

REPORT TO THE REGIONAL PLANNING COMMISSION

DATE ISSUED: March 27, 2025

HEARING DATE: April 9, 2025 AGENDA ITEM: 6

PROJECT NUMBER: PRJ2023-001368-(2)

PERMIT NUMBER(S): Conditional Use Permit ("CUP") RPPL2023001916

SUPERVISORIAL DISTRICT: 2

PROJECT LOCATION: 400-422 West Rosecrans Avenue, West Rancho Dominguez
14400 South Figueroa Street, Los Angeles

OWNER: Rexford Industrial Realty LP

APPLICANT: Rexford Industrial Realty LP

CASE PLANNER: Elsa M. Rodriguez, Principal Planner
erodriguez@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2023-001368-(2), CUP Number RPPL2023001916, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motions:

CEQA:

I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT:

I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE CONDITIONAL USE PERMIT NUMBER RPPL2023001916 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement Requested

- A CUP for an outdoor truck and trailer storage yard in the M-2-IP (Heavy Manufacturing Industrial Preservation Overlay) and M-2-IP-GZ (Heavy Manufacturing Industrial Preservation Green Zone Overlay) pursuant to County Code Section 22.83.040 (Standards and Requirements for Specific Uses) and 22.362.110.C.4.b.ii (Uses Subject to Permits).

B. Project

The Project Site is approximately 272,612 square feet (6.24 acres) in size and comprised of four lots. The Project is in both the City of Los Angeles and unincorporated Los Angeles County. The westerly portion of the Project Site at 14400 S. Figueroa Street known as Assessor's Parcel Number (APN) 6129-001-029, is located in the Harbor Gateway Community Plan area of the City of Los Angeles, whereas the back/easterly portion of the lot with this same address (but assigned APN 6129-001-028) is located in unincorporated Los Angeles County within the West Rancho Dominguez Community. The northerly portion of the Project Site at 400-422 W. Rosecrans Avenue (APNs 6129-001-023 and 6129-001-024) is located entirely within unincorporated West Rancho Dominguez.

Three existing industrial buildings and a portion of a fourth industrial building will be demolished to accommodate an outdoor storage yard for 40 trucks and trailers. Two industrial buildings at 400-422 W. Rosecrans Avenue have already been demolished. An industrial building at 14400 South Figueroa Street (split with the City of Los Angeles) was previously used for metal fabrication will be remodeled into a new 57,743 square foot warehouse of which 3,394 square feet is dedicated to office space. A portion of that industrial building will be demolished. The warehouse is being reviewed separately under ministerial site plan review RPPL2025000735. The front portion of the warehouse in the City of Los Angeles will have an upgraded entry façade and landscaping. Most of the warehouse will remain in West Rancho Dominguez and include 31 new loading bays that connect directly to the proposed outdoor storage yard. A fourth industrial building located entirely within unincorporated West Rancho Dominguez will be demolished. The Project Site includes 16 standard vehicle parking spaces, a new 12-foot-tall solid concrete masonry unit (CMU) wall along west Rosecrans Avenue, twenty 24-inch box trees, and 6,364 square feet of landscaping with a permanent irrigation system. Primary access to the Project Site for trucks and trailers will be from a new 40-foot-wide driveway on Rosecrans Avenue and secondary access will be from an existing driveway on Figueroa Street.

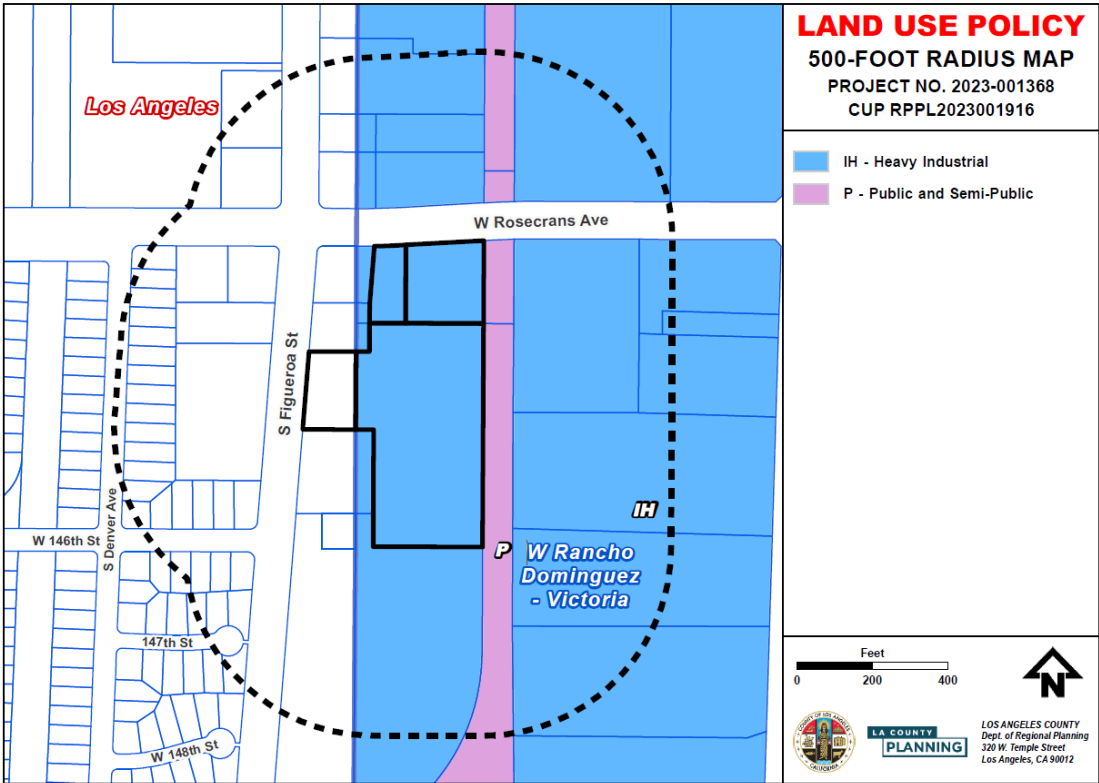
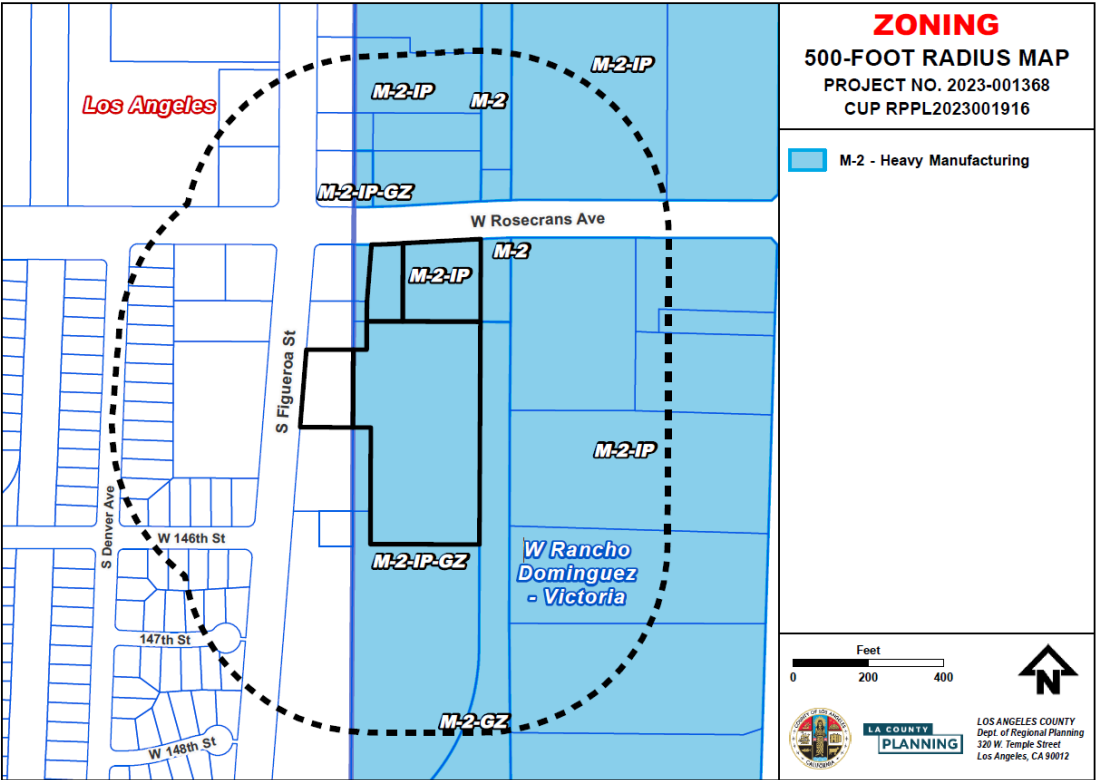
Although no tenant has been identified yet the hours of operation will be 8:00 a.m. to 6:00 p.m. except for trucks that will be loading and unloading directly into the warehouse. No activities will occur in the public right-of-way and no activities will occur outdoors between 6:00 p.m. and 8:00 a.m. daily.

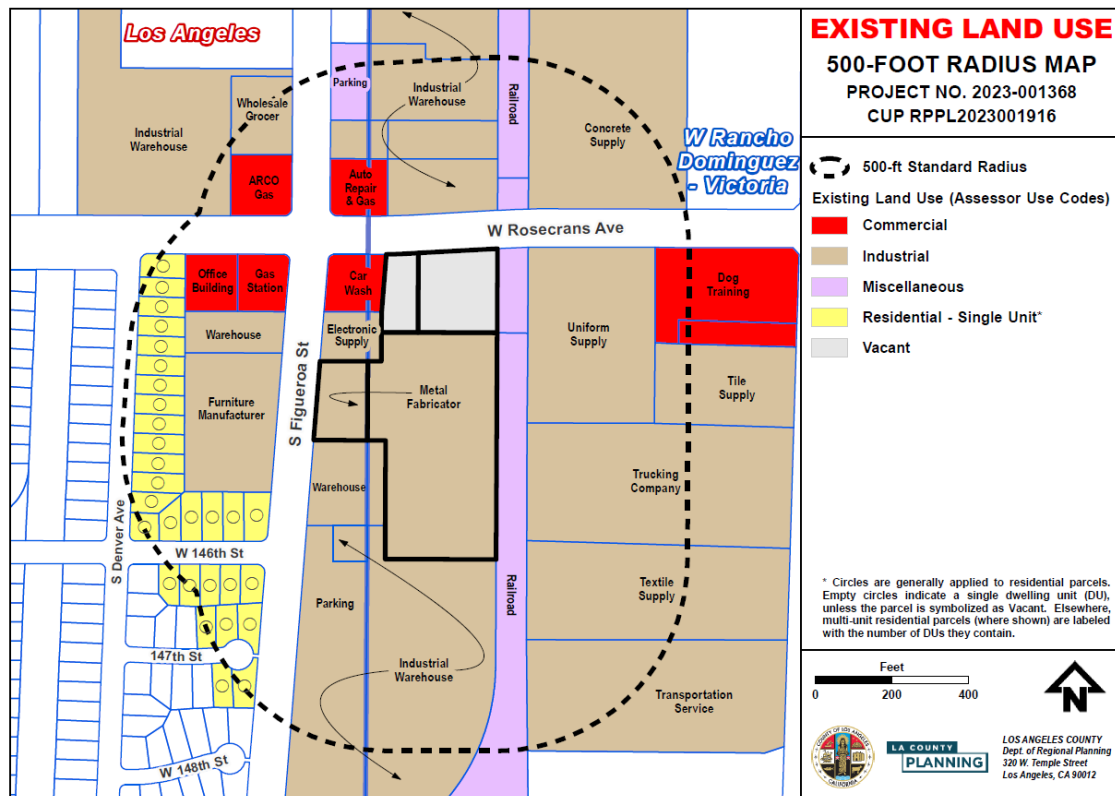
SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	2035 GENERAL PLAN LAND USE POLICY*	2023 ZONING*	EXISTING USES
SUBJECT PROPERTY	IH (Heavy Industrial)	M-2-IP (Heavy Manufacturing - Industrial Preservation Overlay) and M-2-IP-GZ (Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay)	14400 South Figeroa Street: Industrial buildings previously used for metal fabrication, currently vacant. 400-422 West Rosecrans Avenue: Vacant.
NORTH	IH	M-2-IP	Warehouse; Auto Service Station; Auto Repair; Concrete Mixing
EAST	P (Public)	M-2-IP and M-2 (Heavy Manufacturing) Zone	Southern Pacific Railroad; Uniform Retailer; Dog Training School
SOUTH	IH	M-2-IP	Warehouse
WEST	City of Los Angeles	City of Los Angeles	Electric Gate Manufacturers; Car wash; Single Family Homes

* Note: Pursuant to County Code Section 22.246.020 (Applicability of Zone Changes and Ordinance Amendments), the applicant chose to have the complete CUP application be subject to the zoning and regulations in effect at the time it was submitted on April 11, 2023, which included the 2035 General Plan before the Metro Area Plan was adopted. The current zoning, which is M-2-IP-GZ (Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay), took effect on June 21, 2024.





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
4520	M-3	July 17, 1945
8621	M-2	June 9, 1964
20150043z	M-2-IP	October 6, 2015
2024-0028	M-2-IP-GZ	May 21, 2024

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
PP13005	New industrial building	October 8, 1963
PP15617	New industrial building with parking and landscaping	September 28, 1966
PP16141	New warehouse	June 12, 1967

C. Violations

No previous zoning violations exist.

ANALYSIS

A. Land Use Compatibility

The proposed Project is an outside truck and trailer storage yard. Although no tenant has been identified, the CUP requests an outside storage yard at 400-422 W. Rosecrans for the proposed new warehouse remodel at 14400 S. Figueroa Street. The Project adjoins a railroad and is across the street from other commercial and industrial uses on Rosecrans Avenue. Nearby uses include a uniform manufacturer, car wash, concrete mixing, trucking companies, and other industrial buildings. The industrial buildings along Rosecrans have been vacant for several years with overgrown vegetation, graffiti, and squatters. The buildings were vandalized and remained an eyesore until they were demolished. The new outside storage yard for trucks and trailers will occupy the underutilized space and the new solid concrete masonry unit (CMU) wall with trees and landscaping will enhance the aesthetic qualities of the neighborhood.

B. Neighborhood Impact (Need/Convenience Assessment)

The Project will comply with all the development standards and requirements prescribed by Title 22 of the County Code for outside storage, solid walls, tree planting, and landscaping and irrigation. Industrial buildings have occupied that space since the 1960s. The Project will provide a new 40-foot-wide driveway along Rosecrans and two existing 24-foot wide driveways will be closed. The proposed outside truck and trailer storage yard does not include any new additional buildings and will serve the adjoining warehouse. The new 12-foot-tall solid CMU walls will screen the proposed trucks and trailers and the proposed 10-foot-deep landscaping buffer will include 13 new 24-inch box Tuskegee Crape Myrtle Trees along the frontage where currently no improvements exist. The new landscaping and tree planting will enhance the pedestrian experience and provide shade.

C. Design Compatibility

The Project is surrounded by similar industrial uses on Rosecrans Avenue and Figueroa Street including other warehouses with outside storage yards. The West Rancho Dominguez Community Standards District ("CSD") currently requires a solid wall and a ten-foot-wide landscaping buffer that includes a permanent irrigation system to be provided along the Rosecrans frontage on the County side of the project. The Project's proposed wall along the West Rosecrans Avenue frontage will be a 12-foot-tall CMU wall that is uniform in height and color. Additionally, a 12-foot-tall solid wall will be provided along the first 50 feet on the eastern property line closest to the railroad. The solid wall will provide screening for the vehicles and pedestrians traveling westbound on Rosecrans Avenue.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by County Code Sections 22.158.050 and 22.84.030.B. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this project qualifies for Categorical Exemptions (Class 1 Categorical Exemption, Existing Facilities, and Class 3 Categorical Exemption, New Construction or Conversion of Small Structures) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The Project is an outdoor storage yard with aesthetic improvements that are limited to landscaping and walls and no proposed building expansions. The Project does not qualify for an exception to an exemption because it is not located in an environmentally sensitive area, does not contain scenic or historic resources, and there are no unusual circumstances that would indicate a reasonable possibility that the Project could have a significant effect on the environment. Therefore, Staff recommends that the Regional Planning Commission determine that the Project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

1. The Department of Public Works, in a letter dated December 19, 2024, recommended that the Project proceed to a public hearing with required conditions of approval.
2. The Fire Department, in a letter dated May 9, 2024, recommended that the Project proceed to a public hearing.
3. The Department of Public Health, in a letter dated May 7, 2024, recommended that the Project proceed to a public hearing.

B. Public Comments

1. The Harbor Gateway Neighborhood Council (HGNC), in a letter dated August 15, 2024, stated concerns over noise, lack of air conditioning in the renovated warehouse, air pollution, and traffic. The HGNC acknowledged that the applicant conducted a presentation for the group on April 25, 2024, and met with the board on June 4, 2024, to address the concerns they raised. The applicant responded that the truck loading doors are located toward the rear of the property about 400-500 feet away from nearby residential uses on the City of Los Angeles side. The Project is prohibited from conducting any outdoor activities between 6:00 p.m. – 8:00 a.m. Truck access is

proposed exclusively on Rosecrans Avenue, furthest away from residential uses and not on Figueroa Street. Lastly, there are several large existing industrial buildings separating the Project from the residences to further reduce noise impacts. The overall footprint of the industrial buildings onsite is being reduced and therefore the potential for truck trips is also reduced from approximately 250 truck trips to 96 truck trips. This means that localized air pollution impacts will also be reduced. Although the warehouse does not have air conditioning, the renovation will improve air circulation utilizing 60 vented skylights that are operable and allow for airflow.

2. The Avalon Gardens Community Group led by Mr. Jon Davis and Ron Bell met with the applicant at the Project Site on February 4, 2025. They have remained in communication via telephone. No comments have been received from the group.
3. The East Gardena Homeowners Association led by Dr. Angila Romious and members of the executive team met with the applicant virtually on February 10, 2025, and have remained in communication via email. No comments have been received from the group.

Report
Reviewed By: Melissa Reyes for Carmen Sainz
Carmen Sainz, Supervising Planner

Report
Approved By: M. Glaser
Mitch Glaser, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Public Correspondence

JOB NO. CM220364

SUBMITTAL DATE

CITY SUBMITTAL 10/25/23

BID SET 03/22/24

BID ADDENDUM 'A' 04/17/24

PLANNING RESUBMITTAL 1 06/20/24

REVISION DATE

LADBS & LA COUNTY CORR. 02.06.24

BID ADDENDUM 'A' 04/15/24

BID ADDENDUM 'B' 04/23/24

BID ADDENDUM 'C' 06/21/24

LADBS STAMP

CLIENT: Rexford Industrial

PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

ABBREVIATIONS

Ø	AT	JAN.	JANITOR
A.B.	ANCHOR BOLT	JST.	JOIST
A.C.	ASPHALTIC CONCRETE	JT.	JOINT
ACCU.	ACoustical		
ALT.	ALTERNATE	K.C.	KEENE'S CEMENT
ACS.	ACRES	KIT.	KITCHEN
AD.	AREA DRAIN		
ALUM.	ALUMINUM	LAM.	LAMINATED
A.T.	ASPHALT TILE	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LGTH	LENGTH
A.F.F.	ABOVE FINISH FLOOR	LKR.	LOOKER
A.F.S.	ABOVE FINISH SURFACE	L.P.	LOW POINT
B.C./B.O.C.	BOTTOM OF CONCRETE	MIN.	MINIMUM
BD.	BOARD	MAS.	MASONRY
BLK.	BLOCK	MAX.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL
B.M.	BOTTOM OF MULLION	MEMB.	MEMBRANE
BM.	BEAM	MET.	METAL
BOT.	BOTTOM	M.H.	MANHOLE
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BET.	BETWEEN	M.O.	MASONRY OPENING
		M.R.	MOISTURE RESISTANT
		MFG.	MANUFACTURER
C.L.	CENTER LINE	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NO.	NUMBER
CEM.	CEMENT	NOM.	NOMINAL
CEL.	CERAMIC	N.T.S.	NOT TO SCALE
C.I.P.	CAST IRON PIPE		
CLC.	CEILING		
CLO.	CLOSET		
CLR.	CLEAR	OBSC.	OBSCURE
C.O.	CLEAN OUT	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
COM.	COMMON	OFF.	OFFICE
CONC.	CONCRETE	OV.	OPENING
CONT.	CONTINUOUS	OVN.	OVEN
C.W.	COLD WATER	OVFL.	OVERFLOW
C.T.	CERAMIC TILE	OPP.	OPPOSITE
C.YD.	CUBIC YARD		
DET.	DETAIL	PL.	PROPERTY LINE/PLATE
D.F.	DRINKING FOUNTAIN	PARTN	PARTITION
D.D.	DOOR DIMENSION	PLAS.	PLASTER
DIA.	DIAMETER	PLYWD.	PLYWOOD
DRWG.	DRAWING	PR.	PAPER
D.S.	DOWNSPOUT	P.L.	PLASTIC LAMINATE
D.W.	DISHWASHER		
DR.	DOOR	R.	RISER
DM.	DIMENSION	RAD.	RADIUS
		REIN.	REINFORCING
(E)	EXISTING	RESUL.	RESULT
EA.	EACH	RD.	ROOF DRAIN
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATION	R.O.	ROUGH OPENING
ENCL.	ENCLOSURE	REF.	REFRIGERATOR
EXH.	EXHAUST	REV.	REVERSE
EXIST.	EXISTING	REQ'D.	REQUIRED
EXP.	EXPANSION		
EXT.	EXTERIOR	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SHT.	SHEET
E.S.	EDGE OF SLAB	SIM.	SIMILAR
		SHTG.	SHEATHING
		SQ.	SQUARE
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.C.	FIRE EXTINGUISHER CAB.	STL.	STEEL
F.G.	FUEL GAS	STRCT.	STRUCTURAL
F.H.C.	FIRE HOSE CABINET	S.S.	STAINLESS STEEL
FIN.	FINISH	SUSP.	SUSPENDED
F.LR.	FLOOR	SPECS.	SPECIFICATIONS
FLRG.	FLOORING	STOR.	STORAGE
FTD.	FOOTING	S.T.C.	SOUND TRANSMISSION CLASS
F. GL.	FIXED GLASS	S.F.	SQUARE FOOT
F.S.	FLOOR SINK		
FLUOR.	FLUORESCENT		
F.O.C.	FACE OF CONCRETE	T.C./T.O.C.	TOP OF CONCRETE
F.O.M.	FACE OF MASONRY	TCL.	TELEPHONE
F.O.S.	FACE OF STUD	TERR.	TERRAZZO
F.O.F.	FACE OF FINISH	T & G	TONGUE AND GROOVE
F.O.SH.	FACE OF SHEATHING	T.M.	TOP OF MULLION
F.F.	FINISH FLOOR	T.O.W.	TOP OF WALL
F.J.	FLOOR JOIST	TYP.	TYPICAL
		THRU	THROUGH
GA.	GAUGE	TEMP.	TEMPERED
GALV.	GALVANIZED	T.O.P./T.P.	TOP OF PARAPET
G.I.	GALVANIZED IRON	T.	TREAD
GL.	GLASS	T.O.PL.	TOP OF PLATE
GR.	GRADE	T.S.	TOP OF SHEATHING
GYP. BD.	GYP SUM BOARD		
G.D.	GARBAGE DISPOSAL	U.	URNAL
		U.N.O.	UNLESS NOTED OTHERWISE
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE	VERT.	VERTICAL
HWD.	HARDWOOD	VEST.	VESTIBULE
HGT.	HEIGHT	V.C.T.	VINYL COMPOSITION TILE
H.P./H.P.T.	HIGH POINT		
HOR.	HEADER	W/	WITH
HTR.	HEATER	WAINS.	WAINSCOT
H.W.	HOT WATER	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	WP.	WATERPROOF
		WD.	WOOD
		WHL.	WATER HEATER
I.D.	INSIDE DIAMETER		
INT.	INTERIOR		
INSUL.	INSULATION		
INV.	INVERT		
I.P.S.	IRON PIPE SIZE		
I.I.C.	IMPACT INSULATION CLASS		

OWNER INFORMATION

REXFORD INDUSTRIAL REALTY
11620 Wilshire Blvd Suite 610
Los Angeles, CA 90024
(424) 440-2955
NAME: Brian Garcia bgarcia@refordindustrial.com

CONSULTANT INFORMATION

ARCHITECT for Shell Building
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OFFICE: (310) 217-8885 DIRECT (424) 266-6942
Alan Makalino amakalino@bsbdesign.com

LANDSCAPE ENGINEER
CUMMINGS CURELY AND ASSOCIATES
1700 Pacific Coast Highway Suite C
Seal Beach, CA 90740
Office (562) 424-8181
Contact: Robert L. Curley
CIVIL ENGINEER
CANNON
16842 Von Karman Ave
Irvine, CA 92606
Office (949) 681-0255
Contact: Samuel J. Jacoby

BUILDING DEPARTMENT
LOS ANGELES COUNTY
COUNTY OF LOS ANGELES
320 W TEMPLE ST. STE 13
LOS ANGELES, CA 90012
Office (213) 974-6411

PROJECT ADDRESS:

14400 S FIGUEROA ST., GARDENA, CA 90248
400 W ROSECRANS AVE., GARDENA, CA 90248
422 W ROSECRANS AVE., GARDENA, CA 90248

ZONING:

M2-1VL-Q (LIGHT MANUFACTURING)
M-2-IP (HEAVY MANUFACTURING, INDUSTRIAL PRESERVATION)

ASSESSOR PARCEL NO. (A.P.N.):

6129-001-029 CITY OF LOS ANGELES JURISDICTION
6129-001-028 COUNTY OF LOS ANGELES JURISDICTION
6129-001-023 COUNTY OF LOS ANGELES JURISDICTION
6129-001-024 COUNTY OF LOS ANGELES JURISDICTION

AREA OF WORK:

TOTAL LOT AREA: 271,847 SQ. FT.

OCCUPANCY LOAD CALCULATIONS PER TABLE 1004.5

USE (OCCUPANCY)	AREA	# OF OCCUPANTS
OFFICE (B):		
FIRST FLOOR	3,939 SF / 150 =	27
WAREHOUSE (S-1):		
WITH OFFICE	52,059 SF / 500 =	105
PROPOSED TOTAL	55,998 SF	132

LOADING DOCKS

PROPOSED DOCK HIGH DOORS: 9' W x 10' H 9

VICINITY MAP:

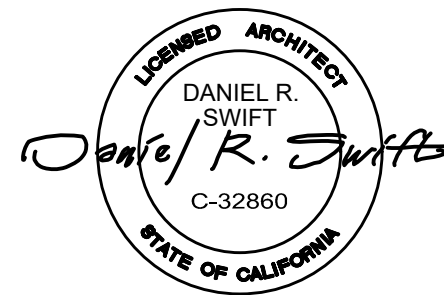
SHEET INDEX

SHEET NUMBER	INDEX LEGEND N NEW INITIAL SHEET ISSUANCE R REVISED SHEET I DRAWING ISSUED W/ NO CHANGES - SHEET NOT ISSUED	SHEET NAME	PLANNING SUBMITTAL	- Issued for	- Issued for	- Issued for
01-GENERAL						
CS01	COVER SHEET		I			
02-CIVIL						
SHEET 1	CONCEPTUAL GRADING PLAN		R			
SHEET 2	CONTEXTUAL SITE PLAN		R			
SHEET 3	PAVING PLAN		R			
SHEET 4	OIL & GAS WELL EXHIBIT		I			
03-ARCHITECTURAL						
AE001	EXISTING SITE PLAN		I			
AD001	SITE DEMOLITION PLAN		I			
A001	SITE PLAN		R			
A101	OVERALL FLOOR PLAN		R			
A102	ENLARGED FLOOR PLAN		R			
A131	ROOF PLAN		I			
A201a	EXTERIOR RENDERED BUILDING ELEVATIONS		R			
A201b	SITE ELEVATIONS		I			
A301	BUILDING SECTIONS		I			
G001	GREEN ZONE NOTES		I			
G002	GREEN ZONE NOTES		I			
G003	CSD NOTES		I			
	PERSPECTIVE FROM FIGUEROA & ROSECRANS		I			
	PERSPECTIVE FROM NORTHEAST & SOUTHEAST		I			
05-LANDSCAPE						
L000	COVER SHEET		N			
L100	PLANTING PLAN		N			
L101	PLANTING NOTES		N			
L200	IRRIGATION PLAN		N			
L201	IRRIGATION NOTES		N			
L300	LANDSCAPE DETAILS		N			
L301	LANDSCAPE DETAILS		N			
L400	LANDSCAPE SPECIFICATIONS		N			
L401	LANDSCAPE SPECIFICATIONS		N			
L402	LANDSCAPE SPECIFICATIONS		N			

SYMBOLS

	SHT. NO. EXTERIOR ELEV.		ROOM NAME
	DET. NO. EXTERIOR ELEV.		ROOM NUMBER
	SHT. NO. INTERIOR ELEV.		DOOR NUMBER
	DET. NO. INTERIOR ELEV.		WINDOW NUMBER/TYPE
	SECTION DESIGNATION SHEET NUMBER		WALL TYPE
	DETAIL NUMBER SHEET NUMBER		KEY NOTE
	GRID LINE		MATERIAL FINISH

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SHEET TITLE
COVER SHEET

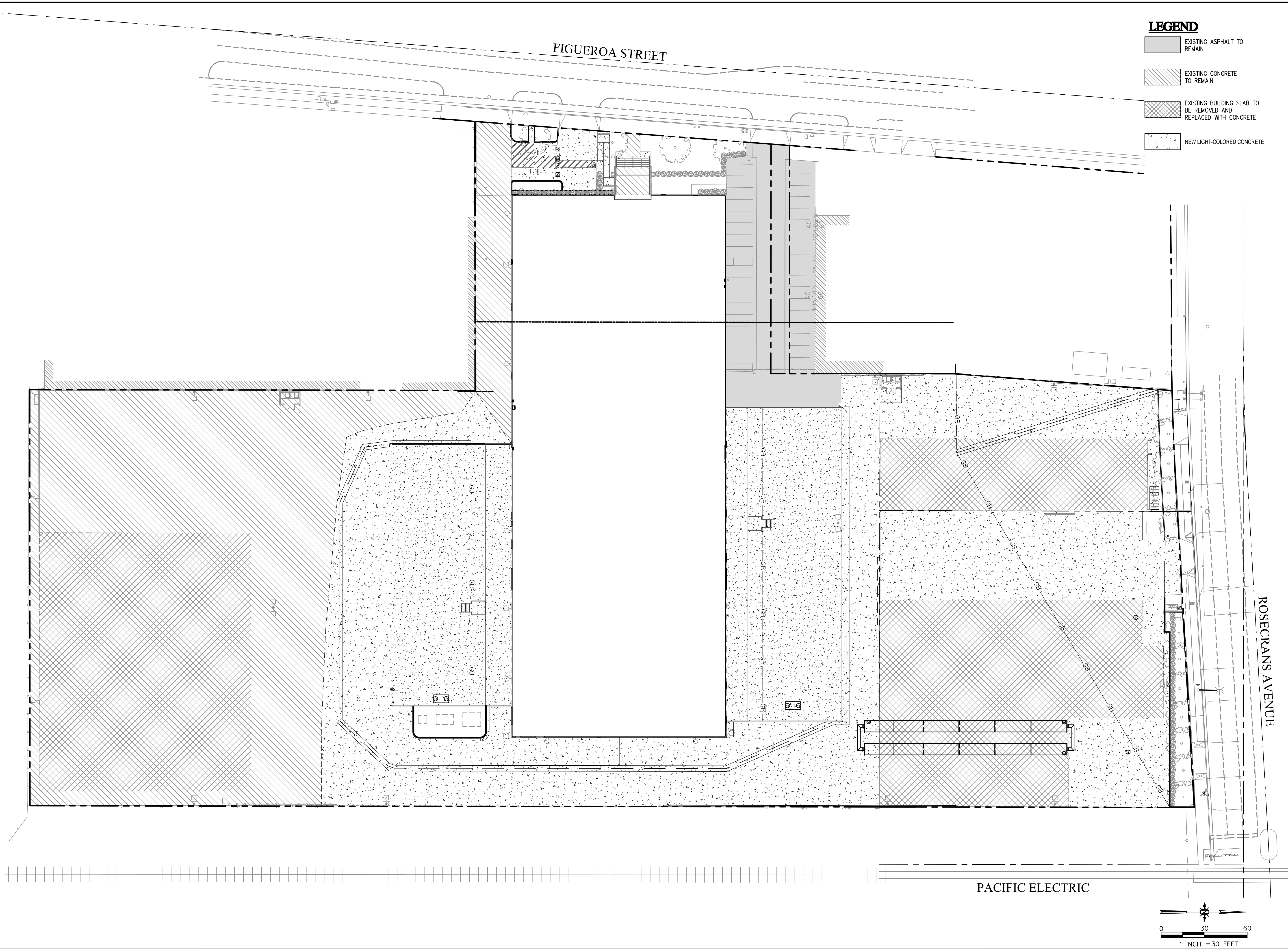
SHEET NO.

CS01

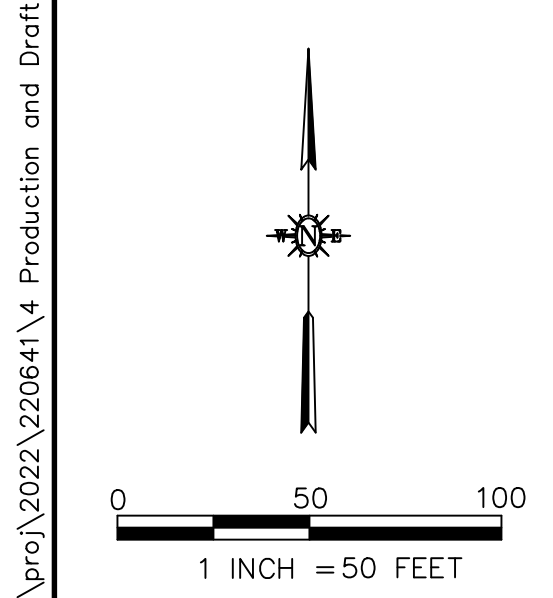
JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

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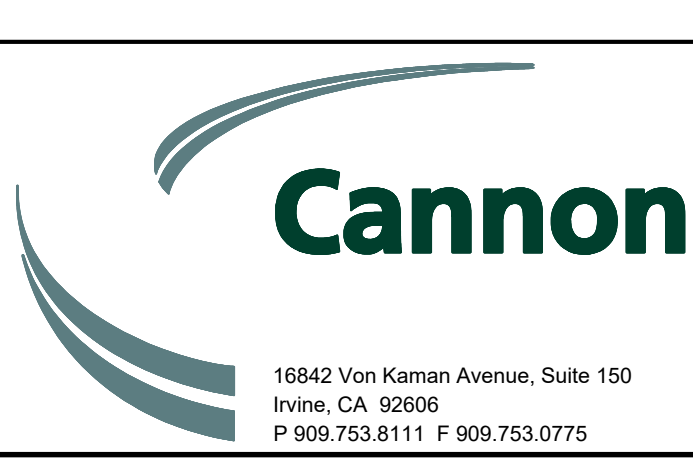
SHEET 1 OF 1	REXFORD INDUSTRIAL 400 ROSECRANS PAVING PLAN ROSECRANS AND FIGUEROA GARDENA, CA	DRAWN BY JTR CHECKED BY SUJ DATE 01/19/2024 SCALE 1" = 30' CA JOB NO. 220641	CANNON 16842 Von Kaman Avenue, Suite 150 Irvine, CA 92606 P 949.253.1111 F 949.753.0775	REV. NO.	DATE	REVISED	DESTROY ALL PRINTS BEARING EARLIER DATE	REV. BY	CDD/ARD BY

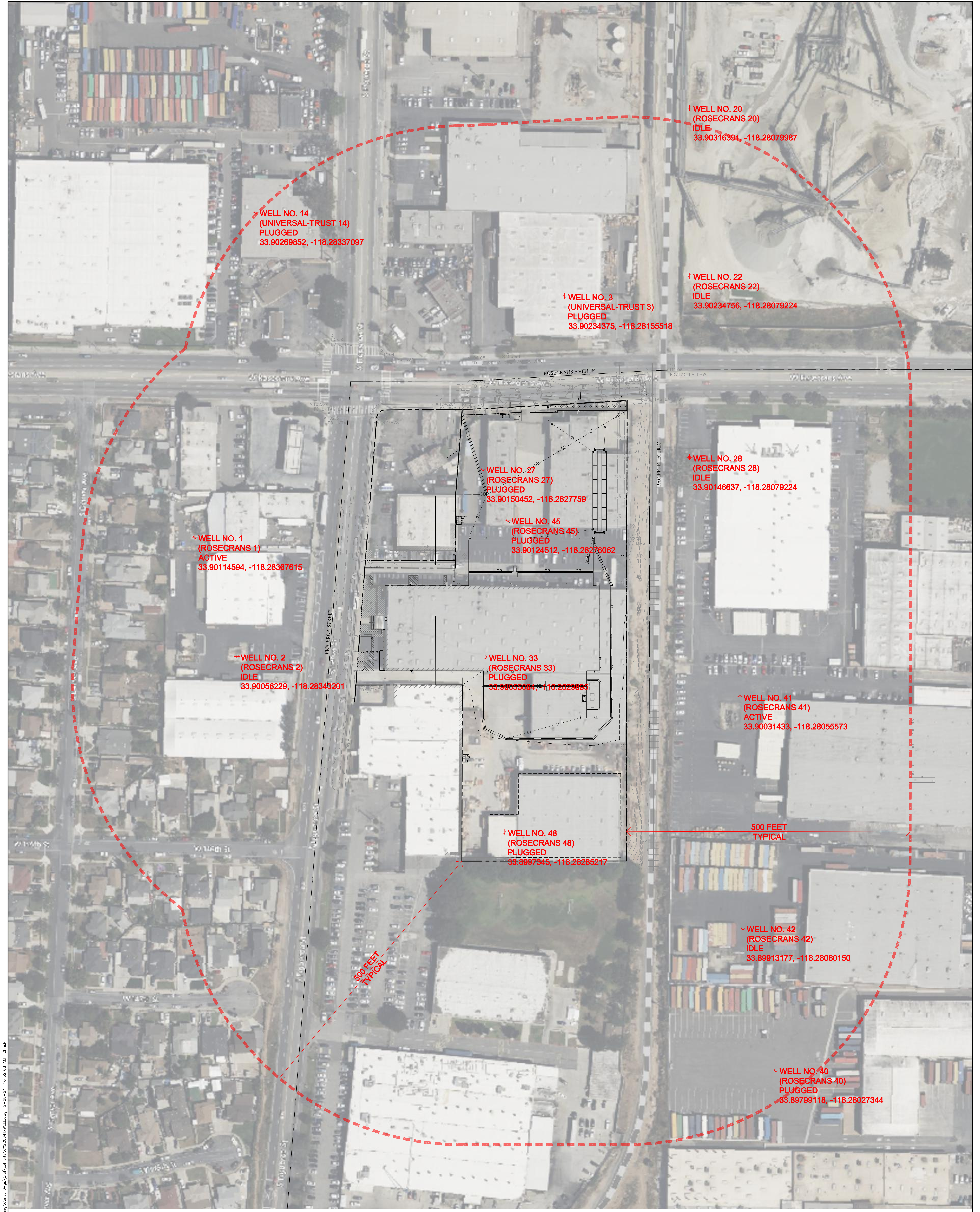


REXFORD INDUSTRIAL
400 ROSECRANS
CONTEXTUAL SITE PLAN
ROSECRANS AND FIGUEROA

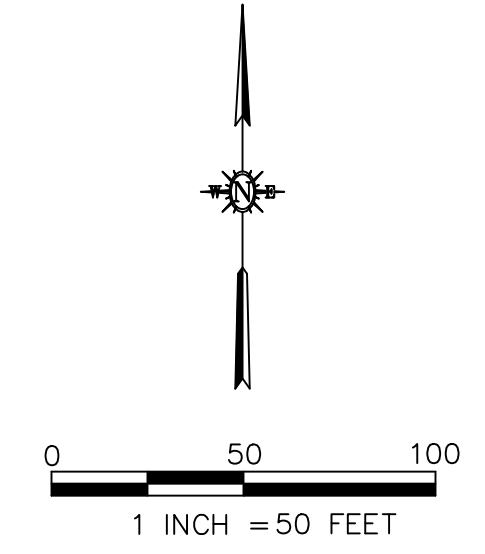
GARDENA, CA

DRAWN BY	JTR	DATE	2/28/2024
CHECKED BY		SCALE	1" = 50'
		CA JOB NO.	220641
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF CANNON. ALL DESIGN AND INFORMATION ON THESE DRAWINGS ARE FOR THE USE OF THE SPECIFIC PROJECT AND SHALL NOT BE LOANED, REPRODUCED, COPIED, REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION OF CANNON.			





NOTE:
OIL WELL LOCATIONS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS; AND THEREFORE LOCATIONS ARE APPROXIMATE. CANNON MAKES NO GUARANTEE OF THE ACCURACY AND COMPLETENESS OF THIS EXHIBIT. SATELLITE IMAGERY IS FOR REFERENCE ONLY AND IS NOT ACCURATE.



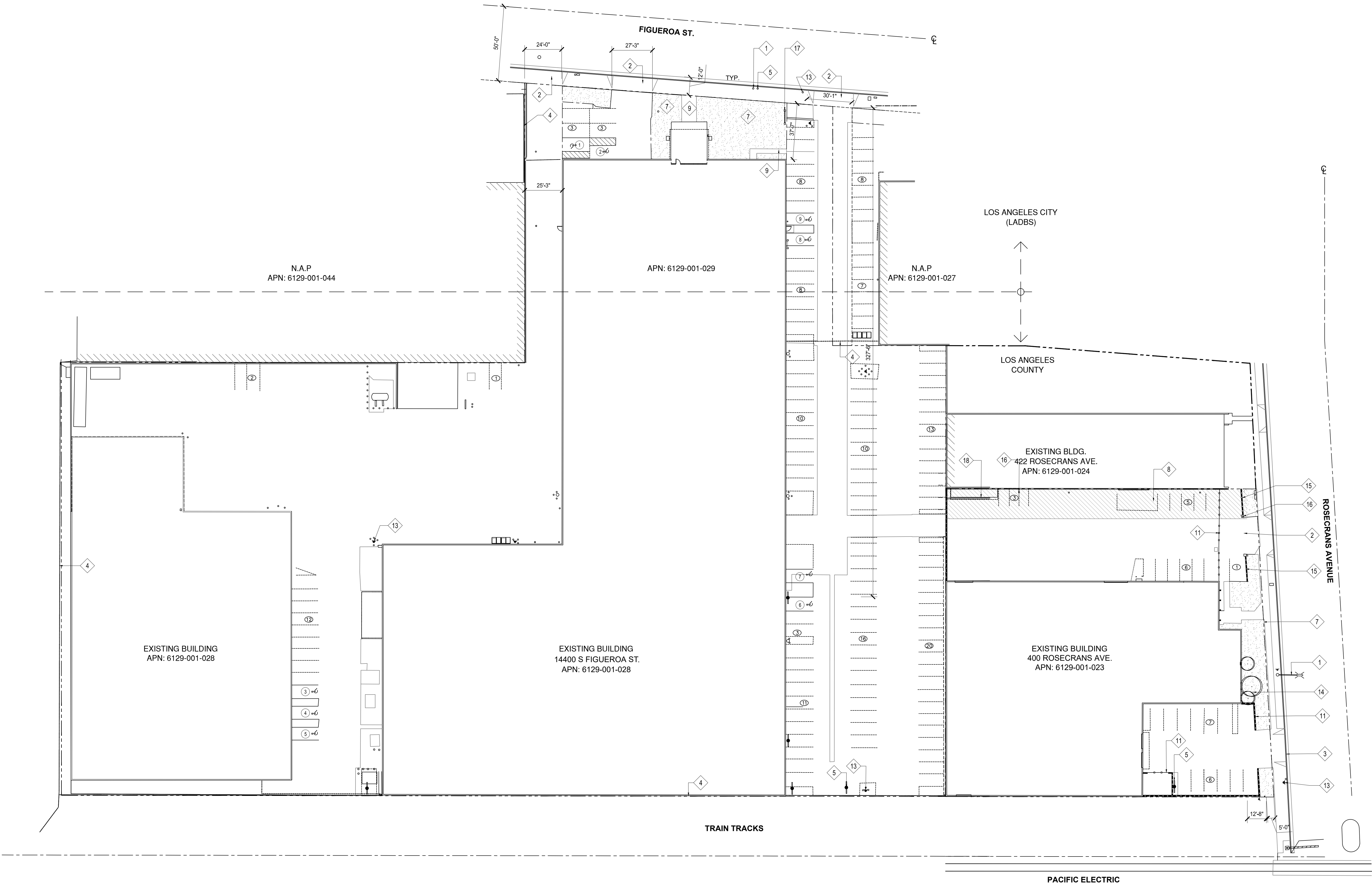
REXFORD INDUSTRIAL
400 ROSECRANS
OIL WELL LOCATIONS
ROSECRANS AND FIGUEROA
GARDENA, CA

DRAWN BY	JTR	DATE	2/28/2024
CHECKED BY		SCALE	1" = 50'
		CA JOB NO.	220841

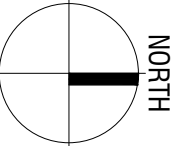


16842 Von Kaman Avenue, Suite 150
Irvine, CA 92606
P 909.753.1111 F 909.753.0775

KEYNOTES		LEGEND
1 EXISTING LIGHT POLE	10 EXISTING CONCRETE SHEAR WALL	10 INDICATES NUMBER OF PARKING STALLS
2 EXISTING DRIVEWAY	11 EXISTING GATE	--- EXISTING PROPERTY LINE
3 EXISTING DRIVEWAY TO BE CLOSED OFF	12 EXISTING DRIVEWAY TO EXPAND	/// INDICATES EXISTING ACCESS EASEMENT
4 EXISTING FENCE	13 EXISTING FIRE HYDRANT	
5 EXISTING POWER POLE	14 EXISTING TREES	
6 PARKING STALLS	15 EXISTING SHORT WALL	
7 EXISTING LANDSCAPE	16 EXISTING SECURITY BOLLARD	
8 20' WIDE EXISTING ACCESS EASEMENT (TBD) WITH AN AREA OF APPROX. 4,160 SF.	17 EXISTING SIGNAGE	
9 EXISTING PATHWAY	18 EXISTING SHED	



EXISTING CONDITIONS PLAN
1" = 30'-0"



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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
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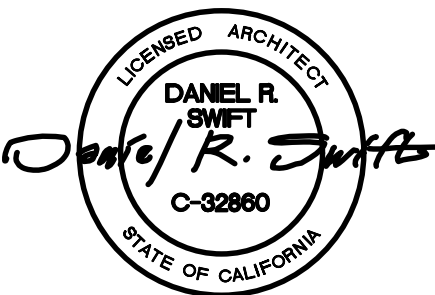
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CLIENT:

Rexford Industrial

PROJECT: **REXFORD INDUSTRIAL REALTY**
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: **REXFORD INDUSTRIAL REALTY**
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE	EXISTING CONDITION PLAN
SHEET NO.	AE001
February 06, 2024	SUBMITTAL SET 02/06/2024

DEMOLITION NOTES	KEYNOTES	LEGEND
<div>1. SEE SHEET AD000 FOR GENERAL DEMOLITION NOTES.</div> <div>2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.</div> <div>3. REMOVE ALL UNUSED OR ABANDONED DATA, ELECTRICAL CONDUITS, J-BOXES, PANELS, ETC. IN AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. PRESERVE ITEMS WHICH WILL REMAIN IN SERVICE.</div> <div>4. PATCH AND REPAIR EXISTING SLAB WHERE EXISTING WALLS ARE TO BE DEMOLISHED.</div> <div>5. WHERE EXISTING WALLS, CEILINGS, ETC. ARE DAMAGED DUE TO DEMOLITION OR NEW CONSTRUCTION, THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.</div> <div>6. REMOVE ANY NON ACCESSIBLE DOOR HARDWARE AND REPLACE, WITH LEVER TYPE.</div> <div>7. REMOVE ANY UNNECESSARY THERMOSTATS AND PATCH WALLS. RELOCATE AS NECESSARY.</div> <div>8. REMOVE ANY UNNECESSARY OR ABANDONED DUCTWORK WITHIN THE AFFECTED PORTIONS OF DEMOLITION.</div> <div>9. ALL FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS WILL REMAIN.</div> <div>10. INFORMATION PROVIDED ARE A RESULT OF LIMITED FIELD VERIFICATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING THE LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO DEMOLITION. NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.</div> <div>11. SAWCUT EXISTING SLAB AT LOCATIONS WHERE NEW TOILETS & PLUMBING LINES WILL OCCUR. CONNECTION LOCATIONS TO EXISTING SEWER LINES TO BE VERIFIED IN FIELD. REFER TO PROPOSED FLOOR PLANS FOR NEW RESTROOM LAYOUTS.</div>	<div><div>1</div>REMOVE & RELOCATE (E) POWER POLE. VERIFY & COORDINATE WITH DRY UTILITY CONSULTANT</div> <div><div>2</div>(E) DRIVEWAY TO REMAIN</div> <div><div>3</div>(E) DRIVEWAY TO BE CLOSED OFF</div> <div><div>4</div>(E) FENCE TO DEMOLISH</div> <div><div>5</div>(E) FENCE TO REMAIN</div> <div><div>6</div>(E) SECURITY GATE TO DEMOLISH</div> <div><div>7</div>BLACK-OUT EXISTING (E) PARKING STRIPING. SEE SITE PLAN FOR NEW PARKING STRIPING/LAYOUT & PER CITY/COUNTY STANDARD</div> <div><div>8</div>REMOVE & REPLACE (E) LANDSCAPE AREA, SEE LANDSCAPE DWG.</div> <div><div>9</div>20' WIDE EXISTING ACCESS EASEMENT (TBD) WITH AN AREA OF APPROX. 4,160 SF.</div> <div><div>10</div>(E) PATHWAY TO REMAIN</div> <div><div>11</div>(E) UTILITY METER TO BE REMOVED</div> <div><div>12</div>REMOVE (E) FIRE HYDRANT & PROTECTIVE BOLLARDS. VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR THE EXACT NEW LOCATION</div> <div><div>13</div>(E) PATHWAY TO DEMOLISH</div> <div><div>14</div>(E) EXISTING TREES TO REMOVE</div> <div><div>15</div>(E) SIGNAGE TO REMAIN</div> <div><div>17</div>(E) DRIVEWAY TO BE EXPANDED</div> <div><div>18</div>(E) FIRE DEPARTMENT CONNECTION</div> <div><div>19</div>(E) GAS METER WITH PROTECTIVE BOLLARDS TO REMAIN</div> <div><div>20</div>(E) FIRE RISER & P.I.V. WITH PROTECTIVE BOLLARDS TO REMAIN</div> <div><div>21</div>(E) FIRE RISER TO REMAIN, MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS</div> <div><div>22</div>(E) FIRE RISER & P.I.V. TO REMAIN, MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS</div> <div><div>23</div>REMOVE (E) POLES (QTY. 3) & OVERHEAD PIPE/CONDUIT</div> <div><div>24</div>REMOVE (E) PROPANE TANK (ALL ITS ACCESSORIES), A.C. PAVING, CMU WALL & PROTECTIVE BOLLARDS</div> <div><div>25</div>REMOVE (E) PARTIAL HT. CONC. TILT UP WALL & PROTECTIVE BOLLARDS</div> <div><div>26</div>(E) P.I.V. WITH PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>27</div>(E) UTILITY BOX, INCLUDING ACCESSORIES & PROTECTIVE BOLLARDS</div> <div><div>28</div>(E) PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>29</div>(E) TRANSFORMER, CONCRETE PAD & PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>30</div>(E) FLAGPOLE TO BE REMOVED</div> <div><div>31</div>(E) CANOPY & CANOPY PILASTER/SUPPORT TO BE REMOVED</div> <div><div>32</div>(E) POWER POLE TO REMAIN</div> <div><div>33</div>(E) FIRE HYDRANT WITH PROTECTIVE BOLLARDS TO REMAIN, VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR</div> <div><div>34</div>(E) STREET LIGHT POLE</div> <div><div>35</div>(E) PUBLIC FIRE HYDRANT</div>	<div><div><div></div></div>EXISTING PROPERTY LINE</div> <div><div><div></div></div>INDICATES EXISTING BUILDINGS TO BE DEMOLISHED, INCLUDING CONCRETE SLAB</div> <div><div><div></div></div>INDICATES EXISTING LANDSCAPE TO BE REMOVED</div> <div><div><div></div></div>INDICATES EXISTING A.C./CONCRETE PAVING TO BE REMOVED</div> <div><div><div></div></div>EXISTING TO BE DEMOLISHED</div>

16

(E) DRIVEWAY TO BE EXPANDED

17

(E) FIRE DEPARTMENT CONNECTION

18

(E) GAS METER WITH PROTECTIVE BOLLARDS TO REMAIN

19

(E) FIRE RISER & P.I.V. WITH PROTECTIVE BOLLARDS TO REMAIN

20

(E) FIRE RISER TO REMAIN. MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS

21

(E) FIRE RISER & P.I.V. TO REMAIN. MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS

22

REMOVE (E) POLES (QTY. 3) & OVERHEAD PIPE/CONDUIT

23

REMOVE (E) PROPANE TANK (ALL IT'S ACCESSORIES), A.C. PAVING, CMU WALL & PROTECTIVE BOLLARDS

24

REMOVE (E) PARTIAL HT. CONC. TILT UP WALL & PROTECTIVE BOLLARDS

25

(E) P.I.V. WITH PROTECTIVE BOLLARDS TO BE REMOVED

26

(E) UTILITY BOX, INCLUDING ACCESSORIES & PROTECTIVE BOLLARDS

27

(E) PROTECTIVE BOLLARDS TO BE REMOVED

28

(E) TRANSFORMER, CONCRETE PAD & PROTECTIVE BOLLARDS TO BE REMOVED

29

(E) FLAGPOLE TO BE REMOVED

30

(E) CANOPY & CANOPY PILASTERS/SUPPORT TO BE REMOVED

31

(E) POWER POLE TO REMAIN

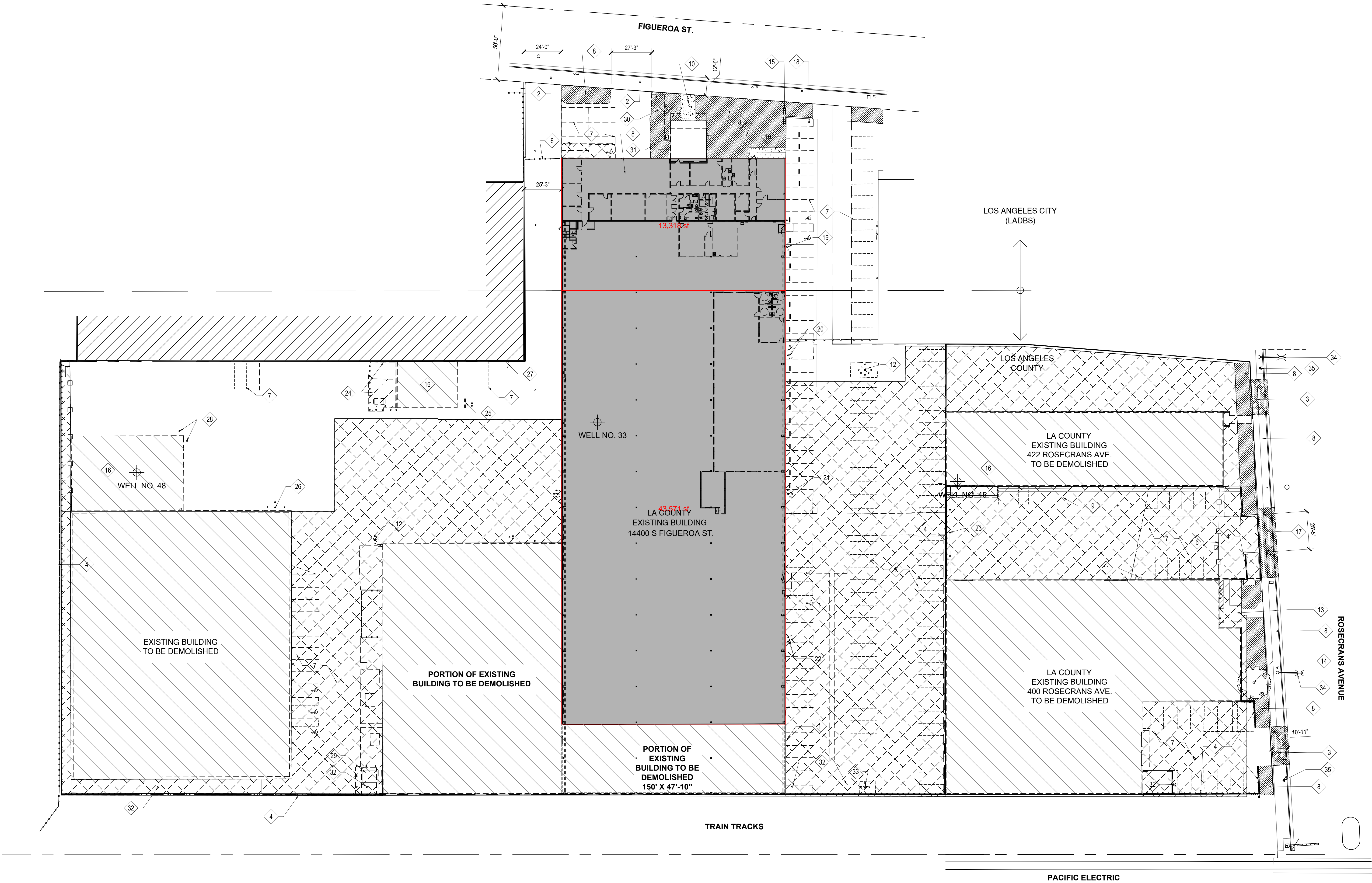
32

(E) FIRE HYDRANT WITH PROTECTIVE BOLLARDS TO REMAIN. VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR

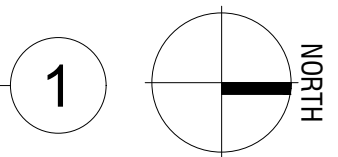
33

(E) STREET LIGHT POLE

34

(E) PUBLIC FIRE HYDRANT

DEMOLITION SITE PLAN
SCALE: 1"=30'-0"



