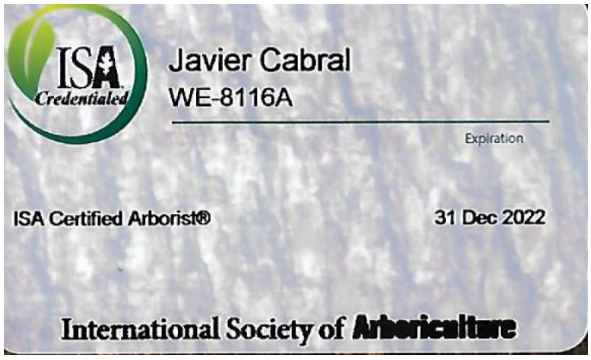

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Summary

Mr. Kelly,

You have retained my consulting arborist services to provide a tree inventory and protection plan for the property described as 515 Madre St Pasadena, CA 91107. You are in the planning and permitting process of building a new one-story gymnasium and replacing the existing driveway adjacent to the proposed gym.

The proposed demolition and construction are within and encroach onto the drip line of two protected Coast live oak trees but are expected to have minimal impact due to the distance of the trunks to the proposed foundations of the gym and because the new driveway will be built on the footprint of the existing driveway. The proposed new driveway is designed with a curve that will push it away from the tree trunks to further minimize impact to the trees . No other Protected trees are expected to be impacted because they are not in the vicinity or accessible to the construction personnel.

Background and assignment

Mr. Kelly has requested that I provide the following arboricultural services.

1) Identify all protected trees on the property and label them on the architectural drawings as provided to the arborist by Mr. Jon Kelly.
2) Evaluate the current health of the trees and possible impacts of the proposed construction based on the provided site plan and make recommendations.
3) Provide a tree protection plan that will help ensure the short- and long-term health of the trees that will remain during and after construction activities are completed.

The following report is based on my site visit on February 8, 2022 and my analysis of the trees, site plan, and surrounding landscape. For the purpose of this report I will address these trees as **Trees # 1 thru 24.**

Site conditions

A one-story single-family home currently exists on this property located at 515 Madre St Pasadena, CA 91107

1) There are **(16)** total protected trees on the subject project property, and **(8)** protected city owned trees. There are no other protected species of trees on-site.
2) No protected trees are proposed to be removed for this project and impact is expected to be minimal to zero for all protected trees. A tree protection plan will be included to help ensure the health of the two protected Oak trees that will be encroached.
3) No off-site trees are expected to be impacted

Google Earth Image

A) - Healthy, vigorous tree, reasonably free of disease, with good structure and form typical of the species.
B) - A tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
C) - A tree with moderate vigor, moderate twig and small branch dieback, thinning crown, poor leaf color, moderate structural defects that might be mitigated.
D) – A tree in decline, epicormics growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
F) – A tree in severe decline, dieback of scaffold branches and or trunk, mostly epicormics growth, extensive structural defects that cannot be abated.

List Inventory Pg. 1

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Height (in feet)	Spread (in feet)	Health condition rating	Protection status	REMOVE or Preserve	Comments
1	Deodar cedar	Cedrus deodara	33	85	33	B	Yes City Tree	Preserve	
2	Coast live oak	Quercus agrifolia	41	55	60	B	Yes	Preserve	
3	Coast live oak	Quercus agrifolia	31	45	40	A	Yes	Preserve	Strong trunk lean south & unbalanced canopy
4	Coast live oak	Quercus agrifolia	29	45	30	A	Yes	Preserve	
5	Coast live oak	Quercus agrifolia	25+31+31	80	40	C	Yes	Preserve	Large trunk topped or failed
6	Coast live oak	Quercus agrifolia	14+16	40	30	B	Yes	Preserve	
7	Coast live oak	Quercus agrifolia	19	30	30	A	Yes	Preserve	
8	Coast live oak	Quercus agrifolia	15+21	60	35	A	Yes	Preserve	
9	Coast live oak	Quercus agrifolia	22	55	30	C	Yes	Preserve	Large lower trunk cavity on south side
10	Coast live oak	Quercus agrifolia	23	70	35	A	Yes	Preserve	
11	Coast live oak	Quercus agrifolia	31	70	35	A	Yes	Preserve	
12	Coast live oak	Quercus agrifolia	33	55	40	A	Yes	Preserve	
13	Coast live oak	Quercus agrifolia	28	90	36	A	Yes	Preserve	
14	Coast live oak	Quercus agrifolia	32	50	60	A	Yes	Preserve	
15	Norther red oak	Quercus agrifolia	14	40	28	A	Yes	Preserve	
16	Norther red oak	Quercus agrifolia	18	30	25	A	Yes	Preserve	
17	Norther red oak	Quercus agrifolia	16	40	28	A	Yes	Preserve	

List Inventory Pg. 2

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Height (in feet)	Spread (in feet)	Health condition rating	Protection status	REMOVE or Preserve	Comments
18	Coast live oak	Quercus agrifolia	5	18	13	A	Yes	Preserve	
19	Coast live oak	Quercus agrifolia	6	25	14	A	Yes	Preserve	
20	Coast live oak	Quercus agrifolia	27	50	40	A	Yes	Preserve	
21	Coast live oak	Quercus agrifolia	35	60	45	A	Yes	Preserve	
22	Coast live oak	Quercus agrifolia	30	60	50	A	Yes	Preserve	
23	Coast live oak	Quercus agrifolia	21	50	30	A	Yes	Preserve	
24	Coast live oak	Quercus agrifolia	30	70	40	A	Yes	Preserve	

Tree Aesthetic, Disease, & Pest Assessment Pg. 1

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Aesthetic Assessment	Evidence of Disease	Identification of insect pests
1	Deodar cedar	*Cedrus deodara*	33	Moderate symmetry, balanced crown, minimal deadwood	none visible	none visible
2	Coast live oak	*Quercus agrifolia*	41	Severe assymetry, severe trunk lean to the south	none visible	none visible
3	Coast live oak	*Quercus agrifolia*	31	General symmetry, balanced crown, minimal deadwood	none visible	none visible
4	Coast live oak	*Quercus agrifolia*	29	General symmetry, balanced crown, minimal deadwood	none visible	none visible
5	California sycamore	*Platanus racemosa*	25+31+31	Moderate assymetry, moderately sparse canopy, major trunk topped	none visible	none visible
6	Coast live oak	*Quercus agrifolia*	14+16	Major asymmetry, unbalanced crown, minimal deadwood, minor trunk lean	none visible	none visible
7	Coast live oak	*Quercus agrifolia*	19	General symmetry, balanced crown, minimal deadwood	none visible	none visible
8	Coast live oak	*Quercus agrifolia*	15+21	General symmetry, balanced crown, minimal deadwood	none visible	none visible
9	Coast live oak	*Quercus agrifolia*	22	Major assymmetry, unbalanced crown, minimal deadwood, & large cavity at base of the trunk	none visible	none visible
10	Coast live oak	*Quercus agrifolia*	23	General symmetry, balanced crown, minimal deadwood	none visible	none visible
11	Coast live oak	*Quercus agrifolia*	31	General symmetry, balanced crown, minimal deadwood	none visible	none visible
12	Coast live oak	*Quercus agrifolia*	33	General symmetry, balanced crown, minimal deadwood	none visible	none visible
13	Coast live oak	*Quercus agrifolia*	28	General symmetry, balanced crown, minimal deadwood	none visible	none visible
14	Coast live oak	*Quercus agrifolia*	32	General symmetry, balanced crown, minimal deadwood	none visible	none visible
15	Northern red oak	*Quercus rubra*	14	General symmetry, balanced crown, minimal deadwood	none visible	none visible

Tree Aesthetic, Disease, & Pest Assessment Pg. 2

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Aesthetic Assessment	Evidence of Disease	Identification of insect pests
16	Northern red oak	*Quercus rubra*	18	General symmetry, balanced crown, minimal deadwood	none visible	none visible
17	Northern red oak	*Quercus rubra*	16	General symmetry, balanced crown, minimal deadwood	none visible	none visible
18	Coast live oak	*Quercus agrifolia*	5	General symmetry, balanced crown, minimal deadwood	none visible	none visible
19	Coast live oak	*Quercus agrifolia*	6	General symmetry, balanced crown, minimal deadwood	none visible	none visible
20	Coast live oak	*Quercus agrifolia*	27	General symmetry, balanced crown, minimal deadwood	none visible	none visible
21	Coast live oak	*Quercus agrifolia*	35	General symmetry, balanced crown, minimal deadwood	none visible	none visible
22	Coast live oak	*Quercus agrifolia*	30	General symmetry, balanced crown, minimal deadwood	none visible	none visible
23	Coast live oak	*Quercus agrifolia*	21	General symmetry, balanced crown, minimal deadwood	none visible	none visible
24	Coast live oak	*Quercus agrifolia*	30	General symmetry, balanced crown, minimal deadwood	none visible	none visible

Tree Vigor, Rating, & Health Recommendations Assessment Pg. 1

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Evaluation o Vigor	Health Rating	Recommendations to Improve Health
1	Deodar cedar	*Cedrus deodara*	33	Moderate symmetry, balanced crown, minimal deadwood, good needle size & color, no signs of disease	**B -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species, health rating a (B) due to the asymmetrical canopy	No recommendations required
2	Coast live oak	*Quercus agrifolia*	41	Severe assymetry, severely trunk lean to the south	**B -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species, health rating a (B) due to the leaning trunk & unbalanced canopy	Trim for removal of dead wood and branch structure. Replace the damaged and inapropriate existing metal brace and replace with an appropriate brace.
3	Coast live oak	*Quercus agrifolia*	31	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
4	Coast live oak	*Quercus agrifolia*	29	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**B -** A tree with slight decline in vigor, small amount of twig dieback, thinning crown, & moderate structural defects that might be mitigated.	No recommendations required
5	California sycamore	*Platanus racemosa*	14+15+15	Moderate asymmetry, moderately sparse canopy, Major topped trunk	**C -** a tree with moderate vigor, moderate twig and branch dieback, thinning crown, poor leaf color, moderate structural defects that might be mitigated.	No recommendations required
6	Coast live oak	*Quercus agrifolia*	14+16	Major asymmetry, unbalanced crown, minimal deadwood, minor trunk lean, good leaf size & color, no signs of disease	**A -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species.	No recommendations required
7	Coast live oak	*Quercus agrifolia*	19	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
8	Coast live oak	*Quercus agrifolia*	15+21	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A -** healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
9	Coast live oak	*Quercus agrifolia*	22	Major asymmetry, unbalanced crown, minimal deadwood, good leaf size & color, no signs of disease	**C -** a tree with moderate vigor, moderate twig and branch dieback, thinning crown, poor leaf color, moderate structural defects that might be mitigated.	No recommendations required