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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
PC LADBS & COUNTY PC CORR.	02.06.24
LADBS STAMP	

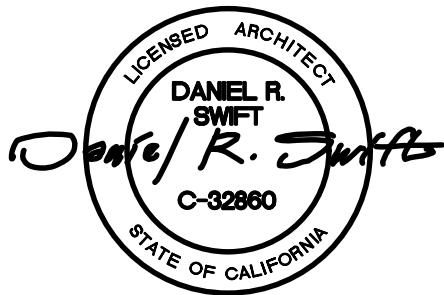


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
DEMO SITE PLAN

SHEET NO.
AD001

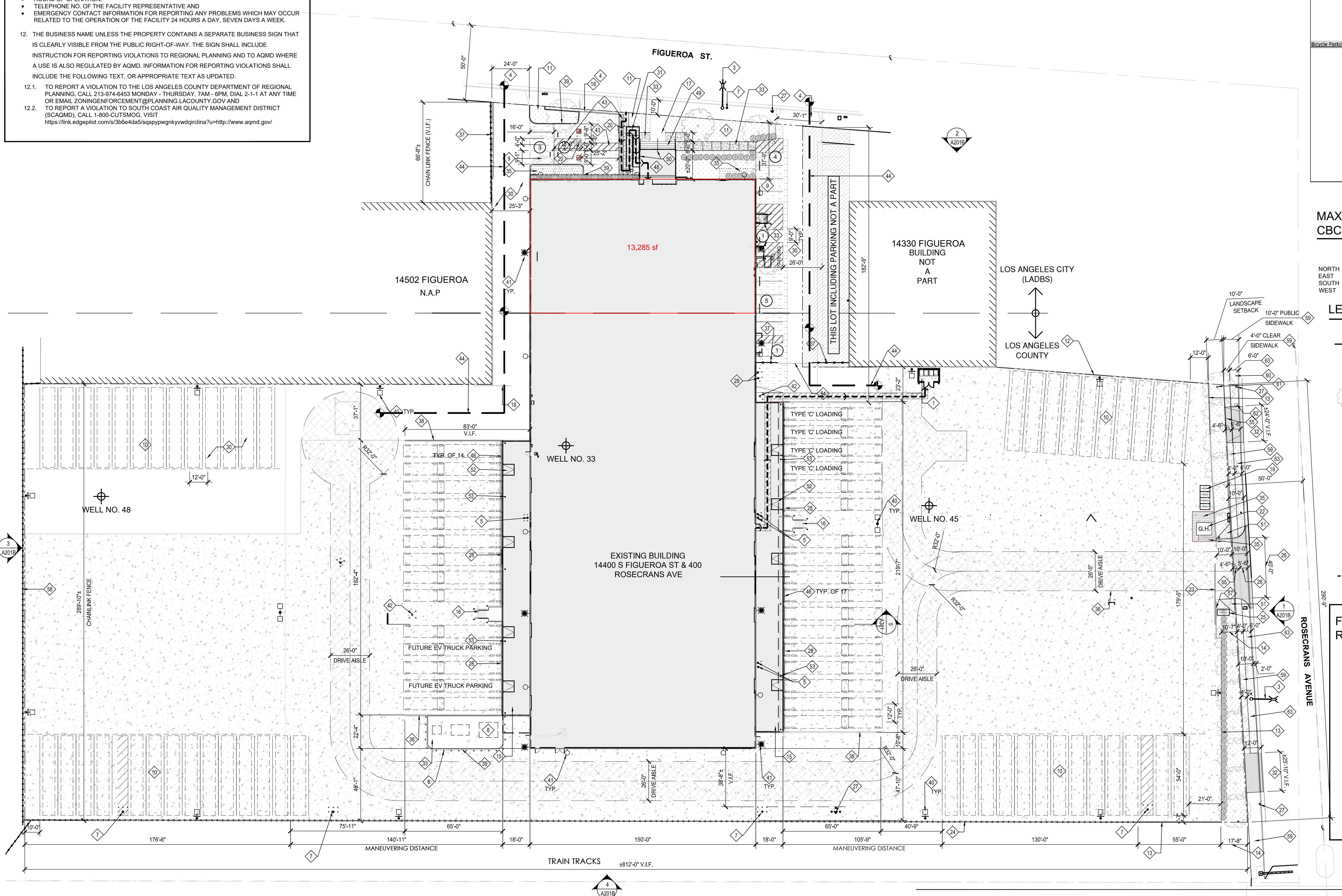
February 06, 2024

SUBMITTAL SET
02/06/2024

SITE PLAN NOTES

- SEE GENERAL NOTES FOR ADDITIONAL INFO.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE CURB, FACE OF CONCRETE PANEL, OR TO GRID-LINE U.N.O. SITE DIMENSIONS ARE FOR REFERENCE ONLY.
- ALL STANDARD PARKING STALLS SHALL BE STRIPED PER COUNTY STANDARDS. CONTRACTOR SHALL CONFIRM FINAL STRIPING CONFIGURATION WITH CURRENT COUNTY STANDARDS PRIOR TO PAINTING. SEE SPECIFIC DETAILS FOR ACCESSIBLE STALL DIMENSIONS.
- WALK SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL HAVE A MEDIUM BROOM OR EXPOSED AGGREGATE FINISH WITH A SLIP RESISTANCE EQUAL TO A MED. SALT FINISH U.N.O. WALK SURFACES WITH A SLOPE OF GREATER THAN 6% GRADIENT SHALL BE SLIP RESISTANT PER DISABLED ACCESS STANDARDS. ACCESSIBLE WALK CROSS SURFACE SLOPES SHALL NOT EXCEED 1/4" PER FOOT OR 2%.
- ANY ABRUPT LEVEL CHANGES SHALL BE LESS THAN OR EQUAL TO 1/2" ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE OF LESS THAN OR EQUAL TO 1:2. LEVEL CHANGES OF 1/4" MAX MAY BE VERTICAL. IF LEVEL CHANGES ARE GREATER THAN 1/2", THEY MUST COMPLY WITH THE REQUIREMENTS OF CURB RAMPS.
- ALL UNDERGROUND PIPING SUBJECT TO CORROSION SHALL BE WRAPPED WITH PROTECTIVE COATINGS.
- PROPERTY LINE MEETS & BOUNDS WHICH MAY BE SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY.
- PROVIDE CONCRETE WHEEL STOPS AT ALL STALLS.
- SEE CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
- "PROJECT TO COMPLY WITH APPLICABLE CSD AND GREEN ZONES DEVELOPMENT AND PERFORMANCE STANDARDS. SEE SHEETS G001-003 FOR ADDITIONAL INFORMATION
- "PERIMETER IDENTIFICATION SIGN" - PROVIDE A PERMANENT SIGN BETWEEN 4 & 9 SQ. FT. TO INCLUDE:
 - HOURS OF OPERATION.
 - TELEPHONE NO. OF THE FACILITY REPRESENTATIVE AND
 - EMERGENCY CONTACT INFORMATION FOR REPORTING ANY PROBLEMS WHICH MAY OCCUR RELATED TO THE OPERATION OF THE FACILITY 24 HOURS A DAY, SEVEN DAYS A WEEK.
- THE BUSINESS NAME UNLESS THE PROPERTY CONTAINS A SEPARATE BUSINESS SIGN THAT IS CLEARLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. THE SIGN SHALL INCLUDE INSTRUCTION FOR REPORTING VIOLATIONS TO REGIONAL PLANNING AND TO AQMD WHERE A USE IS ALSO REGULATED BY AQMD. INFORMATION FOR REPORTING VIOLATIONS SHALL INCLUDE THE FOLLOWING TEXT, OR APPROPRIATE TEXT AS UPDATED.
- TO REPORT A VIOLATION TO THE LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING, CALL 213-974-6453 MONDAY - THURSDAY, 7AM - 6PM, DIAL 2-1-1 AT ANY TIME OR EMAIL ZONINGENFORCEMENT@PLANNING.LACOUNTY.GOV AND
- TO REPORT A VIOLATION TO SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), CALL 1-800-OUTSMOG, VISIT <https://link.edgelist.com/s/30de4da5nppgpywqnyvqdrclna?u=http://www.aqmd.gov/>

- KEYNOTES
- NEW TRASH ENCLOSURE, UNDER SEPARATE SUBMITTAL & PLAN CHECK.
 - NEW STOREFRONT ENTRY, SEE ENLARGED FLOOR PLAN A102
 - (E) STREET LIGHT POLE TO REMAIN, PROTECT IN PLACE
 - DRIVEWAY TO REMAIN
 - EXISTING FIRE SPRINKLER RISER, PV W/ PROTECTIVE BOLLARD, COORDINATE WITH THE CONSTRUCTION OF NEW CONCRETE LOADING DOCK PLATFORM & MODIFY AS REQUIRED
 - NEW PAINTED 6"Ø X 4'-0" H. CONC. FILLED STEEL PIPE BOLLARD, SEE
 - (E) POWER POLE TO REMAIN, PROTECT IN PLACE - WITH NEW PROTECTIVE BOLLARDS WHERE OCCURS.
 - NEW TRANSFORMER PROPOSED LOCATION
 - NEW PARKING STALLS, PER COUNTY OR CITY STANDARD -
 - NEW TRAILER STORAGE
 - (E) LANDSCAPE AREA, SEE LANDSCAPE DWGS. FOR PROPOSED PLANTING
 - NEW 12'-0" H. SPLIT FACE CMU WALL, SEE STRUCT. DWG., V.I.F. EXACT LENGTH
 - NEW 12'-0" H. PAINTED SMOOTH FACE CMU WALL WITH PAINTED STEEL GATE, SEE DETAIL 13A807 AND STRUCT. DWG., V.I.F. EXACT LENGTH
 - 10'-0" MIN. LANDSCAPE AREA, SEE LANDSCAPE DWGS.
 - NEW CONCRETE LOADING DOCK PLATFORM, SEE STRUCT. DWG.
 - NEW CONCRETE STAIR WITH METAL RAILING.
 - (E) CONC. PATHWAY TO REMAIN, PROTECT IN PLACE
 - NEW 22'-0"W x 8'-0"H. POWERED WROUGHT IRON ROLLING GATE (V.I.F.), PAINTED, GATE TO REMAIN OPEN DURING BUSINESS HOURS - SEE DETAIL 1A807 - INSTALL KNOX BOX PER FIRE DEPARTMENT STANDARD, V.I.F. LENGTH
 - NEW LONG-TERM BICYCLE PARKING LOCKER PER CODE - "B" CYCLE SAFE 2-LOCKER BANKS ONE DOOR WITH 2 BIKES EACH-PRO-PARK STD MODEL"
 - NEW DETECTABLE WARNING/TRUNCATED DOME.
 - NEW CONCRETE WHEEL STOP.
 - FUTURE GUARD HOUSE UNDER SEPARATE SUBMITTAL, PROVIDE POWER AND PONE CONDUIT
 - NEW 40'-0"W x 12'-0"H MOTORIZED WROUGHT IRON ROLLING GATE (V.I.F.) - INSTALL NEW KNOX BOX PER FIRE DEPARTMENT STANDARD - "GATE TO REMAIN OPEN DURING BUSINESS HOURS"
 - NEW 8'-0" H.CHAIN LINK FENCE.
 - NEW SURFACE MOUNTED SHORT-TERM BICYCLE PARKING PER CODE - "U-RACK BY CYCLESAFE"
 - RECONSTRUCT/EXPAND (E) DRIVEWAY & TO MEET AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES, SEE CIVIL DWG.
 - (E) FIRE HYDRANT TO REMAIN, PROTECT IN PLACE WITH (E) PROTECTIVE BOLLARDS WHERE OCCURS
 - NEW SUMP PUMP AND DRAIN, SEE CIVIL DWGS.
 - EXISTING FIRE SPRINKLER RISER, PV & PROTECTIVE BOLLARDS
 - EXISTING CONCRETE PAVING TO REMAIN
 - NEW CONCRETE RAMP WITH PAINTED METAL RAILING.
 - CLOSED OFF EXISTING DRIVEWAY, PER COUNTY OR CITY DESIGN STANDARD, MODIFY AND REMOVE DRIVEWAY SLOPE TO COMPLY WITH DISABLED PATH OF TRAVEL - SEE CIVIL DWGS.
 - NEW CONCRETE LANDING/STEPS/PAVING/WALKWAY, SEE SHT. A801a, CIVIL & LANDSCAPE DWG.
 - NEW PAIR OF 12'-0" x 8'-0"H. PAINTED MOTORIZED STEEL PICKET SWINGING GATE (V.I.F.).
 - NEW LANDSCAPE AREA, SEE LANDSCAPE PLAN
 - 26 FT. WIDE FIRE TRUCK ACCESS, PROVIDE APPROVED SIGNS & OR STRIPPING STATING "NO PARKING - FIRE LANE" & SHALL BE MAINTAINED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE CODE
 - NEW 8' HIGH PAINTED STEEL PICKET FENCE, V.I.F. INSTALL KNOX BOX PER FIRE DEPARTMENT STANDARD
 - NEW RETAINING WALL, UNDER SEPARATE SUBMITTAL, SEE CIVIL DWG.
 - NEW CONCRETE CURB, SEE CIVIL DWG.
 - NEW LIGHT POLE WITH CONCRETE BASE, SEE ELECTRICAL & STRUCTURAL DWG.
 - NEW WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DWG.
 - PAINTED RELOCATED EXISTING FIRE HYDRANT WITH PROTECTIVE BOLLARDS - VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR
 - ACCESSIBLE AISLE - 5% MAX. SLOPE IN THE DIRECTION OF TRAVEL & 2% MAX. CROSS SLOPE
 - FIRE HOSE LENGTH 0 - 150 FT.
 - NEW CONCRETE WHEEL STOP.
 - NEW EDGE DOCK LEVELER WITH BUMPER, TYPICAL AT ALL TRUCK DOCK, U.N.O.
 - NEW 3'-0" WIDE MAN GATE WITH ADA COMPLIANT HARDWARE.
 - EXISTING ENTRY PLATFORM/LANDING
 - EXISTING CONCRETE STAIR
 - NEW 42" H. PTD. METAL GUARDRAIL, HANDRAIL & CABLE RAILS
 - NEW 10'-0" VISIBILITY TRIANGLE, NO SOLID STRUCTURES SUCH AS FENCES, WALLS OR LANDSCAPING MORE THAN 3.5 FT. HIGH WITHIN THE PEDESTRIAN SIGHT TRIANGLES
 - NEW DOCK PIT LEVELER WITH BUMPER, TYP. OF 4
 - "NO IDLING SIGN" - AT LOADING SPACES, MUST INCLUDE AT LEAST ONE SIGN STATING THAT VEHICLE IDLING SHALL BE LIMITED TO FIVE (5) MINUTES, THE SIGN SHALL HAVE A MIN. SIZE OF 12 INCHES IN WIDTH x 18 INCHES IN HEIGHT & MUST PROMINENTLY DISPLAYED & VISIBLE FROM THE LOADING SPACES. THE SIGN MAY CONTAIN LANGUAGE SUCH AS "5 MINUTE IDLE LIMIT", "SPARE THE AIR", "PLEASE TURN ENGINE OFF WHEN STOPPED", "TURN ENGINE OFF OR SIMILAR, GRAPHICS RELATED TO THE VEHICLE IDLE LIMITATION ARE PERMITTED ON THE SIGN.
 - NEW 23'-0"W x 8'-0"H. POWERED WROUGHT IRON GATES, PAINTED, GATE TO REMAIN OPEN DURING BUSINESS HOURS - SEE DETAIL 1A807 - INSTALL KNOX BOX PER FIRE DEPARTMENT STANDARD, V.I.F. LENGTH
 - COMPLIANT DISABLED PATH OF TRAVEL, SEE CIVIL DWGS.
 - NEW SLOPE DRIVEWAY SEE CIVIL DWGS.
 - PERIMETER IDENTIFICATION SIGN, REFER TO SITE PLAN NOTES 11, 12, 12.1 AND 12.2 FOR MORE INFORMATION
 - NEW 8'-0" HIGH CHAIN LINK FENCE WITH SLATS
 - EXISTING PUBLIC SIDEWALK TO REMAIN, SEE CIVIL DWGS.
 - EXISTING PUBLIC POWER POLE TO REMAIN, V.I.F.
 - EXISTING FDC, V.I.F.
 - EXISTING WATER METER TO REMAIN, V.I.F.
 - EXISTING PUBLIC RIGHT OF WAY PLANTER TO REMAIN, V.I.F.



Lot Area		Area (SF)	Acres
County of Los Angeles (M-2 IP Zone)		244,600	5.62
City of Los Angeles (M2-1V, O Zone)		27,247	0.63
TOTAL		271,847	6.24

Floor Area			
PERMITTED	Buildable Area	FAR	Permitted Floor Area
County of Los Angeles	244,600	1.00	244,600
City of Los Angeles	27,247	1.50	40,871
TOTAL	271,847	1.05	285,471

PROPOSED	LA County	City of LA	Total
Warehouse Component	42,877	9,182	52,059
Auxiliary Office Component	0	3,339	3,339
TOTAL	42,877	13,121	55,998
FAR	0.18	0.48	0.21

Lot Coverage			
PERMITTED	Coverage %	Lot Area	Coverage Area
County of Los Angeles	70%	244,600	171,220
City of Los Angeles	100%	27,247	27,247
TOTAL	73%	271,847	198,467

PROPOSED	Coverage %	Lot Area	Coverage Area
County of Los Angeles	18%	244,600	42,877
City of Los Angeles	48%	27,247	13,121
TOTAL	21%	271,847	55,998

Building Height		
PERMITTED	Height (FT)	Stories
County of Los Angeles (CSD)	30	No Limit
City of Los Angeles	45	3

PROPOSED	Height (FT)	Stories
County of Los Angeles	29'-0"	1
City of Los Angeles	29'-6"	1

Vehicular Parking		No parking required per AB 2097 - Project Site is within 1/2 mile of the Rosecrans Avenue BRT station for the Metro J Line (Silver), which qualifies as a Major Transit Stop.			
REQUIRED					
PROPOSED	Total				
County of Los Angeles	3				
City of Los Angeles	11				
TOTAL	16				

Bicycle Parking		REQUIRED	County of Los Angeles	Ratio	SF	Bike Parking
Short Term		1 per 20,000 SF	42,877		2	
Long Term		1 per 10,000 SF	42,877		4	
City of Los Angeles		Ratio	SF	Bike Parking		
Short Term		None required. No new construction or additions.				
Long Term		None required. No new construction or additions.				
PROPOSED		County of Los Angeles	Bike Parking			
Short Term		2				
Long Term		4				
City of Los Angeles		0				
Short Term		0				
Long Term		0				

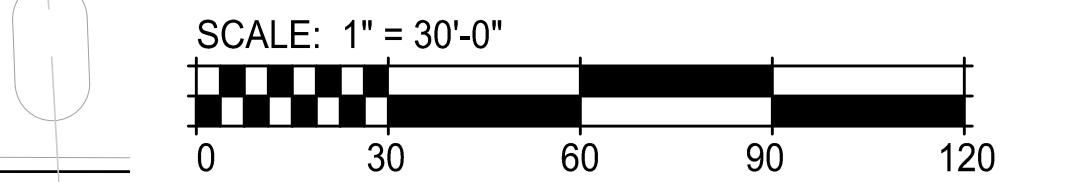
MAXIMUM AREA OF WALL OPENING PER
CBC 2022 TABLE 705.8

	DISTANCE TO PROPERTY LINE (FT.)	ALLOWABLE AREA
NORTH	VARIABLE FROM 31'-1" - 323'-10"±	NO LIMIT
EAST	48'-1"	NO LIMIT
SOUTH	VARIABLE FROM 25'-3" - 317'-5"±	NO LIMIT
WEST	37'-9"	NO LIMIT

- LEGEND
- # INDICATES NUMBER OF PARKING STALLS
 - EXISTING PROPERTY LINE
 - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
 - PROPOSED TREES. SEE LANDSCAPE DWGS.
 - NEW CONCRETE PAVING, SEE CIVIL DWGS.
 - EXISTING BUILDING FOOTPRINT INCLUDING NEW DOCK HIGH PLATFORM
 - EXISTING A.C. PAVING TO REMAIN
 - EXISTING CONCRETE PAVING TO REMAIN
 - NEW LIGHT FIXTURES SEE ELECTRICAL DWGS.
 - PATH OF TRAVEL - EXISTING ACCESSIBLE PATH OF TRAVEL 48" MINIMUM WIDTH (MAX. 1" ELEVATION CHANGES, MAX. 1:20 SLOPE, MAX. 1:50 CROSS SLOPE. V.I.F.

FIRE DEPARTMENT CONDITONS -
RPPL2023001916

- WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 20 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE OF THE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. (FIRE CODE 103.6)
- ALL LOCKING DEVICES SHALL COMPLY WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 5, COMPLIANCE FOR INSTALLATION OF EMERGENCY ACCESS DEVICES.
- THE DEVELOPMENT OF THIS PROJECT MUST COMPLY WITH ALL APPLICABLE CODE AND ORDINANCE REQUIREMENTS FOR CONSTRUCTION, ACCESS, WATER MAINS, FIRE FLOWS AND FIRE HYDRANTS.



JOB NO. CM220364

SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
BID SET	03/22/24
BID ADDENDUM 'A'	04/17/24
PLANNING RESUBMITTAL 1	06/20/24

REVISION	DATE
LABDS & LA COUNTY CORR.	02.06.24
BID ADDENDUM 'A'	04/15/24
BID ADDENDUM 'B'	04/23/24
BID ADDENDUM 'C'	06/21/24

LABDS STAMP



PROJECT: REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

SITE PLAN

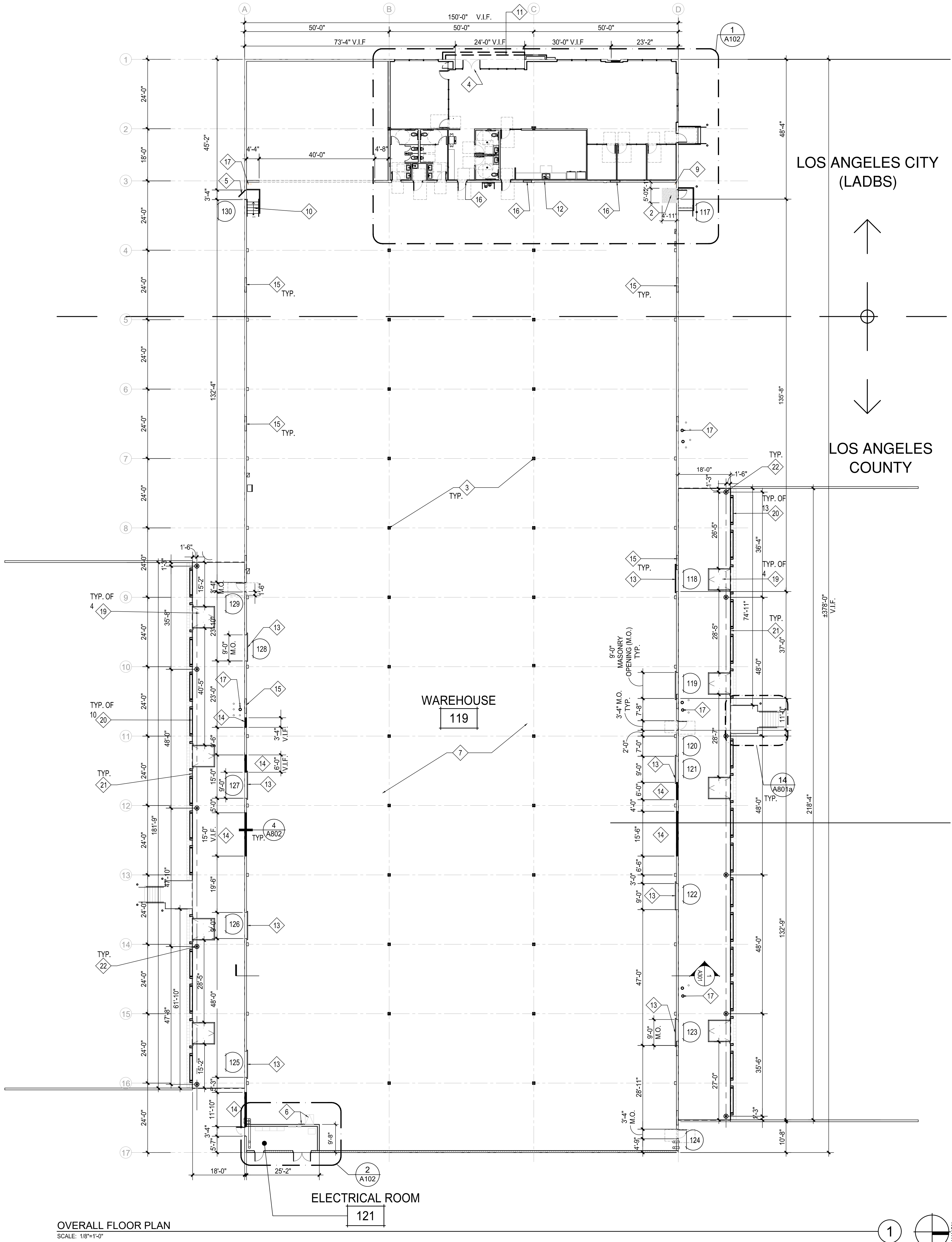
SHEET NO.

A001

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

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ACCESSIBILITY NOTES

- PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE WORKING CONDITIONS THOSE FEATURES OF FACILITIES AND EQUIPMENT THAT ARE REQUIRED TO BE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES. ISOLATED OR TEMPORARY INTERRUPTIONS IN SERVICE OR ACCESSIBILITY DUE TO MAINTENANCE OR REPAIRS SHALL BE PERMITTED.
- DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS33538 OF FEDERAL STANDARD 595C (CBC SECTION 11B-705.1.1.3
- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE SURFACE.
- DETECTABLE WARNING SURFACE: ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 1, CHAPTER 5, ARTICLE 2.3, AND 4. (CBC SECTION 11B-705.3)
- TRUNCATED DOMES TO COMPLY WITH CBC SECTION 11B-705.1.1

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS (MECH, ELEC, PLUMBING, SPRINKLER, ETC.) TO BUILDING OWNER AT JOB COMPLETION & PRIOR TO APPLICATION OF PAYMENT.
- PATCH AND REPAIR WALLS WHERE SWITCHES, OUTLETS, T-STATS, ETC. WERE REMOVED
- WHERE EXISTING WALLS, CEILINGS, ETC. ARE DAMAGED DUE TO DEMOLITION , THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.
- VERIFY ALL EXISTING CONDUITS, ROOF DRAINS, WORKING CONDITIONS, REPAIR AS NECESSARY.
- VERIFY THAT ALL EXISTING DOCK DOORS ARE WORKING PROPERLY. IF NOT, FIX/REPAIR AS REQUIRED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

WALL LEGEND

- EXISTING WALL / PARTITION TO REMAIN. REPAIR AND REPAINT AS REQUIRED. V.I.F
- NEW METAL STUD WALLS WITH GYP. BD. (SEE WALL TYPE LEGEND)
- NEW INFILL AT EXISTING WALL. FINISH TO MATCH EXISTING. ALIGN TO EXISTING FINISH WALL. (SEE WALL TYPE LEGEND)
- NEW 6\"/>

NOTE:

ALL BUILDING CONDITIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.

KEYNOTES

- PROPOSED WALL OPENING
- CONCRETE FILL AT EXISTING PIT. TO BE LEVELED TO ADJACENT CONCRETE SLAB AROUND
- EXISTING COLUMNS TO REMAIN. WAREHOUSE COLUMNS ARE TO BE PAINTED CAUTION YELLOW UP TO 12'-0\"/>

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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
BID SET	03/22/24
BID ADDENDUM 'A'	04/17/24
PLANNING RESUBMITTAL 1	06/20/24

REVISION	DATE
LA DBS & LA COUNTY CORR.	02.06.24
BID ADDENDUM 'A'	04/15/24
BID ADDENDUM 'B'	04/23/24
BID ADDENDUM 'C'	06/21/24

LADBS STAMP

CLIENT:

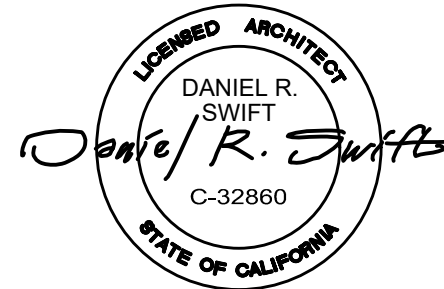


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

OVERALL FLOOR PLAN

SHEET NO.

A101

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

REVISION	DATE
A LADBS & LA COUNTY CORR.	02.06.24
A BID ADDENDUM 'A'	04/15/24
B BID ADDENDUM 'B'	04/23/24
C BID ADDENDUM 'C'	06/21/24



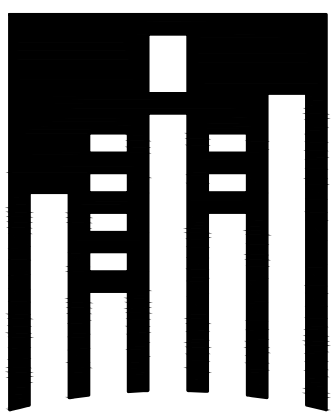
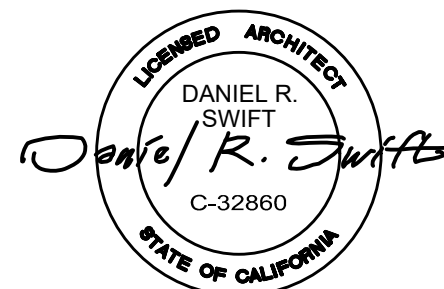
Rexford Industrial

PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



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A102

PLANNING RESUBMITTAL 1
03/22/2024



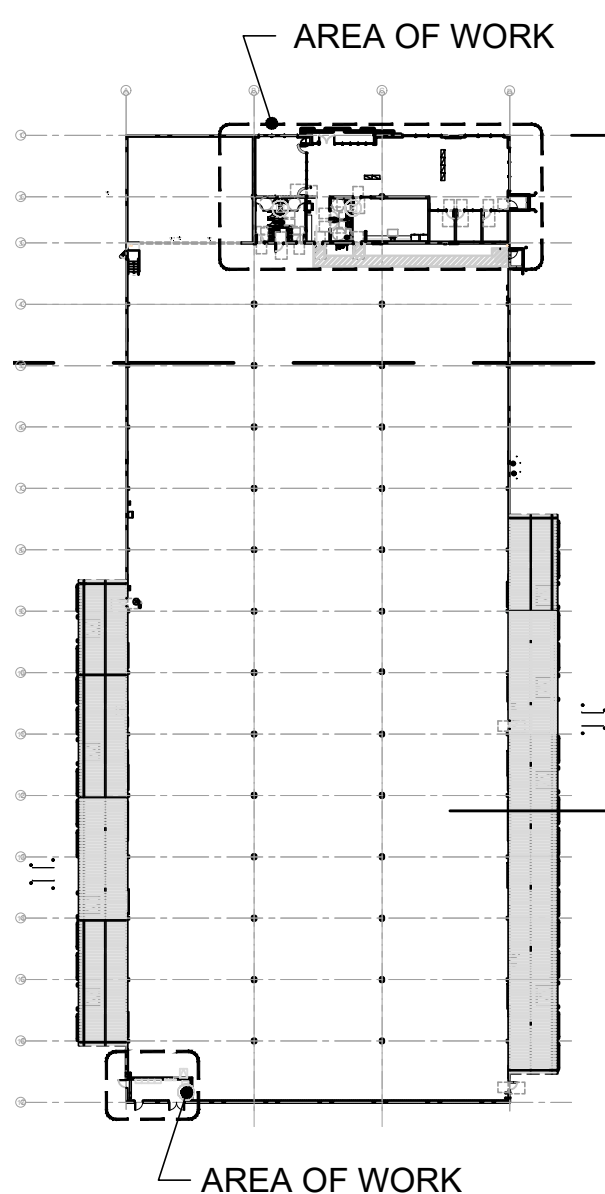
1. EXTEND OR MODIFY EXISTING FIRE SPRINKLER AND ALARM SYSTEMS, UNDER SEPARATE PERMIT. ALL NEW FIRE SPRINKLER HEADS IN OFFICE TO BE SEMI-RECESSED.
2. TYPE, FINISH, AND HEIGHT OF ALL EXTERIOR WINDOW/STOREFRONT SYSTEMS TO MATCH EXISTING.
3. ^{EXISTING}
4. EXISTING INDICATES A NEW EXIT SIGN. EXIT INDICATES AN EXISTING EXIT SIGN. (N) INDICATES SIGHTING OF EXISTING RELOCATED EXIT SIGN. EXIT SIGNS AND DIRECTIONAL EXIT SIGNS HAVE MIN. 4" X 24" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. WHENEVER THE EXISTING IS OCCUPIED, EXIT SIGNS SHALL BE LIT SO THEY ARE CLEARLY VISIBLE. EXIT SIGNS TO BE SEEN FROM FRANKLIN TRAIL.
5. ADJUST ALL NEW AND EXISTING DOOR CLOSERS TO REMAIN (WITHIN THE AREA OF WORK) NOT TO EXCEED A.D.A. MAXIMUM OPERATING FORCES WHERE APPLIES.
6. PROVIDE VENTILATION IN ACCORDANCE WITH CHAPTER 12 OF THE CALIFORNIA BUILDING CODE, 2022 EDITION. SEE MECHANICAL PLANS.
6. PROVIDE FIRE DAMPERS IN ALL DUCTS PENETRATING RATED WALLS AND CEILINGS.
7. ENCLOSED ATTIC SPACE & THE SPACE BETWEEN THE SUSPENDED CLO. & FLOOR ABOVE SHALL BE COVERED WITH FIRE SPRINKLER HEADS.
8. GLAZING WITHIN 24" ARC OF A SWING DOOR OR 18" FROM FLOOR SHALL COMPLY WITH SECTION 2408 OF THE CALIFORNIA BUILDING CODE AND BE TEMPERED.
9. CONTRACTOR TO VERIFY EXACT HEIGHT TO ROOF STRUCTURE WHERE FULL HEIGHT STUDS ARE INDICATED. CONTRACTOR MAY SUBMIT ALTERNATIVE FOR METAL STUD CONFIGURATION TO ACCOMMODATE THE SPAN.
10. ELECTRICAL PANELS, SUBPANELS, FIRE HOSE CABINETS, FIRE EXTINGUISHER CABINETS ETC. IN REQUIRED 1-HOUR WALLS SHALL BE PLACED AS SUCH NOT TO DISRUPT THE 1-HOUR RATING.
11. ALL GYPSUM BOARD HEADS SHALL BE BLOCKED WHERE IT DOES NOT FALL ON A FRAMING MEMBER.
12. CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS (MECH., ELEC., PLUMBING, SPRINKLER ETC.) TO BUILDING OWNER AT JOB COMPLETION & PRIOR TO APPLICATION OF PAYMENT.
13. PATCH AND REPAIR WALLS WHERE SWITCHES, OUTLETS, T-SLOTS, ETC. WERE REMOVED.
14. PROVIDE NEW FIRE EXTINGUISHERS. LOCATIONS OF EXTINGUISHERS TO BE DETERMINED BY FIRE/BUILDING INSPECTOR.

WALL LEGEND

- XXX DENOTES DOOR , SEE DOOR AND WINDOW SCHEDULE A501
- A DENOTES WINDOW AND STOREFRONT, SEE DOOR AND WINDOW SCHEDULE A501
- EXISTING WALL / PARTITION TO REMAIN, REPAIR AND REPAINT AS REQUIRED. V.I.F
- NEW METAL STUD WALLS WITH GYP. BD. (SEE WALL TYPE LEGEND)
- NEW INFILL AT EXISTING WALL. FINISH TO MATCH EXISTING, ALIGN TO EXISTING FINISH WALL. (SEE WALL TYPE LEGEND)
- NEW 6" METAL STUD WALL. FINISH TO MATCH EXISTING, ALIGN TO EXISTING FINISH WALL. (SEE WALL TYPE LEGEND)

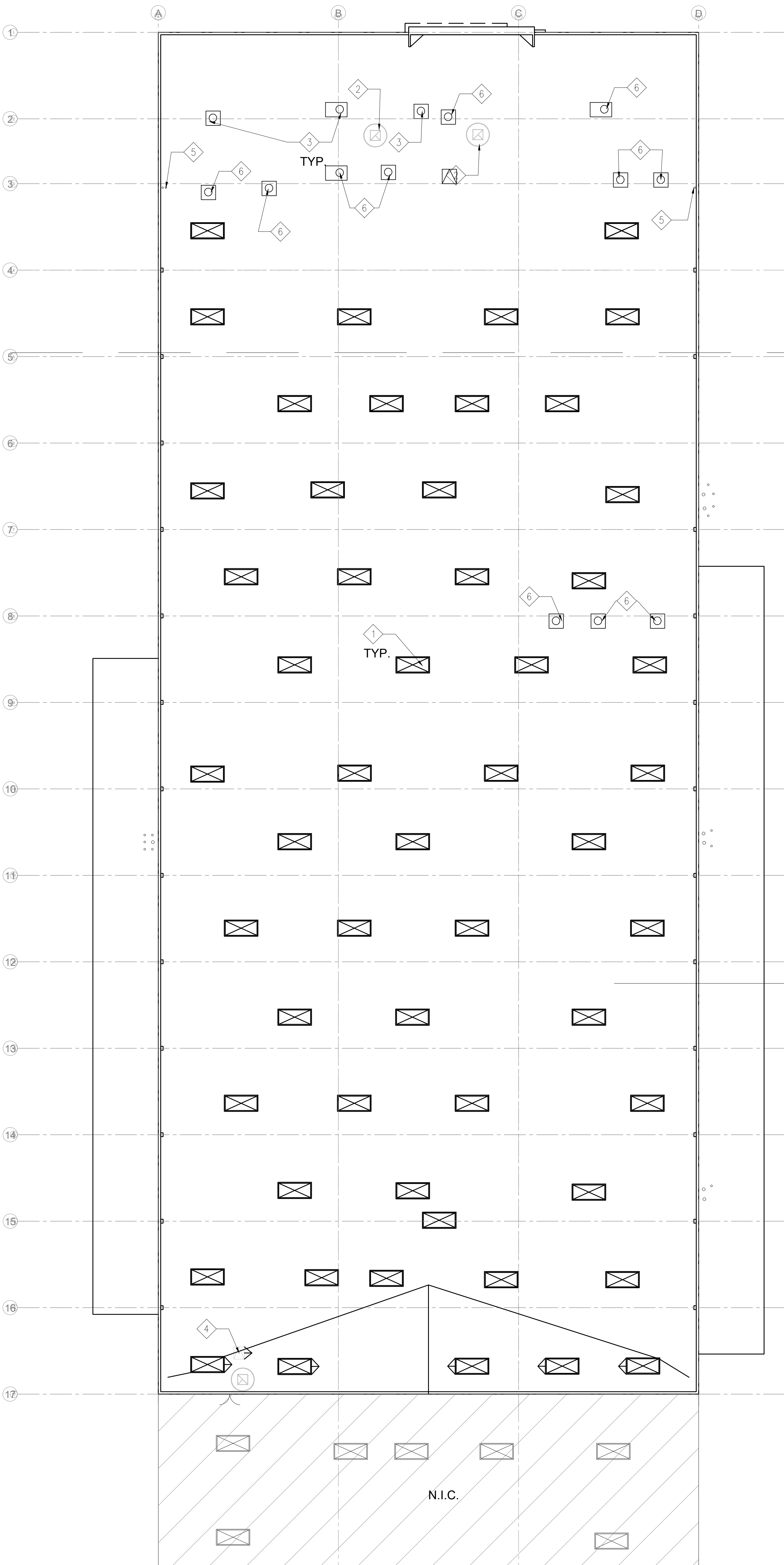


NOT TO SCALE



OFFICE ENLARGED FLOOR PLAN
SCALE: 1/4"=1'-0"

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ROOF PLAN
SCALE: 1/16"=1'-0"

LOS ANGELES CITY
(LADBS)

LOS ANGELES
COUNTY

ROOF PLAN GENERAL NOTES

- MINIMUM ROOF SLOPE TO DRAIN IS 1/4" PER FOOT
- NEW HEAT PUMP UNIT. REFER TO MECHANICAL DRAWINGS
- EXHAUST FAN. REFER TO MECHANICAL DRAWINGS
- WHERE EXISTING ROOF, ETC. ARE DAMAGED DUE TO DEMOLITION OR NEW CONSTRUCTION, THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.
- REMOVE ANY UNNECESSARY OR ABANDONED DUCTWORK, EQUIPMENT, ETC. WITHIN THE AFFECTED PORTIONS OF DEMOLITION.
- PATCH & REPAIR EXISTING ROOF, ROOF PARAPET TO MATCH EXISTING, WHERE OVERFLOW SCUPPER WAS REMOVED AND NEW OVERFLOW DRAIN WERE PROVIDED.
- INFORMATION PROVIDED ARE A RESULT OF LIMITED FIELD VERIFICATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING THE LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO DEMOLITION.
- ALL ROOF ELEVATIONS ARE REFERENCED FROM TOP OF FLOOR SLAB (FIN. FLR. ELEV. OF 0'-0") OR FROM DATUM LINE (0'-0") WHERE OCCURS, SEE BUILDING ELEVATIONS & SECTIONS TO LOCATE DATUM LINE.
- ALL ROOF WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S RECOMMENDATIONS AND APPROVED DETAILS- SEE SPEC'S.
- THE CONTRACTOR SHALL VERIFY THAT ALL AREAS TO RECEIVE SINGLE PLY ROOFING MEMBRANE, ARE PROVIDED W/ POSITIVE DRAINAGE AT 1/4" PER FOOT MINIMUM PRIOR TO ROOFING.
- VERIFY SIZES AND LOCATIONS OF ALL OPENINGS, PLATFORMS, ETC., WITH RESPECTIVE CONTRACTORS.
- ALL CRICKETS/FLASHING SHALL SLOPE A MINIMUM OF 1/2" PER FOOT.
- PROVIDE CRICKETS/FLASHING AROUND ALL CURBED ROOF OPENINGS.
- ALL ROOF DIMENSIONS ARE MEASURED TO THE FACE OF SHEATHING, U.N.O.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL TO RECEIVE PILLOW BLOCKS AS REQUIRED, MAX. 4'-0" APART.
- GENERAL CONTRACTOR TO PROVIDE ROOF JACKS AT ALL EXPOSED ROOF PENETRATIONS. SEE 5/A701
- PAINT ALL EXPOSED GALVANIZED STEEL PIPES, CONDUIT, ETC. VERIFY COLOR WITH ARCHITECT PRIOR TO PROCEEDING.
- ALL ROOF MOUNTED EQUIPMENT (IE HOODS, VENTILATORS, ETC.) SHALL BE PAINTED WITH TWO(2) COATS OF EXTERIOR SEMI-GLOSS PAINT. VERIFY COLOR WITH ARCHITECT PRIOR TO PROCEEDING.
- PRIME AND PAINT ALL MISC. EXPOSED STEEL FABRICATIONS AND G.S. COPINGS, FLASHINGS, ETC., COLOR TO MATCH ADJACENT SURFACE, U.N.O., TYP.
- PRIME AND PAINT INTERIOR (ROOF SIDE) SURFACE OF PLASTERED PARAPETS, TYP. PROVIDE PLASTER CONTROL JOINTS IN ALL PLASTERED PARAPETS AT 10'-0" O.C. MAX. TYP.

ROOF TYPE

ROOF TYPE #1:
GAF THERMOPLASTIC POLYOLEFIN (TPO) ROOF SYSTEM, CLASS 'N' ASSEMBLY. (UL #TGFUR1306), WITH MECHANICALLY FASTENED SINGLE PLY GAF EVERGUARD 60 MIL TPO MEMBRANE AND HEAT WELDED SEAMS, OVER A FIRE RESISTANT SLIP SHEET, ON PLYWOOD DECK. SCREW FASTENERS THROUGH BOARDS AND ROOF DECK, SPACED AS REQUIRED FOR FACTORY MUTUAL (FM) 140 WIND UPLIFT MINIMUM (FIELD, PERIMETER, AND CORNERS). PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE SYSTEM. INSTALL PER THE MOST CURRENT 'GAF' GUIDE SPECIFICATION, USING 'GAF' APPROVED ROOFING APPLICATORS. PROVIDE A 20-YEAR STANDARD 'GAF' WARRANTY FOR MATERIALS AND LABOR. SUBMIT DATA ON ROOF ASSEMBLY FOR REVIEW.

EVERGUARD 60 MIL TPO MEMBRANE, MECHANICALLY FASTENED WITH DRILLTEC PLATES. CRRG #0676-0001. SOLAR REFLECTANCE VALUE = 0.76, THERMAL EMITTANCE VALUE = 0.90, SRI = 94, COLOR: "WHITE". MAX. SLOPE SHALL NOT EXCEED 2-1/2 : 12.

WEIGHT = 40# / 100 SF

TOTAL WEIGHT PER ROOFING SQUARE: = 50# / 100 SF

PROVIDE TAPERED FOAM OR PLYWOOD FRAMED CRICKETS AT HVAC UNITS, WING WALLS AND SIMILAR OBSTRUCTIONS, AS REQUIRED FOR FLOW TO DRAIN.

PROVIDE MISC. FLASHINGS FOR PIPE AND CONDUITS PENETRATIONS PER 'GAF' RECOMMENDATIONS. COORD. WITH ELECT. AND PLUMB. DWGS.

MISC. METAL DETAILS, FABRICATION PRACTICES AND INSTALLATION METHODS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 'SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.' (SMACNA) MANUAL, LATEST ISSUE. ANY METAL COPINGS, FLASHINGS, ETC., OTHER THAN THAT PROVIDED BY 'GAF', ARE NOT COVERED UNDER THE 'GAF' WARRANTY.

ALL COOL ROOF PRODUCTS SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT LISTS THE REFLECTANCE AND EMITTANCE TESTED IN ACCORDANCE WITH CRRG-1.

KEYNOTES

- EXISTING ROOF SKYLIGHT TO BE REPAIRED, RE-PAINTED AS REQUIRED, V.I.F. ADD NEW BURGLAR BARS, PAINT FINISH
- EXISTING EXHAUST FANS/VENTS TO REMAIN, V.I.F. SEE MECHANICAL DRAWINGS.
- EXISTING MECHANICAL UNITS & EQUIPMENT PER MECHANICAL DRAWINGS.
- NEW ROOF ACCESS HATCH, SEE DETAIL 09/A805
- EXISTING ROOF DRAIN TO REMAIN, V.I.F. REPAIR, CLEAN AS REQUIRED
- EXISTING MECHANICAL UNITS TO BE ABANDONED, CAP AND PATCH AS REQUIRED, SEE MECHANICAL DRAWINGS.

JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
BID SET	03/22/24
BID ADDENDUM 'A'	04/17/24
PLANNING RESUBMITTAL 1	06/20/24

REVISION	DATE
LA LADBS & LA COUNTY CORR.	02.06.24
BID ADDENDUM 'A'	04/15/24
BID ADDENDUM 'B'	04/23/24
BID ADDENDUM 'C'	06/21/24

LADBS STAMP

CLIENT:

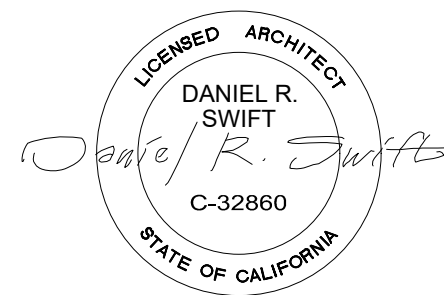


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

ROOF PLAN

SHEET NO.

A131

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

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JOB NO. CM220364

SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23

REVISION	DATE
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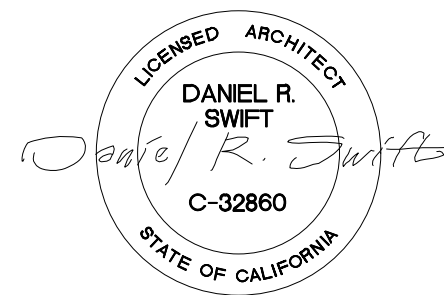


**Rexford
Industrial**

PROJECT: REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

CLIENT: **REXFORD INDUSTRIAL REALTY**
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

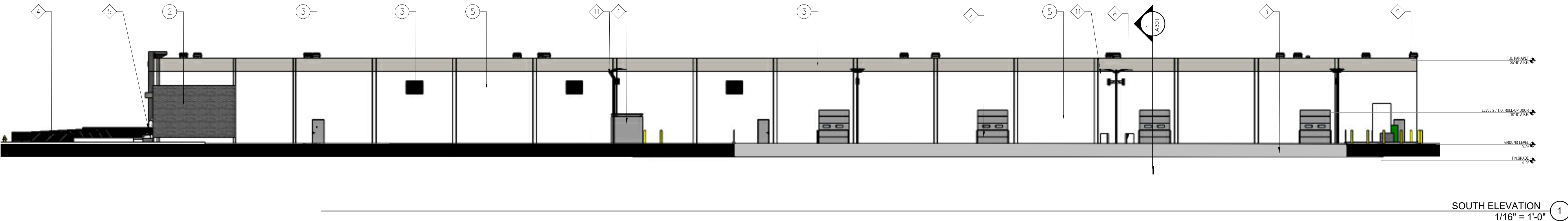
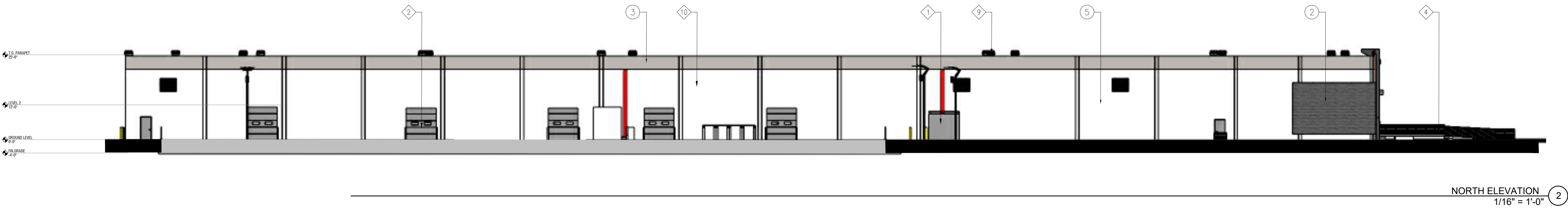
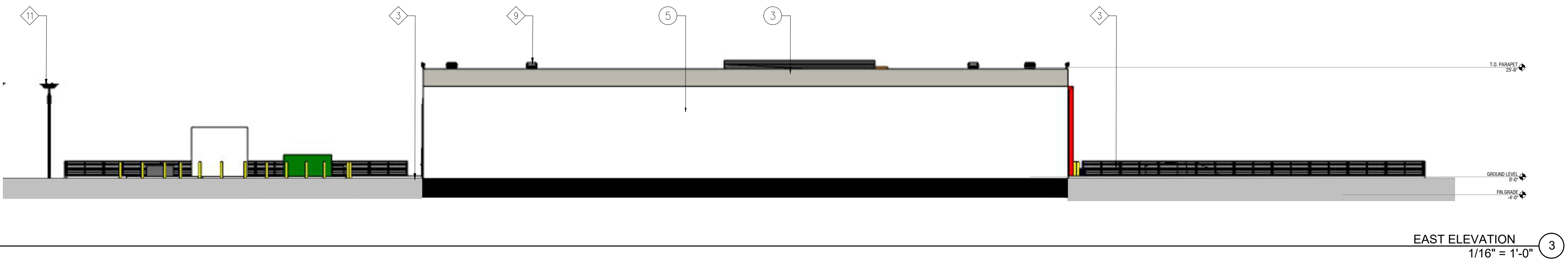
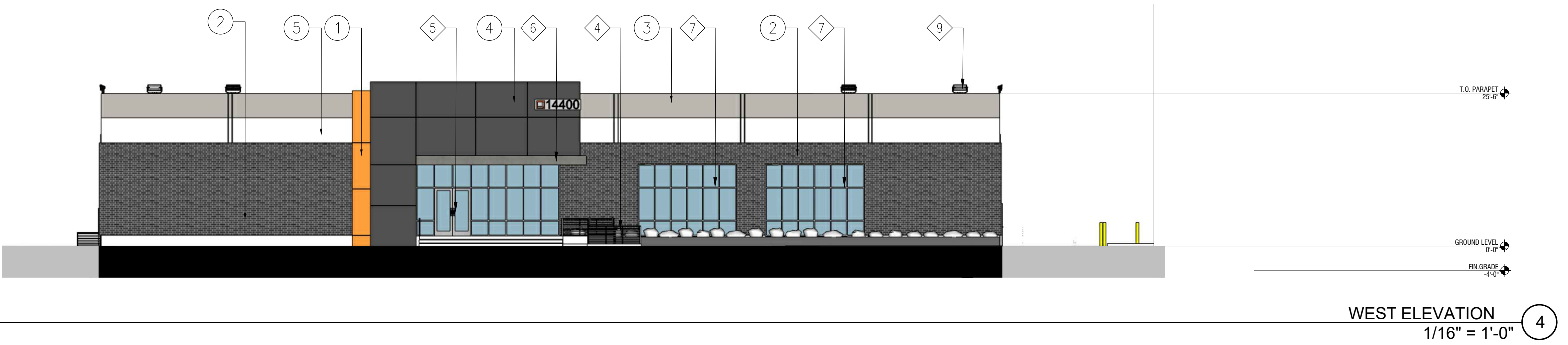
RENDERED EXTERIOR ELEVATIONS

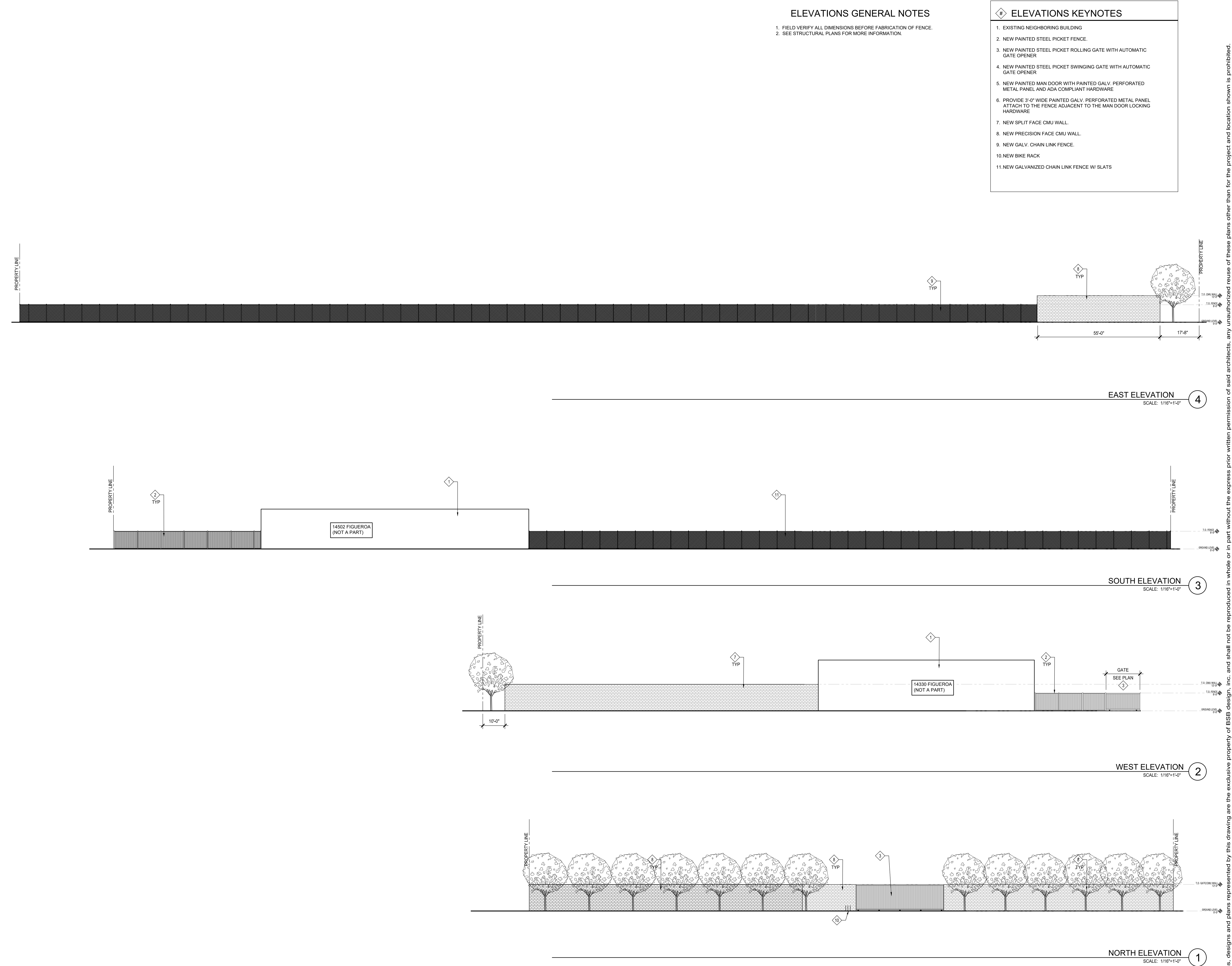
SHEET NO. 11111

February 06, 2024

SUBMITTAL SET
02/06/2024

#	MATERIAL/ PAINT CALLOUTS	#	ELEVATIONS KEYNOTES
1	SW 6887 NAVEL	1	PROPOSED TRASH ENCLOSURE
2	EXISTING BRICK FACADE TO BE PAINT SW 7674 PEPPER CORN	2	9'-0" X 10'-0" VERTICAL LIFT DOOR WITH DOCK BUMPERS, TYP.
3	SW 7673 PEWTER CAST	3	LOADING DOCKS
4	SW 7069 IRON ORE	4	PROPOSED RAMP WITH CABLE RAILING
5	SW 7003 TOQUE WHITE	5	EXISTING ENTRY
		6	NEW ALUCOBOND CANOPY
		7	PROPOSED STOREFRONT WINDOWS
		8	CONCRETE STAIRS
		9	NEW WALL PACKS
		10	FIRE RISER
		11	NEW LIGHT POLES





JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/26/23
BID SET	03/22/24
BID ADDENDUM 'A'	04/17/24
PLANNING RESUBMITTAL 1	06/20/24

REVISION	DATE
A LADBS & LA COUNTY CORR.	02.06.24
A BID ADDENDUM 'A'	04/15/24
A BID ADDENDUM 'B'	04/23/24
C BID ADDENDUM 'C'	06/21/24

LADBS STAMP

CLIENT:



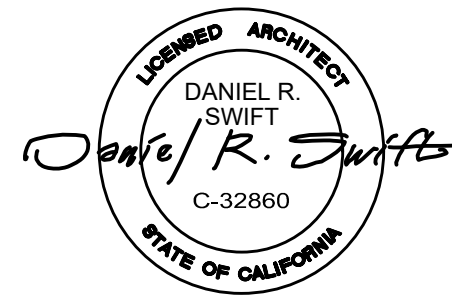
Rexford Industrial

PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
SITE ELEVATIONS

SHEET NO.
A201B

JUNE 20, 2024
PLANNING RESUBMITTAL 1
03/22/2024

JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/28/23
REVISION	DATE

LADBS STAMP

CLIENT:



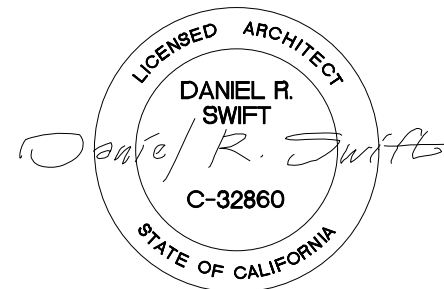
Rexford Industrial

PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
BUILDING SECTION

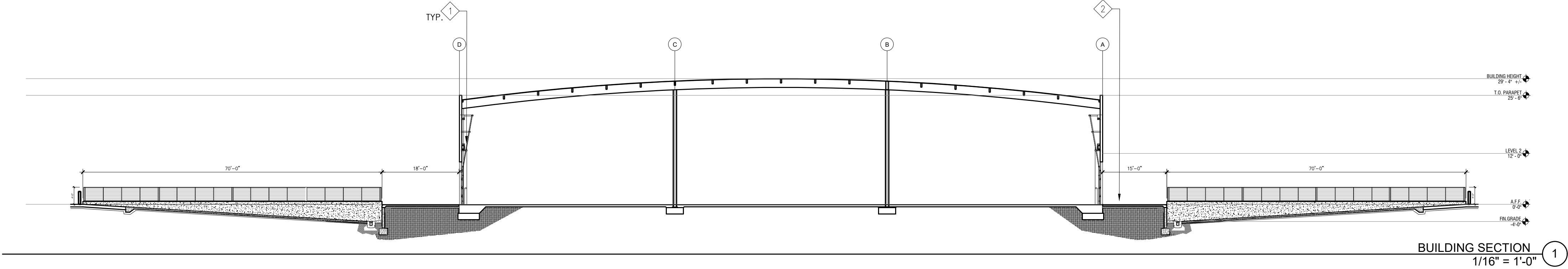
SHEET NO.