Tree Vigor, Rating, & Health Recommendations Assessment Pg. 2

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Evaluation o Vigor	Health Rating	Recommendations to Improve Health
10	Coast live oak	*Quercus agrifolia*	23	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
11	Coast live oak	*Quercus agrifolia*	31	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
12	Coast live oak	*Quercus agrifolia*	33	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
13	Coast live oak	*Quercus agrifolia*	28	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
14	Coast live oak	*Quercus agrifolia*	32	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
15	Norther red oak	*Quercus rubra*	14	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
16	Norther red oak	*Quercus rubra*	18	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
17	Norther red oak	*Quercus rubra*	16	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
18	Coast live oak	*Quercus rubra*	5	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
19	Coast live oak	*Quercus agrifolia*	6	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
20	Coast live oak	*Quercus agrifolia*	27	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required

Tree Vigor, Rating, & Health Recommendations Assessment Pg. 3

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Evaluation o Vigor	Health Rating	Recommendations to Improve Health
21	Coast live oak	*Quercus agrifolia*	35	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
22	Coast live oak	*Quercus agrifolia*	30	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
23	Coast live oak	*Quercus agrifolia*	21	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required
24	Coast live oak	*Quercus agrifolia*	30	General symmetry, balanced crown, minimal deadwood, good leaf size & color, no signs of disease	**A** - healthy vigorous tree, reasonably free of disease and insect infestation, good structure and form, typical of this species	No recommendations required