A301

February 06, 2024

SUBMITTAL SET
02/06/2024

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#	ELEVATIONS & SECTION KEYNOTES
1	9'-0" X 10'-0" VERTICAL LIFT DOOR WITH DOCK BUMPER, TYP.
2	LOADING DOCKS

22.84.010 - Purpose.

The Green Zone Districts are established to promote environmental justice in communities that are disproportionately affected by toxic pollutants and contaminants generated from various land uses over time. This Chapter provides regulations and procedures for new and existing land uses to ensure that such land uses will be operated in consideration of the surrounding sensitive uses as defined in [Chapter 22.14](#) (Definitions), minimizing potential adverse health and safety impacts, and promoting clean industrial uses. The Green Zone Districts are identified as the unincorporated communities of Avocado Heights, East Los Angeles, East Rancho Dominguez, Florence-Firestone, South San Jose Hills, West Whittier-Los Nietos, Walnut Park, West Athens-Westmont, Willowbrook, West Carson, and West Rancho Dominguez-Victoria.

([Ord. 2022-0023 § 25, 2022.](#))

22.84.020 - Applicability.

- A. General Applicability. This Chapter applies to uses that are located in permitted zones within the Green Zone Districts, as depicted on Figure 22.84.050-A, and meet all criteria described below:
- Types of uses.
 - New and existing, legally-established uses listed under the Industrial Uses category, except for the airport-related sub-category, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), including airports, heliports, helistops, and landing strips.
 - New and existing, legally-established uses listed under Recycling and Solid Waste Uses category in Table 22.22.030-B (Principal Use Regulations for Industrial Zones).
 - New and existing, legally-established uses listed under the Vehicle-Related Uses, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), except for the vehicle sales and rentals sub-category. Supply stores under the vehicle services sub-category that are within fully enclosed buildings are also not subject to this Chapter.
 - New automobile service stations and new drive-through establishments as defined in [Chapter 22.14](#) (Definitions), listed in Table 22.20.030-B (Principal Use Regulations for Commercial Zones).
 - Location of uses.
 - Any lots, or portion thereof, that contain the uses described in Subsections 1.a, 1.b, 1.c, or 1.d, above, and are located within a 500-foot radius of a lot that contains a sensitive use as defined in [Chapter 22.14](#) (Definitions) as of the effective date of this ordinance, shall comply with the requirements in sections 22.84.030, 22.84.040, and 22.84.050, below.
 - For the purpose of this Chapter, all requirements shall also apply to such lots, or portions thereof, if the sensitive use within a 500-foot radius is located within an incorporated area and is also a residential use.
 - Prohibited uses. The following uses are prohibited within a 500-foot radius of a lot containing a sensitive use in Green Zone Districts, except where noted:
 - Acid manufacture.
 - Anaerobic digestion facility, except as an accessory to a legally-established use that processes waste generated on-site only.
 - Auto dismantling (outdoor operation).
 - Cement, lime, gypsum, or plaster of Paris manufacture.
 - Chipping and grinding.
 - Combustion or non-combustion biomass conversion facility, except for a non-combustion biomass conversion facility that processes waste generated on-site only.
 - Composting facility, except for green waste composting only.
 - Compressed natural gas manufacture.
 - Construction and demolition facility, recycling.
 - Conversion technology facility, recycling, or solid waste.
 - Distillation of bones.
 - Drop hammers.
 - Explosives.
 - Forging works.
 - Fertilizer manufacture, except accessory composting of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Gas manufacture, except accessory anaerobic digestion of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Glue manufacture.
 - Inert Debris landfills.
 - Inert Debris processing facilities, recycling.
 - Materials recovery facilities, new.
 - Metal plating (prohibited within a 1,000-foot radius of a lot containing a sensitive use in Green Zone Districts).
 - Polymer plastics and foam manufacture.
 - scrap metal yards (outdoor operation).
 - Smelting of tin, copper, zinc or iron ores.
 - Solid waste landfills.
 - Tannery or the curing or storage of raw hides.
 - Transfer stations.
 - Schedule for compliance. Existing structures or development for the uses subject to this Chapter shall comply with the applicable provisions of this Chapter, pursuant to [Section 22.84.040](#) (Schedule for Compliance for Existing, Legally-Established Uses), below.
 - Exemption. Notwithstanding Subsection 1.a, above, this Chapter shall not apply to the following:
 - Any existing, legally-established uses that have been operating with an approved discretionary land use permit as provided by this [Title 22](#), until the expiration date of such permit or until a new discretionary permit is required.
 - Any existing, legally-established automobile service station, for which a valid building permit has been issued prior to the effective date of this ordinance.
- B. Exceptions.
- When in conflict with other provisions of [Title 22](#), the more restrictive requirements shall apply.

- Improvements made pursuant to this Chapter shall not be subject to [Chapter 22.172](#) (Nonconforming Uses, Buildings, and Structures).
([Ord. 2022-0023 § 25, 2022.](#))

22.84.030 - Standards and Requirements for Specific Uses.

- A. Application Requirements.
- The following uses shall require a Conditional Use Permit ([Chapter 22.158](#)) within a 500-foot radius of a lot containing a sensitive use in the Green Zone Districts as measured from any lot line.
 - Industrial Uses.
 - Assembly, manufacture, packaging, and storage of finished or prepared materials, including on-site manufacture of raw, natural, or synthesized flammable or toxic chemicals:
 - Earthen products, including ceramics, sand, and stone, but excluding brick, terra cotta, and tile manufacture.
 - Precious and semi-precious metal products, including jewelry and lapidary.
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 - Food processing:
 - Breweries.
 - Dairy products depots.
 - Slaughtering, dressing, processing, packing, and sale of poultry, fowl, rabbits, and other similar animals of comparable nature, form, and size.
 - Starch mixing and bottling.
 - Laundries and cleaning services, such as rug and carpet cleaning plants.
 - Manufacturing:
 - Blacksmith shops.
 - Boat building.
 - Concrete batching plants, mixers of one cubic yard capacity or smaller.
 - Engraving, machine metal engraving.
 - Fabricating.
 - Ice manufacturing, distribution, and storage.
 - Lubricating oil canning and packaging, limited to 100 barrels stored aboveground at a time.
 - Lumberyard.
 - Machine shops.
 - Paint mixing, excluding lacquers and synthetic enamels.
 - Presses, hydraulic presses for the molding of plastics.
 - Refrigeration plants.
 - Sand, the washing of sand to be used in sandblasting.
 - Sheet metal shops.
 - Stone, marble and granite; including grinding, dressing, and cutting.
 - Recycling and Solid Waste uses, including auto dismantling/recycling (indoor operation), and scrap metal (indoor operation).
 - Storage:
 -
 - Boat storage.
 - Building materials.
 - Bus storage.
 - Car barns for buses and streetcars.
 - Cold storage plants.
 - Contractor's equipment yards, including farm and building trade equipment.
 - Distributing plants.
 - Draying yards or terminals.
 - Fuel yards.
 - Machinery storage yards.
 - Moving van storage or operating yards.
 - Plaster storage.
 - Produce yards and terminals.
 - Storage and rental of plows, tractors, buses, contractor's equipment, and cement mixers.
 - Truck and RV storage, including container storage.
 - Warehouses, including storage warehouses, which have a gross floor area of 100,000 square feet or greater.
 - Waste hauler vehicle or waste hauler container storage.
 - Wood yards.
 - Tire retreading or recapping.
 - Valves, storage and repair of; including oil well valves.
 - Welding.
- B. Vehicle-Related Uses:
- Automobile washing, automatic car wash.
 - Automobile washing, coin-operated, or hand wash.
 - Vehicle services, automobile body and fender repair, and paint shops.
 - Vehicle services, automobile impound, and tow yards.
 - Vehicle services, automobile painting, and upholstering shops.
 - Vehicle services, any automobile repair garages that have accessory uses.
 -

Assembly, manufacture, packaging, and storage of finished or prepared materials, provided that no manufacturing of raw natural or synthesized materials, including flammable or toxic chemicals, is conducted on-site. Metal products and parts; including the fabricating, engraving, spinning, storing, plating, and finishing of, where the use prohibits snap riveting and any process used in bending or shaping, which produces any audible nuisance or disagreeable noise, is prohibited. Use of perchloric acid is prohibited. Use excludes foundries and forging works.

- Vehicle services, new automobile service stations, including compressed natural gas filling stations.
- Vehicle services, automobile supply stores (outdoor only).
- New development, change of use, or major improvements proposed on a site that is partially or entirely located within a half-mile radius of the boundaries of Superfund Sites, as identified in the Environmental Protection Agency (EPA) National Priorities List. For these uses, an environmental site assessment (Phase 1 Study) shall be submitted.
- Projects that propose grading. Where grading is proposed for a project subject to a Conditional Use Permit, such projects must comply with all federal, State, and local laws with regard to protection of Tribal Cultural Resources.
 - All other types of industrial or vehicle-related uses subject to this Chapter shall require a Ministerial Site Plan Review ([Chapter 22.186](#)) or Minor Conditional Use Permit ([Chapter 22.160](#)) application in compliance with this Section.
 - All uses subject to a Conditional Use Permit may be required to submit a noise evaluation report and control plans for odor, dust, and vibration prepared by a licensed professional at the request of Public Health. Mitigation measures, if required, shall be approved by Public Health prior to the permit being finalized.
- B. Additional Findings. When a Conditional Use Permit ([Chapter 22.158](#)) is required by this Section, or a Minor Conditional Use Permit ([Chapter 22.160](#)) is required by [Title 22](#), the following additional findings must be made in addition to the Conditional Use Permit findings required in [Section 22.158.050.B](#) (Findings and Decision) or Minor Conditional Use Permit findings in [Section 22.160.050](#) (Findings and Decision):
- The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property;
 - The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses; and
 - The proposed use and development of land protects public health and safety and promotes environmental sustainability.
- C. Development Standards.
- Development Standards for All Uses Subject to this Chapter.
 - Solid walls.
 - The following uses shall provide solid walls along the street frontage and any other lot lines adjoining a lot containing sensitive uses:
 - Boat storage.
 - Bus storage.
 - Organic waste facilities.
 - Pallet yards.
 - Recycling collection facilities.
 - Recycling processing facilities.
 - Truck and RV storage.
 - Uses that have accessory uses or secondary, related activities other than parking occurring outdoors.
 - Required solid walls shall meet the following standards:
 - Be of a uniform height between eight and 12 feet;
 - Be of a minimum thickness of six inches;
 - Be a neutral color; and
 - Be constructed in workmanlike manner and consist of materials such as concrete masonry unit ("CMU") or masonry, brick, etc.
 - Any type of fencing or wire is prohibited, except that metal gates may be permitted for the purpose of vehicular access.
 - Landscaping on street frontage. Required solid walls along street frontages shall be set back by landscaping of a minimum of five feet in depth, as described below, unless the landscaping encroaches into the required existing parking spaces and associated maneuvering areas, or existing building or structures. The landscaping shall be verified on a landscaping plan submitted to the Department and consist of the following:
 - One 15-gallon tree for every 100 square feet of landscaped area shall be planted and spaced 10 feet apart. The remaining area shall also be landscaped with grass, shrubs, or bushes, etc. All plants provided for required landscaping shall be drought-tolerant and include only non-invasive plant species.
 - The landscaping shall be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Trees shall be planted in locations that maintain the required lines of sight for safe pedestrian and vehicular movement and shall not cause root damage to the sidewalk or other public infrastructure, to the satisfaction of Public Works.
 - Trees planted near buildings or fire lanes shall be placed in locations that do not adversely impact the Fire Department operations or response times, to the satisfaction of the Fire Department.
 - Trees shall be selected from the Tree Species List maintained by the Director.
 - Landscaping equipment used for maintenance, such as lawn mowers and leaf blowers, shall be electric and non-combustion powered.
 - Notwithstanding [Chapter 12.84](#) (Low Impact Development Standards) of the County Code, parcels subject to this [Chapter 22.84](#) (Green Zone Districts) and less than one acre in size shall not be exempt from Low Impact Development requirements.
 - Storage of Materials, Vehicles, or Equipment.
 - Any materials, vehicles, or equipment that are stored outdoors shall not exceed the height of the surrounding wall, shall be fully contained within the property boundaries, and shall not spill over onto public rights-of-way.
 - Stored materials shall be set back at least 10 feet from the wall or the length equal to the wall height, whichever is greater.
 - The area between the stored materials and the wall may be landscaped.
- Enclosures.

- Any area used for storage or handling of hazardous materials, including above-ground storage tanks, shall be within an enclosure and fully screened from the public right-of-way;
 - A completely enclosed building shall be provided for the following, unless another regulatory agency requires natural ventilation as part of the regulatory code:
 - Any area where manufacturing or repair work occurs, such as assembly or disassembly of parts, repairs, processing of materials, or operation of equipment that emits or generates dust, smoke, gas, fumes, cinder, or waste; or
 - Recycling processing facilities, including auto dismantling activity, and scrap metal crushing and shredding.
 - Auto dismantling activity, and scrap metal crushing and shredding, shall be placed furthest away from nearby sensitive uses as possible and be fully enclosed within a building.
 - The garage door or opening of the enclosed building for auto dismantling activity, and scrap metal crushing and shredding, shall face the opposite direction of the nearest sensitive use and may be kept open during operation for ventilation.
- Ancillary operations, storage, and parking, aside from auto dismantling activity, and scrap metal crushing and shredding, may be conducted outdoors, provided that it is fully contained within the property boundaries and no storage or operation occurs on adjacent public rights-of-way or neighboring properties.
- Surfacing. Areas designated for vehicle parking, vehicle circulation, or storage of materials or equipment shall be paved with impervious materials such as an asphalt or an oil and aggregate mixture, use light color pavement, and be maintained to the satisfaction of the Director. Paved areas shall be clustered to maximize pervious area. Alternative paving materials may be permitted to the satisfaction of the Director and Public Works.
 - All areas of broken concrete or asphalt, including, but not limited to, divots, cracks, potholes, and spalling of concrete or asphalt in the raw material receiving area of a recycling processing facility, or any portion of the facility where waste materials are unloaded and touch the ground outside of an enclosure, shall be patched, repaired, or repaved as necessary to prevent standing water or puddles with a surface area greater than one square foot from accumulating.
 - Recycling and Solid Waste Storage. Any trash receptacles or storage areas for recycling and solid waste shall meet the requirements set forth in [Chapter 22.132](#) (Storage Enclosure Requirements for Recycling and Solid Waste).
 - Vehicular access and on-site circulation for cars and trucks. For new uses, driveway entrances and exits shall be located as far away from sensitive uses as feasible, and on-site vehicular circulation and truck loading and unloading areas, including truck loading docks, shall be located in the rear or on the side of structures, or as far away from the nearest sensitive use as feasible, to the satisfaction of the Director. Queuing and check-in points for trucks must be located on-site and furthest away from any property lines that are closest to any nearby sensitive use, when feasible. In cases of infeasibility for uses subject to a Conditional Use Permit, an additional finding must be made to justify why this may not be possible.
 - "No Idling" Sign Required. Where loading spaces are provided, the loading area shall include at least one sign stating that vehicle idling shall be limited to five minutes. Graphics related to the vehicle idle limitation are permitted on said sign. Said sign shall be a minimum size of 12 inches wide by 18 inches in height and shall be prominently displayed and visible from the loading spaces/area. Said sign may contain language such as "5-minute idle limit," "spare the air," "please turn off engine when stopped," or similar language.
 - Accessory Structures and Utilities. A site that contains an outdoor operation with an office shall permanently affix the building to the ground and provide one toilet that is served by public water and sewer, or otherwise approved by the Director, as well as by Public Health and Public Works.
 - Perimeter Identification Signs. In addition to the signs permitted by [Chapter 22.114](#) (Signs), and notwithstanding any contrary provisions in Division 10 (Community Standards Districts) in [Title 22](#), each facility or site shall provide a perimeter identification sign that complies with the following:
 - A perimeter identification sign shall be permanently affixed on a building or wall that is visible, and with text that is legible from the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. Freestanding signs or portable signs are prohibited as a perimeter identification sign.
 - A perimeter identification sign shall have a minimum sign area of four square feet and a maximum of nine square feet. The area for a perimeter identification sign shall not be accounted for in the area permitted for business signs specified in [Chapter 22.114](#) (Signs).
 - The perimeter identification sign shall permanently display hours of operation, telephone number of the facility representative, and emergency contact information for reporting any problems which may occur related to the operation of the facility 24 hours a day, seven days a week. The sign shall also include the business name unless the property also contains a separate business sign that is clearly visible from the public right-of-way. The sign shall also include instructions for reporting violations to the Department and Air Quality Management District (AQMD), where a use is also regulated by AQMD. Information for reporting violations shall include the following text, or as updated by the Department or South Coast Air Quality Management District (SCAQMD):
 - "To report a violation to the Los Angeles County Department of Regional Planning, call 213-974-6453 Monday—Thursday, 7 a.m. - 6 p.m., dial 2-1-1 at any time or email zoningenforcement@planning.lacounty.gov," and
 - "To report a violation to South Coast Air Quality Management District (SCAQMD), call 1-800-CUTSMOG or visit www.aqmd.gov."
 - Multi-tenant buildings or sites may provide one such sign containing the information for all tenants listed in Subsection C.1.iii, above, provided that each tenant has its own business identification sign that is clearly visible from the public right-of-way.
 - Hazardous sites. Any proposed project on a parcel known to be a hazardous property or listed on the Cortese List maintained by the California EPA shall provide appropriate federal, State, or local agency clearance letter for the site. In addition, any parcel known to

JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
△ -	-

LADBS STAMP



PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

GREEN ZONE DEVELOPMENT STANDARDS

SHEET NO. G001

February 06, 2024

SUBMITTAL SET
02/06/2024

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22.84.010 - Purpose.

The Green Zone Districts are established to promote environmental justice in communities that are disproportionately affected by toxic pollutants and contaminants generated from various land uses over time. This Chapter provides regulations and procedures for new and existing land uses to ensure that such land uses will be operated in consideration of the surrounding sensitive uses as defined in [Chapter 22.14](#) (Definitions), minimizing potential adverse health and safety impacts, and promoting clean industrial uses. The Green Zone Districts are identified as the unincorporated communities of Avocado Heights, East Los Angeles, East Rancho Dominguez, Florence-Firestone, South San Jose Hills, West Whittier-Los Nietos, Walnut Park, West Athens-Westmont, Willowbrook, West Carson, and West Rancho Dominguez-Victoria.

([Ord. 2022-0023 § 25, 2022.](#))

22.84.020 - Applicability.

- A. General Applicability. This Chapter applies to uses that are located in permitted zones within the Green Zone Districts, as depicted on Figure 22.84.050-A, and meet all criteria described below:
- Types of uses.
 - New and existing, legally-established uses listed under the Industrial Uses category, except for the airport-related sub-category, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), including airports, heliports, helistops, and landing strips.
 - New and existing, legally-established uses listed under Recycling and Solid Waste Uses category in Table 22.22.030-B (Principal Use Regulations for Industrial Zones).
 - New and existing, legally-established uses listed under the Vehicle-Related Uses, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), except for the vehicle sales and rentals sub-category. Supply stores under the vehicle services sub-category that are within fully enclosed buildings are also not subject to this Chapter.
 - New automobile service stations and new drive-through establishments as defined in [Chapter 22.14](#) (Definitions), listed in Table 22.20.030-B (Principal Use Regulations for Commercial Zones).
 - Location of uses.
 - Any lots, or portion thereof, that contain the uses described in Subsections 1.a, 1.b, 1.c, or 1.d, above, and are located within a 500-foot radius of a lot that contains a sensitive use as defined in [Chapter 22.14](#) (Definitions) as of the effective date of this ordinance, shall comply with the requirements in sections 22.84.030, 22.84.040, and 22.84.050, below.
 - For the purpose of this Chapter, all requirements shall also apply to such lots, or portions thereof, if the sensitive use within a 500-foot radius is located within an incorporated area and is also a residential use.
 - Prohibited uses. The following uses are prohibited within a 500-foot radius of a lot containing a sensitive use in Green Zone Districts, except where noted:
 - Acid manufacture.
 - Anaerobic digestion facility, except as an accessory to a legally-established use that processes waste generated on-site only.
 - Auto dismantling (outdoor operation).
 - Cement, lime, gypsum, or plaster of Paris manufacture.
 - Chipping and grinding.
 - Combustion or non-combustion biomass conversion facility, except for a non-combustion biomass conversion facility that processes waste generated on-site only.
 - Composting facility, except for green waste composting only.
 - Compressed natural gas manufacture.
 - Construction and demolition facility, recycling.
 - Conversion technology facility, recycling, or solid waste.
 - Distillation of bones.
 - Drop hammers.
 - Explosives.
 - Forging works.
 - Fertilizer manufacture, except accessory composting of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Gas manufacture, except accessory anaerobic digestion of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Glue manufacture.
 - Inert Debris landfills.
 - Inert Debris processing facilities, recycling.
 - Materials recovery facilities, new.
 - Metal plating (prohibited within a 1,000-foot radius of a lot containing a sensitive use in Green Zone Districts).
 - Polymer plastics and foam manufacture.
 - scrap metal yards (outdoor operation).
 - Smelting of tin, copper, zinc or iron ores.
 - Solid waste landfills.
 - Tannery or the curing or storage of raw hides.
 - Transfer stations.
 - Schedule for compliance. Existing structures or development for the uses subject to this Chapter shall comply with the applicable provisions of this Chapter, pursuant to [Section 22.84.040](#) (Schedule for Compliance for Existing, Legally-Established Uses), below.
 - Exemption. Notwithstanding Subsection 1.a, above, this Chapter shall not apply to the following:
 - Any existing, legally-established uses that have been operating with an approved discretionary land use permit as provided by this [Title 22](#), until the expiration date of such permit or until a new discretionary permit is required.
 - Any existing, legally-established automobile service station, for which a valid building permit has been issued prior to the effective date of this ordinance.
- B. Exceptions.
- When in conflict with other provisions of [Title 22](#), the more restrictive requirements shall apply.

- Improvements made pursuant to this Chapter shall not be subject to [Chapter 22.172](#) (Nonconforming Uses, Buildings, and Structures).
([Ord. 2022-0023 § 25, 2022.](#))

22.84.030 - Standards and Requirements for Specific Uses.

- A. Application Requirements.
- The following uses shall require a Conditional Use Permit ([Chapter 22.158](#)) within a 500-foot radius of a lot containing a sensitive use in the Green Zone Districts as measured from any lot line.
 - Industrial Uses.
 - Assembly, manufacture, packaging, and storage of finished or prepared materials, including on-site manufacture of raw, natural, or synthesized flammable or toxic chemicals:
 - Earthen products, including ceramics, sand, and stone, but excluding brick, terra cotta, and tile manufacture.
 - Precious and semi-precious metal products, including jewelry and lapidary.
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 - Food processing:
 - Breweries.
 - Dairy products depots.
 - Slaughtering, dressing, processing, packing, and sale of poultry, fowl, rabbits, and other similar animals of comparable nature, form, and size.
 - Starch mixing and bottling.
 - Laundries and cleaning services, such as rug and carpet cleaning plants.
 - Manufacturing:
 - Blacksmith shops.
 - Boat building.
 - Concrete batching plants, mixers of one cubic yard capacity or smaller.
 - Engraving, machine metal engraving.
 - Fabricating.
 - Ice manufacturing, distribution, and storage.
 - Lubricating oil canning and packaging, limited to 100 barrels stored aboveground at a time.
 - Lumberyard.
 - Machine shops.
 - Paint mixing, excluding lacquers and synthetic enamels.
 - Presses, hydraulic presses for the molding of plastics.
 - Refrigeration plants.
 - Sand, the washing of sand to be used in sandblasting.
 - Sheet metal shops.
 - Stone, marble and granite; including grinding, dressing, and cutting.
 - Recycling and Solid Waste uses, including auto dismantling/recycling (indoor operation), and scrap metal (indoor operation).
 - Storage:
 -
 - Boat storage.
 - Building materials.
 - Bus storage.
 - Car barns for buses and streetcars.
 - Cold storage plants.
 - Contractor's equipment yards, including farm and building trade equipment.
 - Distributing plants.
 - Draying yards or terminals.
 - Fuel yards.
 - Machinery storage yards.
 - Moving van storage or operating yards.
 - Plaster storage.
 - Produce yards and terminals.
 - Storage and rental of plows, tractors, buses, contractor's equipment, and cement mixers.
 - Truck and RV storage, including container storage.
 - Warehouses, including storage warehouses, which have a gross floor area of 100,000 square feet or greater.
 - Waste hauler vehicle or waste hauler container storage.
 - Wood yards.
 - Tire retreading or recapping.
 - Valves, storage and repair of; including oil well valves.
 - Welding.
- B. Vehicle-Related Uses:
- Automobile washing, automatic car wash.
 - Automobile washing, coin-operated, or hand wash.
 - Vehicle services, automobile body and fender repair, and paint shops.
 - Vehicle services, automobile impound, and tow yards.
 - Vehicle services, automobile painting, and upholstering shops.
 - Vehicle services, any automobile repair garages that have accessory uses.
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Assembly, manufacture, packaging, and storage of finished or prepared materials, provided that no manufacturing of raw natural or synthesized materials, including flammable or toxic chemicals, is conducted on-site. Metal products and parts; including the fabricating, engraving, spinning, storing, plating, and finishing of, where the use prohibits snap riveting and any process used in bending or shaping, which produces any audible nuisance or disagreeable noise, is prohibited. Use of perchloric acid is prohibited. Use excludes foundries and forging works.

- Vehicle services, new automobile service stations, including compressed natural gas filling stations.
- Vehicle services, automobile supply stores (outdoor only).
 - New development, change of use, or major improvements proposed on a site that is partially or entirely located within a half-mile radius of the boundaries of Superfund Sites, as identified in the Environmental Protection Agency (EPA) National Priorities List. For these uses, an environmental site assessment (Phase 1 Study) shall be submitted.
- Projects that propose grading. Where grading is proposed for a project subject to a Conditional Use Permit, such projects must comply with all federal, State, and local laws with regard to protection of Tribal Cultural Resources.
 - All other types of industrial or vehicle-related uses subject to this Chapter shall require a Ministerial Site Plan Review ([Chapter 22.186](#)) or Minor Conditional Use Permit ([Chapter 22.160](#)) application in compliance with this Section.
 - All uses subject to a Conditional Use Permit may be required to submit a noise evaluation report and control plans for odor, dust, and vibration prepared by a licensed professional at the request of Public Health. Mitigation measures, if required, shall be approved by Public Health prior to the permit being finalized.
- B. Additional Findings. When a Conditional Use Permit ([Chapter 22.158](#)) is required by this Section, or a Minor Conditional Use Permit ([Chapter 22.160](#)) is required by [Title 22](#), the following additional findings must be made in addition to the Conditional Use Permit findings required in Section 22.158.050.B (Findings and Decision) or Minor Conditional Use Permit findings in [Section 22.160.050](#) (Findings and Decision):
- The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property;
 - The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses; and
 - The proposed use and development of land protects public health and safety and promotes environmental sustainability.
- C. Development Standards.
- Development Standards for All Uses Subject to this Chapter.
 - Solid walls.
 - The following uses shall provide solid walls along the street frontage and any other lot lines adjoining a lot containing sensitive uses:
 - Boat storage.
 - Bus storage.
 - Organic waste facilities.
 - Pallet yards.
 - Recycling collection facilities.
 - Recycling processing facilities.
 - Truck and RV storage.
 - Uses that have accessory uses or secondary, related activities other than parking occurring outdoors.
 - Required solid walls shall meet the following standards:
 - Be of a uniform height between eight and 12 feet;
 - Be of a minimum thickness of six inches;
 - Be a neutral color; and
 - Be constructed in workmanlike manner and consist of materials such as concrete masonry unit ("CMU") or masonry, brick, etc.
 - Any type of fencing or wire is prohibited, except that metal gates may be permitted for the purpose of vehicular access.
 - Landscaping on street frontage. Required solid walls along street frontages shall be set back by landscaping of a minimum of five feet in depth, as described below, unless the landscaping encroaches into the required existing parking spaces and associated maneuvering areas, or existing building or structures. The landscaping shall be verified on a landscaping plan submitted to the Department and consist of the following:
 - One 15-gallon tree for every 100 square feet of landscaped area shall be planted and spaced 10 feet apart. The remaining area shall also be landscaped with grass, shrubs, or bushes, etc. All plants provided for required landscaping shall be drought-tolerant and include only non-invasive plant species.
 - The landscaping shall be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Trees shall be planted in locations that maintain the required lines of sight for safe pedestrian and vehicular movement and shall not cause root damage to the sidewalk or other public infrastructure, to the satisfaction of Public Works.
 - Trees planted near buildings or fire lanes shall be placed in locations that do not adversely impact the Fire Department operations or response times, to the satisfaction of the Fire Department.
 - Trees shall be selected from the Tree Species List maintained by the Director.
 - Landscaping equipment used for maintenance, such as lawn mowers and leaf blowers, shall be electric and non-combustion powered.
 - Notwithstanding [Chapter 12.84](#) (Low Impact Development Standards) of the County Code, parcels subject to this [Chapter 22.84](#) (Green Zone Districts) and less than one acre in size shall not be exempt from Low Impact Development requirements.
 - Storage of Materials, Vehicles, or Equipment.
 - Any materials, vehicles, or equipment that are stored outdoors shall not exceed the height of the surrounding wall, shall be fully contained within the property boundaries, and shall not spill over onto public rights-of-way.
 - Stored materials shall be set back at least 10 feet from the wall or the length equal to the wall height, whichever is greater.
 - The area between the stored materials and the wall may be landscaped.
- Enclosures.

- Any area used for storage or handling of hazardous materials, including above-ground storage tanks, shall be within an enclosure and fully screened from the public right-of-way;
 - A completely enclosed building shall be provided for the following, unless another regulatory agency requires natural ventilation as part of the regulatory code:
 - Any area where manufacturing or repair work occurs, such as assembly or disassembly of parts, repairs, processing of materials, or operation of equipment that emits or generates dust, smoke, gas, fumes, cinder, or waste; or
 - Recycling processing facilities, including auto dismantling activity, and scrap metal crushing and shredding.
 - Auto dismantling activity, and scrap metal crushing and shredding, shall be placed furthest away from nearby sensitive uses as possible and be fully enclosed within a building.
 - The garage door or opening of the enclosed building for auto dismantling activity, and scrap metal crushing and shredding, shall face the opposite direction of the nearest sensitive use and may be kept open during operation for ventilation.
- Ancillary operations, storage, and parking, aside from auto dismantling activity, and scrap metal crushing and shredding, may be conducted outdoors, provided that it is fully contained within the property boundaries and no storage or operation occurs on adjacent public rights-of-way or neighboring properties.
- Surfacing. Areas designated for vehicle parking, vehicle circulation, or storage of materials or equipment shall be paved with impervious materials such as an asphalt or an oil and aggregate mixture, use light color pavement, and be maintained to the satisfaction of the Director. Paved areas shall be clustered to maximize pervious area. Alternative paving materials may be permitted to the satisfaction of the Director and Public Works.
 - All areas of broken concrete or asphalt, including, but not limited to, divots, cracks, potholes, and spalling of concrete or asphalt in the raw material receiving area of a recycling processing facility, or any portion of the facility where waste materials are unloaded and touch the ground outside of an enclosure, shall be patched, repaired, or repaved as necessary to prevent standing water or puddles with a surface area greater than one square foot from accumulating.
 - Recycling and Solid Waste Storage. Any trash receptacles or storage areas for recycling and solid waste shall meet the requirements set forth in [Chapter 22.132](#) (Storage Enclosure Requirements for Recycling and Solid Waste).
 - Vehicular access and on-site circulation for cars and trucks. For new uses, driveway entrances and exits shall be located as far away from sensitive uses as feasible, and on-site vehicular circulation and truck loading and unloading areas, including truck loading docks, shall be located in the rear or on the side of structures, or as far away from the nearest sensitive use as feasible, to the satisfaction of the Director. Queuing and check-in points for trucks must be located on-site and furthest away from any property lines that are closest to any nearby sensitive use, when feasible. In cases of infeasibility for uses subject to a Conditional Use Permit, an additional finding must be made to justify why this may not be possible.
 - "No Idling" Sign Required. Where loading spaces are provided, the loading area shall include at least one sign stating that vehicle idling shall be limited to five minutes. Graphics related to the vehicle idle limitation are permitted on said sign. Said sign shall be a minimum size of 12 inches wide by 18 inches in height and shall be prominently displayed and visible from the loading spaces/area. Said sign may contain language such as "5-minute idle limit," "spare the air," "please turn off engine when stopped," or similar language.
 - Accessory Structures and Utilities. A site that contains an outdoor operation with an office shall permanently affix the building to the ground and provide one toilet that is served by public water and sewer, or otherwise approved by the Director, as well as by Public Health and Public Works.
 - Perimeter Identification Signs. In addition to the signs permitted by [Chapter 22.114](#) (Signs), and notwithstanding any contrary provisions in Division 10 (Community Standards Districts) in [Title 22](#), each facility or site shall provide a perimeter identification sign that complies with the following:
 - A perimeter identification sign shall be permanently affixed on a building or wall that is visible, and with text that is legible from the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. Freestanding signs or portable signs are prohibited as a perimeter identification sign.
 - A perimeter identification sign shall have a minimum sign area of four square feet and a maximum of nine square feet. The area for a perimeter identification sign shall not be accounted for in the area permitted for business signs specified in [Chapter 22.114](#) (Signs).
 - The perimeter identification sign shall permanently display hours of operation, telephone number of the facility representative, and emergency contact information for reporting any problems which may occur related to the operation of the facility 24 hours a day, seven days a week. The sign shall also include the business name unless the property also contains a separate business sign that is clearly visible from the public right-of-way. The sign shall also include instructions for reporting violations to the Department and Air Quality Management District (AQMD), where a use is also regulated by AQMD. Information for reporting violations shall include the following text, or as updated by the Department or South Coast Air Quality Management District (SCAQMD):
 - "To report a violation to the Los Angeles County Department of Regional Planning, call 213-974-6453 Monday—Thursday, 7 a.m. - 6 p.m., dial 2-1-1 at any time or email zoningenforcement@planning.lacounty.gov," and
 - "To report a violation to South Coast Air Quality Management District (SCAQMD), call 1-800-CUTSMOG or visit www.aqmd.gov."
 - Multi-tenant buildings or sites may provide one such sign containing the information for all tenants listed in Subsection C.1.iii, above, provided that each tenant has its own business identification sign that is clearly visible from the public right-of-way.
 - Hazardous sites. Any proposed project on a parcel known to be a hazardous property or listed on the Cortese List maintained by the California EPA shall provide appropriate federal, State, or local agency clearance letter for the site. In addition, any parcel known to

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SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
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CLIENT:

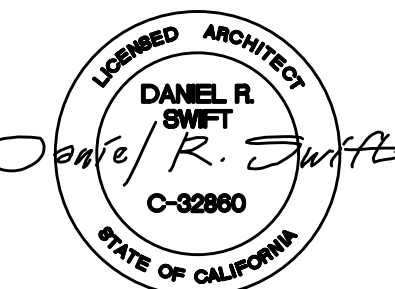


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
GREEN ZONE DEVELOPMENT
STANDARDS

SHEET NO. G001

February 06, 2024

SUBMITTAL SET
02/06/2024

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have a previous use that potentially generated hazardous materials shall demonstrate that the site is clear of contamination with a Phase 1 study.

2. New Development or Proposed Expansions to Existing, Legally-Established Uses Adjacent to Sensitive Uses.

a. Building setback. A minimum of a 10-foot setback shall be provided along the property lines adjacent to sensitive uses. Any proposed additions above the ground floor of existing, legally-established uses adjacent to sensitive uses shall also be set back 10 feet from the nearest property line.

b. Building height. Any new building or structures, or any portion proposed for additions, excluding chimneys, rooftop antennas, roof-mounted solar panels, or other rooftop equipment including HVAC units, air purifiers, etc., shall set back the portion of the building or structure one additional foot for every foot above 35 feet in height, up to a maximum height of 45 feet.
3. Standards for Specific Uses. In addition to Subsection C.1 and C.2, above, the following standards shall apply to the uses listed below on the effective date of this ordinance, unless otherwise specified.

a. Automobile and vehicle repair shops. No open vehicle hood is permitted outside of the building.

b. New automobile service stations, including compressed natural gas filling stations:

i. Are exempt from Subsection C.1, above.

ii. Shall locate the gasoline or fuel dispensing areas at least 50 feet from the nearest sensitive uses.

c. Warehouses. The following standards apply to new warehouses. The following standards, except for Subsection vi, below, apply to existing warehouses, and shall be met within five years of the effective date of this ordinance.

i. Utilize electric or alternatively fueled sweepers with HEPA filters.

ii. Utilize Energy Star heating, cooling, and lighting devices, and appliances.

iii. Off-road equipment. All off-road equipment (non-street legal), such as forklifts and other machinery, used on-site for warehouse operations shall be powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels (e.g., propane) that do not emit diesel particulate matter, and that are zero or low-emission.

iv. Landscaping equipment. All landscaping equipment, such as lawn mowers and leaf blowers used on-site shall be electrically powered.

v. Zero-emission or near-zero emission trucks. Warehouses with a minimum gross floor area of 100,000 square feet shall comply with AQMD Rule 2305 or current standards.

vi. New warehouses shall have a minimum 100-foot buffer consisting of office space, employee parking, and/or landscaping between primary operation and lot lines that are closest to nearby sensitive uses.

d. New drive-through establishments. The following standards shall apply to new drive-through establishments only:

i. Compliance with the requirements set forth in Subsection C.2.a, above.

ii. A maintenance plan shall be submitted as part of the Conditional Use Permit application, to the satisfaction of the Director, and the drive-through establishment shall comply with the maintenance plan.

iii. The location of the drive-through area, including cashier microphone, speakers, and drive-through lane, shall be located at least 20 feet from the property line of any adjoining residentially-zoned lot, and speakers and lighted menus shall be oriented away from such lots.

iv. Hours of operation for the drive-through area shall be no earlier than 6:00 a.m. and no later than 12:00 a.m.

v. A buffer, which may include a six-foot solid wall, as depicted on the site plan, shall be provided to reduce noise trespass from the drive-through area to any adjoining residentially-zoned lot.

vi. The required trash bin shall be enclosed by a decorative wall measuring at least five feet tall, but not more than six feet tall, and shall have solid doors.

D. Modification.

1. A modification may be requested through a Minor Conditional Use Permit (Chapter 22.160) application if the use is subject to a Minor Conditional Use Permit or Site Plan Review (Chapter 22.186), or through a Conditional Use Permit (Chapter 22.158) application if the use requires a Conditional Use Permit, for the development standards listed below:

a. Solid walls (Subsection C.1.a.ii).

b. Landscaping (Subsection C.1.b.i).

c. Accessory Structures and Utilities (Subsection C.1.i).

d. Signs (Subsection C.1.j.ii).

e. Warehouses (Subsections C.3.c.iii, iv, v, and vi).

2. When a modification is requested for any development standards listed in Subsection D.1, above, the following findings must be made in addition to the findings required in Subsection B (Additional Findings), above:

a.

Due to topographic or physical features of the site, strict compliance with all the required development standards would substantially and unreasonably interfere with the establishment of the proposed project or continuation of the existing operation on the subject property; and

E. Performance Standards for All Uses.

1. Hours of outdoor operation. No outdoor operation or activities shall be conducted between 6:00 p.m. and 8:00 a.m., daily, with the exception of truck loading and unloading into an enclosed building only.

2. Storage of Materials and Waste. All materials or waste shall be stored in designated receptacles, bins, or pallets, and located on a paved impermeable surface on site, or within an enclosed building.

3. Site Maintenance. Other than for the collection or receipt of items related to the principal use, exterior areas of the premises shall be maintained free of garbage, trash, debris, or junk and salvage except as stored in designated trash collection containers and enclosures.

F. Fees. When a Conditional Use Permit (Chapter 22.158) is required, fees may be assessed to offset the costs associated with the project mitigation, enforcement activities, operational impact mitigation studies, community benefit programs, and other costs related to the Project's impacts

on the surrounding communities.
(Ord. 2022-0023 § 25, 2022.)

22.84.040 - Schedule for Compliance for Existing, Legally-Established Uses.

A. Existing, legally-established uses that are subject to this Chapter shall be brought into compliance with all applicable requirements of this Chapter according to the schedule identified in Table 22.84.040-A, below, as follows, provided that the number of years to comply is accounted from the effective date of this ordinance:

TABLE 22.84.040-A: SCHEDULE FOR COMPLIANCE FOR EXISTING, LEGALLY-ESTABLISHED USES UP TO 500 FEET FROM A SENSITIVE USE ¹			
Permit Required	3 Years	5 Years	7 Years

Due to topographic or physical features of the site, strict compliance with all the required development standards would substantially and unreasonably interfere with the establishment of the proposed project or continuation of the existing operation on the subject property; and

b. The requested modification provides alternative means to prevent adverse effects on environment and public health of the community.

E. Performance Standards for All Uses.

1. Hours of outdoor operation. No outdoor operation or activities shall be conducted between 6:00 p.m. and 8:00 a.m., daily, with the exception of truck loading and unloading into an enclosed building only.

2. Storage of Materials and Waste. All materials or waste shall be stored in designated receptacles, bins, or pallets, and located on a paved impermeable surface on site, or within an enclosed building.

3. Site Maintenance. Other than for the collection or receipt of items related to the principal use, exterior areas of the premises shall be maintained free of garbage, trash, debris, or junk and salvage except as stored in designated trash collection containers and enclosures.

F. Fees. When a Conditional Use Permit (Chapter 22.158) is required, fees may be assessed to offset the costs associated with the project mitigation, enforcement activities, operational impact mitigation studies, community benefit programs, and other costs related to the Project's impacts on the surrounding communities.

(Ord. 2022-0023 § 25, 2022.)

22.84.040 - Schedule for Compliance for Existing, Legally-Established Uses.

A. Existing, legally-established uses that are subject to this Chapter shall be brought into compliance with all applicable requirements of this Chapter according to the schedule identified in Table 22.84.040-A, below, as follows, provided that the number of years to comply is accounted from the effective date of this ordinance:

TABLE 22.84.040-A: SCHEDULE FOR COMPLIANCE FOR EXISTING, LEGALLY-ESTABLISHED USES UP TO 500 FEET FROM A SENSITIVE USE ¹			
Permit Required	3 Years	5 Years	7 Years
SPR for uses up to 100 feet from a Sensitive Use	Installation of any one or both of the following combined and no other improvements: signage, landscaping	Installation of walls, surfacing, or specific standards for warehouses, along with or without any other improvements combined, if new building enclosure is not required	Installation of building enclosure and any other improvements for SPR
SPR for uses between 101—500 feet from a Sensitive Use	N/A	Installation of any one or all improvements, including specific standards for warehouses, if new building enclosure is not required	Installation of building enclosure and any other improvements for SPR
CUP or MCUP for uses up to 100 feet from a Sensitive Use	N/A	CUP or MCUP attainment and installation of any one or all improvements, if new building enclosure is not required; specific standards for warehouses.	Installation of building enclosure and any other improvements for CUPs or MCUPs
CUP or MCUP for uses between 101—500 feet from a Sensitive Use	N/A	N/A	CUP or MCUP attainment and installation of all improvements
Notes:			
1. Section 24.84.030.E (Performance Standards for all Uses), shall apply to existing, legally-established uses at the time of the compliance schedule deadline for the established use.			

1. Existing uses that are entirely or partially within a 100-foot radius of a lot containing a sensitive use in a permitted zone and:

a. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.b (Landscaping) or C.1.j (Perimeter Identification Signs) of Section 22.84.030, only and no other improvements required, three years;

b. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for any one or combination of the requirements specified in Subsections C.1.a through C.1.j of Section 22.84.030, except Subsection C.1.b (Landscaping) or C.1.j (Perimeter Identification Signs) alone or in combination, and except for Subsection C.1.d (Building Enclosure), five years;

c. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.3.c (Standards for Specific Uses, Warehouses) of Section 22.84.030, five years;

d. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.d (Building Enclosure) only, or Subsection C.1.d along with any other requirements of Section 22.84.030, seven years;

e. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter for the requirements specified in Subsections C.1.a (Solid walls), C.1.b (Landscaping on street frontage), C.1.j (Perimeter Identification Signs), or C.3.c (Standards for Specific Uses, Warehouses) only, of Section 22.84.030, five years; or

f. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter for all other requirements, seven years.

2. Existing uses that are entirely or partially located between a 101-foot radius and a 500-foot radius of any lot containing a sensitive use and:

a.

Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsections C.1.a through C.1.j, except for C.1.d (Building Enclosure) or subject to Subsection C.3.c (Standards for Specific Uses, Warehouses) of Section 22.84.030, five years;

b. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.d (Building Enclosure) along with or without any other requirements of Section 22.84.030, seven years; or

c. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter, seven years. Uses that are subject to a Conditional Use Permit, pursuant to this Chapter shall be brought into full compliance with all applicable requirements of this Chapter, no later than no later than seven years from the effective date of the this ordinance, or cease operations.

3. All existing uses that have been operating with an approved discretionary land use permit prior to the effective date of this ordinance, as provided by this Title 22, shall be brought into full compliance with all applicable requirements of this Chapter upon a renewal of such permits or requirement for a new discretionary permit.

4. Compliance shall be defined solely for this Chapter as the implementation and/or construction of all required development standards for uses subject to Chapter 22.84 within the timeframe identified in Table 22.84.040-A. For properties requiring improvements that fall into multiple compliance years, the longer timeline shall apply to all improvements.

5. Prohibited uses shall not be granted any time extension beyond their grant term, and shall not be subject to Chapter 22.172.

(Ord. 2022-0023 § 25, 2022.)

22.84.050 - Green Zone Districts Map.

The boundaries of the Green Zone District communities are shown on Figure 22.84.050-A: Green Zone Districts Boundaries, below.

FIGURE 22.84.050-A: GREEN ZONE DISTRICTS BOUNDARIES

(Ord. 2022-0023 § 25, 2022.)

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SUBMITTAL	DATE
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REVISION	DATE
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CLIENT:

PROJECT:

REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT:

REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

SHEET TITLE
GREEN ZONE DEVELOPMENT
STANDARDS

SHEET NO.

G002

February 06, 2024

SUBMITTAL SET
02/06/2024

22.350.010 - Purpose.

The West Rancho Dominguez-Victoria Community Standards District ("CSD") is established to implement the goals and policies of the West Rancho Dominguez-Victoria Land Use Plan and Implementation Program. Furthermore, this Chapter is intended to mitigate potential incompatibilities associated with the close proximity of industrial and residential zoning and land use within this CSD and to enhance the appearance of this CSD by setting forth development and building standards.

(Ord. 2019-0004 § 1, 2019.)

22.350.020 - Definitions.

The following terms are defined solely for this CSD:

Commercial horse stable. A facility used for the business of stabling horses and for services related to the maintenance and care of the horses stabled at the facility.

(Ord. 2019-0004 § 1, 2019.)

22.350.030 - District Map.

The boundaries of this CSD are shown on Figure 22.350-A: West Rancho Dominguez-Victoria CSD Boundary, at the end of this Chapter.

(Ord. 2019-0004 § 1, 2019.)

22.350.040 - Applicability.

(Reserved)

22.350.050 - Application and Review Procedures.

(Reserved)

22.350.060 - Community Wide Development Standards.

A. Graffiti. To encourage the maintenance of exterior walls free from graffiti, the following shall apply to all premises within this CSD:

1. All structures, walls, and fences open to public view shall remain free of graffiti.
- 2.

In the event such graffiti occurs, the property owner, lessee, or agent thereof shall remove such graffiti within 72 hours, weather permitting. Paint utilized in covering such graffiti shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

B. Oil Well Properties. To improve the visual appearance of this CSD, properties containing oil wells where active extraction is taking place shall be fenced and landscaped in accordance with the following requirements:

1. For properties abutting a Residential Zone or a street, a solid masonry wall or solid fence in compliance with Section 22.140.430.C.2 (Fences and Walls) or a fence in compliance with Section 11.48.030 (Fencing Specifications) in Title 11 (Health and Safety) of the County Code shall be erected around each oil well. The wall or fence shall be not less than six feet in height and shall be provided with landscaping in accordance with Section 22.140.430.C.4 (Landscaping Requirements). The required landscaping for any fence erected in compliance with Section 11.48.030 in Title 11 shall be planted so as to completely screen the fence within five years from the date of erection of the fence.
2. All oil well equipment, structures, facilities and sites shall be maintained in good condition and accumulations of trash and debris shall be removed regularly.

C. Commercial Horse Stables.

1. Commercial horse stables and other commercial uses that use horse stables are permitted in Zone M-1.5 and higher. To ensure that these uses are developed and used in a safe and orderly manner and are compatible with existing land use patterns, these uses shall comply with the following:
 - a. Feed Storage Area. The facility shall have a feed storage area sufficient in size to accommodate the feed necessary for all horses kept at the facility and an unblocked, clear path for access to and from such feed storage area;
 - b. Manure Management Area. The facility shall have a manure management area with manure containers stored in a place or direction sufficiently away from the feed storage area and horse stalls to avoid unhealthful conditions for the horses;
 - c. Tack Storage Area. The facility shall have a tack storage area with sufficient space for the storage and maintenance of riding tack for the horses kept at the facility;
 - d. Water Storage Area. Each horse stall in the facility shall have a water storage area with an adequate delivery method of water of sufficient size for the horse kept in that stall;
 - e. Wash Rack Area. The facility shall have a wash rack area sufficient in size to accommodate the number of horses kept at the facility;
 - f. Horse Stall Size and Construction. Each horse stall within the facility shall have a minimum length, height, and width of 12 feet and shall be constructed in a workmanlike manner. The horse stalls shall be constructed of fire-resistant material appropriate for equine

containment facilities. No more than one horse shall be permitted to be stabled in any horse stall;

- g. Horse Stall Access Area. Each horse stall within the facility shall have a minimum access area of 12 feet in width for the ingress and egress and the access area shall be clear and accessible at all times. If the horse stall access area is covered, the cover shall have a minimum height of 12 feet;
- h. Horse Recreation Area.
 - i. For any facility that is not adjacent to a publicly-designated riding area or equestrian trail, the facility shall have a horse recreation area that contains the following:
 - (1) A minimum of one 50-foot diameter round pen for a facility that has a maximum of 25 horse stalls and an additional pen of these dimensions for every additional increment of one to 25 horse stalls at the facility; plus
 - (2) A minimum of one 60-foot by 100-foot riding arena for any facility that has a maximum of 50 horse stalls and an additional riding arena of these dimensions for every additional increment of one to 50 horse stalls at the facility.

- ii. The horse recreation areas shall be for use only by the horses stabled at the facility;
 - iii. Temporary uses within the horse recreation area may be permitted with an approved Special Event Permit (Chapter 22.188);
 - i. Fences or Walls. The facility shall have a perimeter fence or wall with a minimum height of six feet and a maximum height of 10 feet. All fences or walls shall be of uniform height, built in a workmanlike manner, and constructed solely of new materials. No chain link fencing shall be permitted for this purpose; and
 - j. Parking. The facility shall have a minimum of one vehicle parking space, eight and one-half feet in width by 18 feet in depth, plus one vehicle parking space, nine feet in width by 44 feet in depth, for every increment of one to four horse stalls at the facility. Adequate access to these required parking spaces shall also be provided. Other than as specified above, parking spaces shall be developed in accordance with Chapter 22.112 (Parking).
2. Maintenance. The facility shall be neatly maintained and free of junk and salvage, and all structures, including but not limited to the horse stalls, horse recreation areas, and fences or walls, shall be maintained in good condition at all times.
3. Site Plan Depiction. Compliance with the requirements of Subsection C.1, above, shall be depicted on an approved site plan for the commercial horse stable or other commercial use that uses a horse stable.
4. Additional Requirements. The requirements in this Subsection C shall be in addition to any other applicable requirements in the County Code related to the uses governed by this Subsection C.

(Ord. 2019-0004 § 1, 2019.)

22.350.070 - Zone Specific Development Standards.

A. Zone R-1.

1. The required front yard shall contain a minimum of 50 percent landscaping.
2. Where the rear yard abuts an Industrial Zone, a three-foot landscaped planter strip containing one 15-gallon tree for each 50 square feet of planter area shall be installed along the rear property line. This provision shall not apply to the section of the rear yard where garages or accessory structure may be erected.

B. Zone R-2. The requirements specified in Zone R-1 of this Section shall apply to Zone R-2.

C. Zone C-2. Vehicle parking requirements for the following uses shall be modified as follows: Markets of less than 5,000 square feet, banks, bookstores, delicatessens, drug stores, and office supply stores shall provide a minimum of one parking space for every 400 square feet of gross floor area. Restaurants of less than 1,000 square feet of gross floor area shall provide a minimum of five parking spaces, and restaurants of at least 1,000 square feet of gross floor area shall be granted a maximum 25 percent reduction of the otherwise required parking.

D. Zone C-3.

1. The vehicle parking requirements specified in Zone C-2 of this Section shall apply to Zone C-3.
2. A building or structure shall not exceed a height of 45 feet above grade, excluding chimneys and rooftop antennas.

E. Zone C-M.

1. Buildings and structures shall be set back a minimum of ten feet from the front property line. The front 10 feet of the setback, not including access, parking, and circulation areas, shall be landscaped.
2. For properties abutting a Residential Zone, a landscaped buffer of at least five feet shall be provided and shall be automatically irrigated by a permanent watering system. One 15-gallon tree for every 50 square feet of landscaped area shall be planted equally spaced within the buffer strip.
3. For properties abutting a Residential Zone, a solid masonry wall or solid fence of at least eight feet in height in compliance with Section 22.140.430.C.2 (Fences and Walls) shall be erected along the property lines separating the two uses.
4. To mitigate noise, all loading docks shall be located as far distant as feasible from adjoining Residential Zones.
5. A building or structure located within 250 feet of a Residential Zone shall not exceed a height of 45 feet above grade, excluding chimneys and rooftop antennas.
6. A building or structure located more than 250 feet from a Residential Zone shall not exceed a height of 90 feet above grade, excluding chimneys and rooftop antennas.
7. The maximum lot coverage shall not exceed 70 percent.
8. All uses except for parking, vending machines, shopping carts, and accessory uses shall be conducted entirely within a building.
9. Outside storage shall not be visible by pedestrians on adjacent residentially zoned streets or by persons on neighboring residentially zoned properties.

F. Zone M-1.

1. The requirements specified in Zone C-M of this Section shall apply to Zone M-1.
2. All activities conducted outside an enclosed structure and located within 500 feet of a Residential Zone, except for parking, vending machines, shopping carts, and accessory uses, shall require a Conditional Use Permit (Chapter 22.158).
3. For properties abutting a Residential Zone, the following uses shall require a Conditional Use Permit (Chapter 22.158):
 - Acetylene, the storage of oxygen and acetylene;
 - Automobile body and fender repair shops;
 - Automobile painting and upholstery;
 - Batteries, the manufacture and rebuilding of batteries;
 - Blacksmith shops;
 - Building materials, storage of;
 - Bus storage;
 - Cannery, except meat or fish;
 - Car barns for buses and street cars;
 - Cellophane, the manufacture of cellophane products;
 - Cesspool pumping, cleaning and draining;

- Concrete batching, provided that the mixer is limited to one cubic yard capacity;
 - Explosives storage;
 - Fuel yard;
 - Generators, the manufacture of electrical generators;
 - Granite, the grinding, cutting, and dressing of;
 - Lumberyards, except the storage of boxes or crates;
 - Marble, the grinding, cutting, and dressing of;
 - Stone, marble, and granite, and grinding, dressing, and cutting of;
 - Tire retreading;
 - Truck storage or rental;
 - Wood yards.
4. Notwithstanding the provisions of Subsection F.3, above, premises in Zone M-1 may be used for the following accessory uses:
- Acetylene, the storage of oxygen and acetylene;
 - Building materials, storage of;
 - Concrete batching, provided that the mixer is limited to one cubic yard capacity;
 - Truck storage.

5. The minimum lot size shall be 10,000 square feet with a minimum lot width of 75 feet. Lots legally created prior to the effective date of the ordinance establishing this CSD shall not be required to comply with this requirement.

G. Zone M-1.5. The requirements specified in Zones C-M and M-1 of this Section shall apply to Zone M-1.5.

H. Zone M-2.

1. The requirements specified in Zone C-M and Zone M-1 of this Section shall apply to Zone M-2.
2. Automobile dismantling yards, junk salvage yards, and scrap metal processing yards shall not be permitted within 500 feet of a Residential Zone.
3. Automobile dismantling yards, junk and salvage yards, and scrap metal processing yards shall provide a wall or fence of at least eight feet in height in compliance with Section 22.140.430.C.2 (Fences and Walls) along all street frontages. The wall or fence shall be set back at least three feet from property lines having street frontage. The setback area shall be landscaped with shrubs, and one 15-gallon tree for every 50 square feet of landscaped area shall be planted equally spaced within the setback.
4. The minimum lot size shall be 20,000 square feet with a minimum lot width of 100 feet. Lots legally created prior to the effective date of the ordinance establishing this CSD shall not be required to comply with this requirement.

I. Zone B-1.

1. Accessory uses. Premises shall not be used for accessory buildings and structures.
2. Prohibited uses. Premises shall not be used for outside storage or for the parking of vehicles for over 72 continuous hours.

J. Zone B-2. The requirements specified in Zone B-1 of this Section shall apply to Zone B-2.

(Ord. 2021-0010 § 44, 2021; Ord. 2019-0004 § 1, 2019.)

22.350.080 - Area Specific Development Standards.

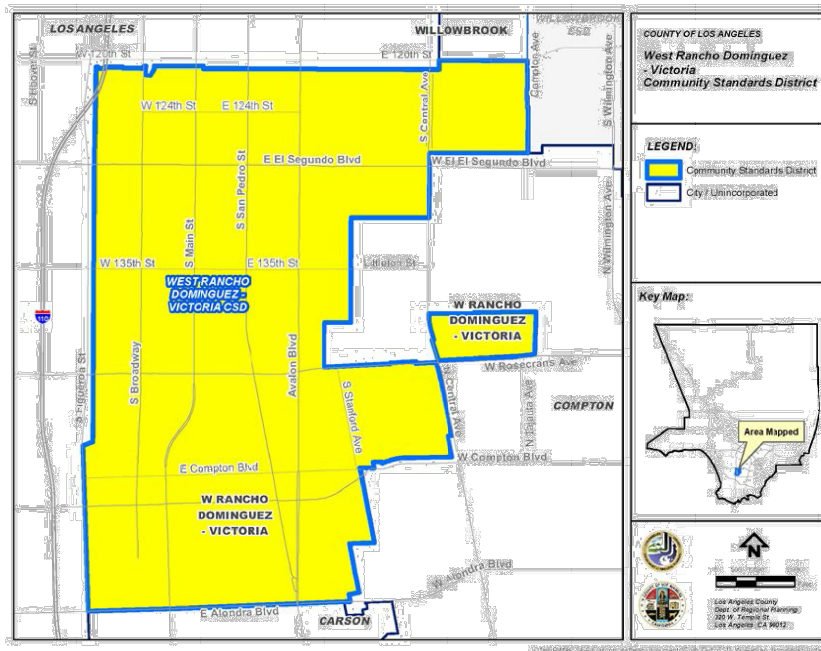
(Reserved)

22.350.090 - Modification of Development Standards.

With the exception of the Section 22.350.060.C.1.j (Parking), any modification from the requirements set forth in Section 22.350.060.C.1 shall require a Conditional Use Permit (Chapter 22.158) application. With respect to the parking requirements in Section 22.350.060.C.1.j (Parking), a modification can be obtained through any applicable method under this Title 22 that authorizes a reduction in required parking.

(Ord. 2019-0004 § 1, 2019.)

FIGURE 22.350-A: WEST RANCHO DOMINGUEZ-VICTORIA CSD BOUNDARY





Perspective - View from Rosecrans



Perspective - View from Southwest



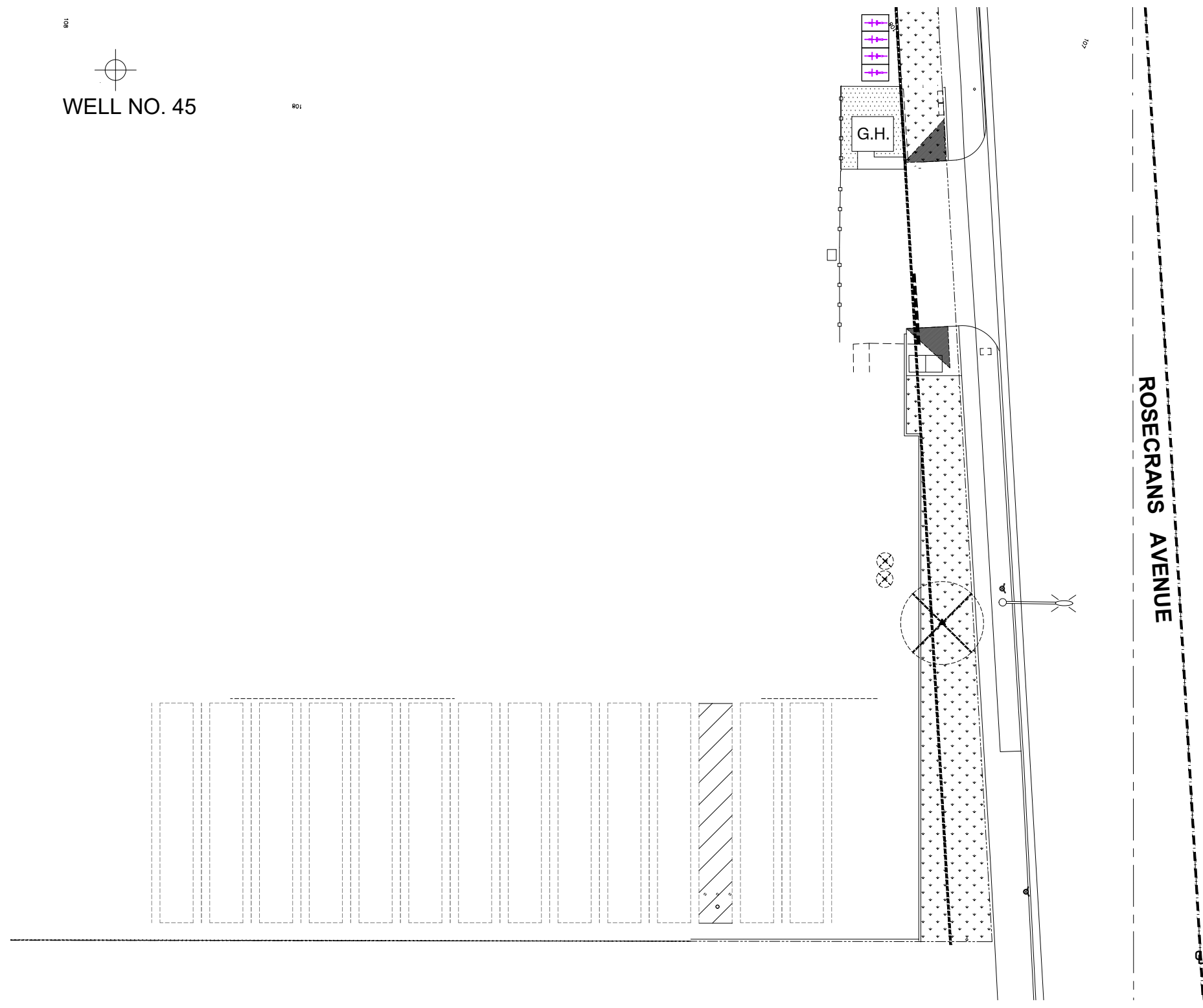
Perspective - View from Southeast



Perspective - View from Northeast

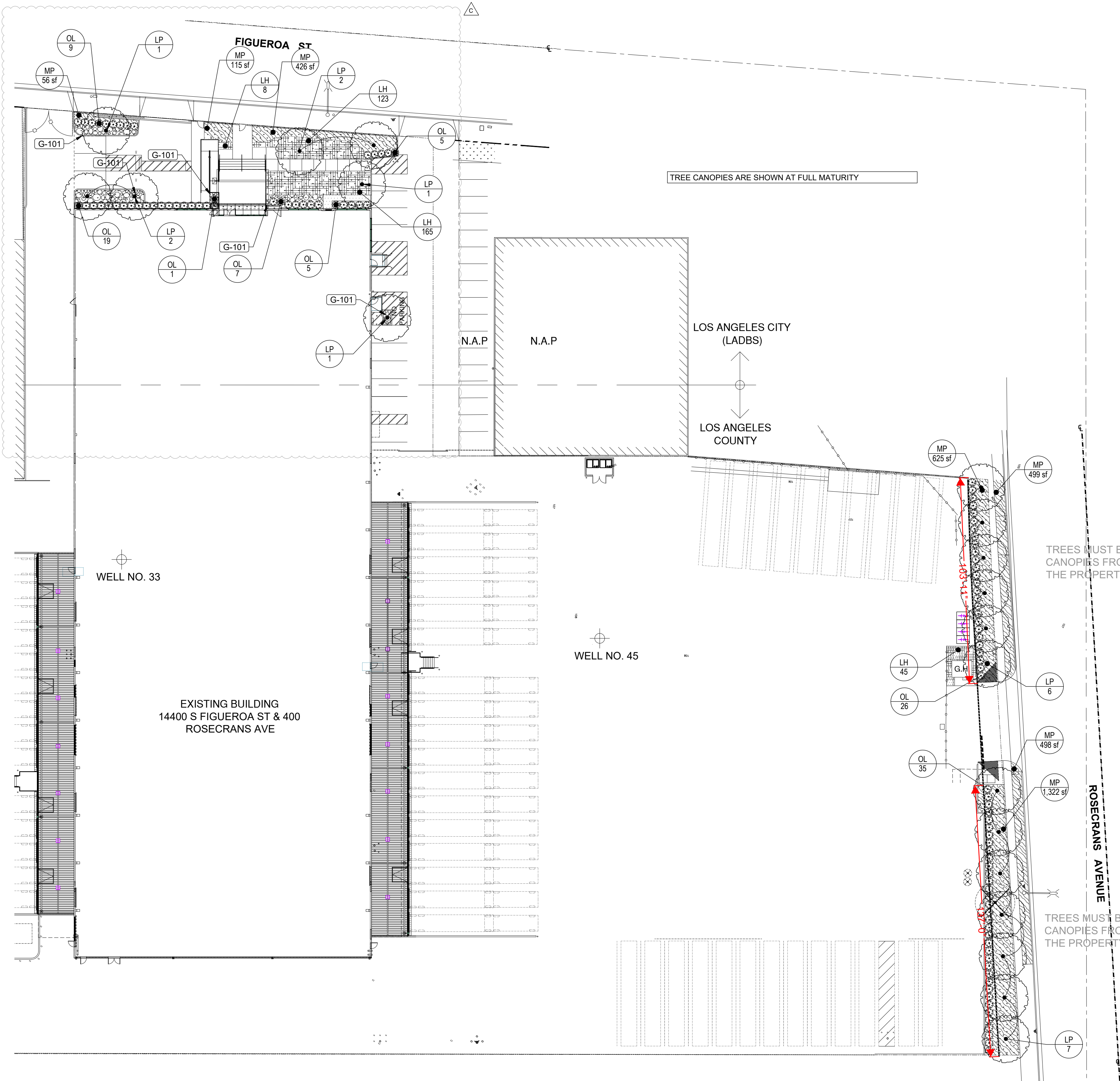
TREE REMOVAL SCHEDULE			
TREE REMOVED	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	2	Cupressus sempervirens / Italian Cypress	
	1	Olea europaea / Olive Multi-Trunk	

WELL NO. 45



PROPOSED TREE REMOVAL PLAN

1" = 30'-0"



I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package and I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans

Robert L. Coney, RLA 3583

PARKING LOT SHADE CALCULATION TABLE													
Complete white cells only. Grey cells are calculated. Diameters are in feet and areas are in square feet.													
Symbol	Botanical	Common	Canopy Diameter	Canopy Area	100% Shade Credit	75% Shade Credit	50% Shade Credit	25% Shade Credit	Uncovered Parking Area	Required Shade Area	Provided Shade Area		
	Lagerstroemia	Crape Myrtle	25.00	491	0	0	6	1473	0.00	0	1,473		
				0	0	0	0	0.00	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
Total Provided Trees: 6					0	0	6	0		1,473			
										Percent Shade Coverage (50% Minimum):		58%	

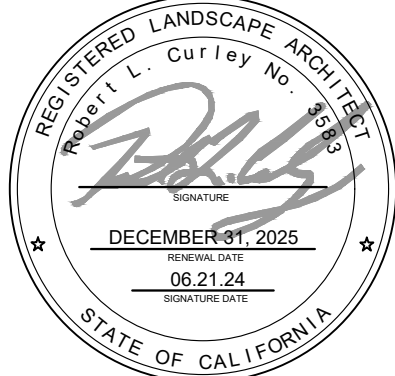
PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	CAL	SPECS.	HZ	WUCOLS
TREES									
	LP	20	Lagerstroemia indica x fauriei 'Tuskegee'	Tuskegee Crape Myrtle	24" Box Standard	2"Cal	7' x 2.5'	2	L 0.2 PF
SHRUBS									
	OL	107	Olea europaea 'Montra'	Little Olive	15 gal	48" oc	1		L 0.2 PF
			Setback from paving 24"						
SHRUB AREAS									
	LH	1,315 sf	Lantana x 'New Gold'	New Gold Lantana	1 gal	24" o.c.	1		L 0.2 PF
			Hold back from paving and walls 18"						
GROUND COVERS									
	MP	75 flats	Myoporum parvifolium 'Putah Creek'	Putah Creek Myoporum	Flats	9" oc	1		L 0.2 PF

NON-LIVING GROUND COVER SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	G-101 Arizona River Rock - 1 1/2 to 3 inch	452 sf

LANDSCAPE AREA CALCULATIONS	
DESCRIPTION	QTY
Landscape Area	5,168 sf
Required 5' Rosecrans Landscape Buffer	1,196 sf
Total Landscape Area	6,364 sf
Combined Lot Area	291,431 sf
Landscape Percentage	2%

PLANTING PLAN

1" = 30'-0"



JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
PLANTING PLAN

SHEET NO.
L100

06/21/24

SHEET 2 OF 10

SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:



SHEET TITLE

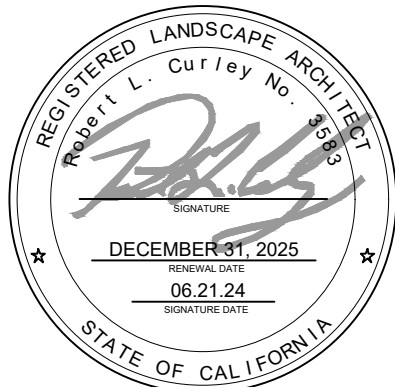
PLANTING NOTES

SHEET NO.

L101

06/21/24

SHEET 3 OF 10



GENERAL PLANTING NOTES

1. Installer shall be responsible for making himself familiar with all underground utilities, pipes and structures. Installer shall take sole responsibility for any cost incurred due to damage of said utilities.
2. The installer shall make himself familiar with all local, regional, County, State and Federal regulations, requirements etc. in affect as to the transport, import, delivery and installation of all plant materials specified on the plans. It is strongly recommended to source plant materials from local nurseries that are also familiar with the requirements for growing, supplying and transporting plants into the area of the project.
3. Installer shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design.
4. Installer shall have soils tested by a qualified agronomy laboratory. Materials and mixing of soil amendments, fertilizers, and back fill for planting pits shall be in accordance with recommendations of the soils agronomy report.
5. The installer shall secure all plant material for the project upon award of contract but in no instances less than 120 days prior to installation.
6. All plant material shall be approved by the Landscape Architect, Owner or Owner's representative prior to installation.
7. Final location of all plant material shall be subject to the approval of the Construction Manager.
8. See details for staking method and plant pit dimensions.
9. If conflicts arise between size of areas and plans, Installer to contact Construction Manager for resolution. Failure to make such conflicts known to the Construction Manager will result in Installer's liability to relocate the materials.
10. All ground covers to be held back 4" from edge of new shrubs typical and 2" from back of curbs or edge of walks at time of planting.
11. Ground covers shall be triangularly spaced per detail.
12. Trees shall be located minimum 4' from walls, overhead, walks, headers and other trees within the project, unless otherwise shown.
13. Place Deep Root Barrier at new trees that are with in 5' of Curbs or paving unless noted otherwise on the plans. Deep Root model UB 24-2 see installation detail.
14. Separate all ground cover and shrub areas from lawn areas with headers as per the installation details.
15. All slopes greater than 3:1 in shrub areas shall be covered jute mesh to prevent soil erosion during plant establishment
16. Remove stakes and trellis from vines and espaliers and secure to walls, fences and posts as per detail
17. In all cases "Root Bound" plant material will not be accepted.
18. No trees are to be planted within or above site storm drain pipes, swales or retention basins.
19. All planting areas including pots irrigated with drip irrigation or low volume irrigation components shall be hand watered by the installer until the plant materials root zones have established enough to effectively access the irrigation water from the drip systems.
20. Planting areas (except lawn and hydroseed areas as well as areas of Decomposed Granite) to be top dressed with 3" (three inch) min, layer of mulch Agromin ES-2 or equal. Agromin (800)247-6646
21. Suitable Soil Import
 - a. General - Topsoil shall be free of roots, clods, stones larger than 1-inch in the greatest dimension, pockets of coarse sand, noxious weeds, sticks, lumber, brush and other litter. It shall not be infested with nematodes or other undesirable disease-causing organisms such as insects and plant pathogens
 - b. Topsoil shall be friable and have sufficient structure in order to give good tilth and aeration to the soil.
 - c. Gradation limits - soil shall be a sandy loam. The definition of soil texture shall be the USDA classification scheme cited below. Gravel over 2 millimeters in diameter shall be less than 20% by weight
 - d. Permeability Rate - Hydraulic conductivity rate shall be not less than one inch per hour nor more than 10 inches per hour when tested in accordance with the USDA Handbook Number 60, method 34b or other approved methods.
 - e. Fertility - The range of the essential elemental concentration in soil shall be as follows for approval of source soil:

Ammonium Bicarbonate/DTPA Extraction parts per million (mg/kilogram dry weight basis	
phosphorus	10 - 40
potassium	100 - 220
iron	5- 35
manganese	0.6 - 6
zinc	1 - 8
copper	0.3 - 5
boron	0.2 - 1
magnesium	50 - 150
sodium	0 - 100
sulfur	25 - 500
molybdenum	0.1 - 2
 - f. Acidity - The soil pH range measured in the saturation extract (Method 21a, USDA Handbook Number 60) shall be 6.0 - 7.9.
 - g. Salinity - The salinity range measured in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 0.5 - 2.5 dS/m.
 - h. Chloride - The maximum concentration of soluble chloride in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 150 mg/l (parts per million).
 - i. Boron - The maximum concentration of soluble boron in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 1 mg/l (parts per million).
 - j. Sodium Adsorption Ratio (SAR) - The maximum SAR shall be 3 measured per Method 20b, USDA Handbook Number 60.
 - k. Aluminum - Available aluminum measured with the Ammonium Bicarbonate/DTPA Extraction shall be less than 3 parts per million.
 - l. Soil Organic Matter Content - Sufficient soil organic matter shall be present to impart good physical soil properties but not be excessive to cause toxicity or cause excessive reduction in the volume of soil due to decomposition of organic matter. The desirable range is 3% to 5%. The carbon:nitrogen ratio should be about 10.
 - m. Calcium Carbonate Content - Free calcium carbonate (limestone) shall not be present for acid-loving plants.
 - n. Heavy Metals - The maximum permissible elemental concentration in the soil shall not exceed the following concentrations:

Ammonium Bicarbonate/DTPA Extraction parts per million (mg/kilogram) dry weight basis	
arsenic	1
cadmium	1
chromium	10
cobalt	2
lead	30
mercury	1
nickel	5
selenium	3
silver	0.5
vanadium	3
 - o. If the soil pH is between 6 and 7, the maximum permissible elemental concentration shall be reduced 50%. If the soil pH is less than 6.0, the maximum permissible elemental concentration shall be reduced 75%. No more than three metals shall be present at 50% or more of the above values.

Phytotoxic constituent, herbicides, hydrocarbons etc. - Germination and growth of monocots and dicots shall not be restricted more than 10% compared to the reference soil. Growth inhibiting constituents must not be present.
20. Organic soil amendment
 - a. Composted aerobic humus compost without presence of decomposition products. The organic matter content shall be at least 50% on dry weight basis. Humus material shall have an acid-soluble ash content of no less than 8% and no more than 20%.
 - b. The pH of the material shall be between 6 and 7.5.
 - c. The salt content shall be less than 6 millimho/cm @ 25° C. (ECe less than 6) in a saturated paste extract.
 - d. Boron content of the saturated extract shall be less than 1.0 part per million.
 - e. Silicon content (acid-insoluble ash) shall be less than 50%.
 - f. Calcium carbonate shall not be present if to be applied on alkaline soils.
 - g. Types of acceptable products are composts, manures, mushroom composts, straw, alfalfa, peat mosses etc. low in salts, low in heavy metals, free from weed seeds, free of pathogens and other deleterious materials.
 - h. Composted wood products are conditionally acceptable [stable humus must be present]. Wood based products are not acceptable which are based on red wood or cedar.
 - i. Sludge-based materials are not acceptable.
 - j. Carbon:nitrogen ratio is between 8.0 and 20:1.
 - k. SAR (sodium adsorption ratio) less than 5.

- I. Seed germination - over 80% germination in saturation extract diluted 1 to 3 in water compared to seeds germinated in deionized water.
- m. Germination vigor - equal to or better than seed length for seeds germinated in deionized water.
- n. Maturity and stability - Solvita 5 or higher.
- o. Molar ratio of ammoniacal nitrogen to nitrate nitrogen less than 2.
- p. The compost shall be aerobic without malodorous presence of decomposition products.
- q. The maximum particle size shall be 0.5 inch, 80% or more shall pass a No. 4 screen.

Maximum total permissible pollutant concentrations in amendment in parts per million on a dry weight basis:

arsenic	12	copper	100	selenium	20
cadmium	15	lead	100	silver	10
chromium	100	mercury	10	vanadium	50
cobalt	50	zinc	200	molybdenum	20
nickel	100				

20. Decomposed granite (D.G.) - install a 2" (Min.) layer of Decomposed Granite w/ stabilizer continuous, color as per plan, in all planters under all trees and shrubs as indicated. Before placing granite, compact sub-grade to 85% and apply a pre-emergent herbicide to soil. After placing granite: rake smooth, wet to entire depth, allow to dry, then lightly scarify surface with a leaf rake. Apply a secondary application of pre-emergent herbicide to top of granite. Keep top of granite 1" below adjacent walks and curbs. Do not allow granite to touch the trunk of any plant. Install after installation of plant material making note of plant height so they are not buried by D.G..
21. Cactus / Succulent Mix:
 - Pumice or Perlite (Approximately 40%)
 - Potting Soil Mix (Approximately 15%)
 - Clean Washed River Sand (Approximately 10%)
 - Loosened Coir (Approximately 35%)
22. All Washingtonia Palms shall be skinned to the green fronds above and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend.
23. All Phoenix Palms shall be "Pineapple Cut" skinned and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend and matched to be of equal height in each area of use.
24. Brown Trunk Height "BT" shall mean as measured from the ground line to the base of the heart leaf.
25. All Palms must be certified disease and pest free by a licensed Arborist. Written documentation must be provided prior to planting.

SOIL TESTS FOR SOIL MANAGEMENT

1. The Contractor shall be responsible for obtaining soils testing and soil amendment recommendations. Soils testing shall be completed and test results and amendment recommendations submitted to the Owner's Representative a minimum of sixty (60) days before commencement of any planting. The report shall be reviewed approved by the project Landscape Architect and ALL required governing agencies PRIOR to the commencement of any soil amending or planting.
2. The testing laboratory shall be WALLACE LABORATORIES, LLC 365 Coral Circle El Segundo, CA 90245 phone (310) 615-0116 or approved equal as approved by the Owner's Representative. , or approved equal as approved by the Owner's Representative.
3. The testing laboratory for soils analysis shall use the following criteria for soil testing: USDA Agricultural Suitability Test per Handbook 60, to include Boron presence and content; and University of California Soil Fertility Test.
4. Interpretations, fertilization and soil amendment recommendations, and comments regarding these tests are required.
5. Infiltration Rate determined by laboratory test or Soil Texture and Infiltration Rate table
6. Soils test sites shall occur not more than 250 feet on center in the planting areas, unless otherwise noted on plans.
7. Samples of all import soil from each source shall also be submitted to the soils testing laboratory for analysis, interpretation and recommendations prior to placement, blending or back-filling.
8. A copy of the plant schedule shall be provided to the lab for review and comment in relation to the results of the soils tests.

PERCOLATION TEST

1. The landscape installer shall dig (as test areas) four (4) plant pits of 24" box size, or larger, at four (4) locations minimum within the job site. Pits are to be filled with water. The results of this test shall be reported to the Landscape Architect and owner 48 hours after initiating. Test pits shall be in actual location of trees as shown on the plan. Failure to carry out this test shall make the landscape installer liable for any and all trees that die due to poor water percolation beyond the agreed guarantee period.

OPTION 1
Should the water drain out of the test pits at a normal rate indicating good percolation then tree detail "A" and shrub planting detail "A" shall be utilized.

OPTION 2
In the event any amount of water is left standing in the test pit (per the above procedure) 24 hours after initiating the percolation test then the vertical mulching details for tree detail "B" and shrub detail "B" shall apply to all trees and shrubs regardless of size. These details shall supersede all other planting details. However, the tree staking requirements of tree planting detail "A" shall remain intact in either case.

VALVE SCHEDULE										
NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
A-1	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	5.41	20	0.63	7.41	28.0	40.6	0.84 in/h
A-2	Rain Bird PEB	1"	Bubbler	7	20	1.57	1.74	23.3	36.9	1.71 in/h
A-3	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	10.78	20	1.05	13.6	34.6	52.4	0.68 in/h

VALVE SCHEDULE										
NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
B1-1	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	7.52	20	0.46	9.52	30.0	43.7	0.69 in/h
B1-2	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	7.23	20	1.52	9.23	30.7	44.3	0.7 in/h
B2-1	Rain Bird PEB	1"	Bubbler	13	20	3.22	2.13	25.4	44.5	1.7 in/h
B2-2	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	10.59	20	0.28	13.2	33.5	50.4	0.53 in/h

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package and I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans

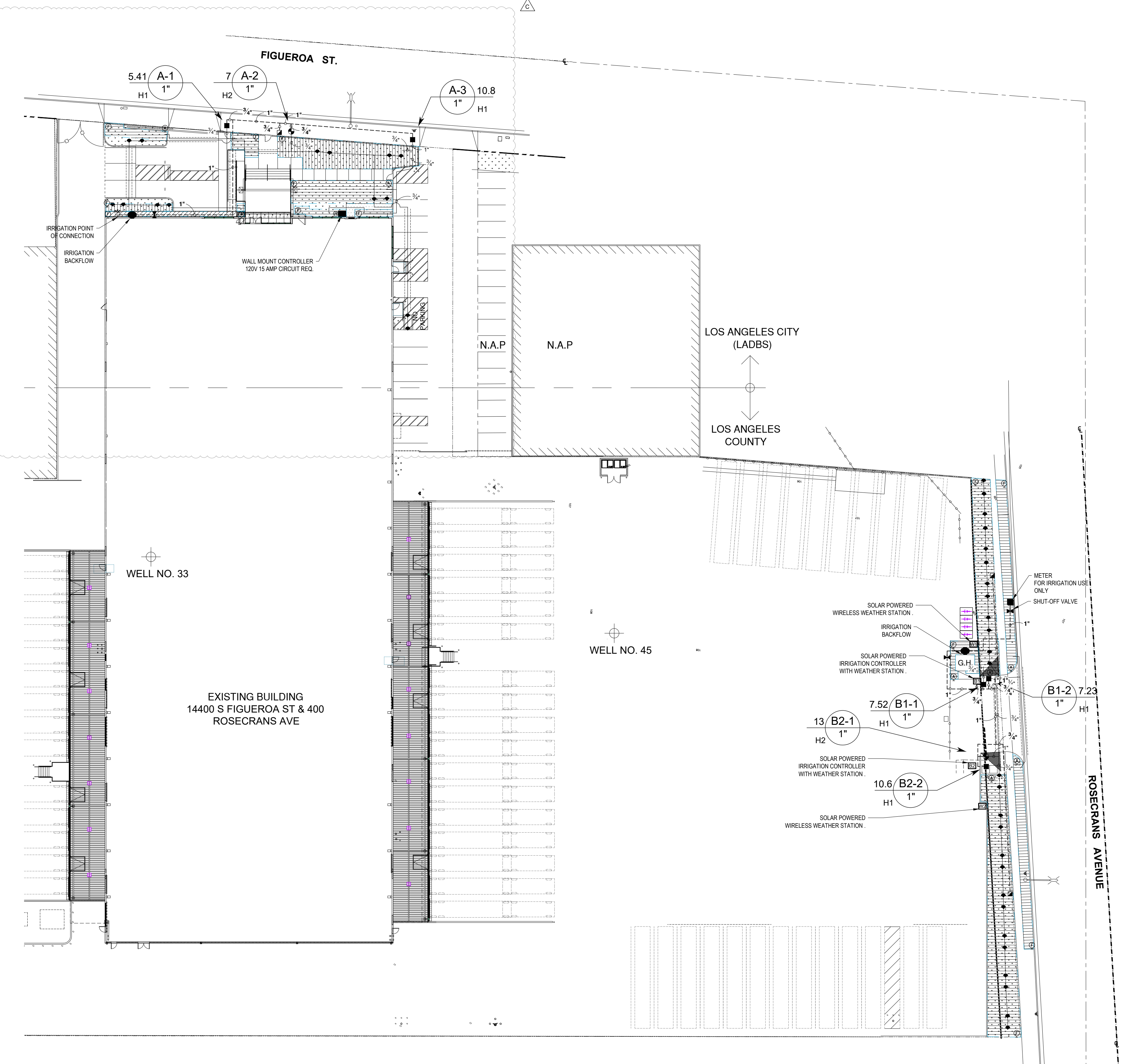

Robert L. Conley, RLA 3583





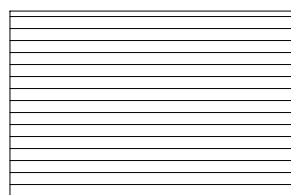




CRITICAL ANALYSIS	
Generated:	2024-06-19 12:50
P.O.C. NUMBER: 03	
Water Source Information:	Stub off building domestic line before any backflow preventers. Pressure estimated.
FLOW AVAILABLE	
Point of Connection Size:	1 1/2"
Flow Available:	40.32 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	70 PSI
Pressure Available:	70 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	10.78 GPM
Flow Available at POC:	40.32 GPM
Residual Flow Available:	29.54 GPM

Critical Station: A-3
Design Pressure: 20 PSI
Friction Loss: 0.95 PSI
Fittings Loss: 0.1 PSI
Elevation Loss: 0 PSI
Loss through Valve: 13.6 PSI
Pressure Req. at Critical Station: 34.6 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 6.14 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.6 PSI
Critical Station Pressure at POC: 52.4 PSI
Pressure Available: 70 PSI
Residual Pressure Available: 17.6 PSI

CRITICAL ANALYSIS	
Generated:	2023-10-25 07:00
P.O.C. NUMBER: 01	
Water Source Information:	Existing Domestic Meter. 50/110 Per Golden State Water. For irrigation use only
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available:	18.2 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	75 PSI
Elevation Change:	0.00 ft
Service Line Size:	1"
Length of Service Line:	20 ft
Pressure Available:	73 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	12 GPM
Flow Available at POC:	18.2 GPM
Residual Flow Available:	6.2 GPM

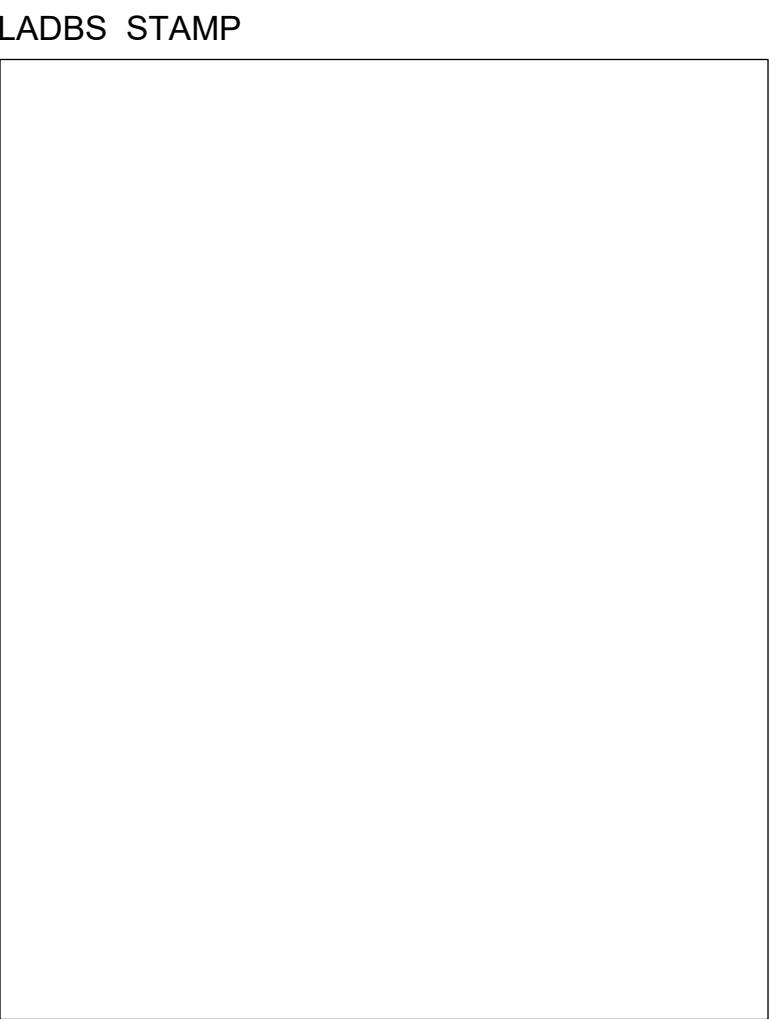
Critical Station: B-3
Design Pressure: 30 PSI
Friction Loss: 0.25 PSI
Fittings Loss: 0.03 PSI
Elevation Loss: 0 PSI
Loss through Valve: 13.2 PSI
Pressure Req. at Critical Station: 38.3 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 4.52 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.6 PSI
Loss for Water Meter: 0.76 PSI
Critical Station Pressure at POC: 55.2 PSI
Pressure Available: 73 PSI
Residual Pressure Available: 17.8 PSI



IRRIGATION SCHEDULE						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	Rain Bird RWS-B-C 1402 Root Watering System with 4.0" diameter x 36.0" long with locking grate, semi-rigid mesh tube, and check valve. Rain Bird bubbler option as indicated: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	40	360	20	0.5	3'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI			
	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3 GPM-20 GPM	5				
	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet	13				
	Netafim TLAVRV Air/Vacuum relief valve, 1/2" male pipe thread.	8				
	Area to Receive Dripline Rain Bird XFS-06-18 XFS Sub-Surface Pressure Compensating Dripline w/Copper Shield Technology. 0.6 GPH emitters at 18" O.C. Laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	6,575 s.f.	20			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2				
	Rain Bird 33-DRC 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	3				
	Nibco T-PP600A-LF Lead-Free Brass, Two-Piece, Full Port, NPT x NPT	3				
						

IRRIGATION PLAN
1" = 30'-0"

JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24



CLIENT:



PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

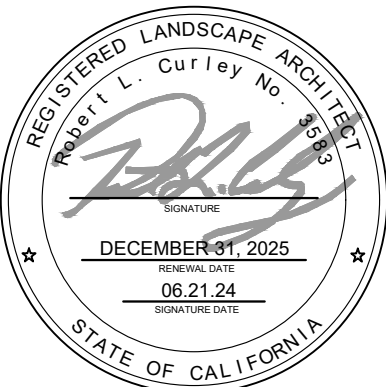


SHEET TITLE
IRRIGATION PLAN

SHEET NO.
L200

06/21/24

SHEET 4 OF 10



SUBMITTAL	DATE
CLIENT SUBMITTAL	10/18/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:



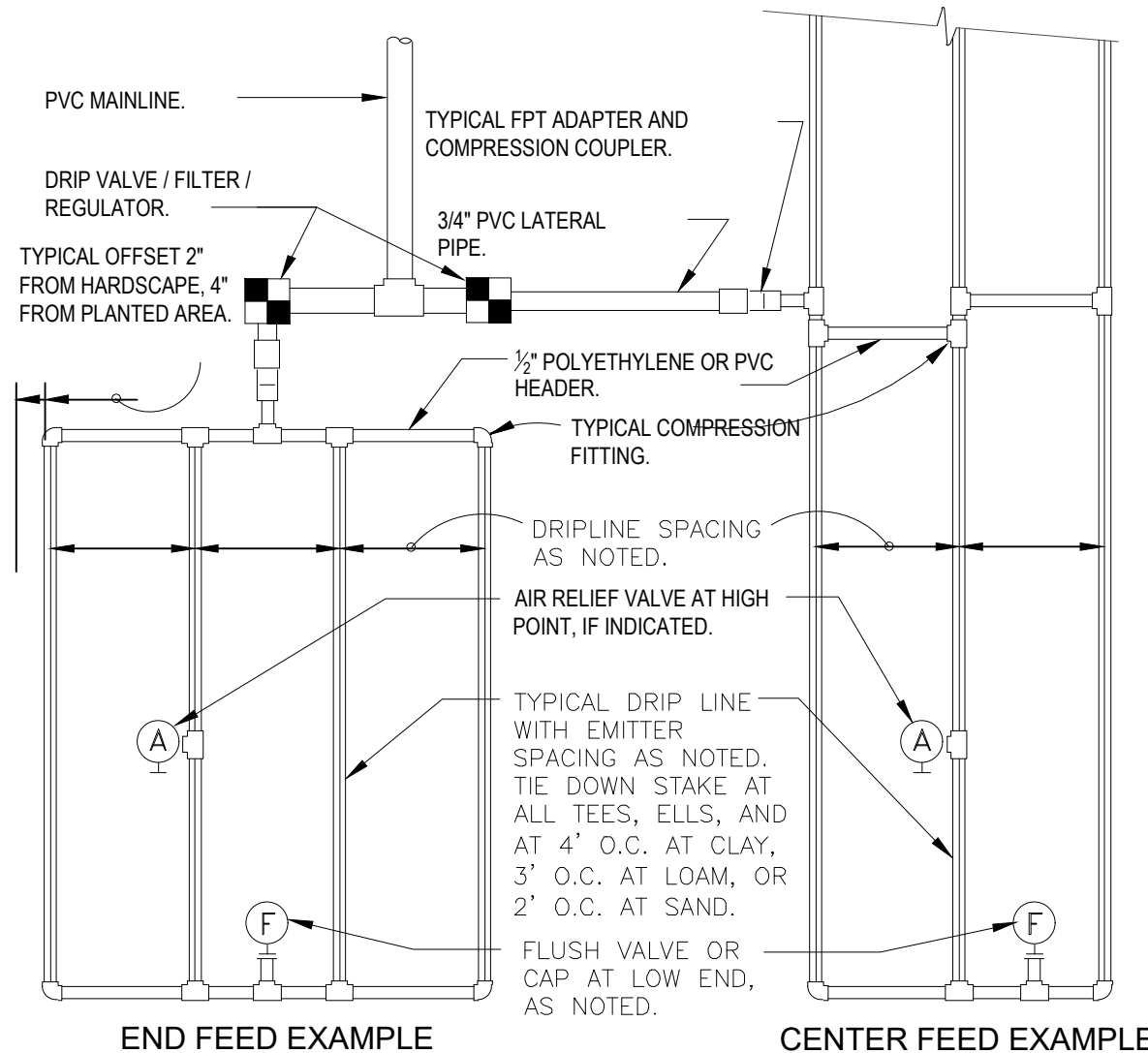
LANDSCAPE DETAILS

SHEET NO.

L300

06/21/24

SHEET 6 OF 10



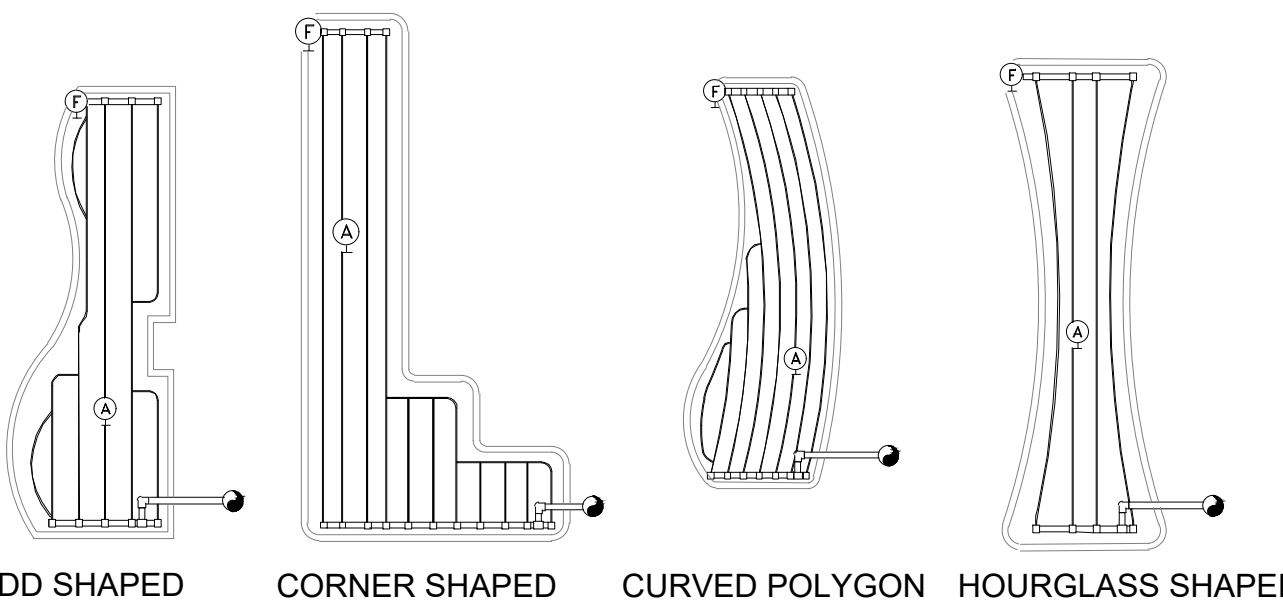
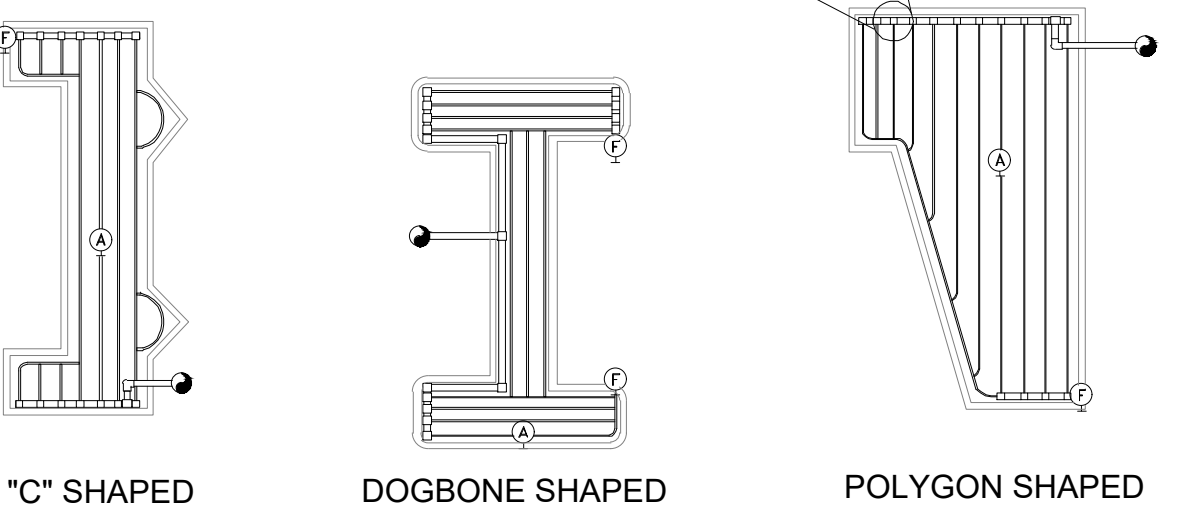
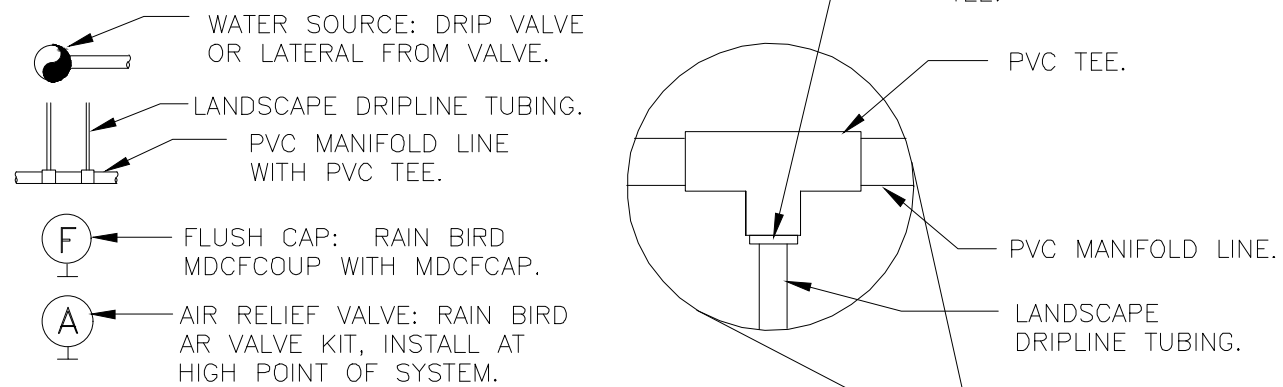
- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
 2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
 3. NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
 4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
 5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

GRID PRECIPITATION RATES (IN/HR)				MAXIMUM FLOW PER ZONE	
EMITTER FLOW RATE		EMITTER LATERAL SPACING		MAX GPM	PSI LOSS
SPACING		0.6	0.9		
12	12	0.96	1.44		
18	18	0.69	1.03		
24	24	0.28	0.41		

LATERAL FLOW PER 100 FT (GPM)					POLY PIPE HEADER SIZE		
EMITTER	12"	18"	24"		1/2"	4.7 GPM	8.8 PSI
FLOW	SPACING	SPACING	SPACING		3/4"	8.3 GPM	6.3 PSI
					1" <th>13.5 GPM</th> <th>4.8 PSI</th>	13.5 GPM	4.8 PSI
0.6 GPH	1.0 GPM	0.67 GPM	0.50 GPM		1-1/2" <th>31.8 GPM</th> <th>2.9 PSI</th>	31.8 GPM	2.9 PSI
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM		2" <th>52.4 GPM</th> <th>2.2 PSI</th>	52.4 GPM	2.2 PSI

MAXIMUM LATERAL LENGTH (FEET)									
EMITTER FLOW RATE GPH									
	12" SPACING			18" SPACING			24" SPACING		
PSI	0.6	0.9	0.6	0.9	0.6	0.9	0.6	0.9	0.6
10	125	98	175	135	218	171			
20	249	191	350	171	432	340			
30	307	236	434	333	550	422			
40	359	268	495	380	627	471			
50	125	98	175	135	218	171			
60	125	98	175	135	218	171			

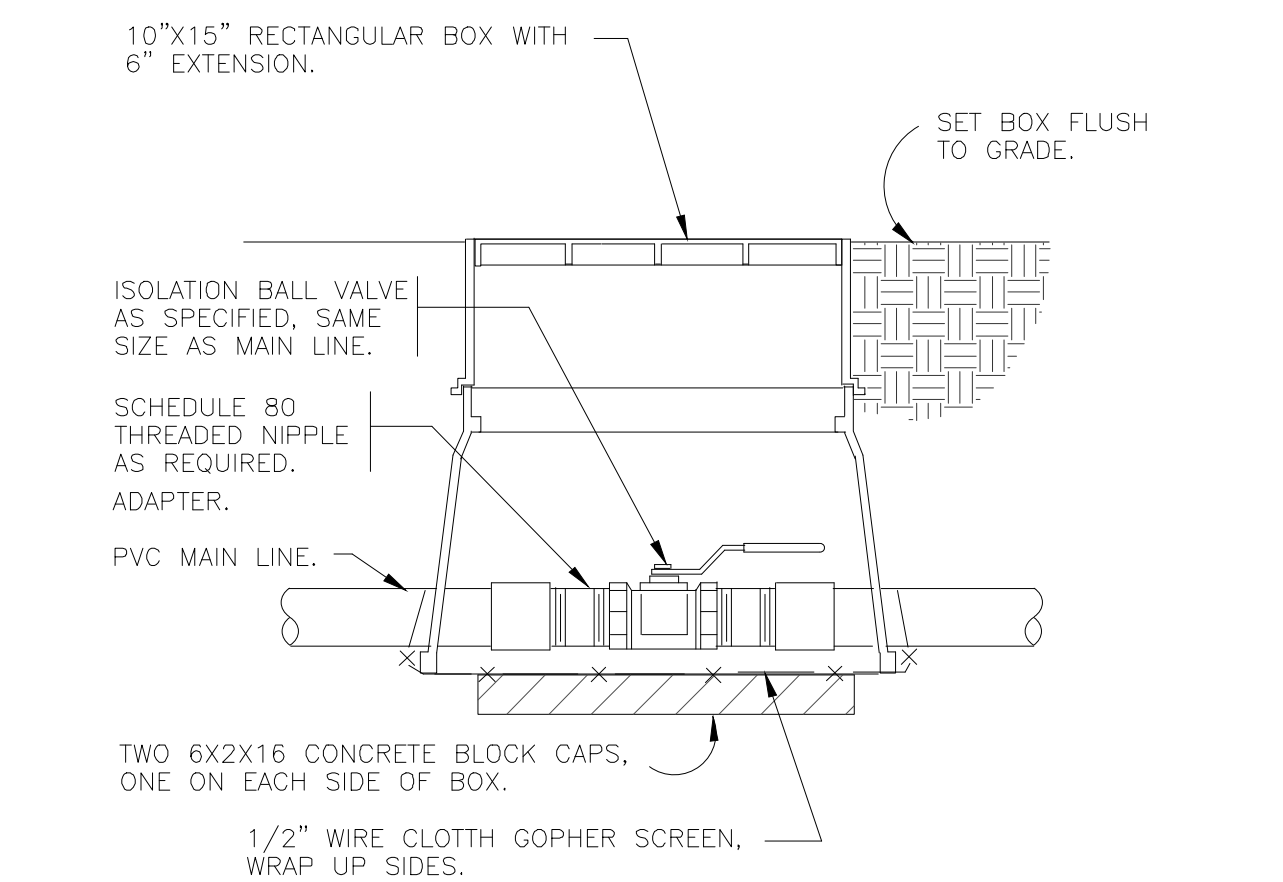
COMPRESSOR
RAIN BIRD
USE AN ABS
BONDING SO
GLUING ADA



9 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS

3\"/>

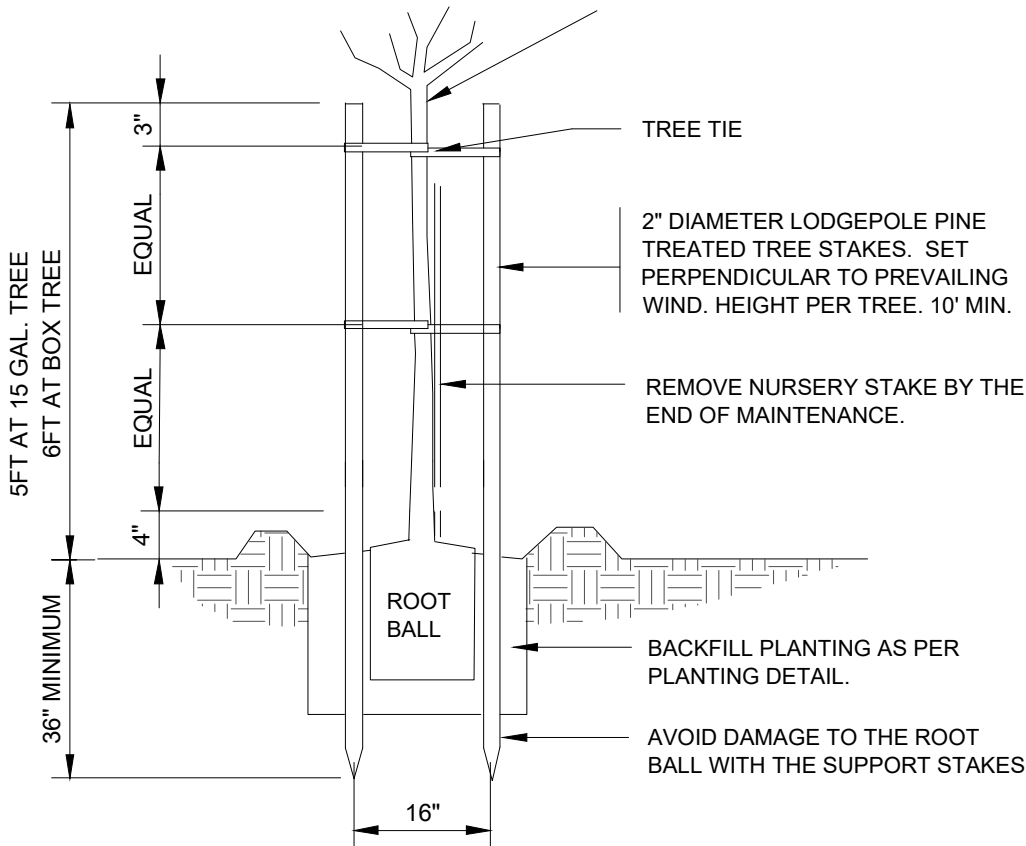
FX-IR-RB-DRIIP-32



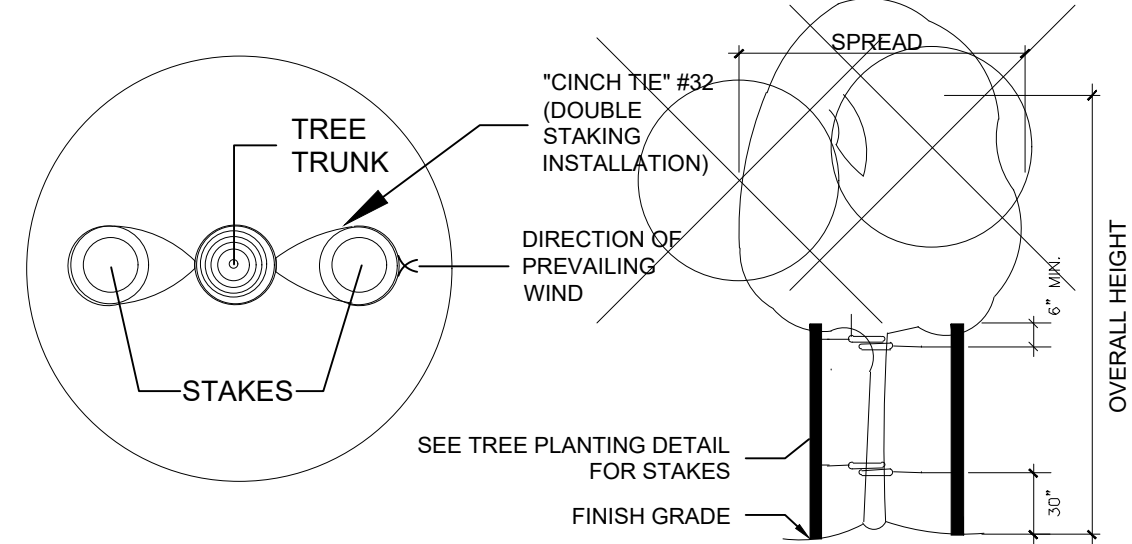
10 BRASS BALL ISOLATION VALVE

1 1/2\"/>

FX-IR-FX-ISOV-02



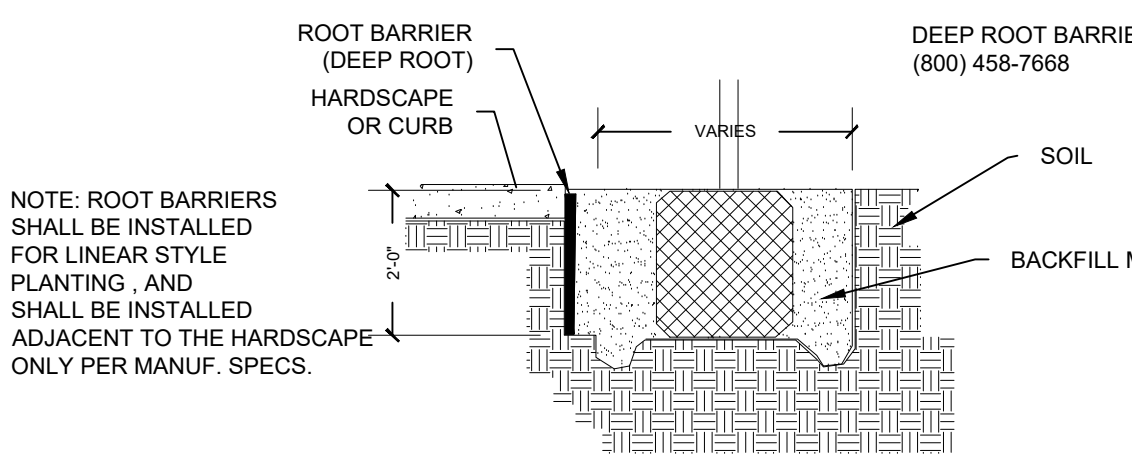
STAKING DETAIL



6 TREE PLANTING DOUBLE STAKE

1\"/>

CCA-PL-TRE-329343-04



- 1- TREE TRUNK
2- DEEP ROOT- UB 24-2 LINEAR BARRIER
3- EDGE OF HARDSCAPE (CURB, PAVING, PAD, ETC.)