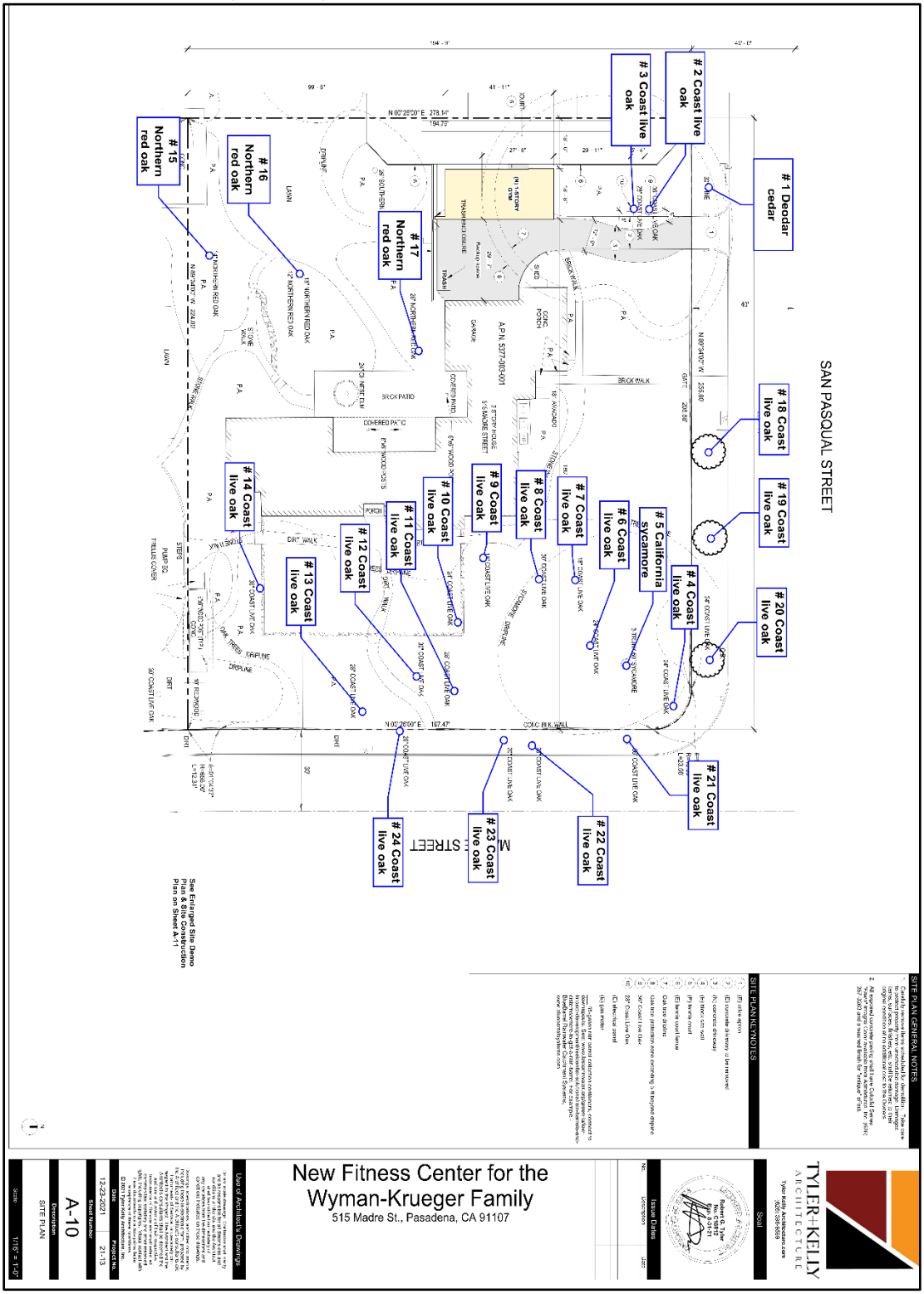
Tree Trimming Assessment Pg. 1

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Recent trimming evaluation	Impact to health of the tree
1	Deodar cedar	*Cedrus deodara*	33	Severe trimming has been done to this tree for utility line clearance	moderate impact
2	Coast live oak	*Quercus agrifolia*	41	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
3	Coast live oak	*Quercus agrifolia*	31	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
4	Coast live oak	*Quercus agrifolia*	29	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
5	California sycamore	*Platanus racemosa*	25+31+31	This tree is well trimmed and has a satisfactory branch form and canopy. It appears that a large trunk failed and had to be topped to clean the broken trunk area	dead is always wood is positive and reduces the risk of personal injury and property damage if the dead wood were to fall.
6	Coast live oak	*Quercus agrifolia*	14+16	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
7	Coast live oak	*Quercus agrifolia*	19	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
8	Coast live oak	*Quercus agrifolia*	15+21	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
9	Coast live oak	*Quercus agrifolia*	22	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
10	Coast live oak	*Quercus agrifolia*	23	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
11	Coast live oak	*Quercus agrifolia*	31	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
12	Coast live oak	*Quercus agrifolia*	33	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
13	Coast live oak	*Quercus agrifolia*	28	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.