NOTE: ROOT BARRIERS SHALL BE INSTALLED FOR LINEAR STYLE PLANTING AND SHALL BE INSTALLED ADJACENT TO THE HARDSCAPE ONLY PER MANUF. SPECS.

Formula to determine the quantity of panels required for a Linear application use: Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

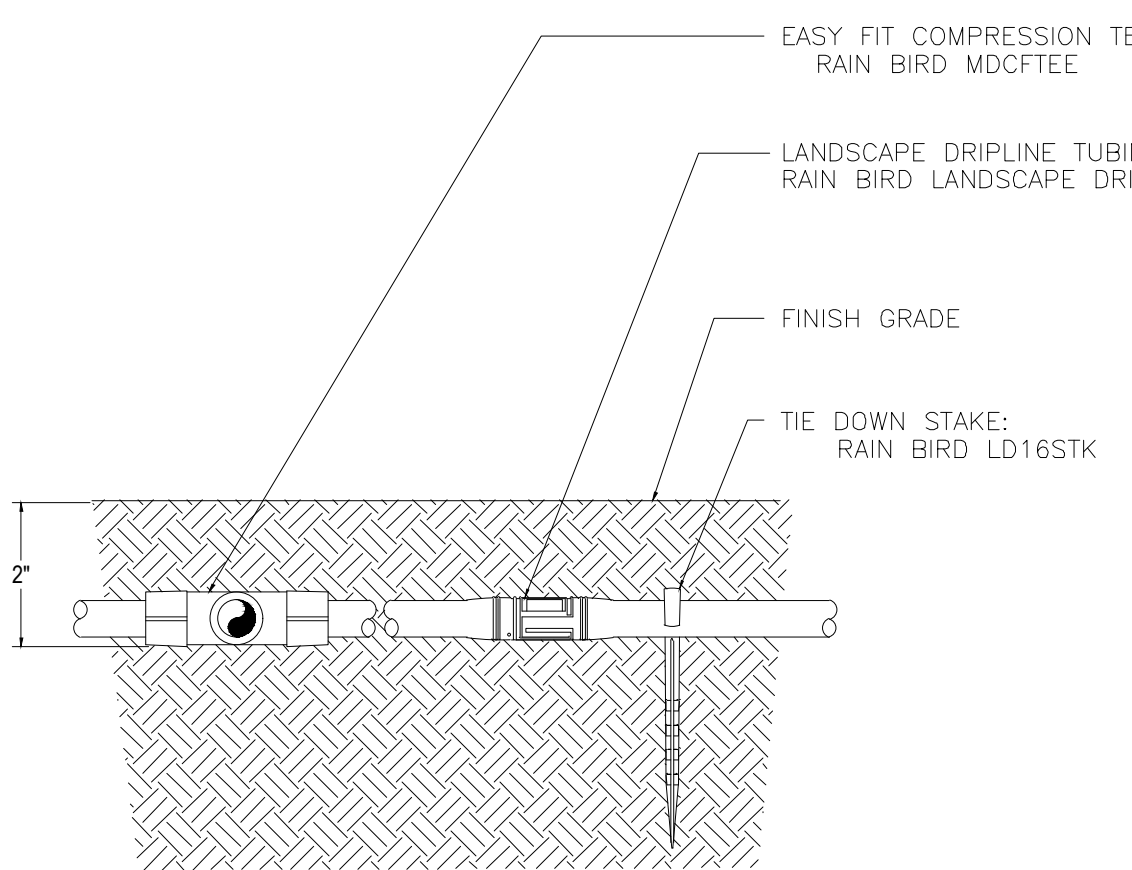
Per One Side of Tree

Expected Tree Canopy at Maturity	Feet of Barrier	Number of Panels
12' (3.6m) Dia. +2' (61cm) = 14' (4.2m)	7 Panels	
18' (5.3m) Dia. +2' (61cm) = 20' (6.1m)	10 Panels	
24' (7.3m) Dia. +2' (61cm) = 26' (7.9m)	13 Panels	

7 ROOT BARRIER

NTS

CCA-PL-329414-05

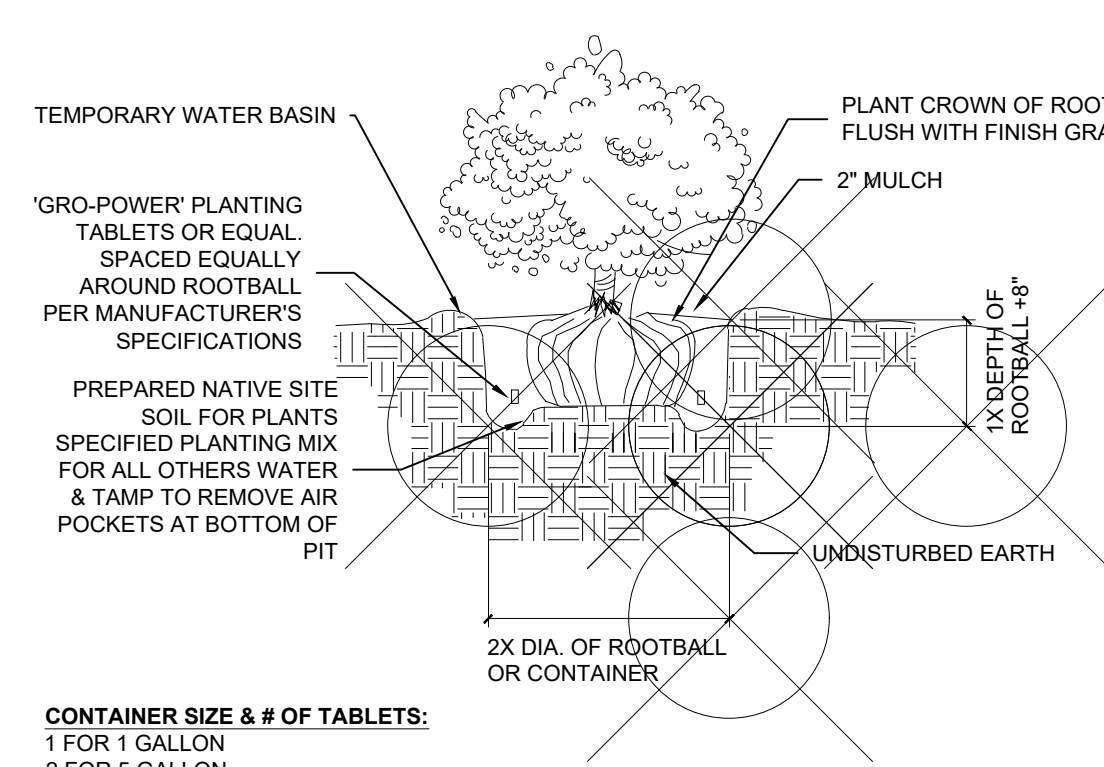


NOTE(S):
IF PUTTING LANDSCAPE DRIPLINE UNDER SOIL, DO NOT BURY MORE THAN 2\"/>

8 DRIPLINE BELOW GRADE

3\"/>

CCA-PL-TRE-329343-02

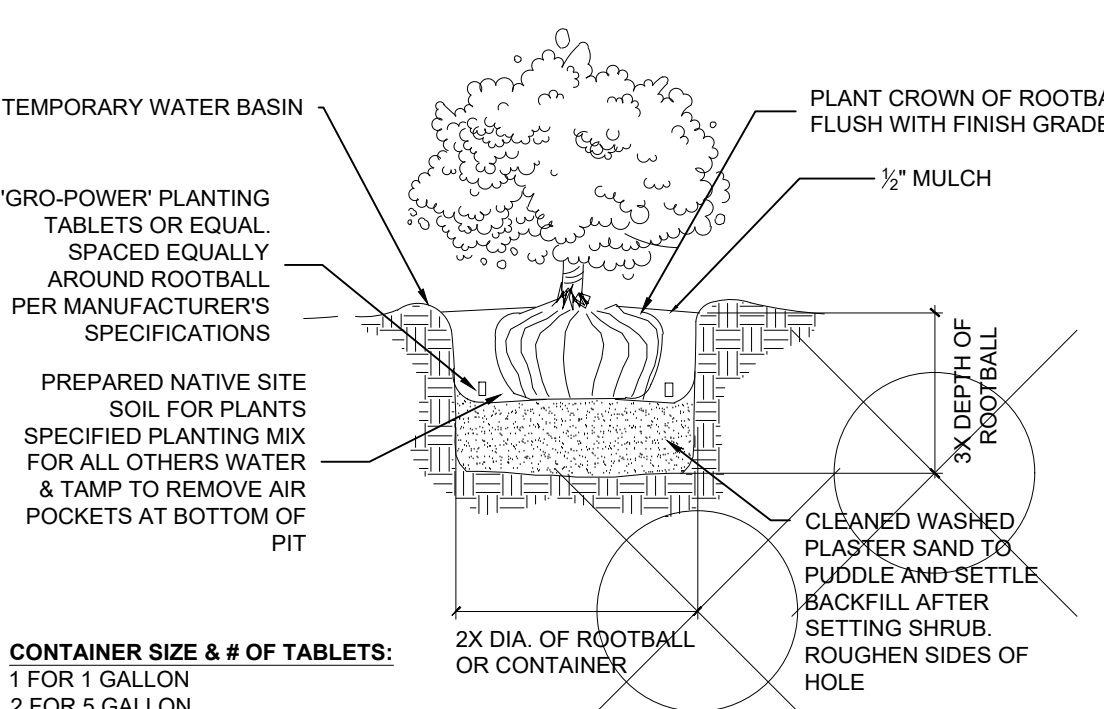


CONTAINER SIZE & # OF TABLETS:
1 FOR 1 GALLON
2 FOR 5 GALLON
4 FOR 15 GALLON

FERTILIZER TABLETS SHALL BE 'GRO-POWER' 12-8-8 7-GRAM PLANTING TABLETS AS SUPPLIED BY SOUTHERN CALIFORNIA ORGANIC FERTILIZER

WATERING BERMS:
1. 5 GALLON OR LARGER 4\"/>

A



CONTAINER SIZE & # OF TABLETS:
1 FOR 1 GALLON
2 FOR 5 GALLON
4 FOR 15 GALLON

FERTILIZER TABLETS SHALL BE 'GRO-POWER' 12-8-8 7-GRAM PLANTING TABLETS AS SUPPLIED BY SOUTHERN CALIFORNIA ORGANIC FERTILIZER

WATERING BERMS:
1. 5 GALLON OR LARGER 4\"/>

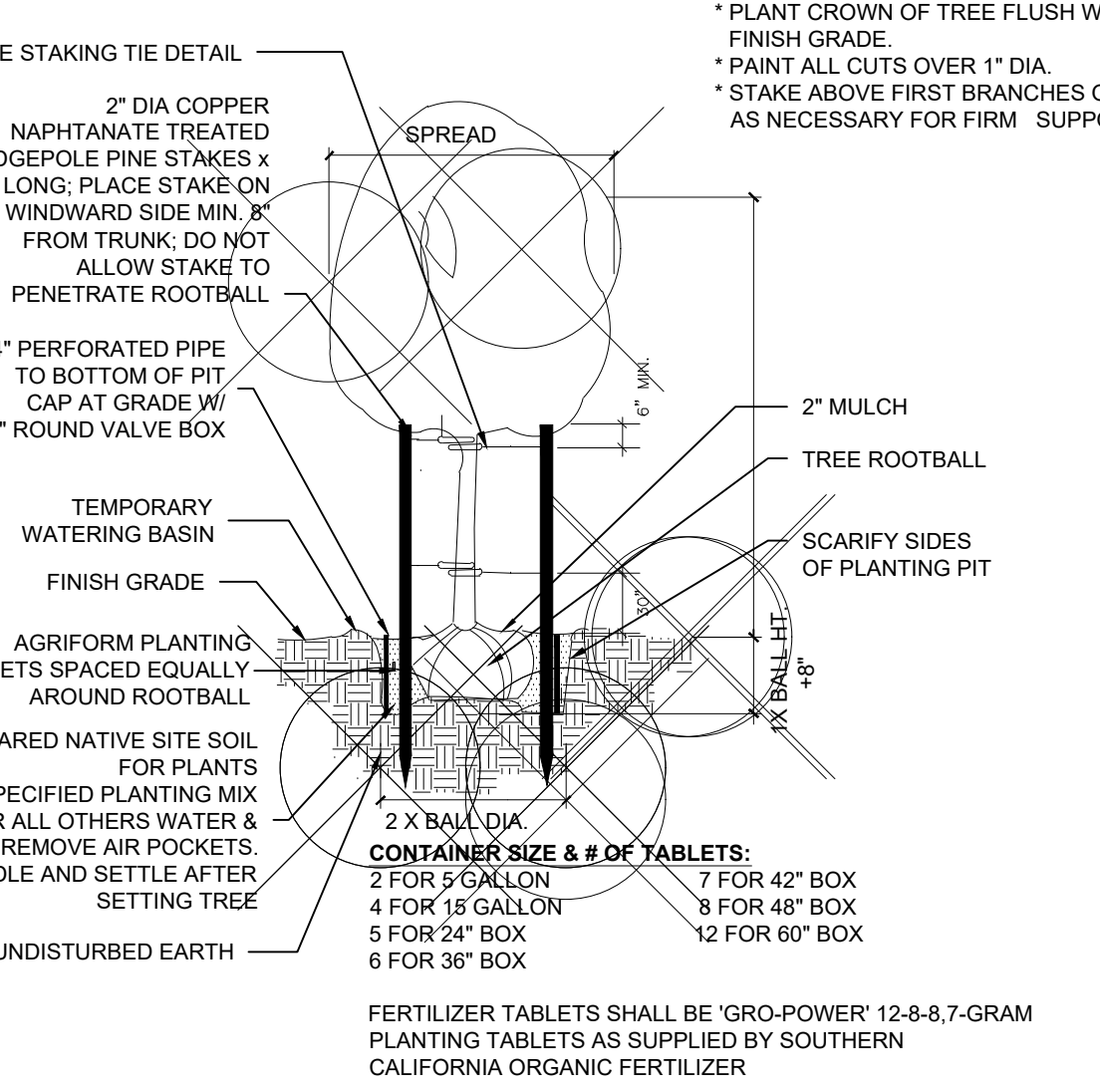
NOTES:
1. SET CROWN OF ROOT BALL 1\"/>

B

4 SHRUB PLANTING

1\"/>

CCA-PL-SHR-329333-02



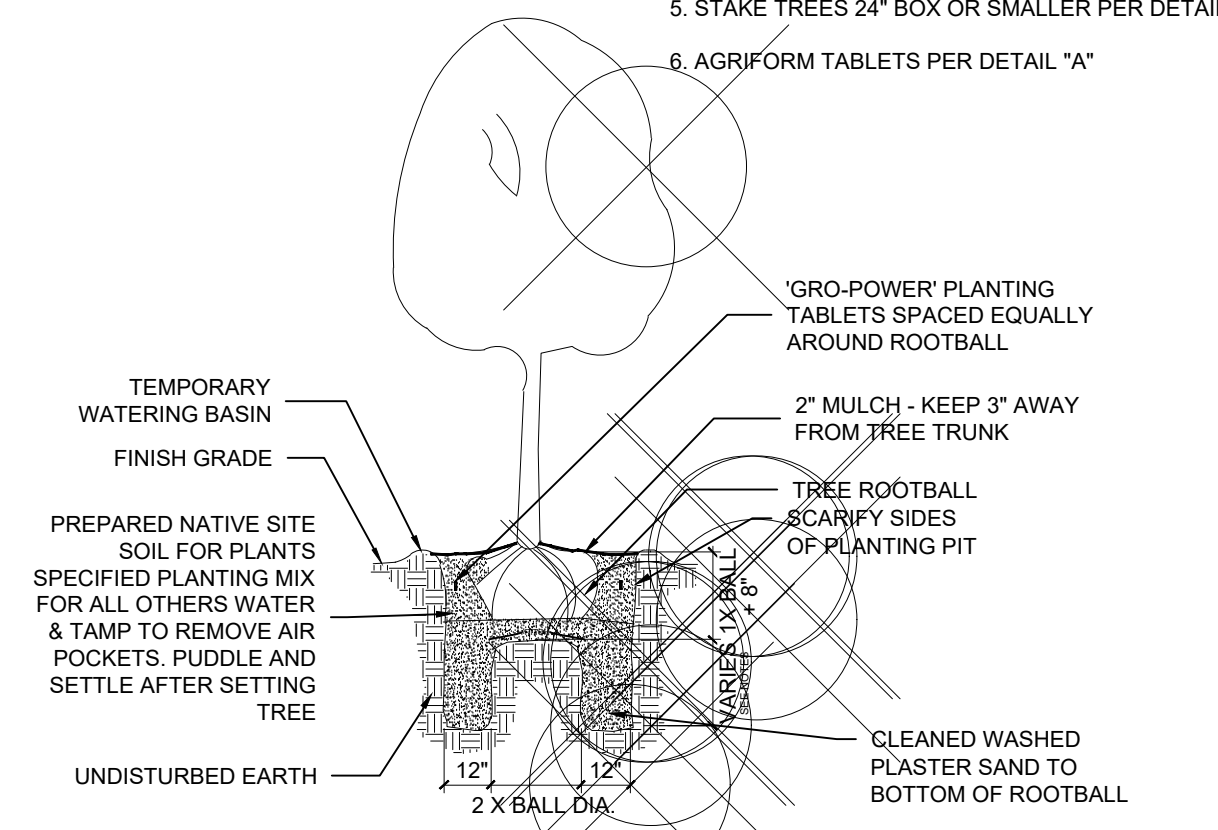
A

NOTE: SUBMIT BID ON A COST PER LINEAL FOOT FOR VARIOUS DEPTHS OF 5, 10, 15 & 20\"/>

HOLE SCHEDULE:	5 GAL	15 GAL	24 BOX	36 BOX OR LARGER
1 HOLE	-1 HOLE	-1 HOLE	-1 HOLE	-2 HOLES

NOTES:

1. BORE HOLES @ BOTTOM OF PLANT PIT ACCORDING TO HOLE SCHEDULE. HOLE MUST BREAK THROUGH HARDPAN TO POROUS MATERIAL.
2. PITCH BOTTOM OF TREE PIT TOWARDS HOLE(S)
3. FILL HOLES WITH CLEAN WASHED PLASTER SAND
4. 36\"/>
5. STAKE TREES 24\"/>
6. AGRIFORM TABLETS PER DETAIL 'A'

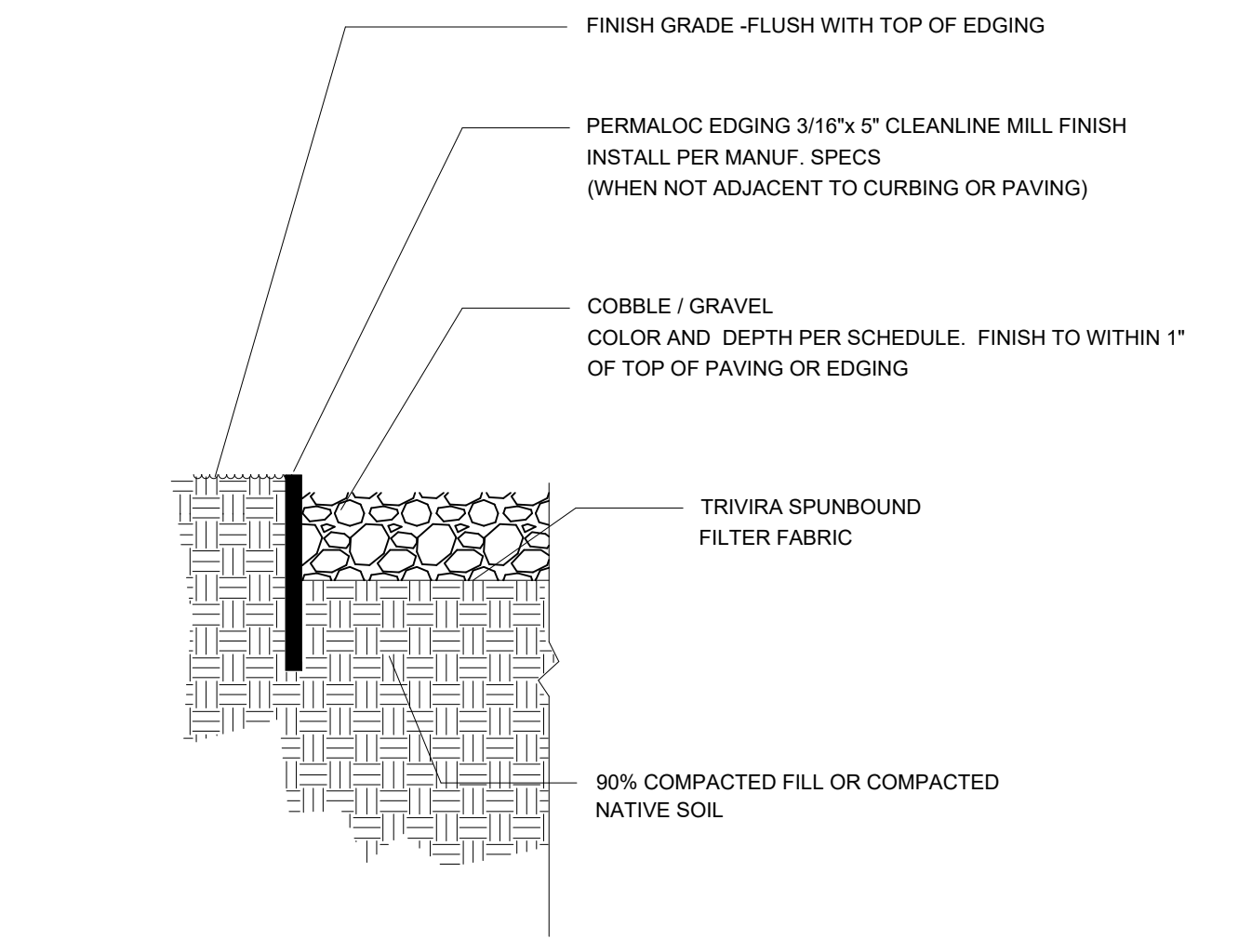


B

5 TREE PLANTING

NTS

CCA-PL-TRE-329343-02



1 COBBLE / GRAVEL

1\"/>

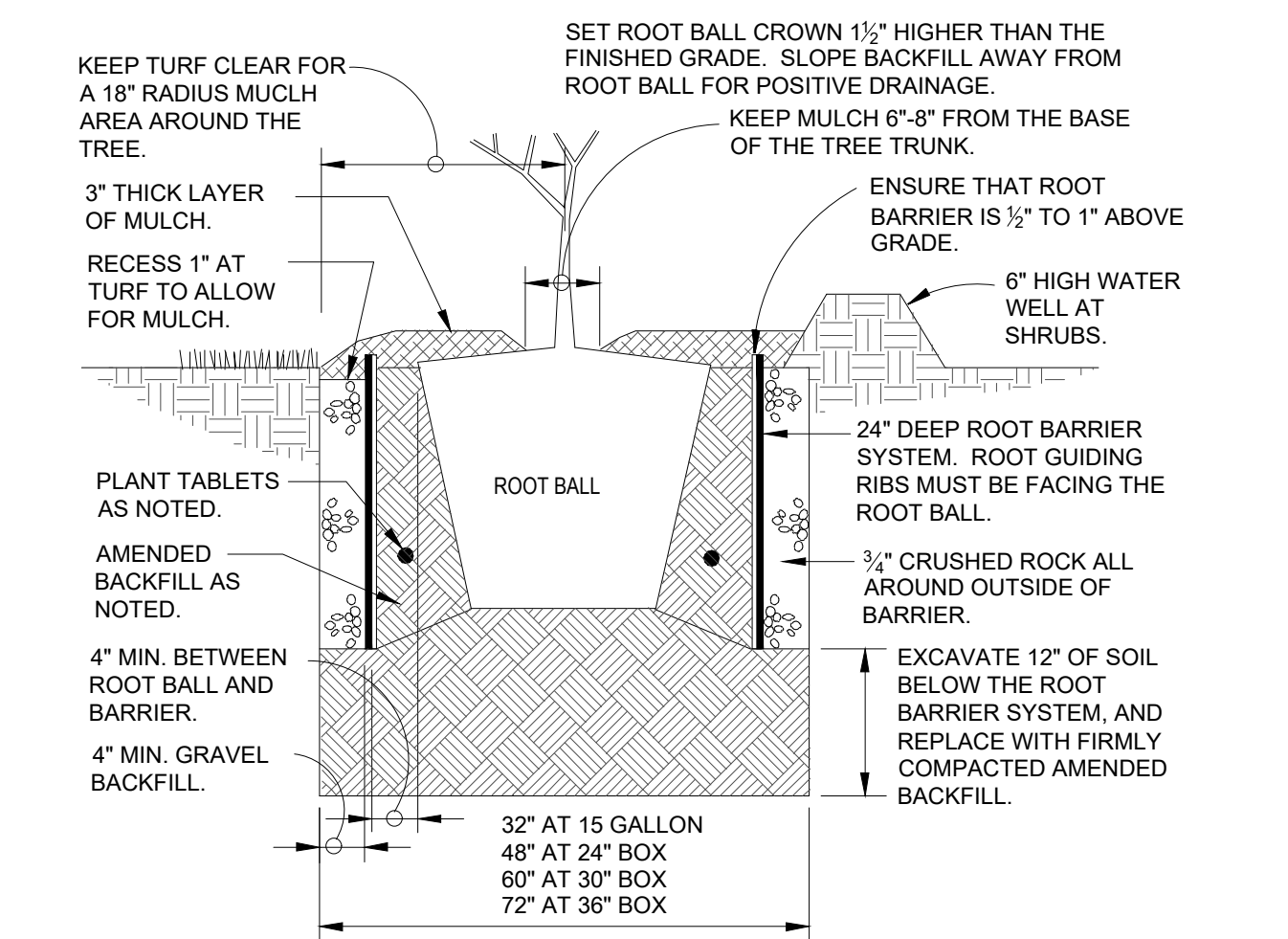
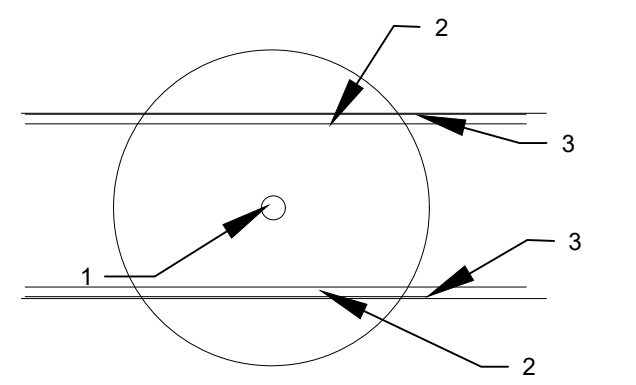
321545-01

Deep Root UB 24-2 Panels

Formula to determine the quantity of panels required for a Linear application use: Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

Per One Side of Tree:

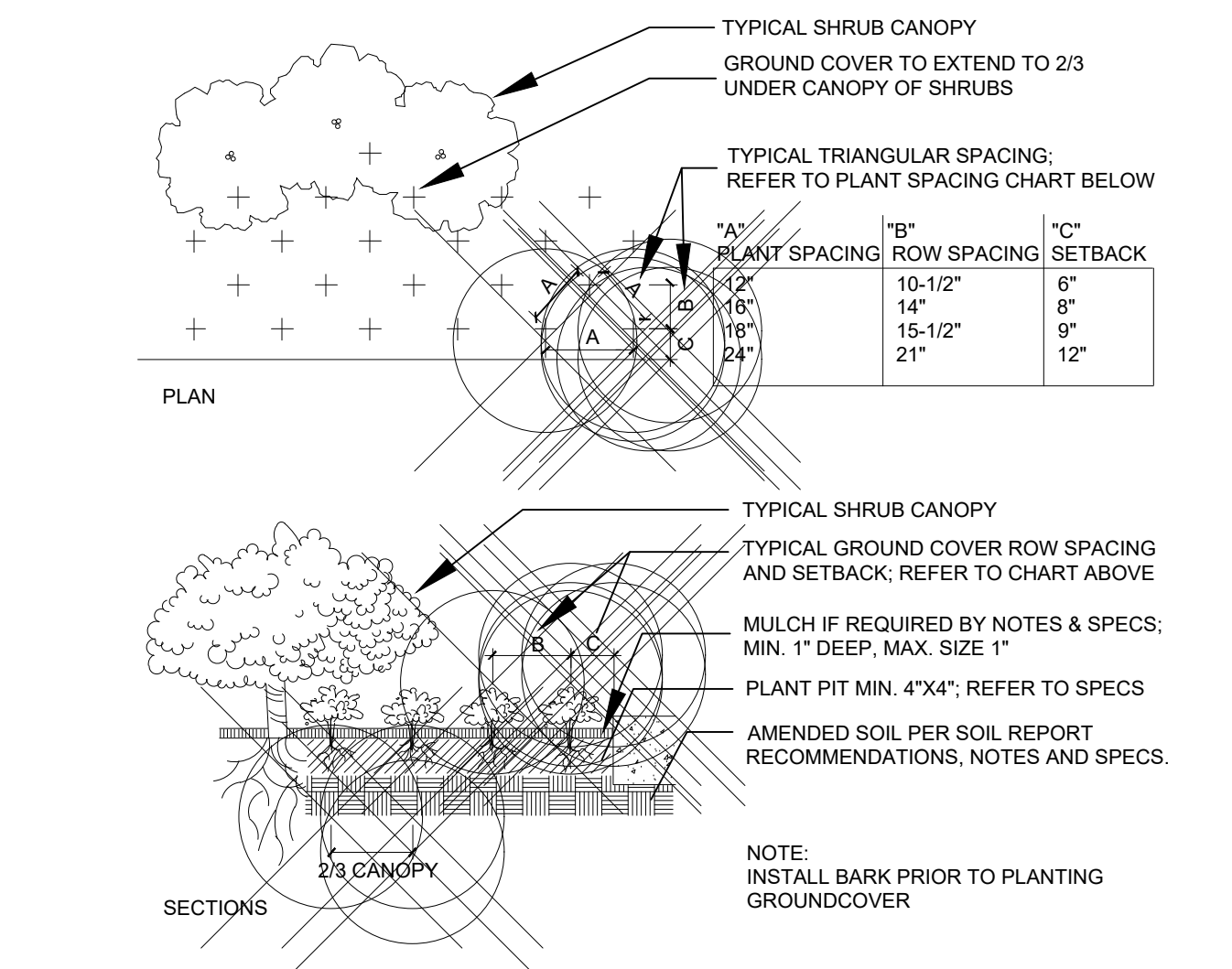
Expected Tree Canopy at Maturity	Feet of Barrier	Number of Panels
12' (3.6m) Dia. +2' (61cm) = 14' (4.2m)	7 Panels	
18' (5.3m) Dia. +2' (61cm) = 20' (6.1m)	10 Panels	
24' (7.3m) Dia. +2' (61cm) = 26' (7.9m)	13 Panels	



2 TREE ROOT BARRIER

1\"/>

329414-01

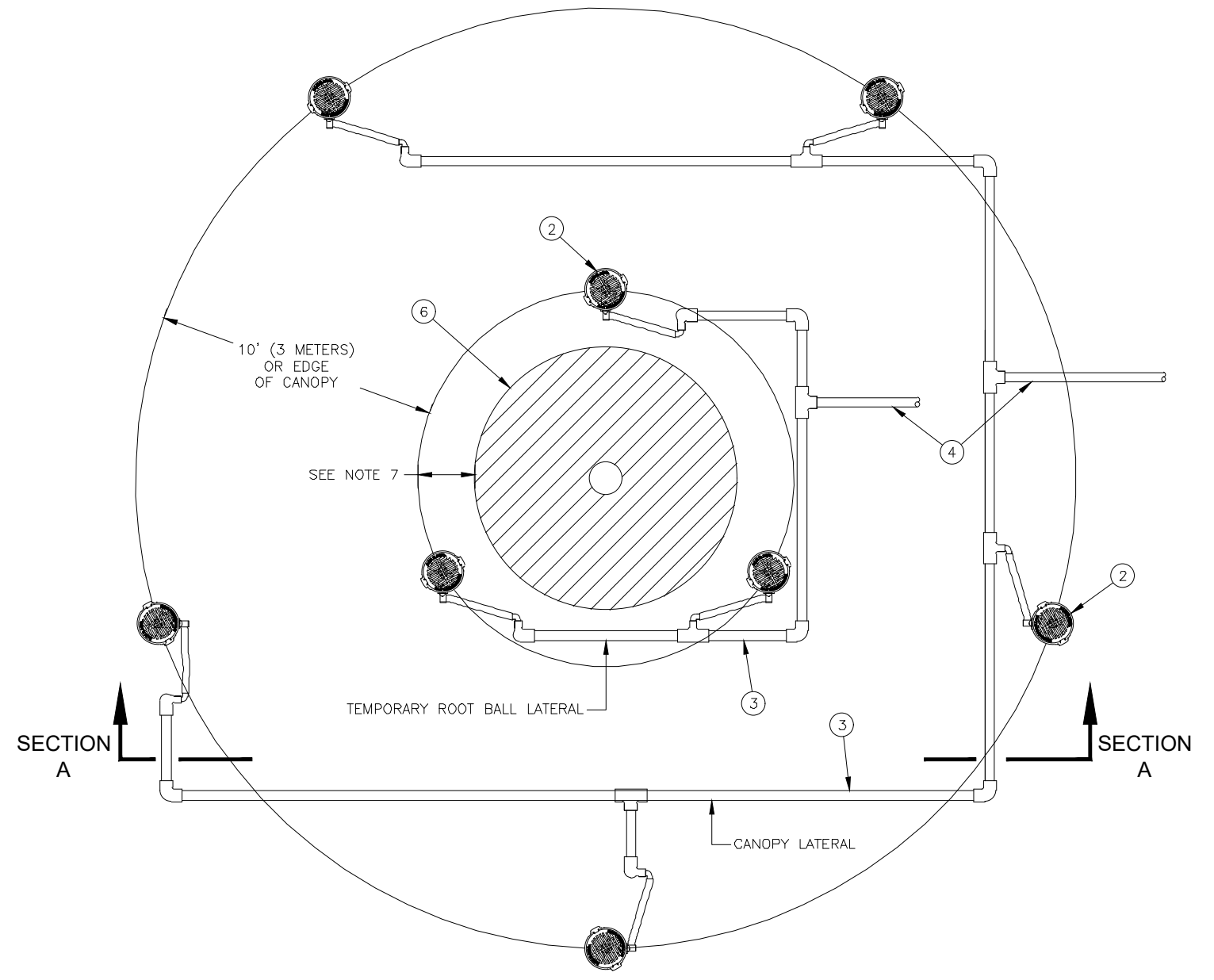


3 GROUND COVER

1\"/>

CCA-PL-01

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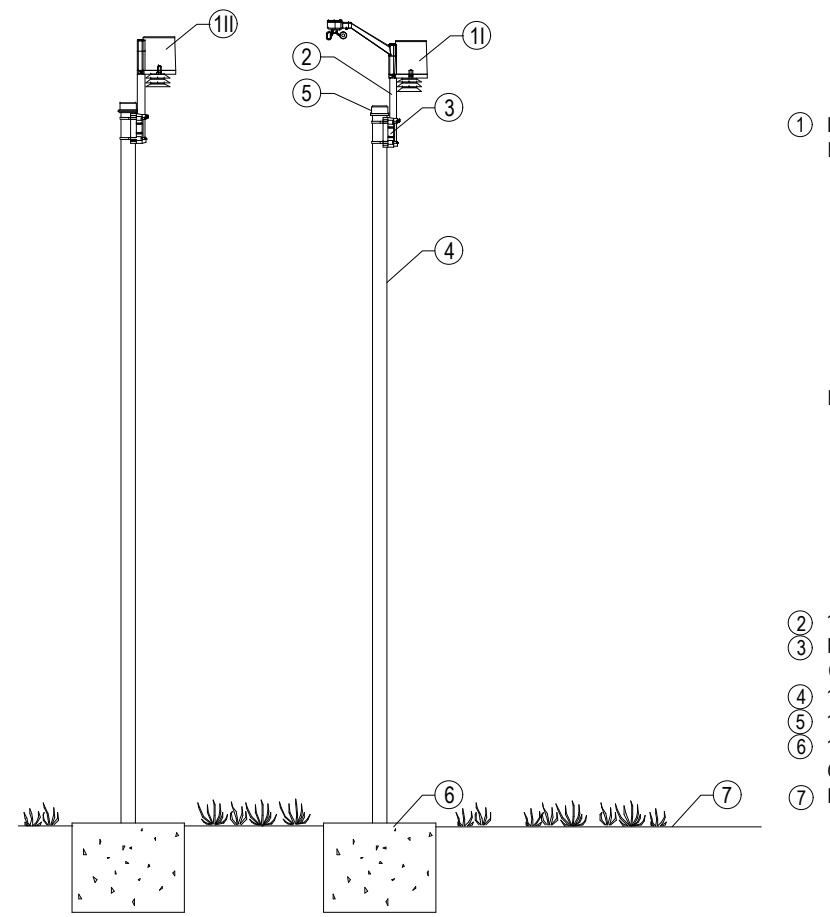
- NOTES:
1. TEMPORARY ROOT BALL LATERAL TO BE ABANDONED AFTER THREE YEARS.
 2. TEMPORARY ROOT BALL LATERAL AND CANOPY LATERAL TO BE VALVED SEPARATELY.
 3. SPACE RWS UNITS EVENLY AROUND TREE AS SHOWN.
 4. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
 5. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 6. ONCE RWS HAS BEEN INSTALLED, FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
 7. FOR NEW TREES, PLACE TEMPORARY ROOT WATERING SYSTEM NEAR ROOT FOR EXISTING TREES, PLACE TEMPORARY ROOT WATERING SYSTEM HALFWAY BETWEEN CANOPY EDGE AND TREE TRUNK.

- LEGEND:
1. FINISH GRADE/TOP OF MULCH
 2. ROOT WATERING SYSTEM: RAIN BIRD RWS
 3. PVC OR POLYETHYLENE LATERAL PIPE AND FITTINGS
 4. CONNECT THE TWO LATERALS SHOWN TO SEPARATE VALVES
 5. OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS
 6. PLANT ROOT BALL

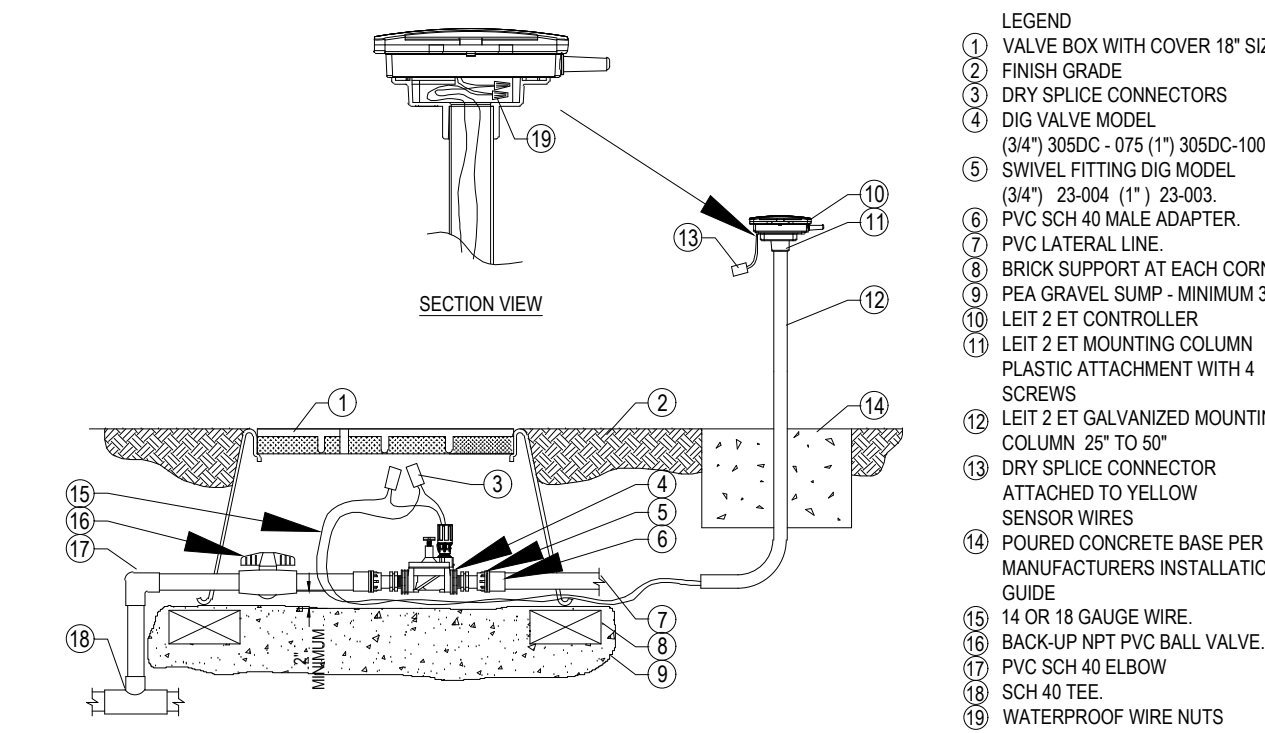
2 A-RWS INSTALLATION WITH DUAL PERIMETER

NOT TO SCALE

FX-IR-RB-DRIP-02



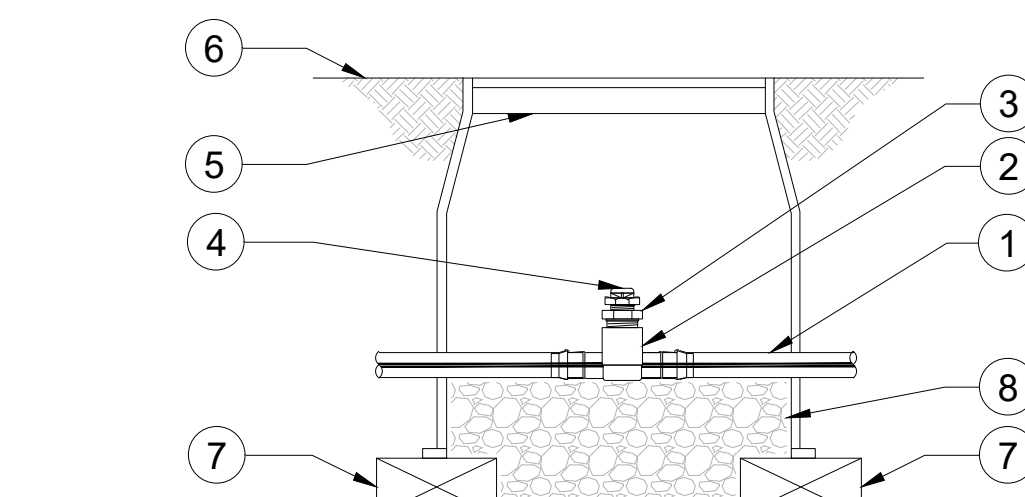
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER.



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
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 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER.

12 LEIT-2ET WEATHER BASED, WIRELESS CONTROL

328409-16-01



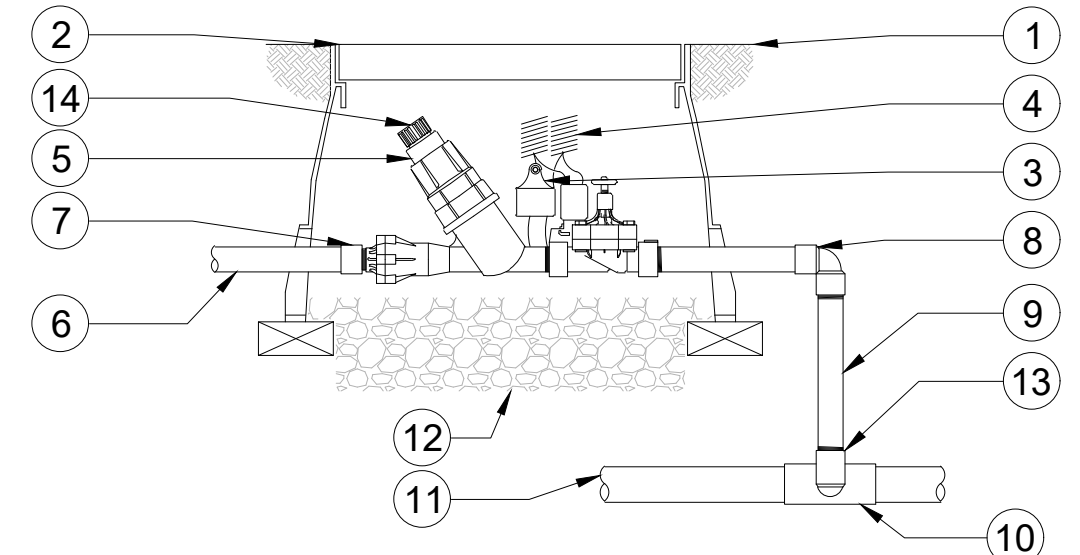
- LEGEND:
1. LANDSCAPE PRODUCTS 17MM EZ-ID CV COLOR CODED DRIPLINE
 2. LANDSCAPE PRODUCTS 17MM DRIPLINE TEE ADAPTER
 3. 3/4" x 1/2" REDUCER BUSHING
 4. LANDSCAPE PRODUCTS 12001240 1/2" AIR RELIEF VALVE
 5. LANDSCAPE PRODUCTS 12001690 6" x 9" ROUND EMITTER BOX
 6. FINISH GRADE
 7. BRICK FOR SUPPORT
 8. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

- NOTES:
1. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINTS ON THE DRIPLINE.