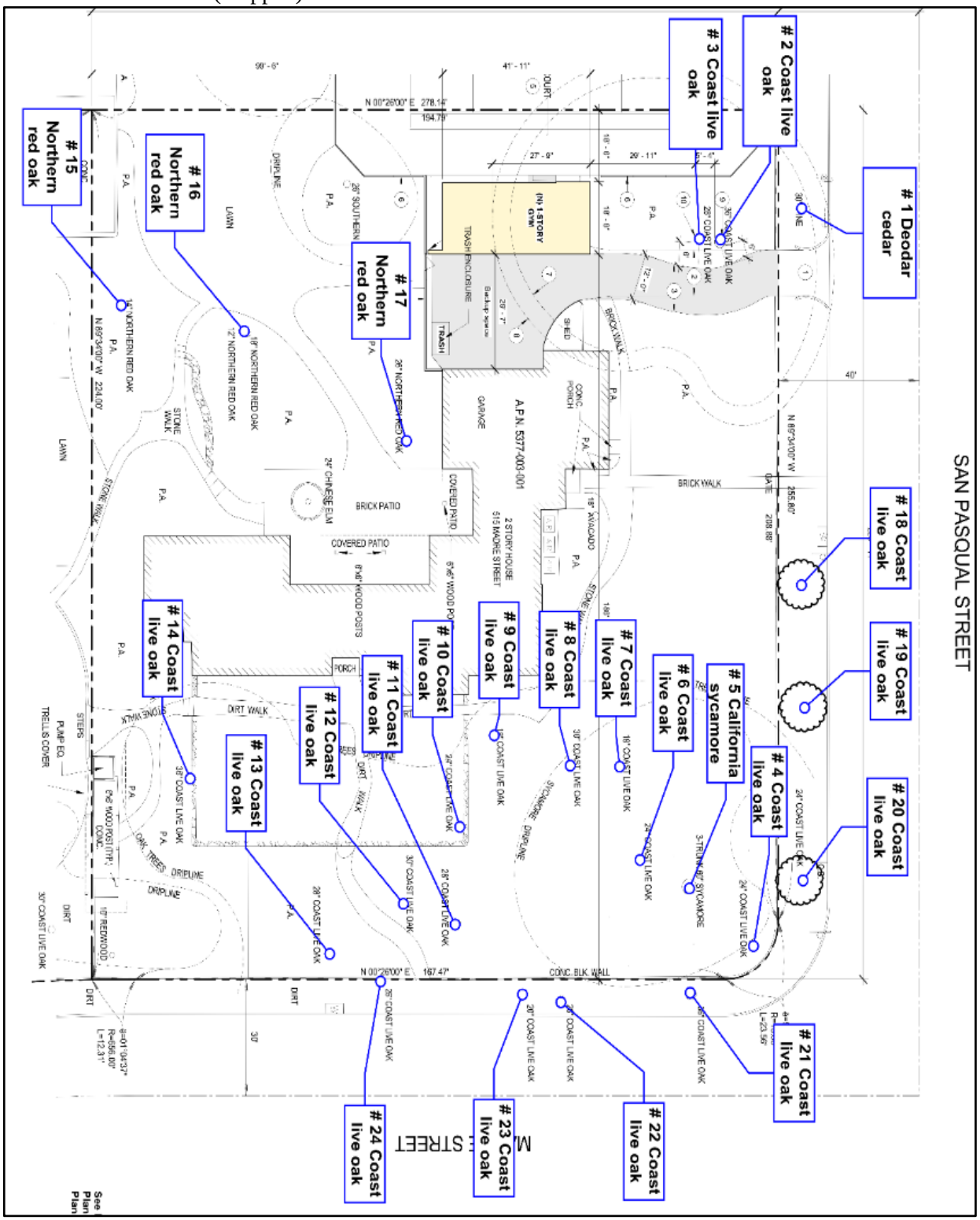
Tree Trimming Assessment Pg. 2

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Recent trimming evaluation	Impact to health of the tree
14	Coast live oak	*Quercus agrifolia*	32	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
15	Norther red oak	*Quercus rubra*	14	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
16	Norther red oak	*Quercus rubra*	18	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
17	Norther red oak	*Quercus rubra*	16	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
18	Coast live oak	*Quercus agrifolia*	5	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
19	Coast live oak	*Quercus agrifolia*	6	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
20	Coast live oak	*Quercus agrifolia*	27	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
21	Coast live oak	*Quercus agrifolia*	35	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
22	Coast live oak	*Quercus agrifolia*	30	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
23	Coast live oak	*Quercus agrifolia*	21	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.
24	Coast live oak	*Quercus agrifolia*	30	This tree is well trimmed and has a satisfactory branch form and canopy	Positive impact to the tree from removal of dead wood and trimming for branch structure.

Site Plan With Trees (full scale)



Site Plan With Trees (cropped)



Tree # 1 (facing west)

Trees # 2 & 3 (facing west)

Tree # 4 (facing east)

Trees # 5 (facing north)

Trees # 6 thru 9 (facing west)

Trees # 10 thru 13 (facing southeast)

Tree # 14 (facing southeast)

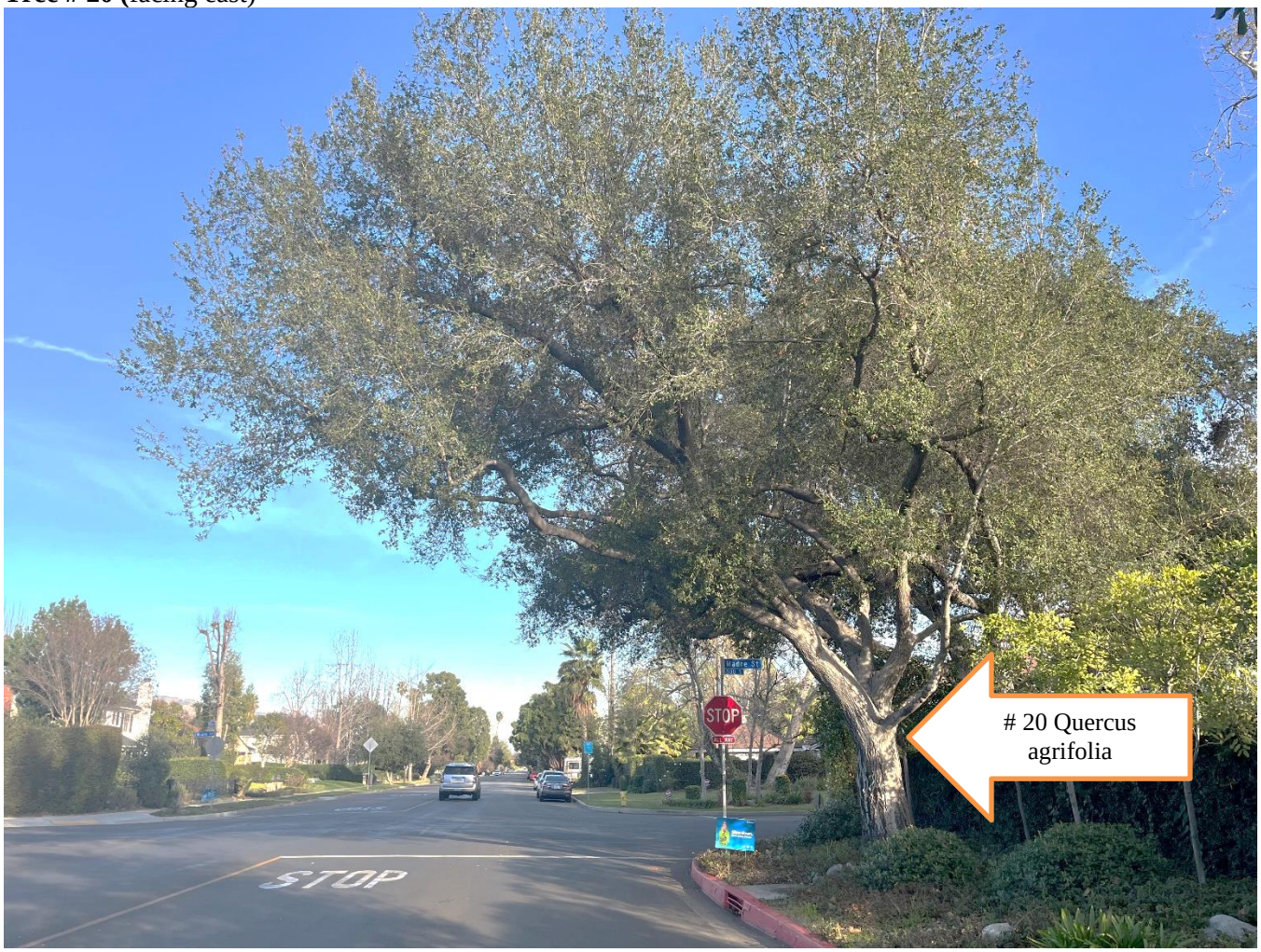
Tree # 15 (facing west)