9 17MM EZ-ID DRIPLINE AIR RELIEF VALVE

NOT TO SCALE

FX-IR-LPI-DRE-01

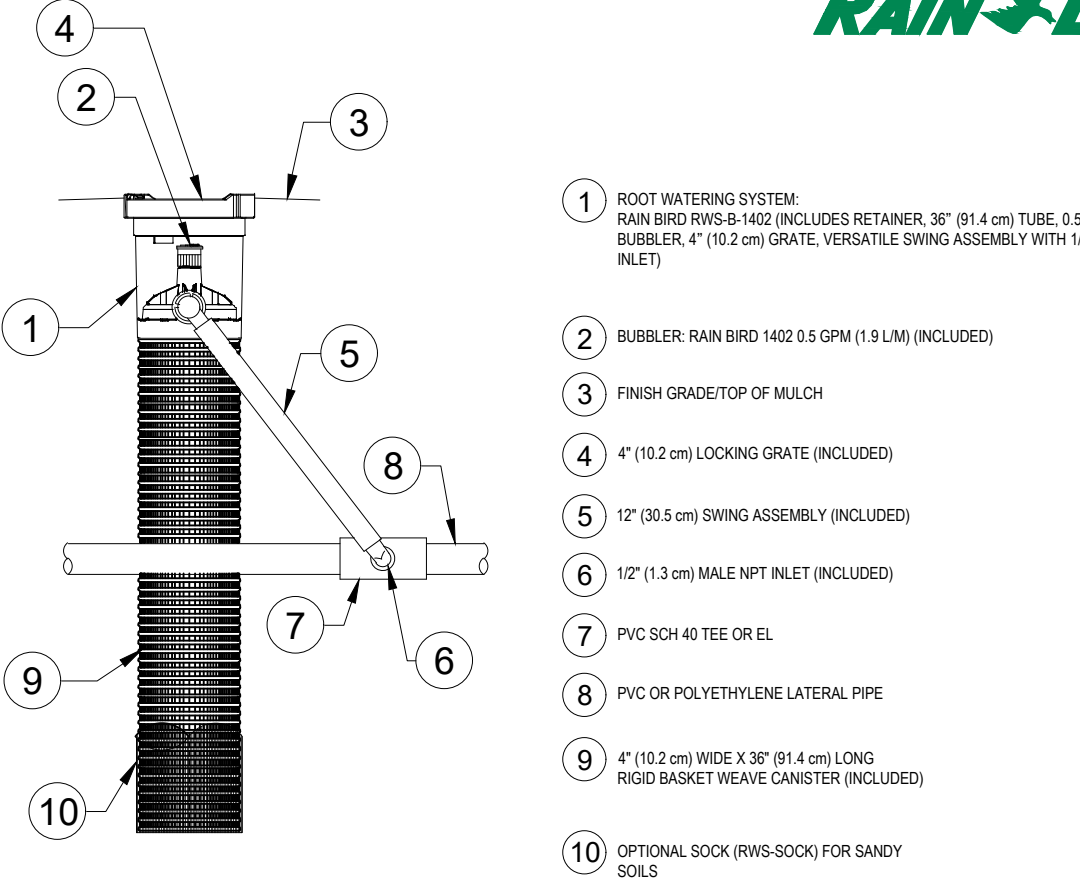


- LEGEND:
1. FINISH GRADE
 2. LANDSCAPE PRODUCTS JUMBO VALVE BOX WITH COVER
 3. VALVE ID TAG
 4. 30-INCH LENGTH OF COILED WIRE
 5. LANDSCAPE PRODUCTS DRIP KIT (INCLUDES VALVE, FILTER & PRESSURE REGULATOR)
 6. PVC SUPPLY HEADER TO DRIPLINE
 7. PVC SCH 80 FEMALE ADAPTER OR REDUCER
 8. PVC SCH 80 ELL
 9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 10. PVC SCH 80 TEE OR ELL
 11. PVC MAINLINE
 12. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
 13. PVC SCH 80 STREET ELL
 14. MANUAL FLUSH POINT

10 DRIP ZONE KIT IN VALVE BOX

NOT TO SCALE

FX-IR-LPI-DRE-01

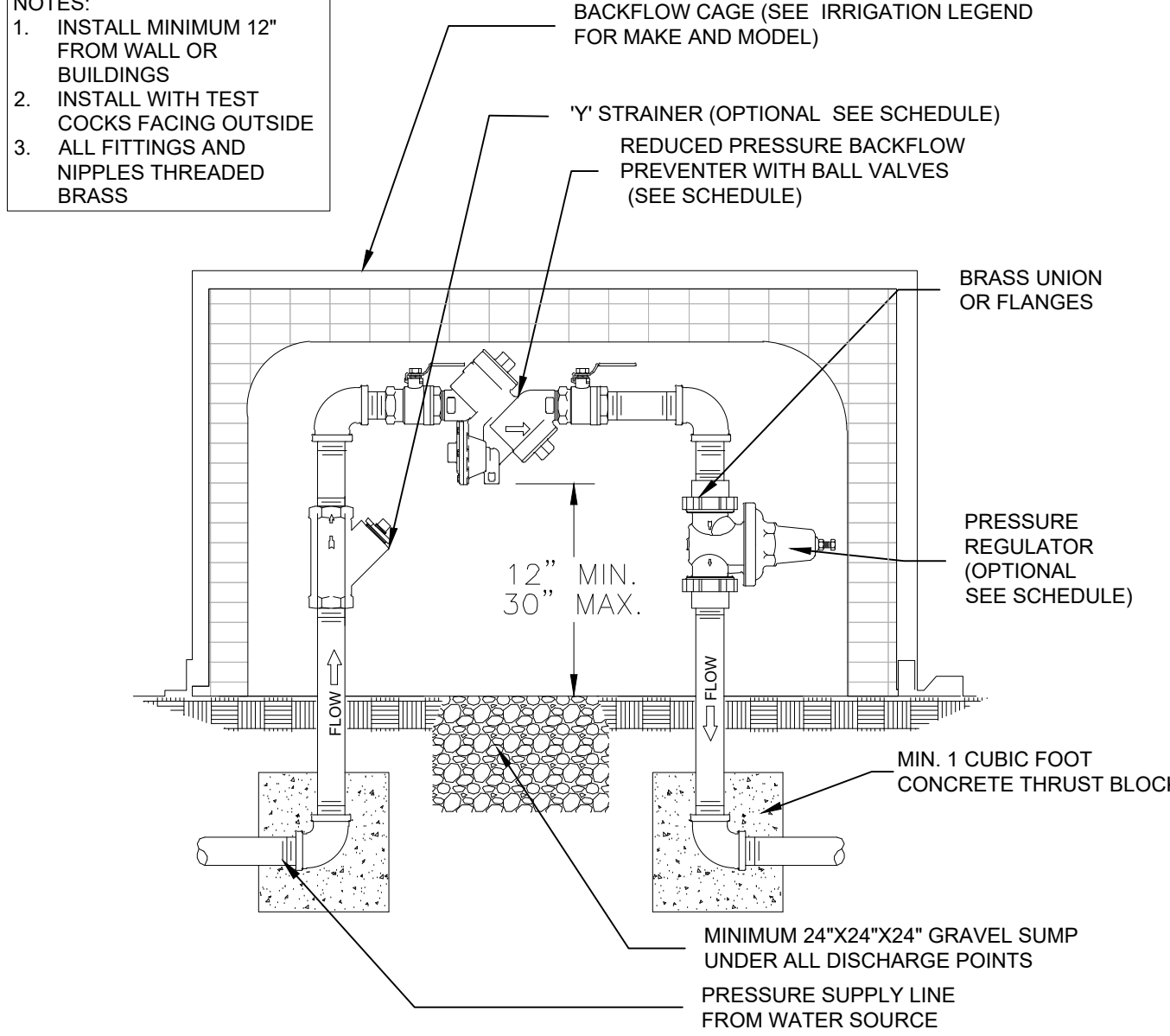


- NOTES:
1. 4" (10.2 cm) GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P).
 2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.
 3. OPTIONAL SAND SOCK (RWS-SOCK) IS 3/4" (19.0 mm) IN LENGTH TO COVER MESH BASKET AREA.
 4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 cm) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 5. ONCE RWS HAS BEEN INSTALLED, FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

11 ROOT WATERING SYSTEM-RWS-1402

NOT TO SCALE

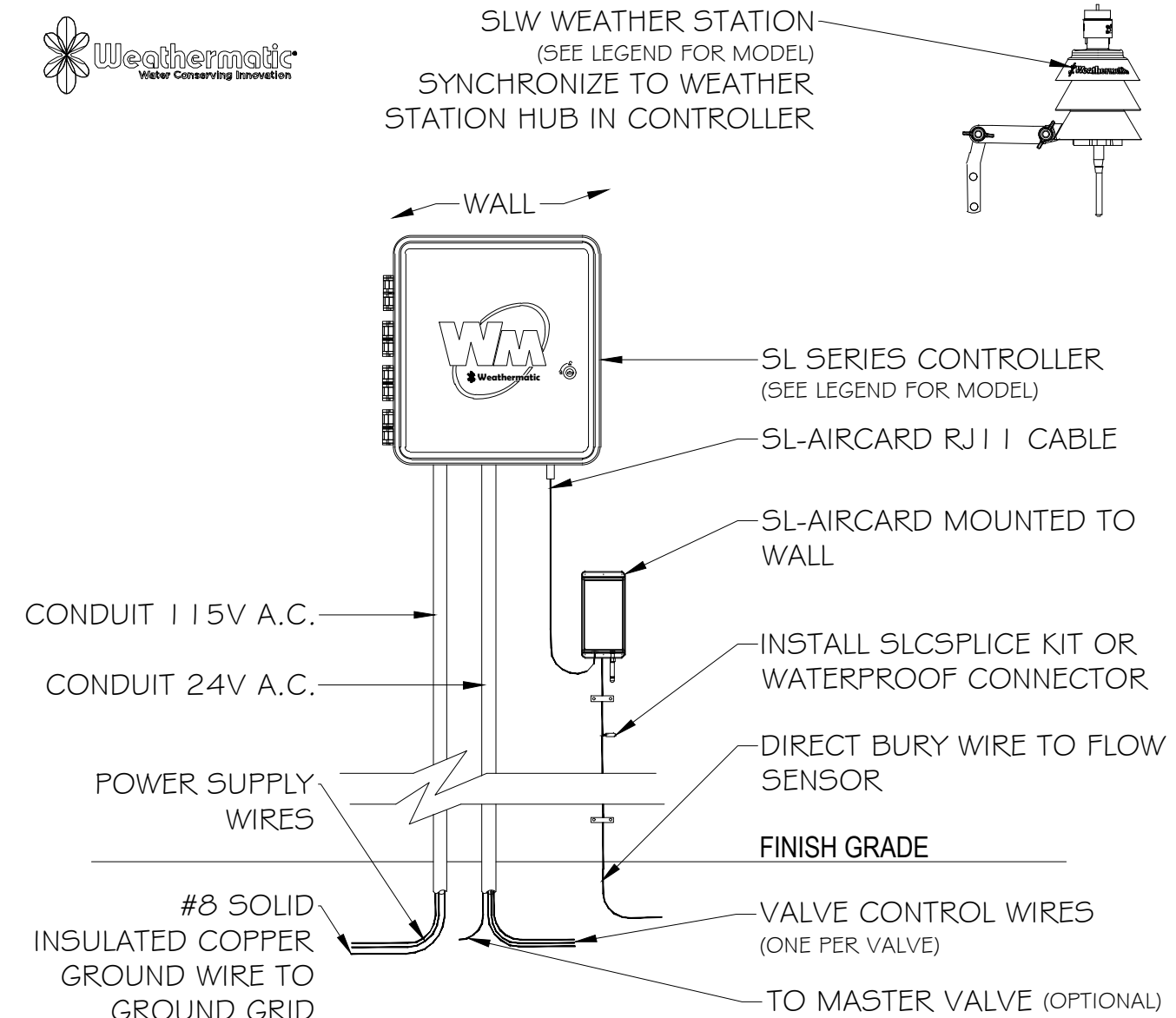
FX-IR-RB-DRIP-05



5 REDUCED PRESSURE BACKFLOW

1 1/2" = 1'-0"

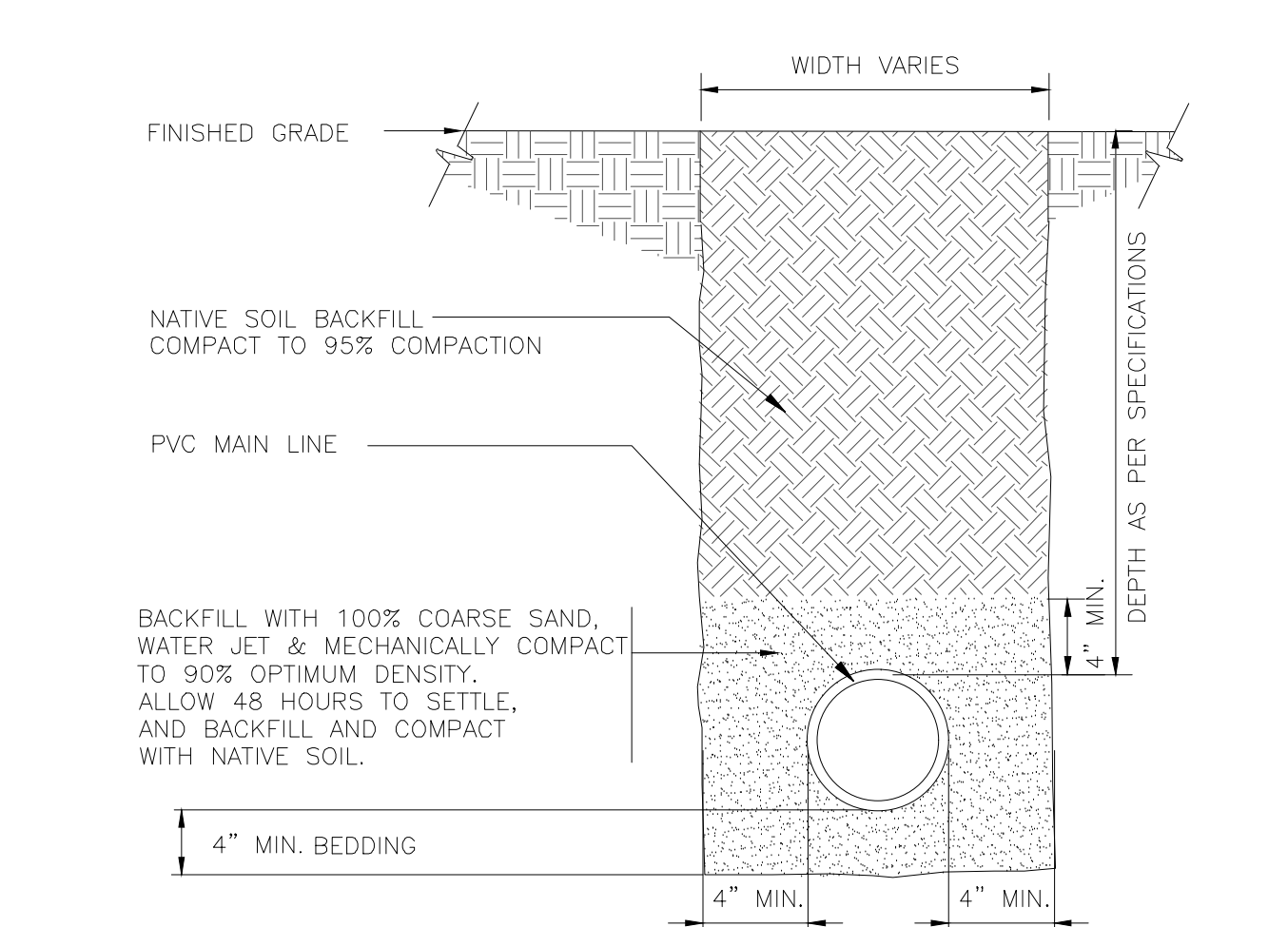
FX-IR-FX-BACK-04



6 SMARTLINE CONTROLLER WITH SLW

NOT TO SCALE

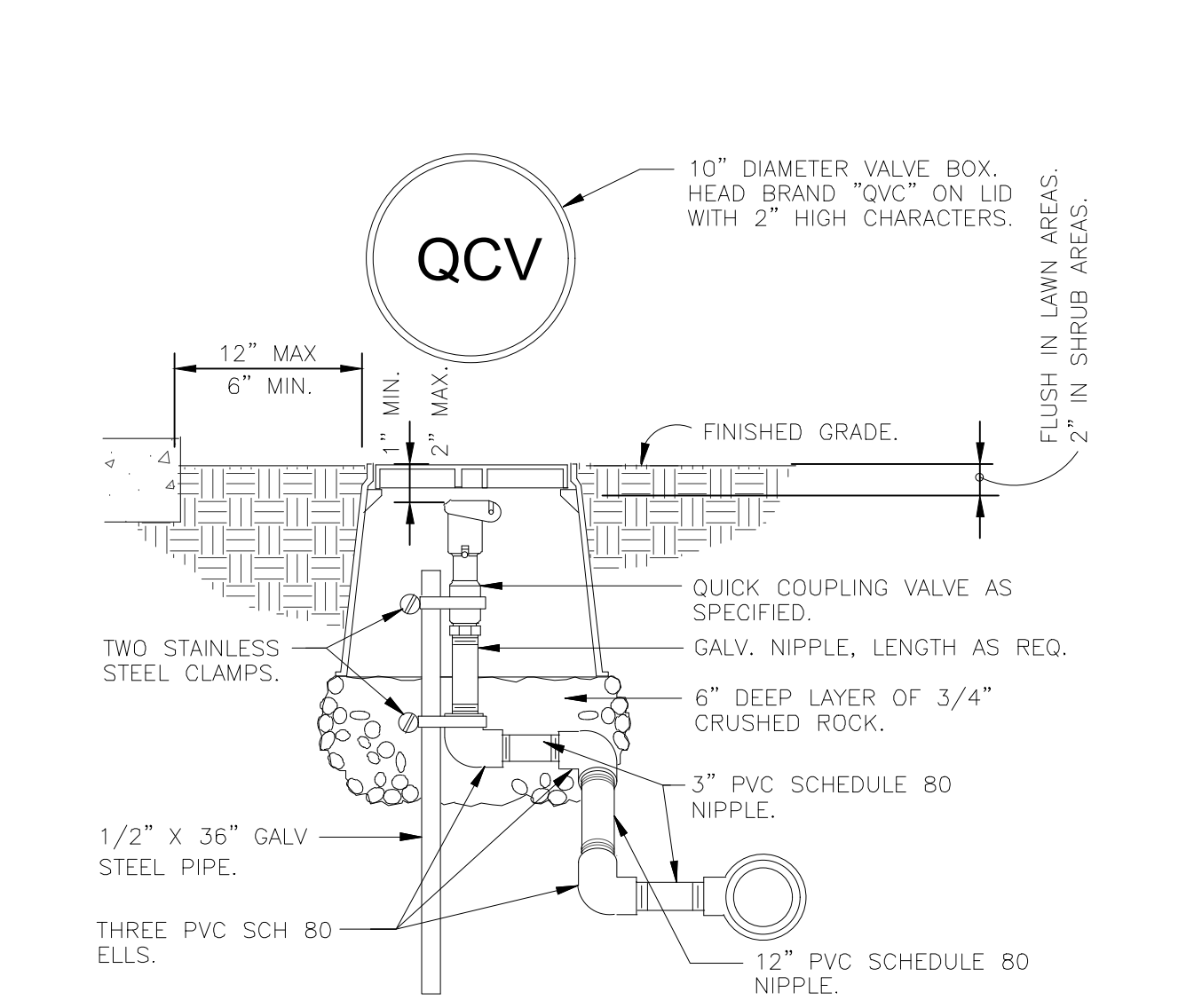
328409-13-01



7 SLEEVE AT ROAD

1 1/2" = 1'-0"

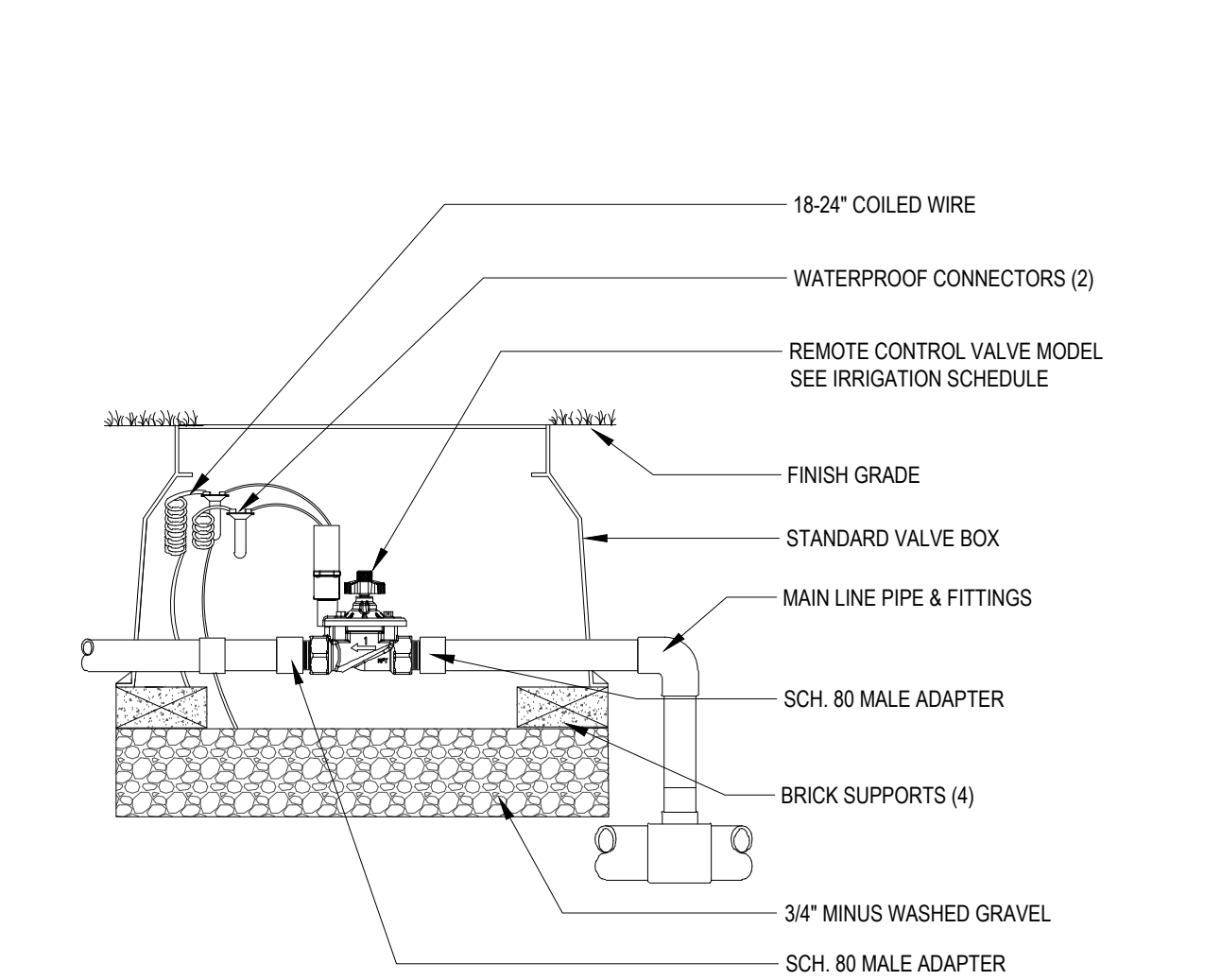
FX-IR-FX-AUXEQ-15



8 QUICK COUPLING VALVE IN BOX

1 1/2" = 1'-0"

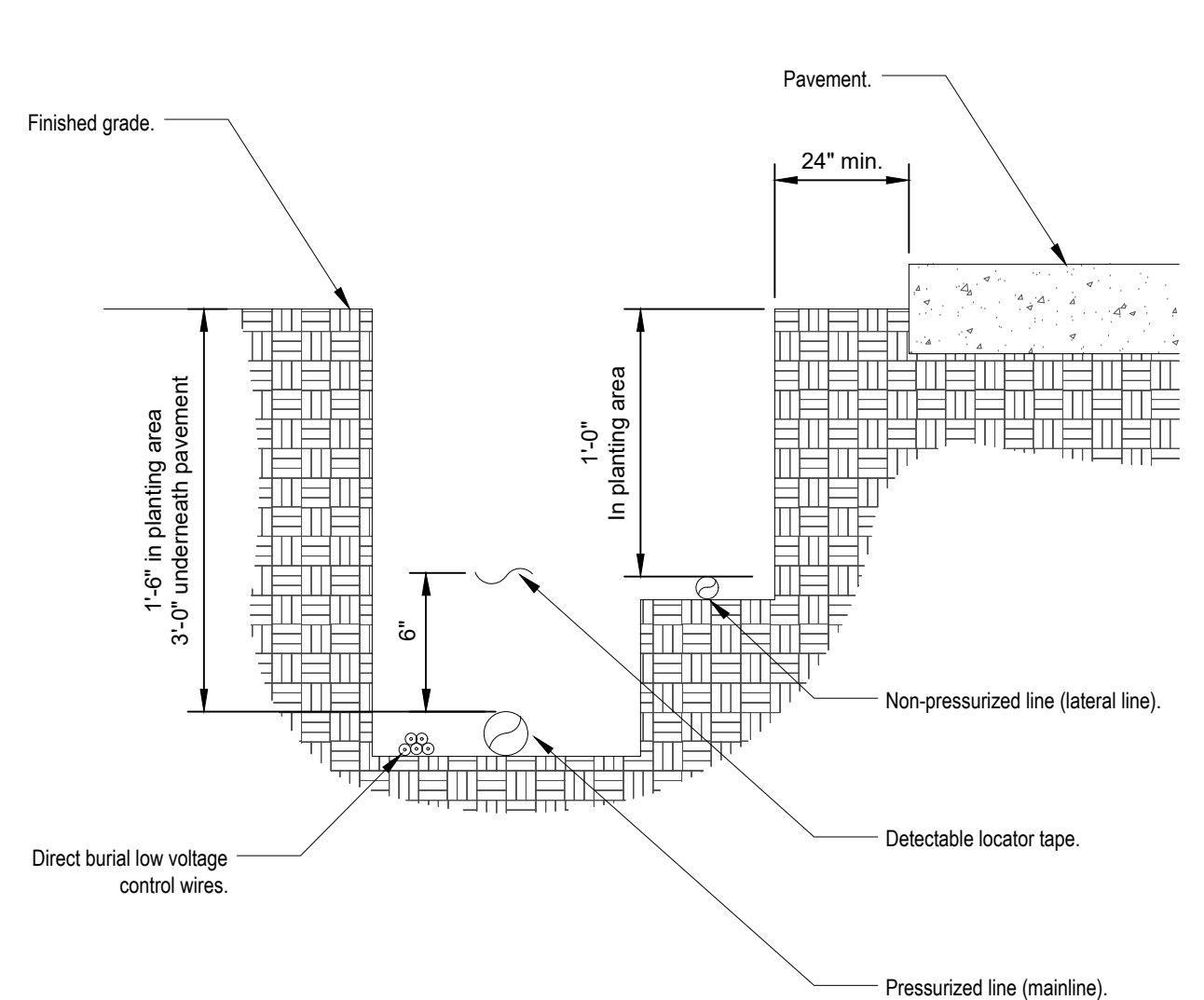
FX-IR-FX-QCUC-03



1 CONTROL VALVE

1 1/2" = 1'-0"

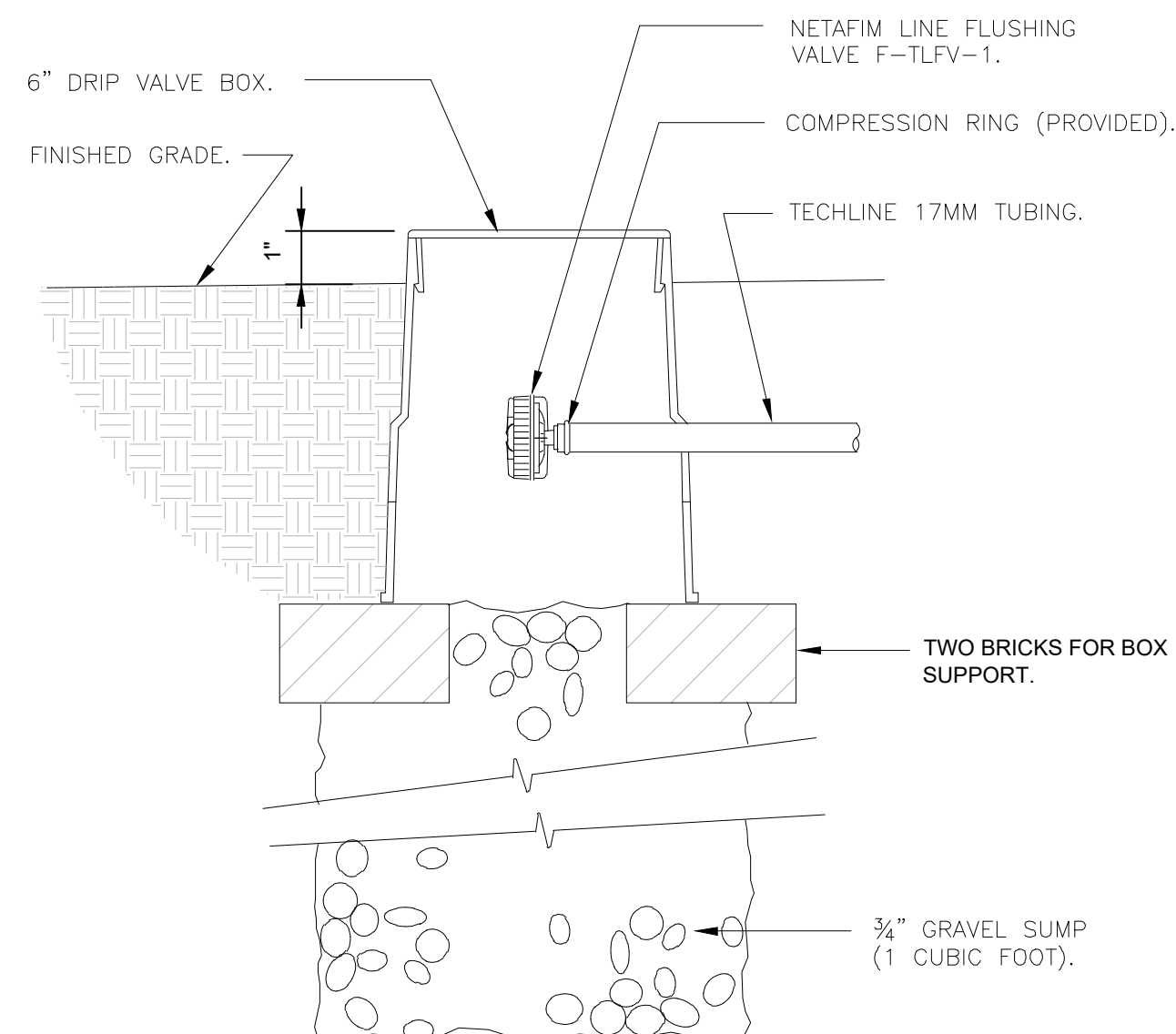
CCA-IRR-328406-01



2 IRRIGATION TRENCHING

NTS

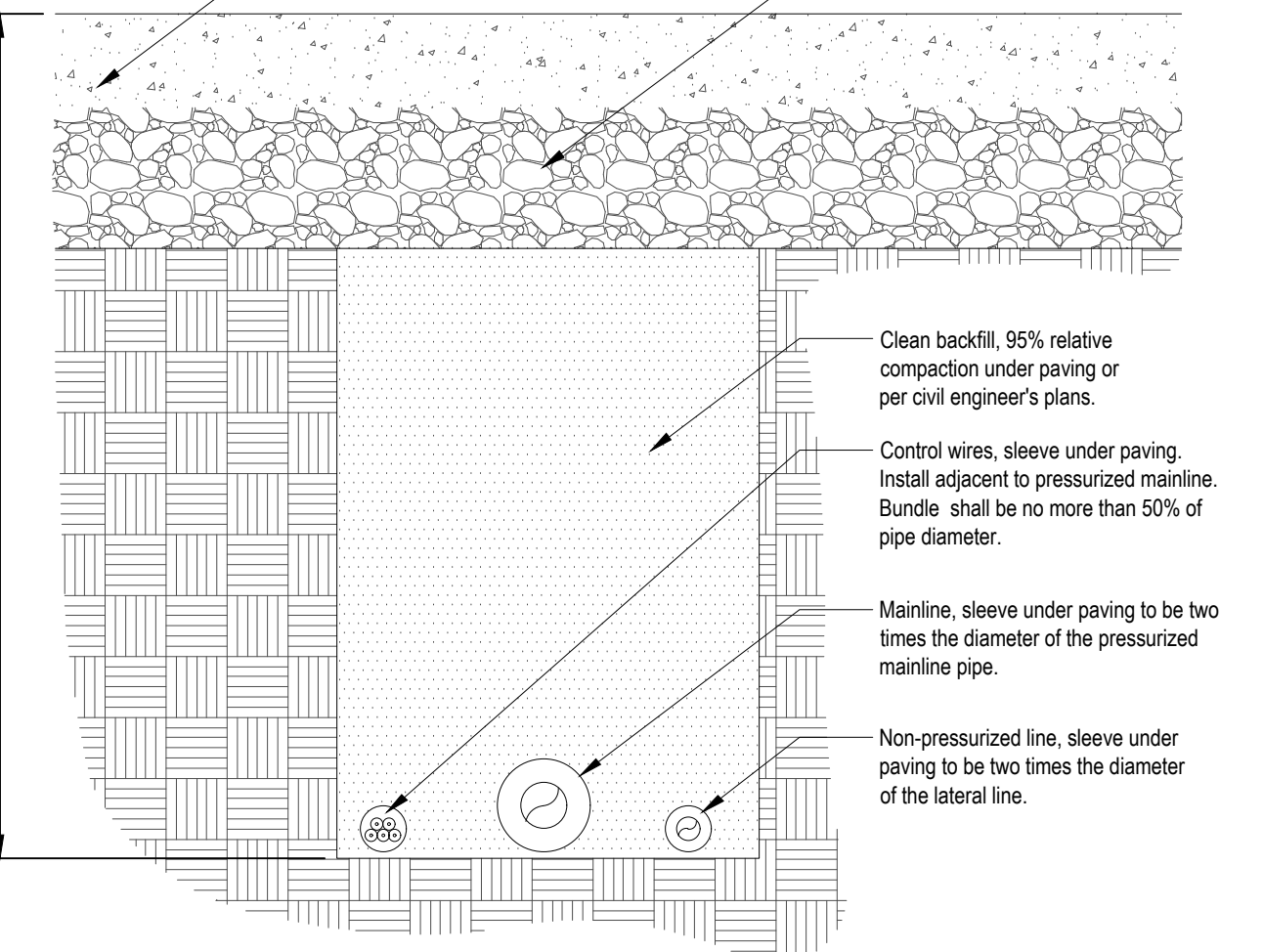
FX-IR-FX-AUXEQ-08



3 NETAFIM TECHLINE FLUSH VALVE

3" = 1'-0"

FX-IR-NETA-DRIP-01



- NOTES:
1. See irrigation legend for mainline size and type.
 2. All sleeves shall be Sch. 40 PVC pipe.
 3. All sleeves shall extend 12" beyond the edge of pavement.
 4. End of sleeves shall be located with a wooden stake or PVC pipe. Locators shall run continuously from the end of the sleeve to finished grade.

4 PIPE BENEATH PAVEMENT

NTS

FX-IR-FX-AUXEQ-05

JOB NO. CM220364

SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
Δ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:

CUMMINGS CURLEY AND ASSOCIATES INC.
LANDSCAPE ARCHITECTS

1100 PACIFIC COAST HIGHWAY, SUITE C
SEAL BEACH, CALIFORNIA 92640
TEL: 562.438.1111
CALIFORNIA 35853 • ARIZONA 30100 • NEVADA 878 • UTAH 377204
COLORADO 10559 • TEXAS 33337 • WASHINGTON 10069 • CLARE 18468



SHEET TITLE

LANDSCAPE DETAILS

SHEET NO.

L301

06/21/24

SHEET 7 OF 10



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PART 1 GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A. This Section includes sleeving and irrigation system.

B. Include a one-year of extended maintenance. Extended maintenance requirements are specified in Division 2 Section "Landscape and Irrigation Maintenance".

1.3 QUALITY ASSURANCE AND REQUIREMENTS

A. Permits and Fees: Obtain and pay for any and all permits and all inspections as required.

B. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers of articles used in this Contract furnish directions covering points not shown in the Drawings and Specifications.

C. Ordinances and Regulations: All local, municipal and state laws, rules, and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these Specifications, and their provisions shall be carried out by the Contractor. Anything contained in these Specifications shall not be construed to conflict with any of the above rules and regulations or requirements of the same. However, when these Specifications and Drawings call for or describe materials, workmanship or construction of a better quality, higher standard, or larger size than is required by the above rules and regulations, the provisions of these Specifications and Drawings shall take precedence.

D. Explanation of Drawings:

- Due to the scale of Drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. Carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, utilities and architectural features.
- All work called for on the Drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the Specifications.
- Do not willfully install the irrigation system as shown on the Drawings when it is obvious in the field that unknown obstructions, grade differences or discrepancies in area dimensions exist that might not have been considered in engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.

1.4 ACTION SUBMITTALS

A. Material List:

- Furnish the articles, equipment, materials, or processes not specified by name in the Drawings and Specifications. No substitutions will be allowed without prior written acceptance by the Landscape Architect.
- Complete material list shall be submitted prior to performing any work. Material list shall include the manufacturer, model number and description of all materials and equipment to be used.
- Equipment or materials installed or furnished without prior acceptance of the Landscape Architect shall be rejected and removed from the site at your expense.
- Review of any item, alternate or substitute indicates only that the product or products apparently meet the requirements of the Drawings and Specifications on the basis of the information or samples submitted.
- Manufacturer's warranties shall not relieve the Contractor of liability under the guarantee. Such warranties shall only supplement the guarantee.

B. Record and As-Built Drawings:

- Provide and keep up to date a complete "as-built" record set of prints which shall be corrected daily and show every change from the original Drawings and Specifications and the exact "as-built" locations, sizes and kinds of equipment. Prints for this purpose may be obtained from the Architect at cost. This set of drawings shall be kept on the site and shall be used only as a record set.
- These drawings shall also serve as work progress sheets, and the Contractor shall make neat and legible annotations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for review on-site.
- Before the date of the final review, transfer all information from the as-built prints to a reproducible drawing, procured from the Landscape Architect at cost. All work shall be neat, in ink, and subject to the approval of the Landscape Architect.
- Dimension from two (2) permanent points of reference, building corners, sidewalk or road intersections, etc., the location of the following items:

- Connection to existing water lines.
- Connection to existing electrical power.
- Gate valves.
- Routing of sprinkler pressure lines (dimension maximum 100 feet (30 m) along routing).
- Sprinkler control valves.
- Routing of control wiring.
- Quick coupling valves and drain valves.
- Other related equipment as directed by the Landscape Architect.

5. Deliver the corrected and completed as-built reproducible prints to the Landscape Architect thirty (30) days before the date of final review. Delivery of the reproducible prints will not relieve the Contractor of the responsibility of furnishing required information that may be omitted from the prints.

C. Controller Charts:

- As-built reproducible prints shall be reviewed by the Landscape Architect before controller charts are prepared.
- Provide one controller chart for each controller supplied.
- The chart shall show the area controlled by the automatic controller and shall be the maximum size which the controller door will allow.
- The chart is to be a reduced drawing of the approved as-built reproducible prints. In the event the controller sequence is not legible when the drawing is reduced, it shall be enlarged to a size that will be readable.
- The chart shall be a reproducible drawing and a different color shall be used to indicate the area of coverage for each station.
- When completed and approved, the chart shall be hermetically sealed between two pieces of plastic, minimum 6 mil.
- These charts shall be completed and approved by the Landscape Architect prior to final review of the irrigation system.
- Controller charts shall be attached to the inside surface of the corresponding controller enclosure prior to final review.

D. Operation and Maintenance Manuals:

- Prepare and deliver to the Landscape Architect within ten (10) calendar days prior to completion of construction, a cover binder with three rings containing the following information:
 - Index sheet stating Contractor's address and telephone number, list of equipment with name and addresses of local manufacturer's representatives.
 - Catalog and parts sheets on every material and equipment installed under this Contract.
 - Guarantee statement.
 - Complete operating and maintenance instructions on all major equipment.
 - Construction details from project.
 - Complete trouble shooting guide to common irrigation problems.
 - Winterization and spring start up procedures.
 - Chart of approximate watering times for spring, summer, fall and winter.

E. Maintenance Materials to be Furnished:

- Supply as a part of this Contract, the following tools:
 - Two sets of tools required for removing, disassembling and adjusting each type of sprinkler and valve supplied on this project.
 - Two 5-foot (1500-mm) valve keys for operation of gate valves.
 - Two keys for each automatic controller.
 - Three quick coupler keys and matching hose swells for each type of quick coupling valve installed.
 - Drip line Equipment, including the following --

- One plastic handled punch
- 10 feet (3 m) of dripper tubing for each dripper interval and discharge rate,
- Six barbed couplings
- Six barbed 90 elbows fittings
- Six barbed tee fittings
- Six 180 2-way adapter tees
- Six male adapters with 3/4 inch (19 mm) FPT
- One spare filter element of the mesh size indicated on the irrigation legend.
- One line flushing valve
- Two regulator springs of the colored and regulating pressure indicated on the irrigation legend.
- Six dripper plug rings.

12) The above-mentioned equipment shall be turned over to the Owner at the conclusion of the project. Before final review can occur, evidence that the Owner has received material must be shown to the Landscape Architect.

1.5 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Handling of PVC pipe and fittings: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing PVC pipe and fittings. All PVC pipe shall be transported in a vehicle which allows the length of pipe to lie flat so as not to subject it to undue bending or concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded, and, if installed, shall be replaced with new piping.

B. Provide all equipment called for by the Drawings.

1.6 FIELD QUALITY CONTROL AND SITE VISITS

A. Required Site Visits During Construction:

- Pre-Installation Conference: Contractor, Installer, Landscape Architect, Owner's Representative, and other pertinent parties to attend Pre-Installation Conference for landscape and irrigation prior to starting work on site.
- Landscape Architect will make three (3) site visits during construction to review the irrigation system at the following stages:
 - Prior to pipe cover-up for mainline pressure test and lateral review
 - After sprinkler head installation
 - Punch list coverage test.

3. Punch List Review: Landscape Architect will make one site visit to review the completed work. Landscape Architect to obtain Contractor's Punch List prior to visit and to schedule the visit when the work is complete enough to negate the need for additional visits.

B. Required Site Visit After Construction:

1. Landscape Architect will make a one (1) year Guarantee Site Visit.

C. Submit reports of site visits to Architect and Owner.

D. Site Visit Schedule: Contractor shall be responsible for notifying the Landscape Architect and Owner's Representative in advance for the following reviews, according to the time indicated:

- Pre-Installation Conference: Five (5) business days.
- Mainline Pressure Test and Lateral Review: Three (3) business days.
- Sprinkler Head Installation: Three (3) business days.
- Punch List Review And Coverage Test: Three (3) business days.
- One-Year Guarantee Site Visit: Ten (10) business days

1.7 GUARANTEE

A. The guarantee for the irrigation system shall be made in accordance with the attached form. The General Conditions and Supplementary Conditions of these Specifications shall be filed with the Owner or his representative prior to acceptance of the irrigation system.

B. A copy of the guarantee form shall be included in the operations and maintenance manual.

C. The guarantee form shall be retyped onto the Contractor's letterhead and contain the following information:

GUARANTEE FOR IRRIGATION SYSTEM

We hereby guarantee that the irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the Drawings and Specifications, ordinary wear and tear and unusual abuse, or neglect excepted. We agree to repair or replace any defects in material or workmanship which may develop during the period of one (1) year from date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at no additional cost to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.

PROJECT: _____
LOCATION: _____

SIGNED: _____
Contractor
ADDRESS: _____

PHONE: _____
DATE OF ACCEPTANCE: _____

PART 2 PRODUCTS

2.1 MATERIALS

A. General: Use only new materials of brands and types noted on Drawings and specified herein.

B. PVC Pressure Main Line Pipe and Fittings

- Pressure main line piping shall be PVC Schedule 40.
- Pipe shall be made from an NSF approved Type I, Grade I, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements as set forth in Federal Specification PS-22-70, with an appropriate standard dimension ratio (S.D.R.). (Solvent-weld pipe).
- Pipe shall be made from NSF approved Type I, Grade I, PVC compound conforming to ASTM resin specification 1785. All pipe must meet requirements as set forth in Federal Specification PS-21-70. (Solvent-weld pipe).
- PVC solvent-weld fittings shall be Schedule 40, 1-1/2, II NSF approved conforming to ASTM test procedure D2466.
- Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and installation methods prescribed by the manufacturer.
- All PVC pipe must bear the following markings:
 - Manufacturer's name
 - Nominal pipe size
 - Schedule or class
 - Pressure rating in P.S.I.
 - NSF (National Sanitation Foundation) approval
 - Date of extrusion

C. PVC Non-Pressure Lateral Line Piping and Sleeving:

- Non-pressure buried lateral line piping shall be PVC Schedule 40 with solvent-weld joints.
- Pipe shall be made from NSF approved, Type I, Grade II, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-70 with an appropriate standard dimension ratio (S.D.R.).

D. Connections between main lines and control valves shall be of Schedule 80 PVC (threaded both ends) nipples and fittings.

E. All PVC pipe used on the site shall be from the same manufacturer.

F. Dripper Tubing with Pressure Compensating Emitters: Tubing shall be of nominal sized 1/2-inch (12 mm) low density, ultra-violet-resistant, linear polyethylene tubing with internal pressure-compensating, self-cleaning, integral drippers at a specified interval.

G. Inset Barbed Fittings: All inset barbed fittings shall be constructed of molded, ultra-violet-resistant, plastic. Each fitting shall have a minimum of two ridges or bars per outlet. All fittings shall be of one manufacturer and shall be available in one of the following end configurations:

- barbed insert fittings
- male pipe threads (MPT) with barbed insert fittings or
- female pipe threads (FPT) with barbed insert fittings.

2.2 QUICK COUPLER VALVES

A. Quick coupler valves shall be as listed on the Drawings.

2.3 CONTROLLERS

A. Controllers shall be as listed on the Drawings.

B. Provide and install automatic irrigation controller in approximate location shown on Drawings. 120 V.A.C. power and conduit to outside planting area as shown on electrical drawings.

C. Final electrical hook-up shall be the responsibility of the irrigation contractor.

2.4 LINE FLUSHING VALVE

A. The line flushing valve shall be constructed of black molded plastic and shall be a normally closed hydraulic valve, which flushes based on volumetric quantities of water. Inlet and outlet configurations shall be of one of the following configurations:

B. 1/2-inch (12 mm) MPT, or

C. Inset barbed fitting: The top of the line flushing valve shall be domed-shaped to allow water-transported debris to drain away from one of the eight orifices in the top of the valve. The valve shall be non-serviceable and capable of automatically operating during initial system pressure build-up to discharge one gallon of water per 15 gpm demand at 25 psi maximum or 4 psi minimum.

2.5 REMOTE CONTROL VALVES

A. Remote control valves shall be as noted on irrigation schedule. Sizes of remote control valves shall be as listed on the Drawings.

2.6 CONTROL WIRE

A. Control wire shall be individual copper wires with UL approval for direct burial in ground, minimum size #14-(not multi-strand). Common ground wire shall have white insulating jacket; control wire shall have insulating jacket of color other than white; spare wires shall be yellow. Splices shall be made with 3M #3576 Scotchlok seal packs or approved.

2.7 DISC FILTER

A. The disc filter body shall be molded of black plastic with male pipe threads (MPT) for both the inlet and outlet ports. A threaded cap on one end of the body shall be capable of periodic servicing by unscrewing the cap from the main filter body. On the 3/4-inch (19 mm) model, a manual shut-off valve shall be co-molded to the opposing end of the removable cap as part of the main body. This device shall be capable of closing off the inlet port so the disc element can be removed when the main line is still pressurized.

B. The filter elements shall be either disc-type or a canister screen filter. The disc-type shall be color-coded in one of four colors denoting filtration of 80, 120, 140, and 200 mesh. The canister-type screen shall be available in three levels of filtration, 80, 120, and 140 mesh.

2.8 BOXES FOR AUTOMATIC CONTROL VALVES

A. Boxes for remote control valves shall be Carson Model 1419 plastic valve box. Provide extensions as required to flush box with finish grade.

2.9 AIR/VACUUM RELIEF VALVES

A. Air/vacuum relief valves shall be constructed of grey plastic with an internal sliding poppet valve that is capable of venting air or vacuum to the atmosphere only. The main body shall have a 1/2-inch (12 mm) male pipe thread (MPT).

B. Operating pressure range for the air/vacuum relief valve shall be 7 psi minimum to 140 psi maximum.

2.10 BACKFLOW PREVENTION UNITS

A. Backflow prevention units shall be of the size and type shown. Install backflow prevention units in accord with irrigation construction details, with positive drainage and room for servicing.

B. Wee strainers at backflow prevention units shall have a 125-lb (57 kg) flanged cast iron body with 100 mesh screen.

2.11 BALL VALVES

A. Ball valves 2 inches and smaller shall 400 psi/27.6 Bar Non-Shock Cold Working Pressure brass ball valve with Threaded - Standard Port - Blowout-Proof Stem - TFE Seats, Nibco or approved.

2.12 DRAIN ROCK

A. Un-fractured rock, 100 percent passing a 1-1/2-inch (38 mm) square sieve and 0 percent passing a 3/4-inch (19 mm) sieve.

2.13 PROTECTIVE SLEEVES WITH LOCKING CAPS

A. 2-inch (50 mm) diameter class 200 PVC, length as required. Caps, Rain Bird #63100. Enclose all drain valves in protective sleeves with locking caps.

2.14 SLEEVES FOR PIPING UNDER PAVING

A. PVC class 200, sizes as noted, depth as required for piping.

B. Extend piping 12 inches (300 mm) into planter, plug ends and mark at grade with flag label.

2.15 STAINLESS STEEL CLAMPS

A. Tubing clamps shall be constructed to 304 AISI stainless steel and shall be one "ear" type. This "ear" shall be capable of being pinched with a pinching tool to secure the tubing around the insert barbed fitting.

B. Interior clamp wall shall be smooth to prevent crimping or pinching of tubing.

2.16 MISCELLANEOUS INSTALLATION MATERIALS

A. Solvent cement and primers for solvent weld joints shall be of make and type approved by manufacturer(s) of pipe and fittings. Cement shall be maintained at proper consistency throughout use.

2.17 MISCELLANEOUS EQUIPMENT

A. Provide all equipment called for by the Drawings.

PART 3 EXECUTION

3.1 REVIEW

A. Site Conditions:

- All scaled dimensions are approximate. The Contractor shall check and verify all size dimensions and receive Landscape Architect's approval prior to proceeding with work under this section.
- Exercise extreme care in excavating and working near existing utilities. Contractor shall be responsible for damages to utilities which are caused by his operations or neglect. Check existing utilities drawings for existing utility locations.
- Coordinate installation of sprinkler irrigation materials, including pipe, so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs, and ground cover.
- The Contractor shall carefully check all grades to satisfy himself that he may safely proceed before starting work on the landscape sprinkler system.
- Coordinate installation of sleeves with other trades.

3.2 PREPARATION

A. Physical Layout:

- Prior to installation, stake out all pressure supply lines, routing and location of sprinkler heads. Begin dripper tubing layout 4 to 6 inches (100 to 150 mm) away from both hard surfaces; (i.e., concrete sidewalks, curbs, asphalt, and/or undefined edges; i.e. shovel-out headers). Mark tubing intervals on the ground with flags, paint, or some other markings that can be maintained throughout the installation.
- Make minor changes to conform to ground conditions and note on as-built drawings.

B. Water Supply:

- Connect to the water supply at the approximate point of connection as indicated on the Drawings.
- Contractor is responsible for minor changes caused by actual site conditions.

C. Electrical Supply:

- Electrical connections for automatic controller shall be made to electrical points of connections as indicated on the Drawings.
- Contractor is responsible for minor changes caused by actual site conditions.

3.3 EXCAVATING AND TRENCHING

A. Excavation shall be in all cases ample in size to permit the pipes to be laid at the elevations intended and to permit ample space for joining.

B. Make trenches for pipelines deep enough to provide minimum cover from finish grade as follows:

- 24 inches minimum cover over main lines to control valves and quick coupling valves.
- 24 inches minimum cover over control wires from controller to valves.
- 18 inches minimum cover over lateral lines to sprinkler heads.
- All lines shall have a minimum clearance of 6 inches (150 mm) from each other and from lines of other trades. Parallel lines shall not be installed directly adjacent or over one another. Reinstall all rejected piping in accordance with this requirement.

C. Restore surfaces, existing underground installations, etc., damaged or cut as a result of excavations, to original conditions in manner approved by the Landscape Architect or Owner's Representative.

D. Where other utilities interfere with irrigation trenching and pipe work, adjust the trench depth as instructed by the Landscape Architect or Owner's Representative.

3.4 DRIPPER TUBING INSTALLATION

A. Drripper tubing can be installed in one of the following methods:

- Over-excavation: In small areas, over-excavate the entire area to a depth of 4 inches (100 mm) below finish grade. Plant all specimen trees and shrubs, 15 gallon size and larger, then place tubing at the row spacing interval indicated on the plans.
- Pipe Pulling: In larger areas where ground disruption is to be minimized, pneumatic tire, pipe pulling machinery shall be used. Pothole at the ends of each run for making connection to supply and exhaust headers of rigid PVC pipe. Maintain 4-inch (100 mm) cover.

B. Drripper tubing can be installed with the water outlets facing upward or downward. Offset the water outlets to form a triangular pattern throughout the tubing layout. In irregular areas, water outlets too close to fixed improvements shall be capped off with a dripper plug ring.

C. Barbed Fittings: Connect dripper tubing to barbed fittings by pushing on and over both barbs until the tubing has seated against another piece of tubing or has butted against another portion of the barbed fitting.

D. Pipe Clamping: When operating pressure exceeds 45 psi, stainless steel pipe clamps shall be used. Slip clamps over tubing before slipping tubing over insert barbed fitting. Place clamp between the first and second ridge of the barbed fittings and crimp the "ear" of the clamp tightly. Crimp the "ear" twice to ensure proper seating.

3.5 BACKFILLING

A. Backfill only after piping has been tested, reviewed and accepted.

B. Backfill material shall be the earth excavated from the trenches, free from rocks, concrete chunks, and other foreign or course materials. Carefully select backfill that is to be placed next to plastic pipe to avoid any sharp objects which may damage the pipe. Place shovel fulls of dirt on dripperline tubing to keep them in place and maintain row spacing. If soil is rock-laden, isolate from pipe with minimum 2 inches (50 mm) of clean, coarse sand.

C. All pipe under asphalt paving shall be backfilled with 4 inches (100 mm) of clean sand on all sides of pipe.

D. Place backfill materials in 6 inches (150 mm) layers and compact by jettling or tamping to a minimum compaction of 90 percent of original soil density.

E. Dress off areas to finish grades and remove excess soil, rocks or debris remaining after backfill is completed.

F. If settlement occurs along trenches, and adjustments in pipes, valves and sprinkler heads, soil sod, or paving to the proper level or the permanent grade, subcontractor, as part of the work under this Contract, shall make all adjustments without extra cost to the Owner.

3.6 PIPING

A. Use piping as indicated on drawings. Install in accordance with industry standards and manufacturer's recommendations.

B. Install all PVC piping using two-step solvent weld process only. Cure joints at least 24 hours.

C. Paint all galvanized pipe below grade with at least one heavy coat of approved paint to prevent corrosion.

E. Where pipes or control wires pass through sleeves, provide removable non-decaying plug at ends of sleeve to prevent entrance of earth.

3.7 REMOTE CONTROL VALVES

A. Install where shown and group together in straight lines where practical. Limit one remote control valve per box.

B. Locate valves no closer than 12 inches (300 mm) from walk edges, building and walls. Install valve box parallel to walk, curb or edge.

C. Thoroughly flush main line before installing valve.

D. Install in planting areas where possible.

3.8 DISC FILTER

A. Install the disc filter, horizontally level, below grade and as indicated in the installation details. the position of the disc filter in the valve box shall be off-center to allow for removal of the disc element for periodic servicing.

3.9 AIR/VACUUM RELIEF

A. Install the air/vacuum relief valve below grade and at the highest elevation within each zone. Depending on the site conditions and tubing layout, multiple air/vacuum relief valves will be required. Place the valve within a round valve box with a locking cover and a 1 cu. ft., 3/4-inch (19 mm) gravel sump as noted on the details.

B. Interconnect tubing with an air/vacuum relief lateral perpendicular to other tubing laterals for systems that are located on mounds or berms with more than a 3-foot (900 mm) elevation differential.

3.10 LINE FLUSHING VALVE

A. Install the line flushing valve horizontally level and below grade at each exhaust header. Locate in a valve box with the dome-shape of the valve facing upward. Include a minimum of 1 cu. ft. of 3/4-inch (19 mm) gravel in the bottom of the valve box.

3.11 AUTOMATIC CONTROL WIRING

A. Run lines along mains wherever practical. Tie wires in bundles with pipe wrapping tape at 10-foot (3-meter) intervals and allow slack for contraction between strappings.

B. Loop a minimum of 3 feet (900 mm) of extra wire in each valve box; for control wire, spares and ground wire.

C. Connections shall be made by crimping bare wires with brass connectors and sealing with epoxy resin sealer packs.

D. Splicing will be permitted only on runs exceeding 500 feet (150 m). Locate all splices at valve locations within valve boxes. All splicing shall be made with Scotch-Lok #3576 connector sealing packs or approved. Field splices between the automatic controller and electrical control valves will not be allowed without prior approval of the Landscape Architect or Owner's Representative.

E. Where control wires lines pass under paving, they shall pass through PVC class 200 sleeves.

F. Provide two complete spare wire runs from controller through every valve box for future use. Test for continuity at punch list. Provide an extra 3 feet (900 mm) (in each valve box and permanently label "Spare".

3.12 AUTOMATIC CONTROLLER

A. Connect control lines to controller in sequential arrangement according to assigned identification number of valve. Control lines shall be labeled at controller with permanent non-fading labels indicated identification number of valve controlled.

3.13 FLUSHING OF SYSTEM

A. After all new sprinkler pipe lines and risers are in place and connected, all necessary diversion work has been completed, and prior to installation of sprinkler heads, open control valves and use a full head of water to flush out the system.

B. Install sprinkler heads only after flushing of system has been accomplished and approved by the Landscape Architect or Owner's Representative.

3.14 SPRINKLER HEADS AND QUICK COUPLER VALVES

A. Thoroughly flush lines before installing heads or QCV's.

B. Locate heads and QCV's as shown in the Drawings and details.

C. Adjust sprinkler heads for proper distribution and trim. In no case shall spacing exceed maximum recommended by the manufacturer and as listed on the Drawings.

3.15 EXISTING TREES

- Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees and tree roots.
- Excavation in areas where 2 inches (50 mm) and larger roots occur shall be done by hand.
- All roots 2 inches (50 mm) and larger in diameter directly in the path of pipe or conduit, shall be tunneled under and shall be heavily wrapped with burlap, to prevent scarring or excessive drying.
- Where a ditching machine is run close to trees having roots smaller than 2 inches (50 mm) in diameter, the wall of the trench adjacent to the tree shall be hand trimmed, making clean cuts through.
- Trenches adjacent to trees shall be closed within 24 hours; and, where this is not possible, the side of the adjacent to the trees shall be kept shaded with burlap or canvas.

3.16 FIELD QUALITY CONTROL

A. Adjustment of the System:

- The Contractor shall flush and adjust all drip lines for optimum performance and to prevent overspray onto walks, roadways, and buildings as much as possible.
- If it is determined that adjustments in the irrigation equipment will provide proper and more adequate coverage, the Contractor shall make such adjustments prior to planting. Adjustments may also include changes in nozzle sizes and degrees of arc.
- All sprinkler heads shall be set perpendicular to finish grades unless otherwise designated on the drawings.

B. Testing of Irrigation System:

- The Contractor shall request the

PART 1 GENERAL

1.1 RELATED DOCUMENTS

A.Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A.The work described herein may be performed as part of the Extended Maintenance requirements of separate Landscape Planting Section, the Irrigation Section, or as part of work contracted separately subsequent to completion of the Extended Maintenance requirements of the construction contract.

B.Work includes all labor, tools, specialized equipment, materials, qualified supervision and transportation to perform complete grounds maintenance work including landscape, irrigation, and seasonal color and to maintain the landscape in a healthy and attractive condition as described herein. All work in this specification is required to be performed as a part of this contract whether described in an active tense or not.

C.Provide regular maintenance services as outlined in these Landscape Maintenance Specifications and submit attached Maintenance Task Matrix to the Designated Representative for record.

D.Examine the landscape and irrigation during each required visit, looking for problems or potential problems.

E.Provide at your own risk and expense all labor, materials, tools, equipment, insurance, transportation, hauling, dumping, and all other items needed to provide the services outlined in this Specification.

F.Make minor replacements and repairs to the landscape and irrigation items as part of the required maintenance work. Report major items needing replacement or repair to the Designated Representative within one week of occurrence. A minor item is something that takes less than one hour to repair by skilled workmen, using replacement parts with a total value of less than US\$30. A major item requires more than one hour to repair and/or requires replacement parts with value in excess of US\$30. Be available to perform major items related to the landscape and irrigation maintenance as may be authorized in writing by the Designated Representative.

1.2 PRE QUALIFICATION

A.To be eligible to perform the work described herein, Landscape Contractor shall have a wide range of knowledge and minimum 5 years industry experience in landscape maintenance with a high standard of workmanship and performance.

B.Proof of relevant experience shall be provided in the form of a record of minimum of 5 recent landscape maintenance projects including:

1. Project name and description
2. Contract type and scope of work
3. Client contact information
4. Contract sum
5. Dates of work

C.Also provide names of state licensed Herbicide/Pesticide applicators employed by the Landscape Contractor who are anticipated to perform the work specified herein.

1.3 PROTECTION

A.Take all reasonable precautions required to protect plants from abnormal temperatures. Confine work to areas designated.

B.Take care to prevent damage to adjacent property.

C.Store materials or equipment in a safe manner in conformance with all applicable codes and requirements only in areas designated by the Warehouse Manager.

1.4 ACTION SUBMITTALS

A.Submit samples and information sheets to the Designated Representative for approval, for any proposed substitution(s) and for materials not specified by manufacturers, and as noted herein.

B.Required submittals include the following -

1. Fertilizer,
2. Herbicides,
3. Seed Mixes,
4. Pesticides,
5. Pesticide Application Records,
6. Maintenance Schedule and Maintenance Task Matrix.

1.5 MAINTENANCE TASK MATRIX

A.The Maintenance Task Matrix shall be updated after each site visit.

B.Weeks in which visits do not occur or tasks that are not completed should be noted on the Matrix.

C.The Matrix should be available for review by Designated Representative at any time.

D.A completed Maintenance Task Matrix is to be submitted at the end of each quarter to the Designated Representative for his/her review and record.

E.The Landscape Contractor should retain a record copy of all completed Matrixes.

1.6 OWNER NOTIFICATION

A.Review site during each site visit to determine presence of any conditions hazardous to health, safety, or welfare. Notify the Designated Representative immediately of any such hazardous conditions.

1.7 REPAIR

A.Prune plant material to repair minor damage caused by vandalism, traffic, acts of nature, or other causes.

B.To the satisfaction of the Designated Representative, repair any damage caused by contractor's work to irrigation system, walls, planting or lawns, curbs, utilities, lighting or paving, including any damage caused by the improper application of fertilizers, pesticides and herbicides (including burning, brownout, death).

C.Remove and dispose of damaged or broken plant material off-site and in a legal manner.

1.8 REPLACEMENT

A.Inventory each site during each visit and provide the Designated Representative with list of plants that require replacement. Photograph dead plant material and notify the Designated Representative.

1. Do not remove plant material prior to the Designated Representative's approval.

B.Replacement of plant materials lost through vandalism, vehicle damage, or acts of nature is the responsibility of the Owner.

C.Contractor is responsible for replacement of plant material damaged by Contractor's work, including any damage caused by the improper application of fertilizers, pesticides and herbicides, and physical damage.

D.Replace with sod or reseed any lawn areas damaged by improper fertilizer application.

1.9 TIMING OF WORK

A.All maintenance work provided under this contract shall be provided during hours when the warehouse is closed.

1. Confirm hours with the Warehouse Manager.
2. No work shall be performed during business hours unless specifically approved in advance in rare instances where evening or weekend hours cannot be used to accomplish the purpose.

1.10 VISIT FREQUENCY

A.Perform general maintenance at each site a minimum of once per week during the growing season.

1. Growing season is defined as the average frost-free season as substantiated by the National Climatic Data Center (90 percent probability of temperatures above 28 deg F (-2 deg C)).

B.Visits during the four weeks before and after the frost-free season shall occur at a minimum of once every two weeks. Visit frequency during the remainder of the year shall be a minimum of once monthly.

C.In severely cold climates, specific winter visits may be eliminated with prior approval of the Designated Representative.

D.Required minimum maintenance visits may be in addition to, or in conjunction with, other visits that are required to perform the tasks outlined in the following Specifications.

E.Provide the Designated Representative with a Maintenance Schedule indicating the average growing season for the Warehouse location, proposed days of visits, names of supervisor, and contact person.

F.Submit this schedule on a yearly basis at the beginning of the contract year and revise as needed.

1.11 INSPECTION OF WORK

A.The Designated Representative will regularly inspect all maintenance performed under this contract.

B.The Designated Representative may at any time request correction or improvement of maintenance practices if they fall below contract standards.

C.Contractor is expected to make necessary corrections within 72 hours of receipt of such request.

D.These requests may be made in writing, email, by telephone, facsimile or in person, and may be given to you or your on-site representative.

1.12 CONTACT PERSON

A.Provide the Designated Representative with a phone number and an email address where a message can be left for the contractor 24 hours a day. An answering machine connected to the contractor's normal phone line is an acceptable method of meeting this requirement. Check for messages every 24 hours or less.

1.13 EXISTING CONDITIONS / EXAMINATION OF SITE

A.Within two weeks of the starting date for work under this contract, make a thorough examination of the current conditions at the site.

1. As part of this examination, confirm that the existing plantings in each planter meet or exceed those shown on construction plans or any more current plant inventories.
2. Make a list of all landscape items at the site that you believe are broken, missing, not healthy, or are otherwise not in compliance with these specifications.
3. Give a copy of this list, along with an additional itemized quote for correcting each item, to the Designated Representative.
4. Upon confirmation of each item, the Designated Representative will either give you written authorization to make the correction, or a written release from responsibility for the item.

B.By submitting a bid on this work, you are considered to have examined the landscape, irrigation and these specifications, and to have thoroughly familiarized yourself with the scope of the required work.

1.14 DEFINITIONS

A.Landscape Contractor or Contractor: The person, partnership, corporation, or agency that will perform the landscape maintenance work.

B.Designated Representative: The person, partnership, corporation, or agency that contracted for the performance of the landscape maintenance work.

1. The designated representative may be the Owner, , client, project manager, Landscape Architect, or the General Contractor. Referred to as "Owner Client"

C.The landscape contractor is responsible for obtaining confirmation of who the Designated Representative is for the contracted work.

D.Excluded damage:

1. Damage caused by vandalism, pedestrians, vehicles, animals, or other unusual factors.
2. This term does not include damage caused by the contractor's actions, lack of reasonable care, insects or rodents, diseases, or plant loss due to lack of water or over watering caused by an irrigation system programming error, irrigation system breakage, or irrigation malfunction, or lack of a timely repair to irrigation system.

1.15 SERVICE AGREEMENT

A.The intent of this maintenance specification is to integrate with any contractual agreement the Contractor has with "Owner or Client" for landscape maintenance.

B.In bidding the landscape and irrigation and maintenance work, contractor agrees to sign and abide by the terms of the contractual agreement with "Owner or Client" which may include requirements for indemnification and insurance.

C.Landscape Contractor's agreement shall be the prevailing agreement and no requirement of this specification shall be construed to override that agreement.

PART 2 MATERIALS AND PRODUCTS

2.1 FERTILIZER

A.Approved high quality balanced organic fertilizer (N, P, K, pH) designed for region and local soils conforming to applicable state fertilizer laws.

1. Uniform in composition, dry, free flowing, delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed analysis.
2. Fertilizer composition shall be based upon the required yearly soil test.

B.Submit product literature for approval by the Designated Representative.

2.2 PESTICIDES

A.Pesticides approved by the Environmental Protection Agency and local jurisdiction. Submit product literature for approval by the Designated Representative.

1. Apply at rate recommended by manufacturer.

2.3 HERBICIDES

A.Post- and pre-emergent herbicides approved by the Environmental Protection Agency and local jurisdiction.

B.Submit product literature for approval by the Designated Representative. Apply at rate recommended by manufacturer.

2.4 BARK MULCH

A.Product matching existing mulch or if not available, medium - fine ground bark with a maximum twenty (20%) percent fines.

B.Other Mulches: Match existing mulches such as decomposed granite and gravel in color and size.

2.5 COMPOST

A.Approved organic compost as available from local sources.

PART 3 MAINTENANCE

3.1 GENERAL MAINTENANCE

A.Soil Testing: Test soil once per year beginning one-year post construction.

1. Test one sample from planting areas and one sample from lawn areas for N, P, and K trace minerals, salinity, pH, and percent organic matter.
2. Samples should be soil combined from multiple sample sites.
3. Contact soil-testing lab for specific sampling guidelines.
4. Contractor shall request specific recommendations for amendments based on whether lawn or planting area soil is being tested.

B.Provide copy of lab test results and recommendations to the Warehouse Manager for his/her record.

C.Leaf Collection: Collect fallen leaves from planting and paved areas, including all drives, and remove them from site. Inspect each site and remove any leaf accumulation at each site visit.

D.Clean Up and Litter Removal:

1. Sweep or blow-off all walks and curbs at each site visit. Parking lots will be swept by others.
 - a. Do not use blowers prior to 6:00 A.M. or after 10:00 P.M. or at any other hours restricted by law.
 - b. Do not use blowers around parked vehicles to avoid scratching vehicle paint with blowing sand and debris.
 - c. Where use of blowers is prohibited by law, use alternate methods.

E.Remove all litter from sidewalks, gutters, and all planted areas at each site visit. In no case shall trash, litter, or leaves be blown or swept onto the property of others.

F.Collect all trash, litter, leaves, etc., haul away, and dispose off site in a legal manner.

G.Small amounts of grass clippings may be swept or blown back into lawn areas.

3.2 IRRIGATION

A.Water Application & Scheduling:

1. Hand water as needed to supplement natural rainfall and irrigation system, and to maintain plantings in a healthy, stress-free condition. Make sure plants receive adequate water regardless of weather conditions.
2. Conserve water and ensure that all watering rules and regulations are followed. Any penalties, fines, or citations for watering ordinance violations shall be paid by the contractor.
3. Utilize the permanent irrigation system, and supplement with hand watering as needed. Failure of the irrigation system to provide full and proper coverage does not relieve Contractor of the responsibility to provide adequate irrigation.
4. Contractor is responsible for the complete operation and maintenance of the irrigation systems, except as noted below. Examine the irrigation system for damage during required visits and report damage or malfunction to the Designated Representative in writing. If contractor fails to report the broken or malfunctioning irrigation system components within one week of the breakage or malfunction, contractor will be responsible for all damages resulting from the broken irrigation system component.
5. Adjust watering times each month and respond to weather changes. Do not over-water plantings. Use multiple-start times and short run times to prevent run-off. Do not allow run-off from any irrigation.
6. When breakdowns or malfunctions exist, hand water, if necessary, to maintain all plant material in a healthy condition. If the irrigation repairs are major and not the fault of the contractor, they may be billed as additional work. Do not wait for approval to begin hand watering if required to save the plantings.

B.Irrigation System Scheduled Maintenance:

1. During each required site visit complete the following:

- a. Check the entire irrigation system when the system is pressurized for items such as dry spots and missing or malfunctioning irrigation components. Check for leaking or damaged valves, water running across sidewalks, water standing in puddles, or any other condition which hampers the correct operation of the system or the public safety. Immediately repair deficiencies.
- b. Check for exposed piping paying particular attention to shallow drip tubing. Bury any exposed piping to originally specified depths.
- c. Carefully observe plant materials for signs of wilting that may indicate an irrigation system problem. Plants which die due to irrigation failure will be considered to have died due to the contractor's negligence and shall be replaced at the contractor's expense.
- d. Eliminate any puddling or excessive run-off of water from the irrigation system onto any paved areas. Immediately shut down the irrigation system and make adjustments, repairs, or replacements as soon as possible to correct the source of the run-off.

2. Maintain the irrigation system, including cleaning of filter screens yearly or more often as needed, and flushing pipes, as part of this contract.

C.Irrigation System Repair:

1. Replace or repair, at contractor's expense, minor irrigation damage, unless due to excluded damage. Make repairs within one week of the day the damage occurred.
2. If the damage was due to excluded damage or determined to be a major item, the irrigation repairs will be paid for as additional work.
 - a. Make notification of needed repairs within two (2) weeks of the day the damage occurred as noted in the General Requirements section of these specifications.
 - b. Regardless of the cause of damage, take immediate action to prevent further damage by shutting off the damaged part of the irrigation system and commencing with hand watering as needed.
 - c. Make repairs as soon as possible after receiving written or verbal authorization to proceed.

END OF SECTION

LANDSCAPE MODIFICATIONS

PART 1 GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A. This Section includes removal of existing landscaping plant materials at areas shown on the drawings, then reinstall them at the new locations noted.

1.3 ACTION SUBMITTALS

- A. Submit product certificates.
- B. Submit Planting Schedule indicating anticipated dates and locations for each type of planting.

1.4 QUALITY ASSURANCE

A. Where reusing the existing landscape plants is not economically viable, provide new trees, shrubs, ground covers, and plants of quality, size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."

1.5 SPECIAL WARRANTY

A. Warrant new trees and shrubs for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents which are beyond Contractor's control.

B. For purposes of bidding this project, base the bid on the assumption that all existing plant materials shown or scheduled to be relocated (removed, stored, then replanted), will remain viable in the new locations and will not require replacement.

C. Where relocated existing plants need replacement due to death or unsatisfactory growth, remove and replace with new trees and shrubs of the same species and similar size. This will be considered additional work, beyond the scope of the original bid and contract, except where replacement is due to lack of adequate maintenance, neglect, or abuse by the Contractor while the plantings were in the Contractor's control.

1.6 MAINTAIN TREES AND SHRUBS

A. As required to establish healthy, viable plantings for 12 months following Substantial Completion.

1.7 MAINTAIN GROUND COVER AND PLANTS

A. As required to establish healthy, viable plantings for 3 months following Substantial Completion.

PART 2 PRODUCTS

2.1 NEW TREES AND SHRUBS

A. Where relocated plants remain unhealthy or become dead, remove and replace with well-shaped, fully branched, healthy, vigorous nursery-grown stock of sizes and grades indicated, free of disease, insects, eggs, larvae, and defects, conforming to ANSI Z60.1.

2.2 NEW GROUND COVERS AND PLANTS

A. Established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

2.3 TOPSOIL

A. Amend existing soil with compost.

2.4 LIME

A. ASTM C 602, Class T, agricultural limestone.

2.5 COMPOST

A. minus, fully composted vegetative material.

2.6 MULCH

A. Ground bark free of weeds, seed or other contaminants. Size range: 1/2 to 1-1/4 inches (12 to 32 inches).

2.7 BONE MEAL

A. Commercial, raw, finely ground; minimum of four (4%) percent nitrogen and twenty (20%) percent phosphoric acid.

2.8 SUPERPHOSPHATE

A. Commercial, phosphate mixture, soluble; minimum of twenty (20%) percent available phosphoric acid.

2.9 COMMERCIAL FERTILIZER

A. Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, fifty (50%) percent derived from natural organic sources of urea-form, phosphorous, and potassium in the following composition:

2.10 WEED-CONTROL BARRIER

A. Polypropylene or polyester non-woven fabric, 3 oz. per sq. yd. (100 g per sq. m) minimum.

PART 3 EXECUTION

3.1 PLANT BED PREPARATION

A. Loosen sub-grade of planting bed areas to a minimum depth of 6 inches (150 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials. Mix in 2-inch (50 mm) depth of compost into top 6 inches (150 mm) of soil.

3.2 EXCAVATION FOR TREES AND SHRUBS

A. Excavate pits with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Excavate approximately 1-1/2 times as wide as ball diameter. Loosen hard subsoil in bottom of excavation.

3.3 PLANTING TREES AND SHRUBS

A. Set stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades. Fertilize at manufacturer's recommended rate.

3.4 TREE AND SHRUB PRUNING

A. Prune, thin, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut tree leaders; remove only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.

3.5 PLANTING GROUND COVER

A. Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow spreading of roots. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Fertilize at manufacturer's rate. Water thoroughly after planting, taking care not to cover plant crowns with wet soil.

END OF SECTION

JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/18/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24
LADBS STAMP	

CLIENT:



PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

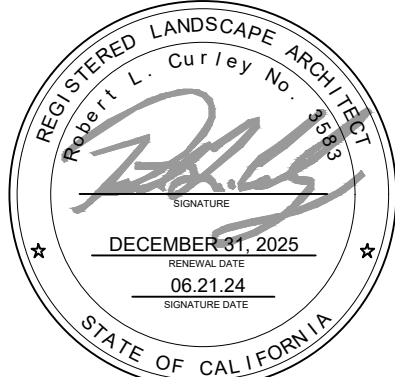
LANDSCAPE SPECIFICATIONS

SHEET NO.

L402

06/21/24

SHEET 10 OF 10





PROJECT NUMBER
PRJ2023-001368-(2)

HEARING DATE
April 9, 2025

REQUESTED ENTITLEMENT
Conditional Use Permit (“CUP”)
No. RPPL2023001916

PROJECT SUMMARY

OWNER / APPLICANT

Rexford Industrial

MAP/EXHIBIT DATE

June 20, 2024

PROJECT OVERVIEW

A CUP to establish an outside truck and trailer storage yard. Three existing industrial buildings will be demolished, the remaining fourth industrial building will be remodeled into a warehouse and be partially demolished to accommodate the proposed outdoor storage yard. The remaining fourth warehouse will be 57,743 square feet and include 31 loading bays, and 3,394 square feet of office space. A total of 16 vehicle parking spaces are provided on a surface lot. The Project is split between the City of Los Angeles and unincorporated West Rancho Dominguez (WRD). The frontage along Rosecrans Avenue in WRD will include a new 12-foot-tall solid concrete masonry unit (CMU) wall and 10-foot-deep landscaping buffer with 13 new 15-gallon trees and a permanent irrigation system.

LOCATION

400 West Rosecrans Avenue, Rancho Dominguez
14400 South Figueroa Street, City of Los Angeles

ACCESS

W. Rosecrans Avenue and S. Figueroa Street

ASSESSORS PARCEL NUMBER(S)

6129-001-023; 6129-001-024; 6129-001-028; 6129-001-029

SITE AREA

6.24 Acres

GENERAL PLAN / LOCAL PLAN

Los Angeles County General Plan

ZONED DISTRICTS

Victoria and Athens

PLANNING AREA

Metro

LAND USE DESIGNATION

IH (Heavy Industrial)

ZONE

M-2-IP (Heavy Manufacturing Industrial Preservation Overlay) M-2-IP-GZ (Heavy Manufacturing Industrial Preservation-Green Zones Overlay)

PROPOSED UNITS

N/A

MAX DENSITY/UNITS

N/A

COMMUNITY STANDARDS DISTRICT

West Rancho Dominguez

ENVIRONMENTAL DETERMINATION (CEQA)

Class 1 Categorical Exemption – Existing Facilities

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures

KEY ISSUES

- Consistency with the Los Angeles County General Plan
 - Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.158.050 (Conditional Use Permit Findings and Decision Requirements)
 - Chapter 22.350 (West Rancho Dominguez CSD requirements)
 - Section 22.22.060 (Development Standards for M-2-IP)
 - Chapter 22.84 (Green Zones Chapter)
-

CASE PLANNER:

Elsa M. Rodriguez

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LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
PROJECT NO. PRJ2023-001368-(2)
CONDITIONAL USE PERMIT NO. RPPL2023001916

RECITALS

1. **HEARING DATE(S).** The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly-noticed public hearing in the matter of Conditional Use Permit No. **RPPL2023001916** (“CUP”) on April 9, 2025.
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT REQUESTED.** The Permittee, Rexford Industrial LP (“Permittee”), requests the CUP to establish an outside truck and trailer storage yard associated with an existing warehouse (“Project”) on a property located at 400-422 West Rosecrans Avenue in the unincorporated community of West Rancho Dominguez, and partially located at 14400 South Figueroa Street in the City of Los Angeles (“Project Site”), in the M-2-IP (Heavy Manufacturing - Industrial Preservation Overlay) and M-2-IP-GZ (Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay) Zones pursuant to County Code Sections 22.83.040 (Standards and Requirements for Specific Uses) and 22.362.110.C.4.b.ii (Uses Subject to Permits).
4. **ENTITLEMENT REQUIRED.** The CUP is required to establish an outside truck and trailer storage yard associated with an existing warehouse pursuant to County Code Sections 22.83.040 (Standards and Requirements for Specific Uses) and 22.362.110.C.4.b.ii (Uses Subject to Permits).
5. **LOCATION.** The Project is located at 400-422 West Rosecrans Avenue in the unincorporated community of West Rancho Dominguez, within the Athens and Victoria Zoned Districts and Metro Planning Area, and partially located at 14400 South Figueroa Street in the City of Los Angeles.
6. **PREVIOUS ENTITLEMENTS.** On the portion of the Project Site at 400-422 West Rosecrans Avenue, Plot Plan No. 13005 authorized a new industrial building in 1963 and Plot Plan No. 15617 authorized another industrial building with landscaping and parking in 1966. On the portion of the Project Site at 14400 South Figueroa Street, Plot Plan No. 16141 authorized a new industrial building in 1967.
7. **LAND USE DESIGNATION.** The Project Site is located within the IH (Heavy Industrial) land use designation of the General Plan Land Use Policy Map.
8. **ZONING.** The Project Site is located in the Athens and Victoria Zoned Districts and is zoned M-2-IP (Heavy Manufacturing - Industrial Preservation Overlay) and M-2-IP-GZ

(Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay) . Pursuant to County Code Sections 22.83.040 (Standards and Requirements for Specific Uses) and 22.362.110.C.4.b.ii (Uses Subject to Permits), a CUP is required for the outside storage of trucks and trailers.

9. SURROUNDING LAND USES AND ZONING

LOCATION	2035 GENERAL PLAN LAND USE POLICY*	2023 ZONING*	EXISTING USES
SUBJECT PROPERTY	IH (Heavy Industrial)	M-2-IP (Heavy Manufacturing - Industrial Preservation Overlay) and M-2-IP-GZ (Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay)	14400 South Figeroa Street: Industrial buildings previously used for metal fabrication, currently vacant. 400-422 West Rosecrans Avenue: Vacant.
NORTH	IH	M-2-IP	Warehouse; Auto Service Station; Auto Repair; Concrete Mixing
EAST	P (Public)	M-2-IP and M-2 (Heavy Manufacturing) Zone	Southern Pacific Railroad; Uniform Retailer; Dog Training School
SOUTH	IH	M-2-IP	Warehouse
WEST	City of Los Angeles	City of Los Angeles	Electric Gate Manufacturers; Car wash; Single Family Homes

* Note: Pursuant to County Code Section 22.246.020 (Applicability of Zone Changes and Ordinance Amendments), the applicant chose to have the complete CUP application be subject to the zoning and regulations in effect at the time it was submitted on April 11, 2023, which included the 2035 General Plan before the Metro Area Plan was adopted. The current zoning, which is M-2-IP-GZ (Heavy Manufacturing - Industrial Preservation Overlay - Green Zone Overlay), took effect on June 21, 2024.

10. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is 6.24 net acres in size and consists of four legal lots. The four lots will be tied together through a lot tie covenant after the CUP is approved and before LA County Department of Regional Planning (“LA County Planning”) staff (“Staff”) approves the Exhibit “A.” The Project Site is an irregular shape with flat topography

and is currently developed with two industrial buildings. Two industrial buildings that formerly existed on the Project Site have already been demolished.

B. Site Access

The Project Site is accessible via West Rosecrans Avenue to the north and South Figueroa Street to the west. Primary access to the Project Site is via a 40-foot-wide driveway on Rosecrans Avenue where trucks will enter the site. The existing 24-foot-wide and 30-foot-wide driveways on South Figueroa Street will be used for passenger vehicles.

C. Site Plan

The Project Site includes one 29-foot-tall warehouse building totaling 57,743 square feet in size with 31 loading bays, 40 spaces for the outside storage of trucks and trailers, a new 12-foot-tall solid concrete masonry unit ("CMU") wall along the northern property line, landscaping, irrigation, and 16 automobile parking spaces on an 6.24 acre property. Ingress and egress for trucks is provided via a new 40-foot-wide driveway on Rosecrans Avenue. Two existing 24-foot-wide and 30-foot-wide driveways on Figueroa Street provide access for passenger vehicles. There are four existing oil wells that are plugged. Two industrial buildings have been demolished, a third industrial building will be demolished, and the fourth remaining industrial building will be partially demolished and remodeled into a warehouse.

D. Parking

The Project Site has 16 standard sized vehicle parking spaces. Two of these parking spaces are dedicated for use by people with disabilities in accordance with the Americans with Disabilities Act.

11. **CEQA DETERMINATION.** Prior to the Commission's public hearing on the Project, Staff determined that the Project qualified for Class 1, Existing Facilities, and Class 3, New Construction or Conversion of Small Structures, categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County, because physical changes are limited to constructing a 12-foot-tall solid CMU wall on the northern property line and installing new signage. The Project does not qualify for an exception to the CEQA exemption because it is not located in an environmentally sensitive area or on a hazardous waste site, does not contain scenic or historic resources, and there are no unusual circumstances that would indicate a reasonable possibility that the Project could have a significant effect on the environment. All work will be performed in an enclosed structure.

12. **COMMUNITY OUTREACH.** The Permittee met in person with Mr. John Davis and Ron Bell of the Avalon Gardens Community Group at the Project Site on February 4, 2025. They also met virtually three times to discuss potential community investments. The Permittee reached out to Dr. Angila Romious from the East Gardena Community Association on February 10, 2025, to introduce the Project and discuss any community concerns. They met virtually and continued to stay in communication with the group via email. The Permittee met with the Harbor Gateway Neighborhood Council ("HGNC")

on April 25, 2024 and June 4, 2024 to present the Project and respond to follow up questions related to noise, lack of air conditioning, truck traffic, and air pollution.

13. PUBLIC COMMENTS. Staff received a letter from the HGNC, dated August 15, 2024, with concerns over noise, air pollution, lack of air conditioning, and truck traffic. No other comments were received at the time the Report to the Commission was submitted on March 27, 2025.

14. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Metro Services Section, LA County Planning.

15. AGENCY RECOMMENDATIONS.

- The Department of Public Works, in a letter dated December 19, 2024, recommended that the Project proceed to a public hearing with required conditions of approval.
- The Fire Department, in a letter dated May 9, 2024, recommended that the Project proceed to a public hearing.
- The Department of Public Health, in a letter dated May 7, 2024, recommended that the Project proceed to a public hearing.

16. LEGAL NOTIFICATION. Pursuant to County Code Section 22.222.120 (Public Hearing Procedure), the community was properly notified of the public hearing by mail and newspaper [Daily Journal and Gardena Valley News]. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On February 26, 2025, a total of 54 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 500-foot radius from the Project Site, as well as eight notices to those on the courtesy mailing list for the Athens and Victoria Zoned Districts and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

17. LAND USE POLICY. The Commission finds that the Project is consistent with the goals and policies of the General Plan because the IH land use designation is intended for heavy manufacturing, refineries, and other labor intensive industrial activities. The Commission further finds that the Project promotes the use of existing warehouse and industrial buildings that have operated onsite for over 60 years without any recorded complaints from the community or zoning enforcement actions. The proposed outside storage yard is directly associated with the remaining industrial building onsite, which will be remodeled into a warehouse. In 1963, a warehouse with an office was established on the portion of the Project Site at 14440 South Figueroa Street. In 1967, a warehouse with an office was established on the portion of the Project Site at 400 West Rosecrans Avenue.

18. GOALS AND POLICIES. The Commission finds that the Project is consistent with the following goals and policies of the General Plan.

- Policy LU 7.1 (Land Use Element): Reduce and mitigate the impacts of incompatible land uses, where feasible, using buffers and other design techniques.
- Policy ED 2.1 (Economic Development): Protect industrial lands, especially within Employment Protection Districts, from conversion to non-industrial uses.
- Policy ED 1.1 (Economic Development): Encourage a diverse mix of industries and services in each Planning Area.
- Policy ED 2.2 (Economic Development): Utilize adequate buffering and other land use practices to facilitate the compatibility between industrial and non-industrial uses.
- Policy ED 2.7 (Economic Development Element): Incentivize economic development and growth along existing transportation corridors and in urbanized areas

The longevity of the existing industrial buildings demonstrates that they have served a need or demand in the local community and the larger region since the early 1960s. The proposed Project will require that some of the existing industrial buildings be demolished to accommodate the new outdoor storage yard. The remaining industrial building will be remodeled into a warehouse and the proposed outdoor storage yard will provide adequate room for queueing and maneuvering onsite in conjunction with the remaining industrial building. South Fiegueroa Street and West Rosecrans Avenue are highly traveled transportation corridors with many diverse commercial and industrial land uses that serve both the West Rancho Dominguez community and the larger Metro Planning Area. The Project provides a desired service in an urbanized area.

ZONING CODE CONSISTENCY FINDINGS

19. PERMITTED USE IN ZONE. The Commission finds that the Project is consistent with the M-2-IP and M-2-IP-GZ zoning classifications because the outdoor storage of trucks and trailers is permitted in such zones with a CUP pursuant to County Code Sections 22.83.040 (Standards and Requirements for Specific Uses) and 22.362.110.C.4.b.ii (Uses Subject to Permits).

20. FLOOR AREA RATIO. The Commission finds that the Project is consistent with the standards identified in County Code Section 22.22.060 (M-2 Zone Development Standards) which allows a maximum Floor Area Ratio ("FAR") of 1.00. On the unincorporated LA County portion of the Project Site, the total lot area is 244,600 square feet and the total square footage of the remaining warehouse building is 42,887 square feet. Therefore, the Project Site's FAR is 0.18, which is within the maximum allowable FAR. 13,121 square feet of the warehouse building are within the City of Los Angeles and do not count towards the County's maximum allowed FAR.

21. HEIGHT. The Commission finds that the Project is consistent with the standard identified in County Code Section 22.350.070.E.2 (West Rancho Dominguez

Community Standards District (“CSD”) Zone Specific Development Standards). This County Code Section requires that a building or structure located within 250 feet of a Residential Zone not exceed a height of 45 feet above grade, excluding chimneys and rooftop antennas. The remaining warehouse building is 29 feet tall and the proposed solid wall is 12 feet tall. Both structures are not located within 250 feet of a Residential Zone and both structures are less tall than the maximum allowed 45 feet.

- 22. FENCES AND WALLS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.84.030.C.1.a (Green Zones Development Standards). This County Code Section provides development standards for solid walls and requires the walls to be of a uniform height between eight and 12 feet tall; be a minimum thickness of six-inches; be a neutral color; and be constructed in workmanlike manner and consist of materials such as CMU or masonry, brick, etc. The Project’s proposed wall along the West Rosecrans Avenue frontage will be a 12-foot-tall CMU wall that is uniform in height and color. The wall will be installed 10 feet away from the Project Site’s northern property line along West Rosecrans Avenue, which provides a buffer that is five feet wider than the five-foot-wide minimum that is required by this County Code Section.
- 23. REQUIRED YARDS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.350.070.E.1 (West Rancho Dominguez CSD Zone Specific Development Standards). This County Code Section requires that buildings and structures be set back a minimum of 10 feet from the front property line, which in this instance is the Project Site’s western property line along West Rosecrans Avenue. The front 10 feet of the setback, not including access, parking, and circulation areas, must be landscaped. Per County Code Section 22.14.190.S, a “structure” is defined as anything constructed or erected which requires a fixed location on the ground or is attached to something having a fixed location on the ground. The proposed new solid wall is a structure; therefore, it must comply with the 10-foot-wide front yard setback required by this County Code Section.
- 24. LANDSCAPING.** The Commission finds that the Project is consistent with County Code Section 22.350.070.E.1 (West Rancho Dominguez CSD Zone Specific Development Standards), which requires that the 10-foot-wide setback from the Project Site’s northern property line along West Rosecrans Avenue be landscaped, except for access, parking, and circulation areas. The Project is also consistent with the standards identified in County Code Section 22.84.030.C.1.b. (Green Zones Development Standards). This County Code Section requires that the landscaped 10-foot-wide setback be maintained with grass, shrubs, or bushes, etc. A total of 2,392 square feet of landscaping is provided. All plants provided for required landscaping must be drought-tolerant and include only non-invasive plant species. The landscaping must be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Landscaping equipment used for maintenance, such as lawn mowers and leaf blowers, must be electric and non-combustion powered. A permanent irrigation system will be installed and maintained.

25. **TREE PLANTING.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.84.030.C.1.b.i (Green Zones Development Standards). The Project is required to provide a minimum of one 15-gallon tree for every 100 square feet of landscaping along a five-foot-deep buffer along the West Rosecrans Avenue frontage. A total of 1,196 square feet of landscaping is provided in a five-foot-deep buffer and 13 24-inch box trees are provided, as required by this County Code Section. The 13 Tuskegee Crape Myrtle trees are proposed to further mitigate any visual or noise impacts from the outside storage yard to neighboring uses, as required by this County Code Section.
26. **PARKING.** The Commission finds that the Project is inconsistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces), which requires that one automobile parking space be provided for every 1,000 square feet of warehouse floor area. In 1967, Plot Plan Review No. 16141 authorized a warehouse with 129 required parking spaces on the portion of the Project Site at 14400 South Figueroa Street. The CUP application was submitted in 2023 pursuant to Assembly Bill 2097, which exempted certain projects located within half a mile from a major transit stop or corridor from parking requirements. This Project is voluntarily providing 16 vehicle parking spaces. Therefore, the Project is legally nonconforming with regard to this standard.
27. **SURFACING.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.84.030.C.1.j (Green Zones Development Standards). This County Code Section requires that areas designated for vehicle parking, vehicle circulation, or storage of materials or equipment must be paved with impervious materials such as an asphalt or an oil and aggregate mixture, use light color pavement, and be maintained to the satisfaction of the Director of Regional Planning.
28. **VEHICULAR ACCESS AND CIRCULATION.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.84.030.C.1.j (Green Zones Development Standards). This County Code Section requires that driveway entrances and exits be located as far away from sensitive uses as feasible. This County Code Section also requires that queuing and check-in points for trucks must be located onsite and furthest away from any property lines that are closest to any nearby sensitive use. The Project's primary driveway for truck access is located along West Rosecrans Avenue, which is the location on the Project Site that is furthest away from the sensitive uses located to the west of Figueroa Street. The warehouse has four Type C loading areas. The Exhibit "A" depicts a one-way circulation pattern for all trucks and trailers.
29. **SIGNS.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.84.030.C.1.j (Green Zones Development Standards). This County Code Section requires that a Perimeter Identification Sign be permanently affixed on a building or wall that is visible, and with text that is legible, from the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. The sign must have a minimum area of four square feet and a maximum area of nine square feet. The sign must

permanently display the hours of operation, the telephone number of the facility representative, and emergency contact information for reporting any problems which may occur related to the operation of the facility 24 hours a day, seven days a week. The sign is proposed along the 12-foot-tall solid wall along West Rosecrans Avenue. County Code Section 22.84.030.C.1.h (Green Zones Development Standards) requires that a “No Idling” sign be provided onsite. The sign must be a minimum size of 12 inches in width and 18 inches in height and must be prominently displayed and visible from the loading spaces/area. Both signs are depicted on the Exhibit “A” and meet the requirements of this County Code Section.

30. HOURS OF OPERATION. The Commission finds that the Project is consistent with the standard identified in County Code Section 22.84.030.E.1 (Performance Standards for All Uses). This County Code Section requires that no outdoor operations or activities be conducted between 6:00 p.m. and 8:00 a.m., daily, with the exception of truck loading and unloading into an enclosed building only. The Permittee has not identified a tenant for the Project Site but has agreed to abide by the hours of operation required by this County Code Section.

31. COMMUNITY STANDARDS DISTRICT. The Commission finds that the Project is consistent with the standards identified in County Code Section 22.350.070.E. The Project is consistent with the following applicable standards of the CSD. The Project Site’s lot coverage (building area) is 18 percent, which is less than the CSD’s maximum lot coverage allowance of 70 percent. Additionally, outside storage must not be visible by pedestrians on adjacent streets adjoining residential zones or by persons on neighboring residentially zoned properties. The CSD’s community-wide development standards addressing graffiti and site maintenance are a part of the Project’s conditions of approval.

CONDITIONAL USE FINDINGS

32. The Commission finds that the proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare. The Project Site has been occupied by industrial and warehousing buildings since the 1960s. Plot Plan Nos. 13005, 15617, and 16141 authorized industrial buildings, warehouses, parking, and landscaping on this industrial zoned property. The CUP for the outside storage of trucks and trailers is associated with the existing industrial building that will be converted into a warehouse, which will be separately approved via Ministerial Site Plan Review No. RPPL2025000735. The outside storage of 40 trucks and trailers is not anticipated to result in substantial adverse effects to the community, there will be no public health and safety concerns to the surrounding area because all truck and trailer maneuvering and queuing will be conducted onsite, and there is no record of any violations. No outdoor activities will occur in the public right-of-way and no activities will occur outdoors after 6:00 p.m. daily. The outside storage yard is secured by a 12-foot-tall solid CMU wall along Rosecrans Avenue and the solid wall will continue along the first 50 feet on the

eastern property line, parallel to the train tracks. The solid wall acts as a physical buffer between the Project and pedestrians on Rosecrans Avenue and nearby uses and will screen the trucks and trailers stored outdoors. The Project Site is further buffered from residential uses to the west of Figueroa Street by multiple existing industrial buildings along Figueroa Street. Lastly, this CUP's conditions of approval require the Permittee to install a perimeter identification sign on the Project Site that provides an emergency contact, the hours of operation for the business, and instructions on how to submit a complaint to LA County Planning and the South Coast Air Quality Management District, also known as AQMD. It is unlikely the Project will produce new or unforeseen impacts to the surrounding neighborhood.

33. The Commission finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area. Two industrial buildings have already been demolished to accommodate the new outside storage yard for trucks and trailers. The Project Site provides enough space for all maneuvering and queuing to be conducted onsite. The Project complies with other development standards related to solid walls, tree planting, irrigation, and signage. Additionally, the storage area adjoins the existing industrial building that will be remodeled into a warehouse, which will be separately approved via Ministerial Site Plan Review No. RPPL2025000735, and which meets all requirements for height, loading areas, lot coverage, and floor area ratio.

34. The Commission finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required. There are no expansions in floor area proposed at the Project Site. Instead, the floor area is being reduced to make room for the proposed outside storage yard for trucks and trailers. The physical improvements are limited to installing a 12-foot-tall solid CMU wall on the northern and western property lines, widening a driveway on Rosecrans Avenue, tree planting, landscaping, irrigation, and a new perimeter identification sign on the walls. Both Rosecrans Avenue and Figueroa Street are 100 feet wide and designated as existing Major Highways in the General Plan. Rosecrans Avenue is paved and improved with sidewalks, curbs and gutters. The proposed outdoor storage yard does not require any upgrades to public or private infrastructure nearby.

GREEN ZONES FINDINGS

35. The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property. The Project is proposing a total of 20 trees of which 13 (15-gallon) trees, will be placed in the northern portion of the Project Site along the frontage on Rosecrans Avenue. The Project also includes a new 12-foot-tall solid wall and a ten-foot-wide landscaped buffer along Rosecrans Avenue Boulevard to further screen any visual or noise impacts from the outside storage yard. Truck access is limited to Rosecrans Avenue furthest away

from the residential neighborhood to the west of the project site. Additionally, the Project will implement Green Zones to minimize to the environment and surrounding area.

- Installing impervious and light-colored pavement in vehicular circulation areas and a white heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances; and
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels.
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

36. The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses. The Project is not proposing any new construction that will increase the existing floor area of any structures; instead, the construction is limited to the new 12-foot-tall solid wall along Rosecrans Avenue. The associated ministerial site plan review proposes to reuse an existing industrial building thereby reducing waste and resources. The Project does not include a public address system and the existing lights do not trespass to the residential uses across Figeroa.

37. The proposed use and development of land protects public health and safety and promotes environmental sustainability. The proposed 13 15-gallon trees will enhance air quality and improve the aesthetic qualities of the Project Site and nearby neighborhood. The proposed outside truck and trailer storage yard will include electric vehicle readiness equipment.

38. The Commission finds that to ensure continued compatibility between the Project and the surrounding land uses, it is necessary to limit the CUP to 15 years.

BASED ON THE FOREGOING, THE REGIONAL PLANNING COMMISSION CONCLUDES THAT:

- A. The proposed use with the attached conditions will be consistent with the adopted General Plan.
- B. The proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- D. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.
- E. The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property.
- F. The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses.
- G. The proposed use and development of land protects public health and safety and promotes environmental sustainability

THEREFORE, THE REGIONAL PLANNING COMMISSION:

1. Finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines sections 15301 (Class 1, Existing Facilities categorical exemption); 15303 (Class 3, New Construction or Conversion of Small Structures categorical exemption); and
2. Approves **CONDITIONAL USE PERMIT NO. RPPL2023001916**, subject to the attached conditions.

ACTION DATE: April 9, 2025

MG:CS:EMR

March 27, 2025

c: Commissioners, Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

CONDITIONS OF APPROVAL
PROJECT NO. PRJ2023-001368-(2)
CONDITIONAL USE PERMIT NO. RPPL2023001916

PROJECT DESCRIPTION

The project is a Conditional Use Permit ("CUP") to establish an outside truck and trailer storage yard subject to the following conditions of approval:

GENERAL CONDITIONS

1. **Permittee.** Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. **Affidavit of Acceptance.** This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 6, and until all required monies have been paid pursuant to Condition No. 9. Notwithstanding the foregoing, Condition No. 2 and Condition Nos. 3, 4, and 8, shall be effective immediately upon the date of final approval of this grant by the County.
3. **Indemnification.** The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. **Litigation Deposit.** In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. **Invalidation.** If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. **Recordation.** Prior to the use of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk (i.e. Recorder's Office). In addition, upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. **Grant term. This grant shall terminate on April 9, 2040.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the Permittee intends to continue operations after such date, whether or not the Permittee proposes any modifications to the use at that time, the Permittee shall file a new Conditional Use Permit application with LA County Planning, or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least twelve months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the Permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
8. **Expiration.** This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
9. **Inspections.** The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of or any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum of **\$3,648 Inspection Fee** which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **8** inspections. Inspections may be unannounced

and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$456.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

10. **Revocation.** Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
11. **County Fire Code.** All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
12. **County Department of Public Works Requirements.** All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
13. **Exhibit "A."** All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
14. **Maintenance.** The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
15. **Graffiti.** All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours of such

notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

16. **Revisions to the Exhibit "A."** The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **a digital copy of a modified Exhibit "A"** shall be submitted to LA County Planning by **June 9, 2025**.
17. **Subsequent Revisions to the Exhibit "A."** In the event that subsequent revisions to the approved Exhibit "A" are submitted, the Permittee shall submit **a digital copy of the proposed plans** to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.
18. **Conditions of Approval Maintained on the Premises.** The conditions of this grant shall always be retained on the premises and shall be immediately produced upon request by any County Sheriff or any LA County Planning Zoning Enforcement inspector. The manager and all employees of the facility shall be knowledgeable of the conditions herein. Violation of the conditions herein may subject the use to the provisions of County Code Chapter 22.238 (Modifications and Revocations).

PROJECT SITE-SPECIFIC CONDITIONS

19. This grant shall authorize an outside trucks and trailer storage yard.
20. **Hours of Operation.** The hours of operation shall be limited to 8:00 a.m. to 6:00 p.m. Monday through Friday. Loading and unloading directly into the warehouse is allowed 24 hours per day, seven days per week.
21. **Noise.** The Permittee shall take all necessary actions to ensure that noise emissions from the Project Site are within the limits established by County Code Chapter 12.08 (Noise Control), including but not limited to County Code Sections 12.08.390 and 12.08.530, to the satisfaction of the County Department of Public Health. Noise shall be contained within an enclosed building and no PA system shall be installed.
22. **Solid Concrete Masonry Unit (CMU) Wall.** The Permittee shall construct and maintain a solid 12-foot-tall CMU wall on the northern property line (Rosecrans) and the eastern property line closest to the railroad for the first 50 feet. Barbed wire and/or concertina wire shall not be installed along the top of any perimeter wall or fence.
23. **Landscaping.** The Permittee shall provide a minimum of 2,392 square feet of landscaping in a minimum 10-foot-deep landscaping buffer along the frontage on Rosecrans Avenue. All plants provided for required landscaping must be drought-tolerant and include only non-invasive plant species. The landscaping must be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Landscaping equipment used for maintenance, such

as lawn mowers and leaf blowers, must be electric and non-combustion powered. A permanent irrigation system will be installed and maintained

24. **Tree Planting.** The Permittee shall provide and maintain a minimum of 13 15-gallon trees along the frontage on Rosecrans Avenue. Trees shall be selected from the Tree Species List maintained by the Director.
25. **Exterior Lighting.** The Permittee shall provide adequate exterior lighting above all entrances and exits to the premises and in the parking lot and walkways under control of the Permittee or required as a condition of this CUP. All exterior lighting by this grant shall also be hooded and directed away from neighboring properties to prevent direct illumination and glare and shall be turned off within thirty minutes after the conclusion of business activities, except for sensor-activated security lights and/or low-level lighting along all pedestrian walkways leading to and from the parking lot.
26. **Storage.** Any materials, vehicles, or equipment that are stored outdoors shall not exceed the height of the surrounding wall, shall be fully contained within the property boundaries, and shall not spill over onto public rights-of-way.
 - a. Stored materials shall be set back at least 10 feet from all property lines or a distance equal to the height of the wall along the relevant property line, whichever is greater.
 - b. Outside storage shall not be visible by pedestrians on adjacent streets adjoining residential zones or by persons on neighboring residentially zoned properties.
 - c. The area between the stored materials and the wall may be landscaped.
27. **Loitering.** Loitering, including loitering by employees of the subject property, shall be prohibited on or within the immediate vicinity of the subject property, including adjacent public and private parking lots, public sidewalks, alleys, and other public rights-of-way. Signage in compliance with County Code Chapter 22.114 (Signs) shall be placed on the exterior of the premises indicating said prohibition. Employees shall be instructed to enforce these regulations and to call local law enforcement if necessary.
28. **Banners.** No banners or other advertisements shall be displayed on the property.
29. **Cleaning and Maintenance.** The Project Site shall be kept in a clean, safe, and sanitary condition at all times, and the Permittee shall maintain a source of running water on the Project Site.
30. **Surface Paving.** The Permittee shall repair all areas of broken concrete or asphalt including but not limited to divots, cracks and potholes. Spalling of concrete or asphalt shall be patched, repaired, or repaved as necessary to prevent standing water or puddles with a surface area greater than one square foot from accumulating.

31. **"No Idling" Sign.** The Permittee shall install a "No Vehicle Idling" sign in English and in Spanish, which is the most prevalent language in the community, in compliance with the following requirements:
- a. **Location.** The sign shall be permanently affixed on a building or wall that is visible from the loading areas depicted on the approved Exhibit "A." The sign shall be posted a minimum of five feet above the ground and a maximum of eight feet above the ground.
 - b. **Size.** The sign shall have minimum dimensions of 12 inches by 18 inches.
 - c. **Display.** The sign may contain language such as "5-minute limit," "spare the air," "please turn engine off when stopped," "turn engine off," or similar.
32. **Perimeter Identification Sign.** The Permittee shall install a "Perimeter Identification" sign in English and in Spanish, which is the most prevalent language in the community, in compliance with the following requirements:
- a. **Location.** The sign shall be permanently affixed on a building or wall that is visible, and with text that is legible from, the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. The "Perimeter Identification" sign shall not be a freestanding sign or a portable sign.
 - b. **Size.** The sign shall have a minimum sign area of four square feet and a maximum sign area of nine square feet. The area for the "Perimeter Identification" sign shall not be accounted for in the area permitted for business signs specified in County Code Chapter 22.114 (Signs).
 - c. **Display.** The sign shall permanently display the hours of operation, the telephone number of the Project Site's representative, and emergency contact information for reporting any problems which may occur related to the operation of the business on the Project Site 24 hours a day, seven days a week. The sign shall also include the names of the businesses on the Project Site. However, the name of a business does not need to be included if the Project Site also contains a separate business sign for that business that is clearly visible from the public right-of-way. The sign shall also include instructions for reporting violations to LA County Planning and to the South Coast Air Quality Management District (AQMD), if the land use is also regulated by AQMD. Information for reporting violations shall include the following text, or as updated by LA County Planning or the AQMD:
 - i. "To report a violation to the Los Angeles County Department of Regional Planning, call 213-974-6453 Monday—Thursday, 7 a.m. - 6 p.m., dial 2-1-1 at any time or email zoningenforcement@planning.lacounty.gov;" and
 - ii. "To report a violation to South Coast Air Quality Management District (SCAQMD), call 1-800-CUTSMOG or visit www.aqmd.gov."

PROJECT NO. PRJ2023-001368-(2)
CONDITIONAL USE PERMIT NO.
RPPL2023001916

EXHIBIT D
CONDITIONS OF APPROVAL
PAGE 7 OF 7

Attachments:
Exhibit D-1

The Department of Public Works, dated December 19, 2024
The Fire Department, dated May 9, 2024
The Department of Public Health, dated May 7, 2024

FINDINGS FOR CONDITIONAL USE PERMIT
Pursuant to Los Angeles County Code
Sections 22.158.050 and 22.84.030.

A. General Conditional Use

1. That the proposed use will be consistent with the adopted General Plan for the area.

The Project Site is in the M-2-IP Zone, and its General Plan land use designation is IH (Heavy Industrial). According to the Land Use Element of the General Plan, the IH land use designation is generally intended for “heavy industrial uses, including heavy manufacturing, refineries, and other labor and capital intensive industrial activities.” However, the Land Use Element also states that “land uses are not limited to the general intended uses listed under each designation; other uses that are allowed through zoning may be deemed compatible with the general intended uses.” Although the Project’s proposed warehouse use is not explicitly listed as a use generally intended for the IH land use designation, the proposed use is permitted in the M-2-IP Zone. Thus, the use is compatible with the IH land use designation.

The Project is also consistent with the following goals and policies of the General Plan:

Land Use (“LU”) Element Goal 7: Compatible land uses that complement neighborhood character and the natural environment.

- *Policy LU 7.1: Reduce and mitigate the impacts of incompatible land uses, where feasible, using buffers, appropriate technology, building enclosure, and other design techniques.*
- *Policy LU 7.2: Protect industrial parks and districts from incompatible uses.*

The Project Site is located in an industrial district and an Industrial Preservation Zone. The Project proposes continued industrial use of the Site, which is consistent with surrounding land use patterns and complementary of the neighborhood character. By renovating the existing warehouse and planting new landscaping along both street frontages, the Project will improve neighborhood aesthetics and provide shade and greenery along the public rights-of-way.

The Project has also been designed to reduce potential impacts to the residential neighborhood west of Figueroa Street. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood west of Figueroa Street, and behind the existing industrial buildings fronting Figueroa Street on either side of the proposed Project’s warehouse. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street. Diverting truck traffic to Rosecrans Avenue will minimize potential traffic, noise, and/or vibration impacts to the residential neighborhood, and it will benefit public safety by minimizing conflicts between trucks and cyclists using the buffered bicycle lanes on Figueroa Street. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on public streets. Neighboring existing industrial buildings and the proposed warehouse itself provide additional noise buffers and visual screens between this section of the property and the residential neighborhood.

Gates separate the eastern section of the property from the western section. The western section of the property contains additional warehouse space and automobile parking intended for employees and customers. Existing landscaped areas along the Figueroa Street frontage will be replanted with new trees, shrubs, and ground cover to soften the elevation closest to the residential neighborhood.

The Project will also implement various GZD standards which are intended to minimize impacts to the environment and the residential neighborhood, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Installing impervious and light-colored pavement in vehicular circulation areas and a white TPO single-ply heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances;
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels; and
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

Goal LU 11: Development that utilize sustainable design techniques.

- *Policy LU 11.2: Support the design of developments that provide substantial tree canopy cover, and utilize light-colored paving materials and energy-efficient roofing materials to reduce the urban heat island effect.*

The Project Site currently only has one tree with a substantial shade canopy. The Project proposes 12 new shade trees in landscaped areas adjacent to the sidewalks on Figueroa Street and Rosecrans Avenue. The Project will also install impervious and light-colored pavement in vehicular circulation areas and a white TPO single ply heat reflecting roof system to reduce the urban heat island effect.

Economic Development (“ED”) Element Goal 1: An economic base and fiscal structures that attract and retain valuable industries and businesses.

- *Policy ED 1.8: Promote Los Angeles County as a national and international center for business, global trade, and development.*

The proposed warehouse use will support global trade in Los Angeles County. The Project Site is centrally located in the County, near several airports and the Ports of Los Angeles and Long Beach, meaning the Site is well-positioned to support domestic and international trade. The ports have been especially overwhelmed as the COVID-19 pandemic has strained global supply chains. The Project Site is located approximately 800 feet from the nearest on- and off-ramps for the Harbor (110) Freeway, which provides a direct connection between the Project Site and the ports. The proposed warehouse and trailer storage uses will provide additional relief and capacity for the ports, thereby supporting global trade in Los Angeles County.

Goal ED 2: Land use practices and regulations that foster economic development and growth.

- *Policy ED 2.1: Protect industrial lands, especially within Employment Protection Districts, from conversion to non-industrial uses.*
- *Policy ED 2.2: Utilize adequate buffering and other land use practices to facilitate the compatibility between industrial and non-industrial uses.*
- *Policy ED 2.7: Incentivize economic development and growth along existing transportation corridors in urbanized areas.*

The Project Site is located in an industrial district and an Industrial Preservation Zone. The Project proposes continued industrial use of the Site, which is consistent with surrounding land use patterns and will protect industrial land from conversion to non-industrial uses.

The Project has also been designed to facilitate compatibility between the proposed warehouse use and the residential uses west of the Project Site. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood west of Figueroa Street, and behind the existing industrial buildings fronting Figueroa Street on either side of the proposed Project's warehouse. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street. Diverting truck traffic to Rosecrans Avenue will minimize potential traffic, noise, and/or vibration impacts to the residential neighborhood, and it will benefit public safety by minimizing conflicts between trucks and cyclists using the buffered bicycle lanes on Figueroa Street. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on vicinity public streets. Neighboring existing industrial buildings and the proposed warehouse itself provide additional noise buffers and visual screens between this section of the property and the residential neighborhood.

Gates separate the eastern section of the property from the western section. The western section of the property contains additional warehouse space and automobile parking intended for employees and customers. Existing landscaped areas along the Figueroa Street frontage will be replanted with new trees, shrubs, and ground cover to soften the elevation closest to the residential neighborhood.

The Project will also implement various GZD standards which are intended to minimize impacts to the environment and to facilitate compatibility between industrial uses and Sensitive Uses, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Installing impervious and light-colored pavement in vehicular circulation areas and a white TPO single-ply heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances;
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels; and

- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

The Project would also redevelop a property along existing transportation corridors. The Project Site fronts Figueroa Street and Rosecrans Avenue, which are both designated Major Highways in the Los Angeles County Master Plan of Highways. The Mobility Element of the General Plan states that the Major Highway classification is reserved for “urban and rural highways that are of countywide significance and are, or are projected to be, the most highly traveled routes.” Various Metro and Gardena (G-Trans) bus routes have stops at the intersection of Figueroa Street and Rosecrans Avenue. The Project Site is also approximately 800 feet from the nearest on- and off-ramps for the Harbor (110) Freeway, and approximately 1,200 feet from the Rosecrans Avenue bus rapid transit station for the Metro J Line (Silver). This station provides connections to additional Metro, G-Trans, and Torrance (Torrance Transit) bus routes. Additional connections to local Metro, G-Trans, and Torrance (Torrance Transit) buses.

Air Quality (“AQ”) Element Goal 1: Protection from exposure to harmful air pollutants.

- *Policy AQ 1.1: Minimize health risks to people from industrial toxic or hazardous air pollutant emissions, with an emphasis on local hot spots, such as existing point sources affecting immediate sensitive receptors.*
- *Policy AQ 1.3: Reduce particulate inorganic and biological emissions from construction, grading, excavation, and demolition to the maximum extent feasible.*

The Project has been designed to reduce potential air quality impacts to the residential neighborhood west of Figueroa Street. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood west of Figueroa Street, and behind the existing industrial buildings fronting Figueroa Street on either side of the proposed Project’s warehouse. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic and associated emissions away from Figueroa Street, further away from the residential neighborhood. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize emissions from truck idling on-site and all but eliminate emissions from off-site truck idling on vicinity public and residential streets.

The Project will also implement various GZD standards which are intended to minimize air quality impacts to the surrounding area, including but not limited to:

- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters; and
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels.

All construction management practices will be employed in accordance with current regulations pertaining to emissions and dust control. Construction, grading, and excavation activities relating to the development of the proposed use will be limited as the Project does not propose construction of any new structures. By reusing the building closest to the residential

neighborhood, the Project's limited construction, grading, and excavation activities will occur furthest away from the neighborhood, reducing the potential for air quality impacts to the neighborhood.

Noise ("N") Goal 1: The reduction of excessive noise impacts.

- *Policy N 1.1: Utilize land uses to buffer noise sensitive uses from sources of adverse noise impacts.*
- *Policy N 1.3: Minimize impacts to noise sensitive land uses by ensuring adequate site design, acoustical construction, and use of barriers, berms, or additional engineering controls through Best Available Technologies (BAT).*
- *Policy N 1.7: Utilize traffic management and noise suppression techniques to minimize noise from traffic and transportation systems.*

The Project has been designed to minimize potential noise impacts to the residential neighborhood west of the Project Site. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood west of Figueroa Street, and behind the existing industrial buildings fronting Figueroa Street on either side of the proposed Project's warehouse. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street. Diverting truck traffic to Rosecrans Avenue will minimize potential traffic, noise, and/or vibration impacts to the residential neighborhood. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on vicinity public and residential streets. Neighboring existing industrial buildings and the proposed warehouse itself provide additional noise buffers between this section of the property and the residential neighborhood.

The Project will also implement various GZD standards which are intended to minimize noise impacts to nearby Sensitive Uses, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible; and
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

2. That the requested use at the location proposed will not:

- a. Adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area;**
- b. Be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and**
- c. Jeopardize, endanger, or otherwise constitute a menace to the public health, safety or general welfare.**

The proposed use at the Project Site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will

not jeopardize, endanger or otherwise constitute a menace to public health, safety, or general welfare.

The Project Site is located in an industrial district and is surrounded by industrial uses. The proposed warehouse use is consistent with surrounding land use patterns and will not be detrimental to the industrial uses in the vicinity.

The Project has also been designed to reduce potential impacts to the residential neighborhood west of the Project Site. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street. Diverting truck traffic to Rosecrans Avenue will minimize potential traffic, noise, and/or vibration impacts to the residential neighborhood, and it will benefit public safety by minimizing conflicts between trucks and cyclists using the buffered bicycle lanes on Figueroa Street. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on vicinity public streets. Neighboring existing industrial buildings and the proposed warehouse itself provide additional noise buffers and visual screens between this section of the property and the residential neighborhood.

Gates separate the eastern section of the property from the western section. The western section of the property contains additional warehouse space and automobile parking intended for employees and customers. Existing landscaped areas along the Figueroa Street frontage will be replanted with new trees, shrubs, and ground cover to soften the elevation closest to the residential neighborhood.