Trees # 16 & 17 (facing east)

Tree # 18 (facing southwest)

Tree # 19 (facing southeast)

Tree # 20 (facing east)



Trees # 21 & 22 (facing south)

Trees # 23 & 24 (facing south)

General Tree Protection Guidelines

1) **Avoid damaging the roots, stem, and branches** with mechanical and manual equipment. No roots shall be severed within the Tree Protection Zone TPZ which is the same as the area within the Tree Protection Fencing "TPF." Roots greater than two inches in diameter outside of the TPZ shall be cleanly severed with a sharp tool such as a hand saw or manual pruners.

2) **Avoid soil compaction** by prohibiting the use of heavy equipment such as backhoes and bobcats under the tree drip line. If access within the TPZ is required during the construction process, the route shall be covered in a 6-inch layer of mulch in the TPZ and the area shall be aerated and fertilized at the conclusion of construction.

3) **Do not store or park tools**, equipment, vehicles, or chemicals under the tree drip line. No equipment or debris of any kind shall be placed within the TPZ. No fuel, paint, solvent oil, thinner, asphalt, cement, grout, or any other construction chemical shall be stored or allowed in any manner to enter within the TPZ.

4) **Avoid washing of equipment** and tools such as wheel barrels, shovels, and mechanical motors under the tree drip line.

5) **Prevent flooding and pooling** of service water under the drip line. Grade changes that will flood the TPZ are prohibited unless a drainage plan is implemented. No grade changes within the TPZ shall be allowed.

6) **Avoid cutting tree roots whenever possible**. This can sometimes be accomplished by bridging roots, tunneling, or radial trenching. If roots must be cut use a sharp tool that will make a clean flush cut and not tear the roots. If possible, all digging under the tree drip line should be done manually to avoid tearing out of roots. Roots outside of the TPZ may be cleanly severed vertically with a sharp garden tool.

7) **Do not raise or lower the grade** within the tree protection zone of any protected trees unless approved by the project arborist. Roots greater than 1 inch in diameter that are exposed or damaged shall be cut with a sharp tool such as a hand saw, pruners, or loppers and covered with soil in conformance to industry standards. If any work is required within the TPZ the Arborist shall be consulted previous to beginning. The Arborist shall be contacted as soon as possible to arrange for a timely inspection and prevent delays.

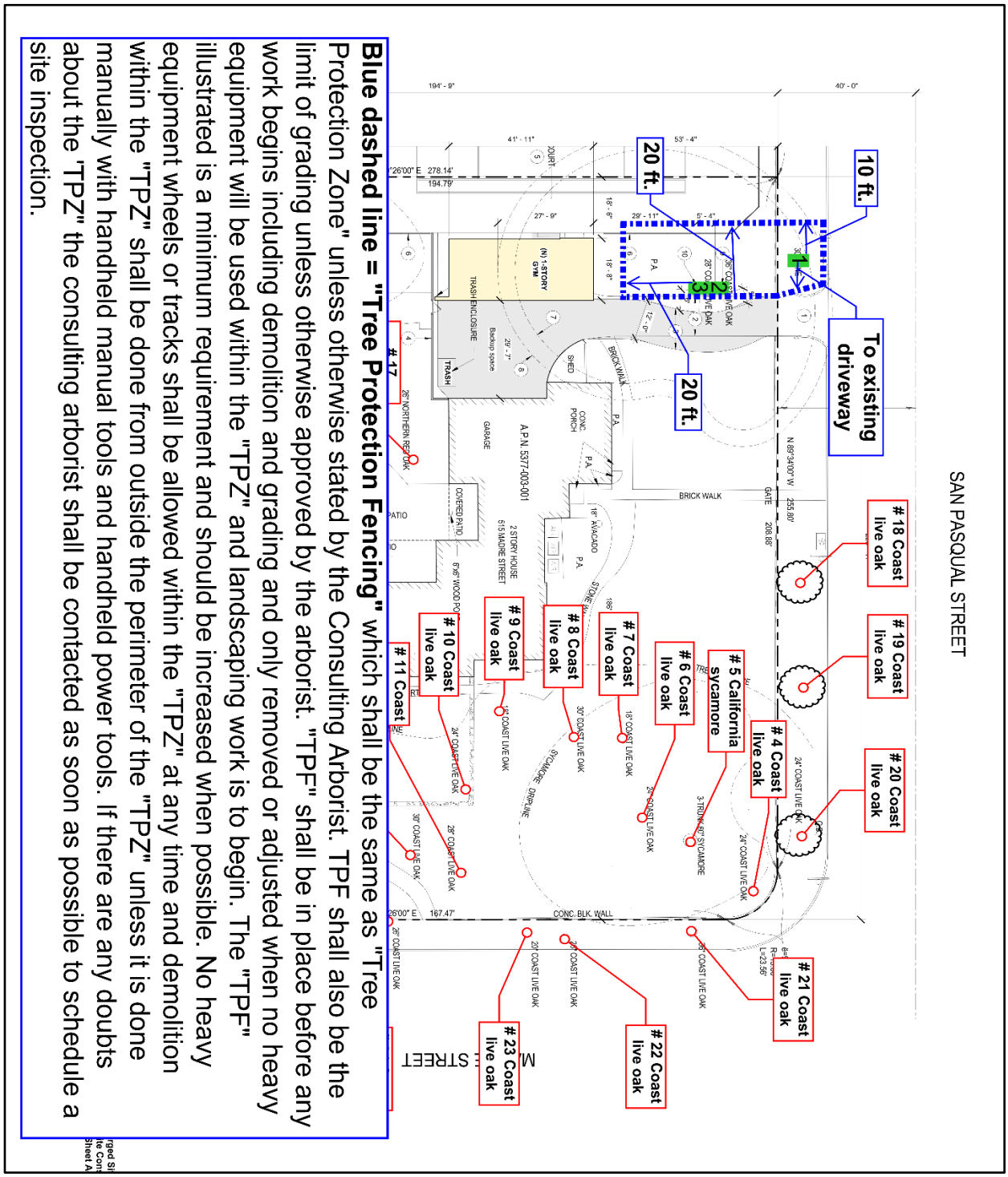
8) **Place a protective barrier** or temporary fencing as directed by the consulting arborist in the diagram below. **The protection fencing shall be in place before demolition begins and shall only be removed or reduced when all heavy equipment such as back-hoes, bobcats, loaders, and other heavy equipment with tires and tracks will not be required**. Fencing can be adjusted, or sections reduced or removed as the project advances into the landscaping phases of the project. The consulting arborist shall be contacted if there are doubts about the placement or removal of fencing.