The Project will also implement various GZD standards which are intended to minimize impacts to the environment and the surrounding area, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Installing impervious and light-colored pavement in vehicular circulation areas and a white TPO single-ply heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances;
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels; and
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

3. ***That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in this Title 22, or as is otherwise required to integrate said use with the uses in the surrounding area.***

The Project Site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in Title 22, or as is otherwise required in order to integrate the proposed use with the uses in the surrounding area.

The Project is consistent with the applicable design and development standards for the M-2-IP Zone, the CSD, and the GZD. The Project Site is located in an industrial district and is surrounded by light industrial uses. The proposed warehouse use, and the proposed structural and site improvements do not detract from the established or anticipated character of the surrounding area.

Although the Project Site is in an industrial district, it is near the western end of the district, with residential neighborhoods located to the west of Figueroa Street. The Site Plan is organized to provide a transition from the industrial uses east of the Project Site to the residential neighborhoods west of the Project site. The Project Site's unique size and shape allow the Project's more active industrial uses and activities to be concentrated in the eastern section of the property, furthest away from the residential neighborhoods and buffered by neighboring existing industrial buildings and the proposed warehouse itself. The western section of the property contains automobile parking and additional warehouse space, and the building is set back by landscaped areas which will be replanted with new trees, shrubs, and ground cover. By providing this transition from more active and outdoor uses in the eastern section of the property to less active and indoor uses in the western section of the property, the Project successfully integrates with the uses in the surrounding area.

4. That the proposed site is adequately served:

- a. By highways or streets of sufficient width, and improved as necessary to shorten trip length and reduce vehicle miles traveled for the kind and quantity of traffic such use would generate; and**
- b. By other public or private service facilities as are required.**

The Project Site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required. The Project Site fronts Figueroa Street and Rosecrans Avenue, which are both designated Major Highways in the Los Angeles County Master Plan of Highways. The Mobility Element of the General Plan states that the Major Highway classification is reserved for "urban and rural highways that are of countywide significance and are, or are projected to be, the most highly traveled routes."

The Project proposes continued industrial use of the Project Site while reducing the total building area by more than half of what currently exists on the property, so the Project is not anticipated to generate significant traffic impacts. Nonetheless, as Major Highways, Figueroa Street and Rosecrans Avenue are equipped to absorb the kind and quantity of traffic the proposed use would generate. The Project Site is also approximately 800 feet from the nearest on- and off-ramps for the Harbor (110) Freeway, which provides a direct connection between the Project Site and the Ports of Los Angeles and Long Beach, reducing trip lengths and vehicle miles traveled for the freight trucks servicing the proposed warehouse use, and reducing those trucks' use of local surface streets. In addition, the Project Site is well-served by mass transit. The Rosecrans Avenue bus rapid transit station for the Metro J Line (Silver) is approximately 1,200 feet from the Project Site at the intersection of the 110 Freeway and Rosecrans Avenue, with connections to various Metro, G-Trans, and Torrance Transit bus routes. Even closer to the Project Site, the intersection of Figueroa Street and Rosecrans Avenue contains bus stops for Metro and G-Trans bus routes.

B. Additional findings specific to Green Zones:

- 1. That the proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property.***

The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property.

The Project Site is located in an industrial district and is surrounded by light industrial uses. The proposed warehouse use is consistent with surrounding land use patterns and will not be detrimental to the industrial uses in the vicinity.

The Project has also been designed to reduce potential impacts to the residential neighborhood west of the Project Site. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street, minimizing potential traffic, noise, and/or vibration impacts to the residential neighborhood. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on vicinity public streets. Neighboring existing buildings and the proposed warehouse itself provide additional noise buffers and visual screens between this section of the property and Figueroa Street.

Gates separate the eastern section of the property from the western section. The western section of the property contains additional warehouse space and automobile parking intended for employees and customers. Existing landscaped areas along the Figueroa Street frontage will be replanted with new trees, shrubs, and ground cover to soften the elevation closest to the residential neighborhood.

The Project will also implement various GZD standards which are intended to minimize impacts to the environment and the surrounding area, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Installing impervious and light-colored pavement in vehicular circulation areas and a white TPO single-ply heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances; and
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels.
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

- 2. That the proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems onsite away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses.**

Construction activities relating to the development of the proposed use will be limited as the Project does not propose construction of any new structures. All construction management practices will be employed in accordance with current regulations pertaining to noise, emissions, and dust control. Off-site parking and construction staging will be prohibited to minimize noise and traffic impacts to the surrounding area, and the on-site staging areas will be located in the eastern section of the Project Site to minimize impacts to the residential neighborhood.

The Project will implement various GZD standards which are intended to minimize impacts to the environment and the surrounding area, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
- Installing impervious and light-colored pavement in vehicular circulation areas and a white TPO single ply heat reflecting roof system;
- Locating the truck access, loading, queueing, and circulation areas as far away from the residential neighborhood as feasible;
- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances;
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels; and
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

- 3. That the proposed use and development of land protects public health and safety and promotes environmental sustainability.**

The proposed use and development of land protects public health and safety and promotes environmental sustainability. The Project does not propose any new construction, and will instead reuse an existing building, thereby conserving resources and reducing waste. The Project will provide landscaped areas along both street frontages which will be planted with non-invasive trees, shrubs, and ground cover. These landscaped areas will include 12 shade trees, which represents a net increase of 11 shade trees compared to what currently exists on the Project Site.

The Project has been designed to protect public health and safety by reducing potential impacts to the residential neighborhood west of the Project Site. The proposed use consists of both indoor (warehousing, storage, office) and outdoor (truck loading, queueing, maneuvering, and trailer storage) activities. The more active outdoor uses are concentrated in the eastern section of the Project Site, furthest away from the residential neighborhood. Primary access to this section of the property is provided from Rosecrans Avenue, which will divert truck traffic from Figueroa Street. Diverting truck traffic to Rosecrans Avenue will minimize potential traffic, noise, and/or

vibration impacts to the residential neighborhood, and it will benefit public safety by minimizing conflicts between trucks and cyclists using the buffered bicycle lanes on Figueroa Street. The eastern section of the property provides ample space for truck maneuvering and temporary trailer storage, allowing truck queueing to be fully contained on-site, which will minimize truck idling on-site and all but eliminate off-site truck idling on vicinity public streets. Neighboring existing buildings and the proposed warehouse itself provide additional noise buffers and visual screens between this section of the property and Figueroa Street.

The Project will also implement various GZD standards which are intended to protect public health and safety and promote environmental sustainability, including but not limited to:

- Providing a solid wall with landscaping and trees along the Rosecrans Avenue frontage;
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- Utilizing electrically powered landscaping equipment;
- Utilizing electric or alternatively fueled sweepers with HEPA filters;
- Installing Energy Star heating, cooling, and lighting devices, and appliances; and
- Utilizing zero or low-emission off-road (non-street legal) equipment that is powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels.
- Limiting hours of outdoor operation to 8:00 a.m. to 6:00 p.m., daily, with the exception of truck loading and unloading into the proposed warehouse building.

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: April 9, 2025
PROJECT NUMBER: PRJ2023-001368-(2)
PERMIT NUMBER(S): Conditional Use Permit (“CUP”) RPPL2023001916
SUPERVISORIAL DISTRICT: 2
PROJECT LOCATION: 400-422 West Rosecrans Avenue, West Rancho Dominguez
 14400 South Figueroa Street, City of Los Angeles
OWNER: Rexford Industrial Realty LP
APPLICANT: Rexford Industrial Realty LP
CASE PLANNER: Elsa M. Rodriguez, Principal Planner
 erodriguez@planning.lacounty.gov

The County Department of Regional Planning (“LA County Planning”) staff completed an initial review for the above-mentioned Project. Based on examination of the Project proposal and the supporting information included in the application, the County proposes that the Project qualified for a Categorical Exemption (Class 1, Existing Facilities, and Class 3, New Construction or Conversion of Small Structures) from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) (“CEQA”), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County, because the Project is an outdoor truck and trailer storage yard with no new floor area. Development is limited to solid walls, landscaping and irrigation and within the parameters of the Class 3 Categorical Exemption. No exceptions to the categorical exemption apply to the Project per Section 15300.2 of the California Code of Regulations. The Project is not located in an environmentally sensitive area, does not contain scenic or historic resources, and there are no unusual circumstances that would indicate a reasonable possibility that the Project could have a significant effect on the environment. Therefore, there are no exceptions to the proposed exemptions and the exemptions still apply to the Project.



AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. 2023-001368

CUP RPPL2023001916

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2024

Feet
0 100 200



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Los Angeles

W Rosecrans Ave

S Figueroa St

W 146th St

S Denver Ave

147th St

W 148th St

P

*W Rancho
Dominguez
- Victoria*

IH

LAND USE POLICY

500-FOOT RADIUS MAP

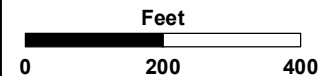
PROJECT NO. 2023-001368

CUP RPPL2023001916



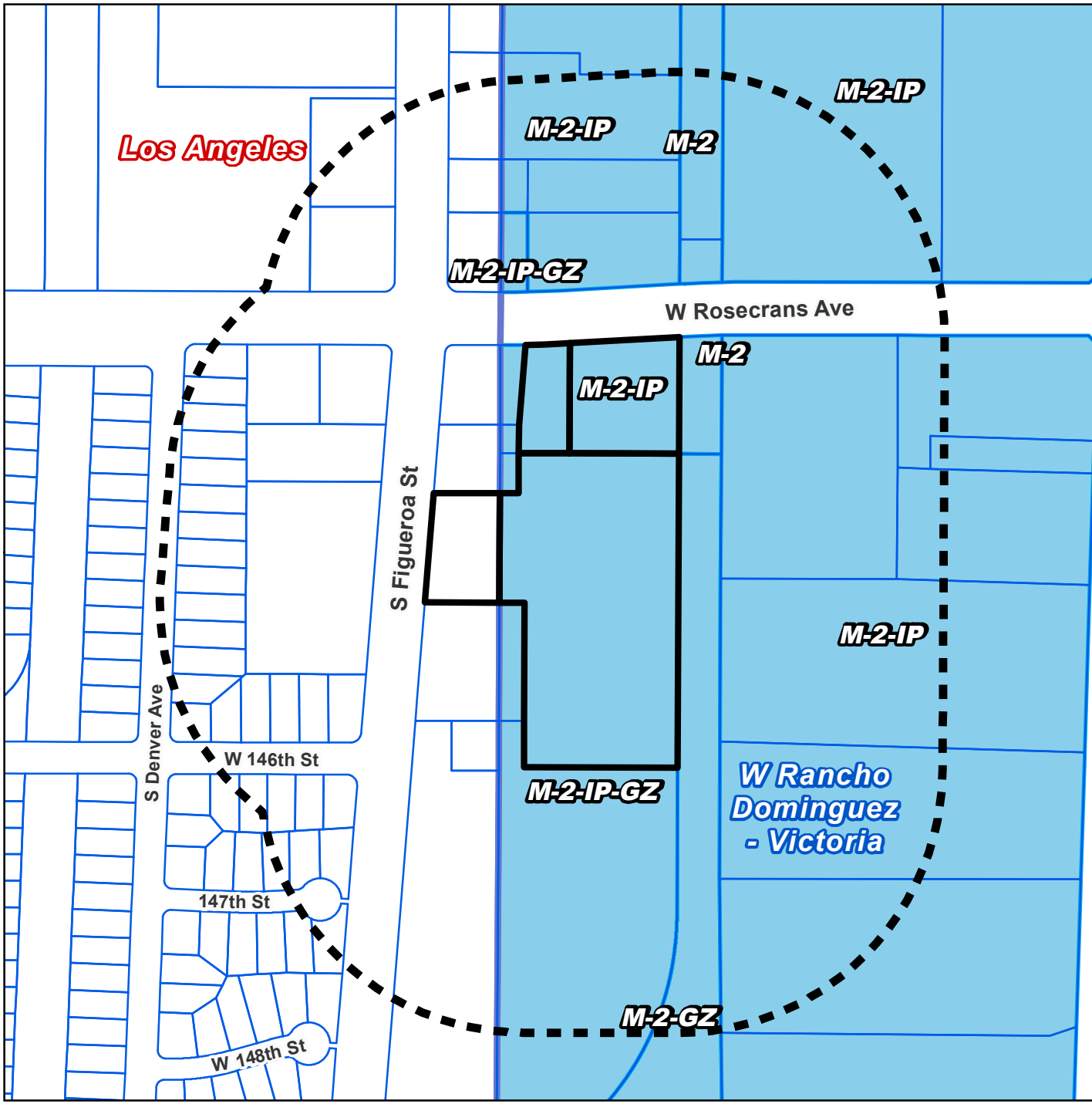
IH - Heavy Industrial

P - Public and Semi-Public



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Los Angeles, CA 90012



ZONING

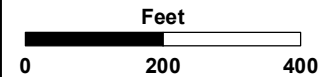
500-FOOT RADIUS MAP

PROJECT NO. 2023-001368

CUP RPPL2023001916



M-2 - Heavy Manufacturing



LA COUNTY
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Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Los Angeles

Wholesale Grocer

Industrial Warehouse

ARCO Gas

Parking

Industrial Warehouse

Railroad

Concrete Supply

W Rancho Dominguez - Victoria

W Rosecrans Ave

Office Building Gas Station

Warehouse

Furniture Manufacturer

S Figueroa St

Car Wash

Electronic Supply

Metal Fabricator

Warehouse

Parking

Industrial Warehouse

Railroad

Uniform Supply

Dog Training

Tile Supply

Trucking Company

Textile Supply

Transportation Service

S Denver Ave

W 146th St

147th St

W 148th St

EXISTING LAND USE

500-FOOT RADIUS MAP

PROJECT NO. 2023-001368

CUP RPPL2023001916

 500-ft Standard Radius

Existing Land Use (Assessor Use Codes)

 Commercial

 Industrial

 Miscellaneous

 Residential - Single Unit*

 Vacant

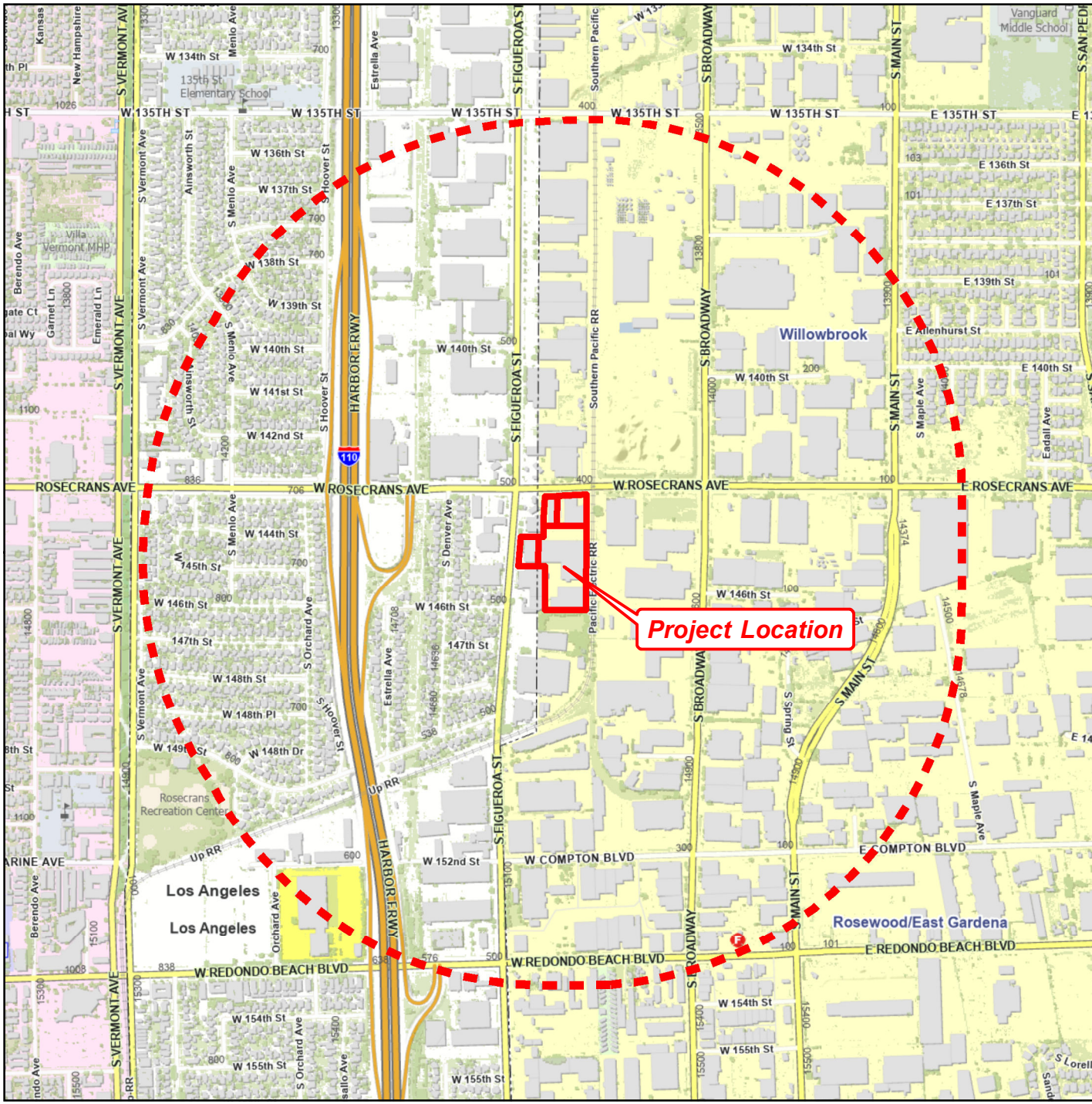
* Circles are generally applied to residential parcels. Empty circles indicate a single dwelling unit (DU), unless the parcel is symbolized as Vacant. Elsewhere, multi-unit residential parcels (where shown) are labeled with the number of DUs they contain.

Feet
0 200 400



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



HALF-MILE RADIUS

LOCATOR MAP

PROJECT NO. 2023-001368
CUP RPPL2023001916

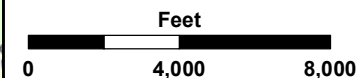
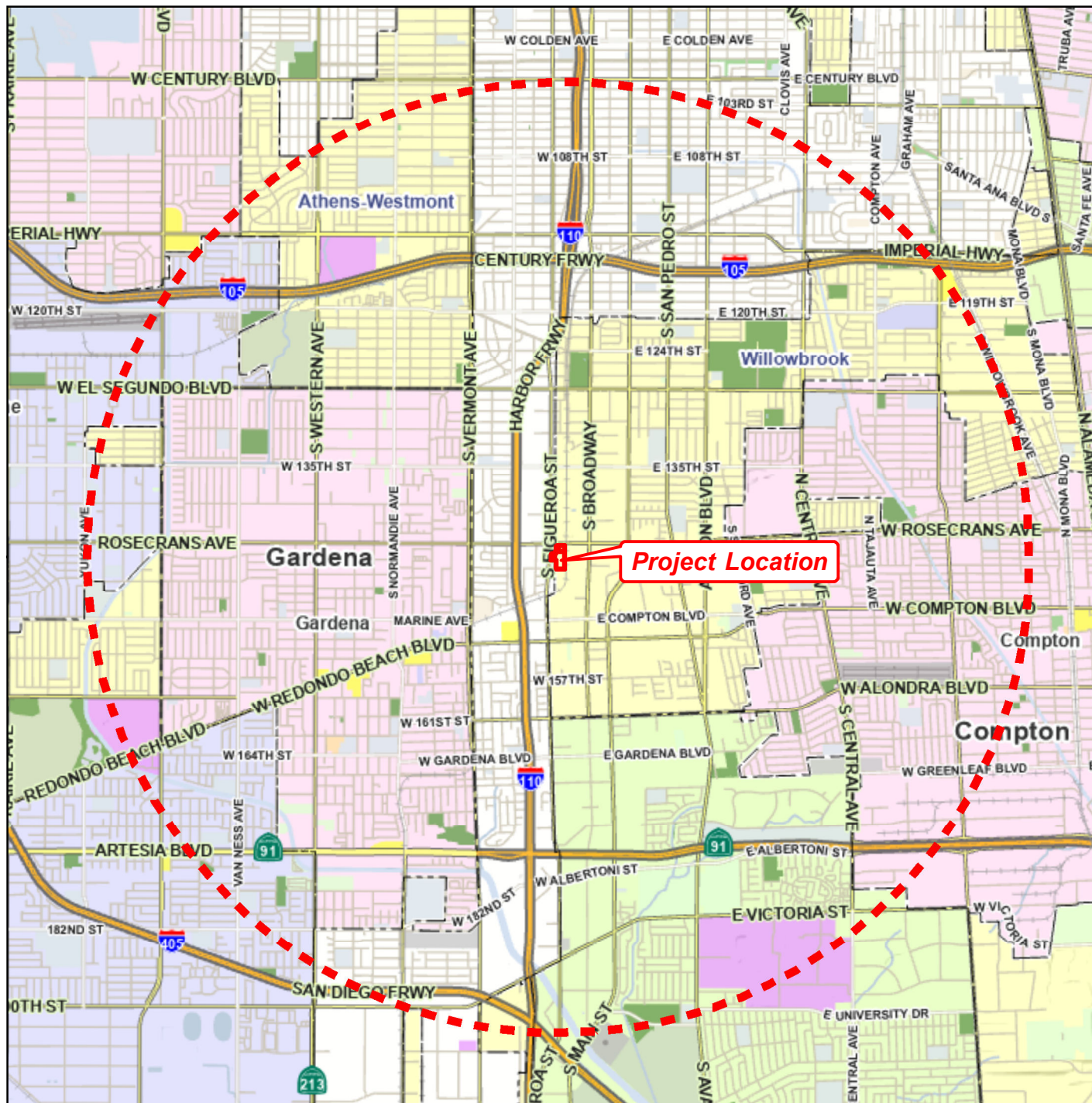


Feet
0 600 1,200

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

LA COUNTY
PLANNING

CUP RPPL2023001916



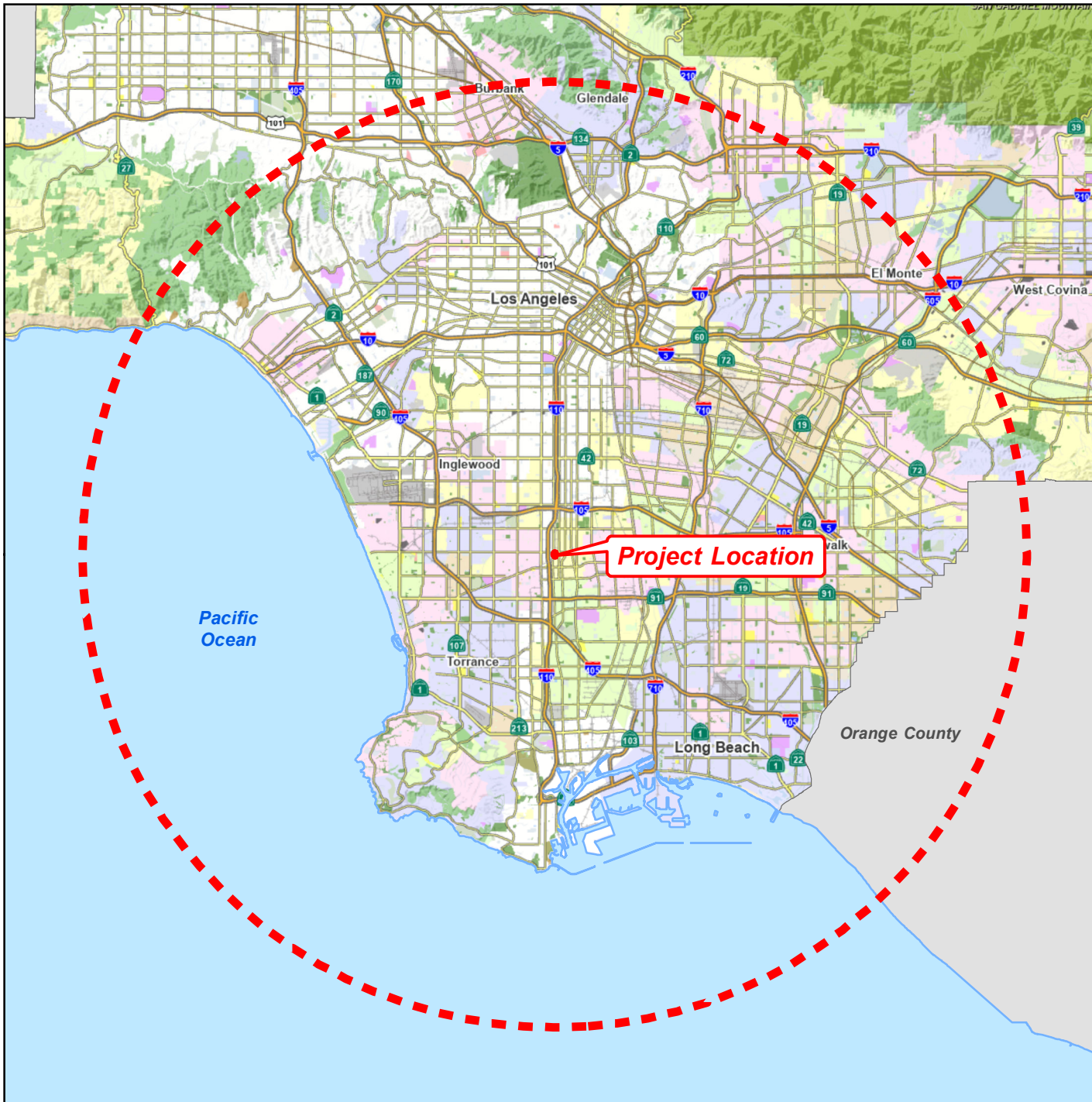
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

20-MILE RADIUS

LOCATOR MAP

PROJECT NO. 2023-001368

CUP RPPL2023001916

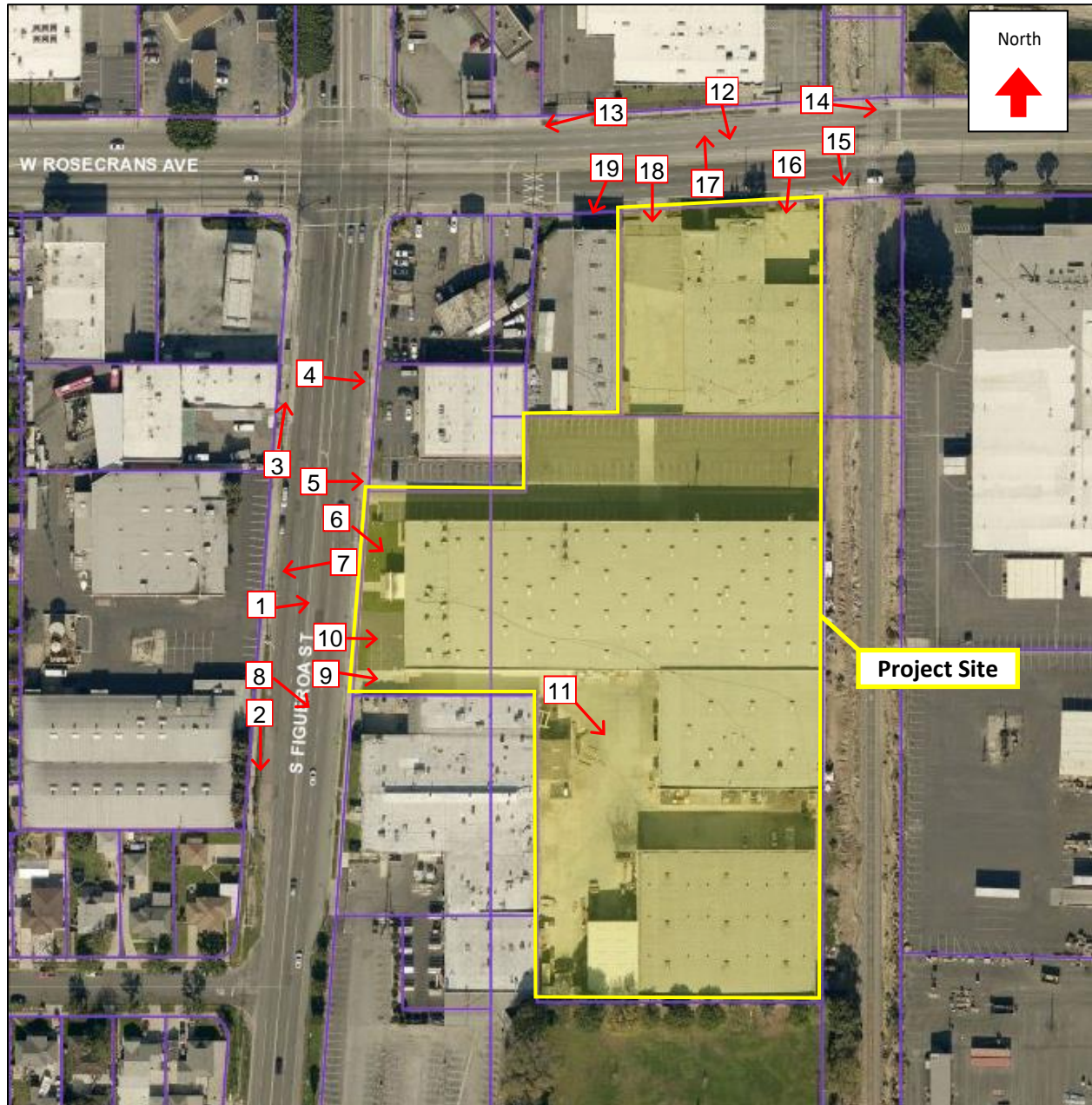


LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

SITE PHOTO EXHIBIT
Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248

Aerial View of Project Site



SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



1. View of Project Site from Figueroa Street



2. Facing south along Figueroa Street

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



3. Facing north along Figueroa Street



4. View of northerly adjacent property along Figueroa Street

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



5. View of shared driveway with northerly adjacent property on Figueroa Street



6. View of existing building frontage on Figueroa Street

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



7. View of properties across Figueroa Street from Project Site



8. View of southerly adjacent property on Figueroa Street

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



9. View of shared driveway with southerly adjacent property on Figueroa Street



10. View of existing driveway and surface parking area on Figueroa Street

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



11. View of existing buildings at south end of Project Site (to be demolished)



12. View of Project Site from Rosecrans Avenue (building to be demolished)

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



13. Facing west along Rosecrans Avenue



14. Facing east along Rosecrans Avenue

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



15. View of easterly adjacent railroad tracks on Rosecrans Avenue



16. View of existing east driveway on Rosecrans Avenue (to be closed)

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



17. View of properties across Rosecrans Avenue from Project Site



18. View of existing west driveway on Rosecrans Avenue

SITE PHOTO EXHIBIT

Site Address: 14400 S. Figueroa St. & 400 Rosecrans Ave., Gardena, CA 90248



19. View of westerly adjacent property on Rosecrans Avenue



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

December 19, 2024

IN REPLY PLEASE

REFER TO FILE: **LD-4**

TO: Carmen Sainz
Metro Development Services
Department of Regional Planning

Attention Elsa Rodriguez

FROM: James Chon 
Land Development Division

**CONDITIONAL USE PERMIT (RPPL2023001916)
TRUCK STORAGE AND WAREHOUSE
400 WEST ROSECRANS AVENUE
ASSESSOR'S MAP BOOK 6129, PAGE 1, PARCELS 23, 28, AND 29
UNINCORPORATED WILLOWBROOK**

As requested, Public Works reviewed the zoning permit application and site plan for an outdoor truck or trailer storage or parking that is ancillary to the primary warehouse use in a Green Zones District and the West Rancho Dominguez-Victoria Community Standards District. The existing industrial buildings are to be partially demolished.

- ☒ Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.
- ☐ Public Works has comments on the submitted documents; therefore, a Public Hearing shall NOT be scheduled until the comments have been addressed.

1. Street

- 1.1. Prior to issuance of a grading or building permit, submit street improvement plans to Public Works, through the EPIC-LA portal under "Public Improvement Plans: Street Plans," that reflect the following for review and approval:

Be advised that we currently have no known County construction project within the limits of your project. Should a County project be scheduled and constructed ahead of the applicant's development, a pavement moratorium may be imposed that would restrict any pavement work for two

years. Exceptions could be made if acceptable rehabilitation measures are provided. The applicant is encouraged to monitor <https://pw.lacounty.gov/gmed/lacroads/Find.aspx> periodically to determine if any future County projects have been scheduled or to determine whether a pavement moratorium currently exist along streets fronting the project location.

- 1.1.1. Reconstruct the existing driveway on West Rosecrans Avenue to meet Americans with Disabilities Act guidelines. This may require additional street right-of-way pop-out around sidewalk obstructions.
- 1.1.2. Provide and maintain 10' x 10' pedestrian sight triangles from all driveways to the back of the sidewalk. This means there shall be no solid structures such as fences, walls, or landscaping more than 3.5 feet high within the pedestrian sight triangles.
- 1.1.3. Close all unused driveways on West Rosecrans Avenue with standard curb, gutter, and sidewalk.
- 1.1.4. Plant street trees along the property frontage on West Rosecrans Avenue. Contact Public Works, Road Maintenance Division (Maintenance District 232 office), at (310) 326-3881 to obtain the desirable tree species.
- 1.1.5. Underground all new utility lines <50kV.
- 1.2 Prior to the issuance of a Certificate of Occupancy, construct all required street improvements or execute an Agreement to Improve.

For questions regarding the street conditions, please contact Sam Richards of Public Works, Land Development Division, at (626) 458-4921 or srich@pw.lacounty.gov.

2. Drainage

- 2.1. Prior to issuance of a grading or building permit, comply with the approved hydrology study and Low-Impact Development Plan.

For questions regarding the drainage condition, please contact Lonnie Chung of Public Works, Land Development Division, at (626) 458-7102 or lchung@pw.lacounty.gov.

3. Grading

3.1. Prior to issuance of a grading or building permit:

3.1.1. Provide approval of the grading plan by Public Works, Geotechnical and Materials Engineering Division.

3.1.2. Record a deed restriction to hold future owners responsible for maintaining the drainage devices without obstructing cross-lot drainage.

3.2. Submit grading plans, through EPIC-LA under "Grading Plan Check: Grading Plan," to Public Works for review and approval. The grading plan must show and call out the following items including, but not limited to, construction of all drainage devices and details; paved driveways; elevation and drainage of all pads, SUSMP, and LID devices (fill in whichever is applicable); and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.

For questions regarding the grading conditions, please contact Dennis Tovar of Public Works, Land Development Division, at (626) 458-3134 or dtovar@pw.lacounty.gov.

4. Streetlighting

4.1. Prior to issuance of a Certificate of Occupancy, comply with the streetlighting conditions per the attached Public Works, Traffic Safety and Mobility Division, memo dated April 23, 2024.

For questions regarding the streetlighting condition, please contact Sergio Chavez Jr. of Public Works, Traffic Safety and Mobility Division, at (626) 300-4733 or schavez@pw.lacounty.gov.

5. Water

5.1. Prior to issuance of a Certificate of Occupancy, comply with all the requirements stipulated by the Will Serve letter issued by the water purveyor.

Carmen Sainz
December 19, 2024
Page 4

For questions regarding the water condition, please contact Mr. Richards of Public Works, Land Development Division, at (626) 458-4921 or srich@pw.lacounty.gov.

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or egerlits@pw.lacounty.gov.

DK:la

P:\ldpub\SUBPCHECK\Plan Checking Files\CUP\RPPL2023001916 - 400 W Rosecrans Avenue\2024-12-03 Submittal\DPW_Cleared_2024-12-19_RPPL2023001916.docx



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: RPPL2023001916 PROJECT NUMBER: Truck Storage and Warehouse @ 400 W Rosecrans
CITY/COMMUNITY: Rosewood/East Gardena STATUS: Cleared
PROJECT ADDRESS: 14400 S Figueroa Street REAR DATE: 05/09/2024
Gardena, CA 90248

CONDITIONS

1. This project is cleared to proceed to public hearing.

For any questions regarding the report, please contact Joseph Youman at (323) 890-4243 or joseph.youman@fire.lacounty.gov.



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

SCOTT ABBOTT, REHS, M.P.A.
Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/



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May 07, 2024

TO: Carmen Sainz
Supervising Regional Planner
Department of Regional Planning

Attention: Elsa Rodriguez

FROM: Charlene Contreras 
Director, Community Protection Branch
Department of Public Health

SUBJECT: CONDITIONAL USE PERMIT (CUP) REQUEST
CASE: RPPL2023001916
400 W. ROSECRANS AVENUE GARDENA CA 90248

Thank you for the opportunity to review the application for the project located above. This project requests a Conditional Use Permit for warehouse use, outdoor truck and trailer storage, and parking area for an existing building. Improvements include demolishing four existing structures and removing a section of an existing structure to allow for vehicle access. 8-foot concrete block walls are to be constructed along perimeter of the property.

Public Health recommend clearance of the aforementioned project. This is conditioned by the current use of public water and wastewater systems. The applicant provided a water "Will Serve" letter from Golden State Water Company (GSWC) dated April 12, 2024. Also, provided a copy of the Annual Secured Property Tax Bill for fiscal year July 01, 2023, to June 30, 2024. Any change of methods for the provisions of potable water and sewage disposal shall invalidate this approval.

- ☒ Public Health conditions for this project have been met as of the date of this letter. Public Health recommends the clearance of the aforementioned project.
- ☐ Public Health requires that the conditions or information requested below are addressed prior to agency approval; therefore, the Department **DOES NOT** recommend clearance of this project until the following conditions are met:

1. Community Protection Branch: Environmental Hygiene

Please Note: The following are general requirements for Noise and Air Quality recommendations for the proposed project.

The applicant shall abide by all applicable requirements contained in Title 12, Chapter 12.08.390, 12.08.440, 12.08.530 - Noise Control Ordinance of the County of Los Angeles (reference available at municode.com).

3.1 Exterior Noise

Ordinance:

12.08.390 Exterior Noise Standards

No person shall operate or cause to be operated, any source of sound at any location within the unincorporated county or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person which causes the noise level, when measured on any other property either incorporated or unincorporated, to exceed any of the following exterior noise standards in Table 1.

Exterior Noise Standards, dBA						
Area	Duration	Std # 1	Std # 2	Std # 3	Std # 4	Std # 5
		30min/hr L50	15min/hr L25	5 min/hr L8.3	1 min/hr L1.7	At no time L0
Commercial	7 am – 10 pm	60	65	70	75	80
	10 pm – 7 am	55	60	65	70	75
Industrial:	Anytime	70	75	80	85	90

Table 1. Std = Standard dB that may not exceed the cumulative period

3.2 Construction Noise

Ordinance:

12.08.440 Construction Noise

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sundays or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work of public service utilities or by variance issued by the health officer is prohibited.

3.3 Community Noise

Ordinance:

12.08.530 Residential air conditioning or refrigeration equipment

Operating or permitting the operation of any air conditioning or refrigeration equipment in such a manner as to exceed any of the following sound levels is prohibited (See Table 2).

Measuring Location	Units Installed on or after January 1, 1980, dBA
Any point on neighboring property line, 5 feet above grade level, no closer than 3 feet from any wall.	55
Center of neighboring patio, 5 feet above level, no closer than 3 feet from any wall.	50
Outside the neighboring living area window nearest the equipment location, not more than 3 feet from the window opening, but at least 3 feet from any other surface.	50

Table 2. dBA levels not to be exceeded on the neighboring property.

3.4 Findings

3.4.1 Exterior noise

Noise levels were measured, using a sound level meter at the northwestern corner of the property on September 21, 2023, to determine background noise levels.

The exterior background noise level result exceeded the L0 noise standard (See Table 3). Based on the proposed business plan and findings, daily operational activities would likely not violate the exterior noise standards because:

1. The proposed 8-foot cement block wall would likely attenuate noise generated by the business.
2. The two adjacent industrial buildings west of the subject property have no windows facing the subject property.
3. An 85-foot-wide railroad right-of-way to the east separates the subject property from an adjacent industrial property.
4. A 140-foot open field to the south separates the subject property from an adjacent industrial property.

Exterior Noise Standards, dBA-Industrial											
Area Background	Duration	Std # 1 = L50		Std # 2 = L25		Std # 3 = L8.3		Std # 4 = L1.7		Std # 5 = L0	
		30min/hr	Result	15min/hr	Result	5 min/hr	Result	1 min/hr	Result	At no time	Result
Industrial: 14502 S. Figueroa St. Gardena CA 90248	7:32 pm – 8:32 pm	70	64.2	75	67.1	80	70.1	85	74.5	90	95.5

Table 3. Std = Standard dB that may not exceed the cumulative period.

3.4.2 Construction Noise

Noise from construction activities, such as demolition, may impact the adjacent properties.

4.5 Recommendation

4.5.1 Based on the proposed business and findings, activities from warehouse should comply with requirements contained in Title 12, Section 12.08.190, 12.08.390, 12.08.530, Noise Control Ordinance for the County of Los Angeles. The below activities should be minimized or monitored closely so as not to impact neighbors.

1. Impulsive noise: Shall not exceed 80 dBA at the commercial property and 90 dBA at the industrial property.
 - a. Attaching and detaching containers
 - b. Dropping/dragging container
 - c. Engagement of vehicle backup alarms
2. Vehicle idling for a prolonged period
3. Outdoor unloading and loading
4. Stationary/nonstationary equipment
5. Operating a PA System

4.5.2 Construction Noise

Noise mitigation measures should be applied to reduce construction noise and to comply with Title 12, 12.08.440 – Construction Noise. Noise mitigation strategies may include but are not limited to:

1. All construction equipment shall be equipped with the manufacturers' recommended noise muffling devices, such as mufflers and engine covers. These devices shall be kept in good working condition throughout the construction process.
2. Installation of a temporary sound barrier at the property lines of the proposed project site to mitigate noise impacts on all surrounding properties.
3. All construction equipment shall be properly maintained and tuned to minimize noise emissions.
4. Stationary noise sources (e.g., generators and compressors) shall be located as far from residential receptor locations as is feasible.
5. Trash collection

4.5.3 Air Quality Recommendation

During grading or excavation activities if applicable, application of dust control measures to minimize fugitive dust is recommended. Fugitive dust can result in worker and public exposure to fungal spores such as *Coccidioides immitis*, which can cause Coccidioidomycosis (Valley Fever). Adhere to applicable Air Quality Management District regulations.

Carmen Sainz

May 07, 2024

Page 5 of 5

For questions regarding above comments, please contact Makkaphoeum Em of Public Health, Environmental Hygiene Program at (626) 430-5201 or mem@ph.lacounty.gov.

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Planning & Land Use Liaison at (626) 430-5201 or varanda@ph.lacounty.gov.

CC:va

DPH_CLEARED_400 W. ROSECRANS AVENUE GARDENA CA 90248_RPPL2023001916_05.07.2024

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Craig Kusunoki - At-Large Representative

HARBOR GATEWAY NORTH NEIGHBORHOOD COUNCIL

P.O. Box 3723, Gardena, CA 90247 (310) 768-3853 telephone
www.harborgatewaynorth.org info@harborgatewaynorth.org

August 15, 2024

Elsa Rodriguez, Principal Planner Metro Development Services
Los Angeles County – Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Re: Rexford Industrial truck storage/ warehouse at 400-422 W. Rosecrans Avenue in Unincorporated Los Angeles County West Rancho Dominguez-Victoria Standards District and Green Zones District (Plan Number RPPL2023001916) and façade improvements to office space at 14400 S. Figueroa Street in the City of Los Angeles

Dear Ms. Rodriguez:

On August 13, 2024, our Board voted 12-0-0 to send this comment letter on the Rexford Industrial application for a truck storage/warehouse at 400-422 W. Rosecrans Avenue (Unincorporated Los Angeles County-West Rancho Dominguez-Victoria Community Standards District and Green Zones District), (Plan Number RPPL2023001916) and façade improvements to the office space at 14400 S. Figueroa Street (City of Los Angeles), which is being handled by the Department of Building and Safety for the City of Los Angeles, as all proposals for that address are “by right.”

We would like to acknowledge that Rexford Industrial did reach out to us regarding this project and presented at our April 25, 2024, Planning and Land Use Committee, also attended our June 4 Special Board meeting with some additional clarifications about the project, and members of their team were present on June 27, 2024, for our Planning and Land Use Committee meeting, which considered a revised draft letter, at our July 9 Board meeting, our July 25 Planning and Land Use Committee meeting, and at our August 13 Board meeting, where this comment letter was approved.

In regards to the office space, 14400 S. Figueroa Street, which is within the boundaries of the City of Los Angeles and the Harbor Gateway Community Plan, we appreciate and support Rexford Industrial’s efforts to upgrade the exterior façade and landscaping. This portion of the project faces onto the industrial corridor along Figueroa Street, which covers both sides of Figueroa Street from 149th Street to El Segundo Blvd. and the west side of Figueroa Street from 149th Street south to the 91 freeway. The six new trees (“Tuskegee” crape myrtles), additional landscaping, and improved facade will definitely upgrade the property on the Figueroa Street side and elevate the appearance of this section of the industrial corridor.

In regards to the 400-422 W. Rosecrans Avenue part of the project in the unincorporated Los Angeles County area and within the Rancho Dominguez-Victoria Standards District of the unincorporated Los Angeles County area, just to the east of the City of Los Angeles boundary line, we wish to express the following concerns on behalf of our stakeholders who live to the west of the project across Figueroa Street and within 500 feet of the future warehouse space with 31 truck docks.

1) Potential **noise impacts** for residential uses, particularly at night, from loading/unloading related to activities on the property. The proposed project's loading docks will be approximately 400 feet from homes at Figueroa Street and 146th Street and less than 500 feet from homes on Denver at 144th Street. While a traffic study was conducted by Overland Traffic Consultants, no professional sound study was undertaken.

- Only loading and unloading of trucks directly into the enclosed warehouse building should occur after 6 p.m. Sound generated from the site after 6 p.m. shall not exceed 45 dB. (Los Angeles County Zoning Ordinance Section 12.08.380 Environmental Protection-Noise zones designated-- Noise Zones I and II; and Section 22.44.1610-B Planning and Zoning-Noise "Locate noise-tolerant uses within developed areas. Encourage sensitive building orientation, placing the most noise-tolerant portions of a project between sensitive portions and the noise source, and architectural design as the noise management strategies preferred over constructing noise barriers.")
- Loading docks must contain foam gasket seals and enhanced bumpers and/or other measures to reduce dock mating noise and also a fully covered roof area enclosed by roll up doors for the loading docks.
- The use of "white noise" or multi-frequency quiet alarms on all trucks and equipment moving outdoors after 6 p.m. so that the backup beepers traditionally used to indicate backing up operations not create a noise pollution impact for the nearby residents and this should be required via the leasing agreement.

2) Although the project reduces the size of the previous buildings on site and previous potential number of daily truck trips, there will still remain an **air pollution impact** to residential uses (homes) on the south side of Rosecrans Avenue between the 110 Harbor freeway and Figueroa Street from the 96 daily vehicle (truck/car) trips going to the warehouse and exiting from the warehouse to enter the 110 Harbor Freeway.

- Lease agreements with future tenants should include a requirement that zero-emission heavy duty trucks are required to travel to and from the project site by a specified date, such as 2035.
- Any heavy duty truck idling or queuing off site should be prohibited and that prohibition included in leasing agreements.
- There should be no heavy duty truck access from the Figueroa Street side of the project and this should be clearly posted; only access from the driveway at 400-422 W. Figueroa Street for heavy duty trucks shall be permitted.

3) Potential traffic impacts of trucks leaving the warehouse and turning west over the eastbound lanes of Rosecrans Blvd. even with the existing two-way left turn lane on Rosecrans Avenue.

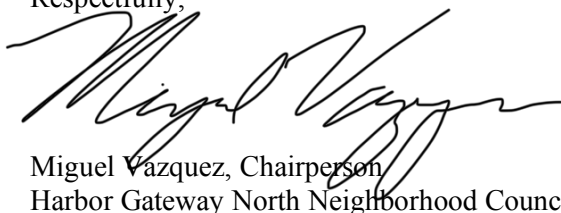
An additional concern, for the future workers in the warehouse part of the project is a lack of air conditioning. Representatives for Rexford Industrial indicated during their presentation to the HGNNC

Planning and Land Use Committee on April 25, 2024, that air conditioning was not needed as the site is located in the coastal zone and would not see the high temperatures that would be common for warehouses located in the Inland Empire, for example, and that ceiling fans would be adequate for overly hot days. There will also be sixty vented skylights which, when opened, will produce additional airflow. However, with the impact of global warming, our neighborhood is seeing many more high 90's and 100 degree temperatures. Ceiling fans alone are unlikely to be able to cool the interior of the warehouse to below 87 degrees, per the recently adopted Cal/OSHA standards for indoor air temperatures. It would seem prudent to plan for the future by installing a heat pump heating/cooling system with solar panels so that the building is ready to provide proper cooling for days of higher temperatures in the future.

We also would like to point out that there needs to be a more formal means of communication and coordination between the Los Angeles County Department of Regional Planning and the City of Los Angeles for areas where the two jurisdictions share boundaries, particularly where development in the County of Los Angeles impacts residents on the west side of Figueroa Street. For example, we would have liked to receive notification of this project last year, when the application was first filed. And going forward, we would like to see the County of Los Angeles add to the Green Zones ordinance a requirement that buffer zones between manufacturing/industrial uses and residential uses be extended from the current 100 feet to 1,000 feet.

Additionally, one of our goals is to see higher quality usages for the industrial facilities that line our Figueroa Corridor, as opposed to warehousing that involves large truck traffic and is considered a "heavier industrial use." Per the CalEnviroScreen 4.0, all of the Harbor Gateway North areas along Figueroa Street, up to 120th street, in the Harbor Gateway Community Plan area, meet the criteria of being "disadvantaged communities." With that in mind, the Harbor Gateway Community Plan update recommends encouraging "green, sustainable industries that bolster the economic base and provide high-skill and high-wage job opportunities for local residents." The updated Community Plan also calls for "the transition of industrial land uses from heavier industrial uses to lighter industrial uses, in close proximity to residential neighborhoods to minimize the negative environmental and visual impacts to the community."

Respectfully,



Miguel Vazquez, Chairperson
Harbor Gateway North Neighborhood Council

cc: Councilmember Tim McOsler – Council District 15
Pamela Thornton, Planning Director – Council District 15
Nicholas Chavez, Field Deputy - Council District 15
Jocelyn Dominguez – Harbor/Watts Representative for Mayor Karen Bass
Josh Gertler, President and CEO – Consensus (representing Rexford Industrial)
California Attorney General – Bureau of Environmental Justice
Cal/OSHA



**Rexford
Industrial**

June 4, 2024

Board of Directors
Harbor Gateway North Neighborhood Council
P.O. Box 3723
Gardena, CA 90247

RE: 14400 S. Figueroa Street/400-422 W. Rosecrans Avenue

Honorable Board Members:

Thank you for the opportunity to meet and present our project to your Planning and Land Use Committee in April. We have reviewed your draft letter to the Planning Director of Council District 15 and are grateful for your expression of support and your positive comments about our plans to elevate the appearance of this area.

In advance of tonight's scheduled Special Board Meeting, we want to address the comments outlined in this letter in advance of your scheduled vote tonight.

Issue One: *Concerns for the truck storage/warehouse part of the project in the unincorporated Los Angeles County area include: Potential noise impact on residential uses, particularly at night, from trucking related activities on the southeast side of the property, which is less than 300 feet from homes at Figueroa Street and 146th Street and less than 400 feet from homes on Denver at 144th Street. A bare minimum sound review was conducted while a full review should have been performed, especially in light of the 24/7 operation of the future facility.*

Response: Please note that 24/7 operation of the facility is not proposed. The application for the project states that outdoor operations will be limited to 8:00 AM to 6:00 PM daily, with the exception of loading and unloading at the warehouse building's truck docks. Therefore, if a future tenant conducts nighttime operations, they will be contained within the warehouse building where noise impacts to vicinity properties will be negligible. Please note that the existing warehousing and manufacturing uses on the site currently do not have any operating hours restrictions, so this project's proposed restrictions on outdoor operations between 6:00 PM and 8:00 AM daily would mark a significant improvement over the existing conditions.

The truck docks are located toward the rear of the property, which not only places the docks further away from the nearest homes, but also takes advantage of several layers of sound and visual buffers between the docks and the nearest homes. The nearest truck docks are approximately 550 feet from the nearest homes on Denver Avenue and approximately 400 feet from the nearest homes on 146th Street. The line of sight and noise transmission between the docks and the nearest homes would be interrupted by new proposed gates, several existing industrial buildings on the east side of Figueroa Street, the Figueroa Street right-of-way, and several existing industrial buildings on the west side of Figueroa.



Rexford Industrial

Please also note that due to the existing arrangement of buildings on the site, trucks are currently forced to exclusively use Figueroa Street to access the bulk of the site, bringing truck-related noise impacts closer to the homes west of Figueroa. The proposed site plan would allow for trucks to exclusively use Rosecrans Avenue to access the entire site. This would again mark a significant improvement over the existing conditions as additional truck-related noise impacts are diverted further away from these homes.

Between the new operating hours restrictions, the strategic location of the new truck docks tucked toward the rear of the property behind several layers of sound and visual buffers, and the new site plan diverting truck traffic from Figueroa to Rosecrans, the proposed project will not result in increased levels of noise in the existing residential neighborhood to the west of Figueroa, particularly at night.

Issue Two: *Although the project reduces the size of the previous buildings on site and previous potential number of daily truck trips, there will still remain an air pollution impact to residential uses (homes) on the south side of Rosecrans Avenue between the 110 Harbor freeway and Figueroa Street from the 96 daily truck trips going to the warehouse and exiting from the warehouse to enter the 110 Harbor Freeway.*

Response: As acknowledged in the Board's letter, this project would include the removal of three (3) existing buildings on the site and a reduction in the size of the remaining building. As a result, the amount of daily trips generated by industrial uses on the site will be reduced by approximately 62% from approximately 250 total trips per day, including employee and truck trips, to approximately 96 trips. In addition to significantly reducing the overall number of trips, the project will divert trips from Figueroa Street to Rosecrans Avenue – farther away from the homes in the vicinity – due to the reconfigured site plan.

Since the overall number of daily trips to and from the site will be greatly reduced by this project, and since those reduced trips are more likely to occur farther away from the residential uses in the area, localized air pollution impacts to those residential uses will be reduced by this project.

Issue Three: *Potential traffic impacts of trucks leaving the warehouse and turning west over the eastbound lanes of Rosecrans Blvd. A professional traffic study was not carried out.*

Response: Analysis of the potential traffic impacts of this proposed project was completed in accordance with the County of Los Angeles Traffic Impact Analysis (TIA) Guidelines adopted June 23, 2020 (with update (9/2/2020)). This study addressed the change in the number of trips that will be generated by uses on the site, as discussed above, the change in Vehicle Miles Traveled (VMT), and changes to access and circulation proposed into and out of the site.

The site currently contains three (3) existing driveways on Rosecrans Avenue, each allowing departing trucks to turn westbound or eastbound. As proposed, the project will close two (2) of those existing driveways and will retain and modify the remaining driveway to facilitate safer truck maneuvers into and out of the site. The remaining driveway on Rosecrans is located



**Rexford
Industrial**

approximately 300 feet east of the curb projection of Figueroa Street. The driveway will be modified to have a 40-foot width to accommodate truck movement, and 10'x10' visibility triangles are proposed between the gate and the Rosecrans property line to increase visibility between trucks leaving the warehouse and vehicles traveling along Rosecrans. In addition, there is an existing two-way left turn lane on Rosecrans Avenue that can safely accommodate truck movement into and out of the project site.

Issue Four: *Lack of air conditioning in the renovated warehouse building. Representatives for Rexford Industries indicated during their presentation to the HGNNC Planning and Land Use Committee on April 25, 2024, that air conditioning was not needed as the site is located in the coastal zone that does not see high temperatures as compared to warehouses located in the Inland Empire, for example, and that ceiling fans would be adequate for overly hot days. However, with the impact of global warming, our neighborhood is seeing many more high 90's and 100 degree temperatures. Ceiling fans alone are unlikely to be able to cool the interior of the warehouse to below 87 degrees, per the recently adopted Cal/OSHA standards for indoor air temperatures. It would seem prudent to plan for the future by installing a heat pump heating/cooling system with solar panels so that the building is ready to provide proper cooling for days of higher temperatures in the future.*

Response: While the property will not be air-conditioned, it is important to note that our renovation plan includes the addition of several significant improvements that improve air circulation and cooling. These include the addition of 60 vented skylights that, when opened, produce an airflow much higher than average, substantially increasing the insulation on the building's roof, and providing the electrical infrastructure for a tenant to add high-velocity fans, as appropriate for their operations.

Finally, we recognize the anomaly the split jurisdiction presents and that your Neighborhood Council was not formally notified when our application was filed. Please note, as we explained in the April meeting, that Rexford independently opted to and proactively reached out to HGNNC in advance of any formal hearings or approvals.

Thank you again for your kind consideration.

Sincerely,

BRIAN GARCIA

Director of Construction & Development
424.440.2565 (d)
bgarcia@rexfordindustrial.com
rexfordindustrial.com | NYSE: REXR