9) **Landscape preparation & excavation within the TPZ** shall be limited to the use of hand tools and small hand-held power tools and shall not be of a depth that could cause root damage. No attachments or wires other than those of a protective or non-damaging method shall be attached to a protected tree.

10) **Construction personnel should be briefed** on the importance of the guidelines before construction begins and reminded of it during tailgate meetings and as necessary. A printed copy should be posted where employees can be reminded of it.

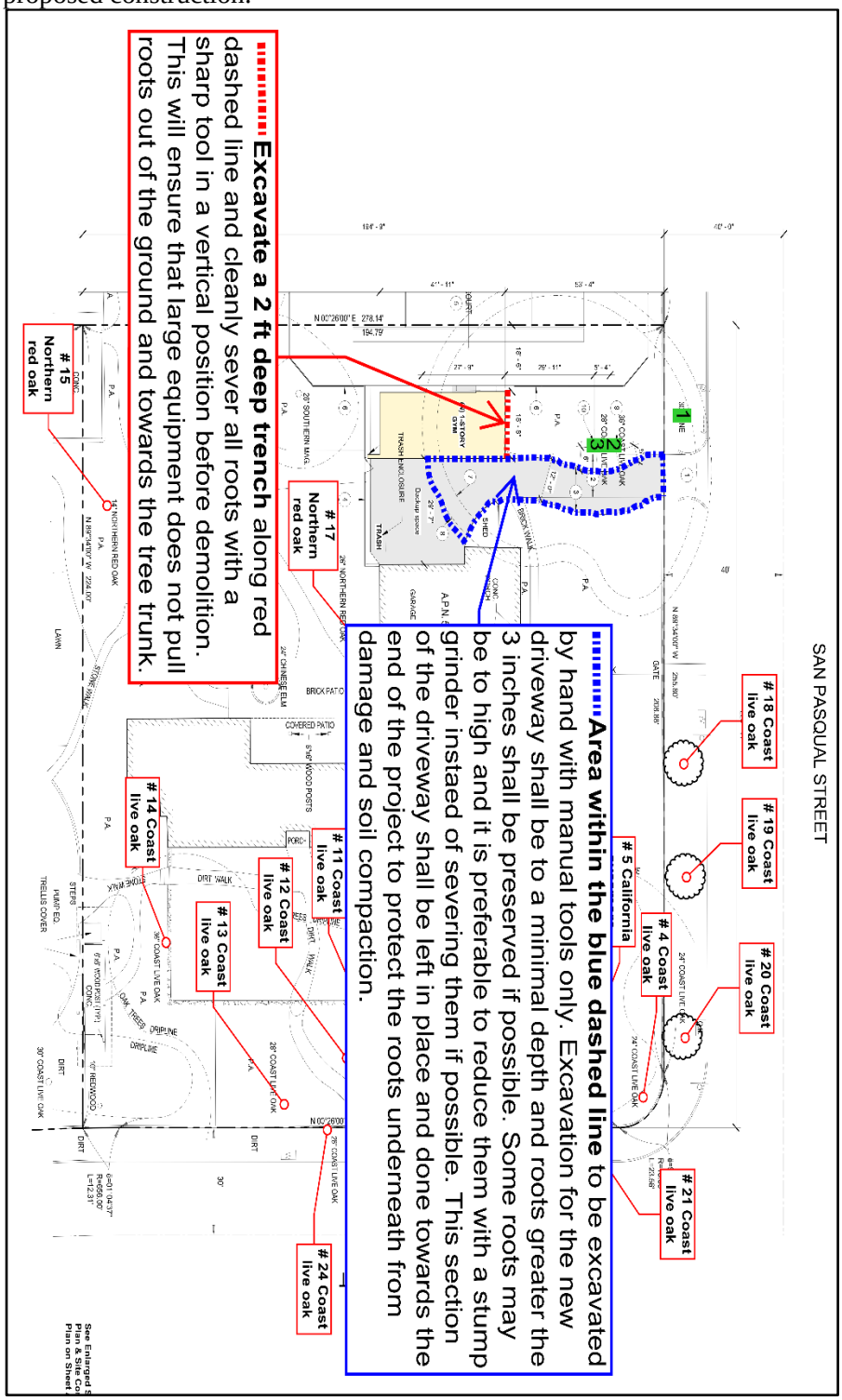
11) **All protected trees shall be watered** before, during, and after construction as needed to prevent drought stress and tree death until sprinklers have been installed and are functional.

Site Plan With Protection Fencing (cropped) Trees labeled in red box are not impacted by the proposed construction.



Blue dashed line = "Tree Protection Fencing" which shall be the same as "Tree Protection Zone" unless otherwise stated by the Consulting Arborist. TPF shall also be the limit of grading unless otherwise approved by the arborist. "TPF" shall be in place before any work begins including demolition and grading and only removed or adjusted when no heavy equipment will be used within the "TPZ" and landscaping work is to begin. The "TPF" illustrated is a minimum requirement and should be increased when possible. No heavy equipment wheels or tracks shall be allowed within the "TPZ" at any time and demolition within the "TPZ" shall be done from outside the perimeter of the "TPZ" unless it is done manually with handheld manual tools and handheld power tools. If there are any doubts about the "TPZ" the consulting arborist shall be contacted as soon as possible to schedule a site inspection.

Site Plan With Demolition And Excavation Notes (cropped) Trees labeled in red box are not impacted by the proposed construction.



Trees # 4 thru 24 (impact analysis)

Trees #1, and 4 thru 24 are not expected to be impacted for the following reasons:

a) Because their drip line will not be encroached.
b) They are within existing landscaped areas that will protect them from encroachment by heavy machinery.
c) Because they are in separate sections of the property that are fenced off by existing landscape fences.

Oak Trees #2 & 3 (impact analysis)

Impact to Trees #1 & 2 is expected to be minimal for the following reasons:

a) The nearest area of the proposed new gymnasium is approximately (35 ft. from Oak Tree # 1) and (30 ft. from Oak tree # 2)
b) At theses distances the encroachment equals (10 times the diameter for Tree # 1) and (11 times the diameter for Tree # 3)
c) The approximate total of encroachment into the drip line of these two Oak trees from the proposed gymnasium is 10%.
d) The approximate total of encroachment into the drip line of these two Oak trees from the proposed new driveway is 20%.

Arborist Conclusion and Recommendation

Proposed Gymnasium: Based on the minimal total amount of encroachment into the drip line and the distance of the gym to the tree trunks it is my professional opinion that if the included tree protection plan is followed and adhered to, that the proposed gym will have minimal to no impact on the overall health of the trees and can be approved as designed.

Proposed New Driveway: Based on the minimal total amount of encroachment into the drip line and driveway is proposed in the footprint of the existing driveway, more space is proposed between the tree trunks and new driveway, and the driveway is being moved slightly away from the trunk it is my professional opinion that if the included tree protection plan is followed and adhered to, that the proposed gym will have minimal impact on the overall health of the trees and can be approved as designed.

Thank you and feel free to contact me if you have any questions or concerns.

Yours truly,

Javier Cabral / Consulting arborist
1390 El Sereno Ave Pasadena, Ca 91103
International Society of Arboriculture # WE 8116A

Certificate of Performance & Limiting Conditions

I Javier Cabral certify the following:

- No warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Arborist shall not be responsible for damages or injuries caused by any tree defects and assume no responsibility for the correction of defects or tree related problems.

- The owner and client of the trees may choose to accept or disregard the recommendations of the Arborist or seek additional advice if the owner decides not to accept the Arborists findings or recommendations.

- The Arborist has no past, present or future interest in the removal or preservation of any tree. The opinions contained in the Arborist report are independent and objective judgements of the Arborist.

- The findings, opinions, and recommendations of the Arborist are based on based on the physical inspection of said property. The opinions are based on knowledge, experience, and education.

- The Arborist shall not be required to provide testimony, provide site monitoring, provide further documentation for changes beyond the control of the Arborist, be deposed, or to attend any meeting without contractual arrangements for additional fees to the Arborist.

- The Arborist assumes no responsibility for verification of ownership or location of property lines, or for any recommendations based on inaccurate information.

- This Arborist report may not be reproduced without the expressed written permission or the Arborist and the client to whom the report was provided to. Any changes or alteration of this report invalidates the entire report.

- Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, make recommendations to prevent or minimize damage to trees during and after construction projects, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

- Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

- Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.