

REPORT TO THE REGIONAL PLANNING COMMISSION

DATE ISSUED: April 9, 2026

HEARING DATE: April 22, 2026 AGENDA ITEM: 12

PROJECT NUMBER: PRJ2023-00474-(5)

PERMIT NUMBER(S): Conditional Use Permit No. RPPL2023000666
Oak Tree Permit No. RPPL2025003986
Environmental Assessment No. RPPL2024005464

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 600 E. Mariposa Street, Altadena, CA 91001
(Assessor's Parcel Number 5840-010-900)

OWNER: Altadena Library District

APPLICANT: Altadena Library District

CASE PLANNER: Jolee Hui, Principal Planner
jhui@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number PRJ2023-00474-(5), Conditional Use Permit No. RPPL2023000666 and Oak Tree Permit No. RPPL2025003986 based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

CEQA:

I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING AND CERTIFY THE FINAL ENVIRONMENTAL IMPACT REPORT ALONG WITH THE REQUIRED FINDINGS OF FACT AND STATEMENT OF OVERRIDING CONSIDERATIONS AND ADOPT THE MITIGATION MONITORING AND REPORTING PROGRAM FOR THE PROJECT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT(S):

I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE CONDITIONAL USE PERMIT NO. RPPL2023000666 AND OAK TREE PERMIT NO. RPPL2025003986 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

- Conditional Use Permit (“CUP”) to authorize the continued use and operation of an existing public library (“Altadena Main Library”), with the proposed renovation, expansion, and improvements of the existing library facility in the R-1-10,000 (Single-Family Residence – 10,000 Square Feet Minimum Required Lot Area) Zone pursuant to Los Angeles County (“County”) Code Section 22.18.030.C (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4 and R-5).
- Oak Tree Permit (“OTP”) to authorize encroachment into the protected zone of two non-heritage-sized oak trees associated with the proposed landscaping, utility undergrounding, and infrastructure improvements of the existing public library pursuant to County Code Section 22.174.030 (Oak Tree Permits, Applicability).

B. Project

The project applicant, Altadena Library District, requests a CUP for the continued use and operation of an existing public library located at 600 E. Mariposa Street (“Project Site”), with proposed renovation, expansion, safety/accessibility upgrades, and other infrastructure improvements to the existing facility (“Project”). Concurrently, an OTP is requested to encroach into the protected zone of two non-heritage-sized Coast Live oak trees, identified as Tree #51 and #52 in the oak tree reports dated December 11, 2025 and January 20, 2026, prepared by Rebecca Latta Consulting Arborist. The two oak tree encroachments are primarily related to the proposed utility undergrounding and landscaping work associated with the facility improvements. As part of the Project, the proposed landscaping improvements include voluntary planting of three oak trees. Two oaks will be planted north of the library building, along the Mariposa Street frontage and one oak planted within the existing surface parking lot.

In sum, the planned facility expansion and improvements include:

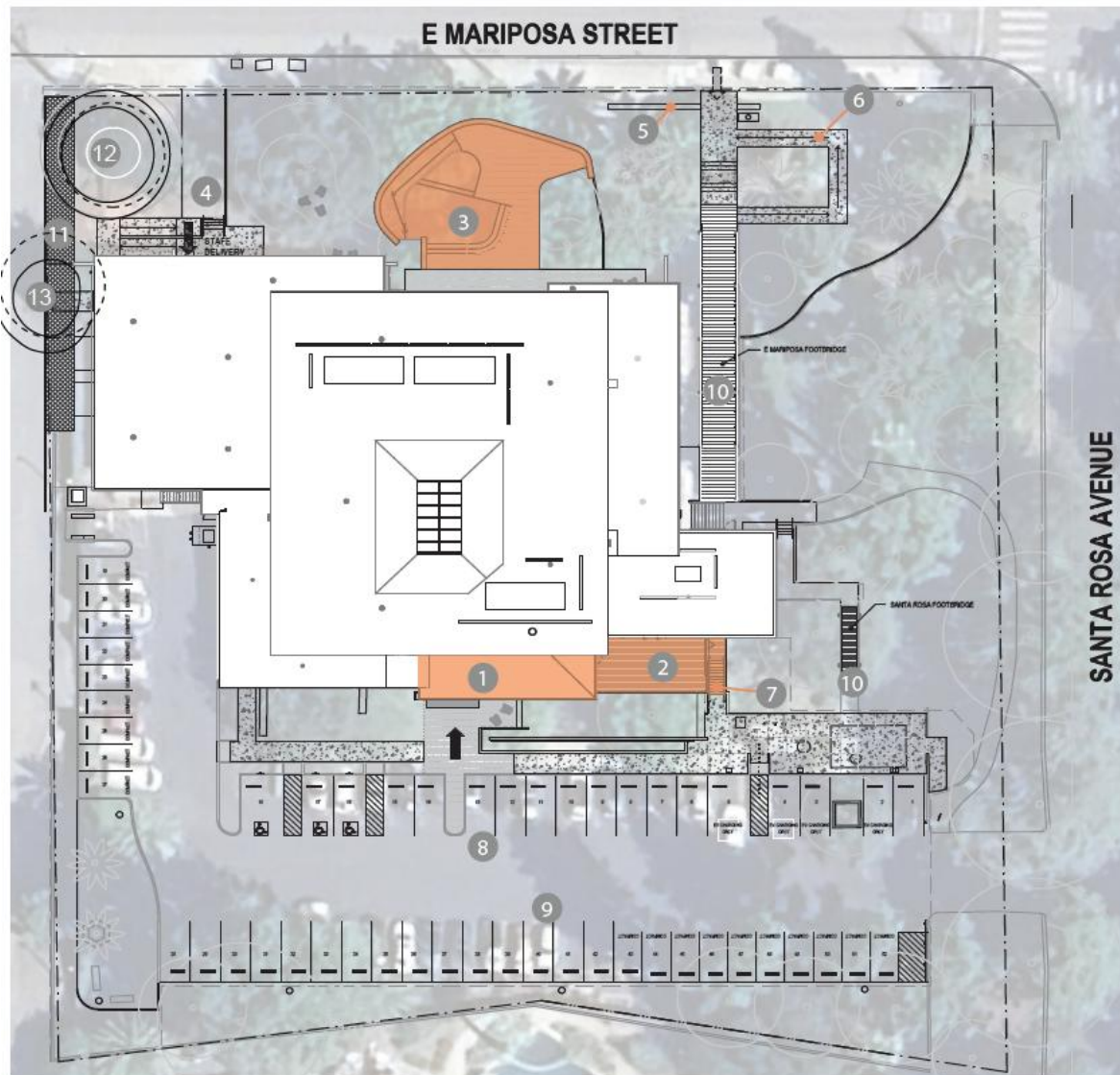
- Addition of approximately 700 square feet of new building footprint;
- Reconfiguration of interior space to maximize space efficiency and improved user experience, including better wayfinding and greater connectivity between indoor and outdoor space;
- Access improvements to meet requirements of The Americans with Disabilities Act (“ADA”) and to improve accessibility for all user groups (e.g., parents with baby strollers);

- Seismic retrofit and structural repair of the building;
- Replacement of aging building infrastructure to address mechanical (elevator and heating, ventilation, and air conditioning [HVAC]), plumbing (including additional and accessible restrooms), and electrical and structural elements of the facility;
- Additional improvements including but not limited to, modernized Audio Visual (“AV”) spaces with newer technology, updated communications infrastructure, and structured cabling;
- Upgrades to landscaping and irrigation, and addition of outdoor functional spaces, including voluntary planting of two oak trees along Mariposa Street; and
- Wayfinding signage and new 12-inch-high stainless steel letters (“Altadena Main Library” identification signage) mounted to existing south CMU wall.

The proposed work would result in the following new or improved library features:

- | | |
|---|---|
| 1) New entry/lobby (direct access from the surface parking lot) | 6) New access ramp |
| 2) New deck (adjacent to community room) | 7) New stairs |
| 3) New reading court | 8) New loading (parking) zone |
| 4) New staff delivery area | 9) Re-surfaced and re-striped parking lot (total 52 spaces, including three ADA, one ADA with electric vehicle charging, and four electric vehicle charging spaces) |
| 5) New statement entry block wall signage with stainless-steel letters fronting Mariposa Street | 10) Refurbished existing footbridges accessible from Mariposa Street |

*Map exhibit (see below) label numbers correspond with the above library features enumerated list. Not included in the above list is (11) easement, (12) Oak Tree #51, (13) Oak Tree #52.



Project construction is anticipated to take 14 to 18 months. During this period, the Altadena Main Library will remain closed to the public and alternative library services will be provided at the following locations:

- Bob Lucas Library & Literacy Center, open seven days per week with expanded evening hours (Monday -Thursday 10 am-8pm, Friday-Saturday 10 am-5pm, Sunday 1-5pm)
- Altadena Library at Loma Alta Park, open six days per week with space for computer lab (Monday-Thursday 10 am-6 pm, Friday-Saturday 10 am-5 pm),

- 24/7 Library Materials Vending Machines at Prime Pizza and Loma Alta Park for returns and check outs.

After Project completion, library operations and services are expected to continue in accordance with established pre-existing protocols, including the book collection. No grant term is also proposed as part of this CUP request.

C. Library Background

The Altadena Main Library was established by Zoning Exception Case (“ZEC”) Case No. 6827, which was conceptually approved by the Regional Planning Commission on June 25, 1963 without any grant term. The library building was designed by renowned Southern California architect, Boyd Georgi, while the surrounding outdoor garden setting was designed by local landscape architects, Eriksson, Peters & Thoms. Since its construction, some minor alterations have occurred, including replacement of entrance doors at the exterior and the addition of a lower-level storage area and replacement of interior carpet and finishes. Most of its original building architecture and materials remain.

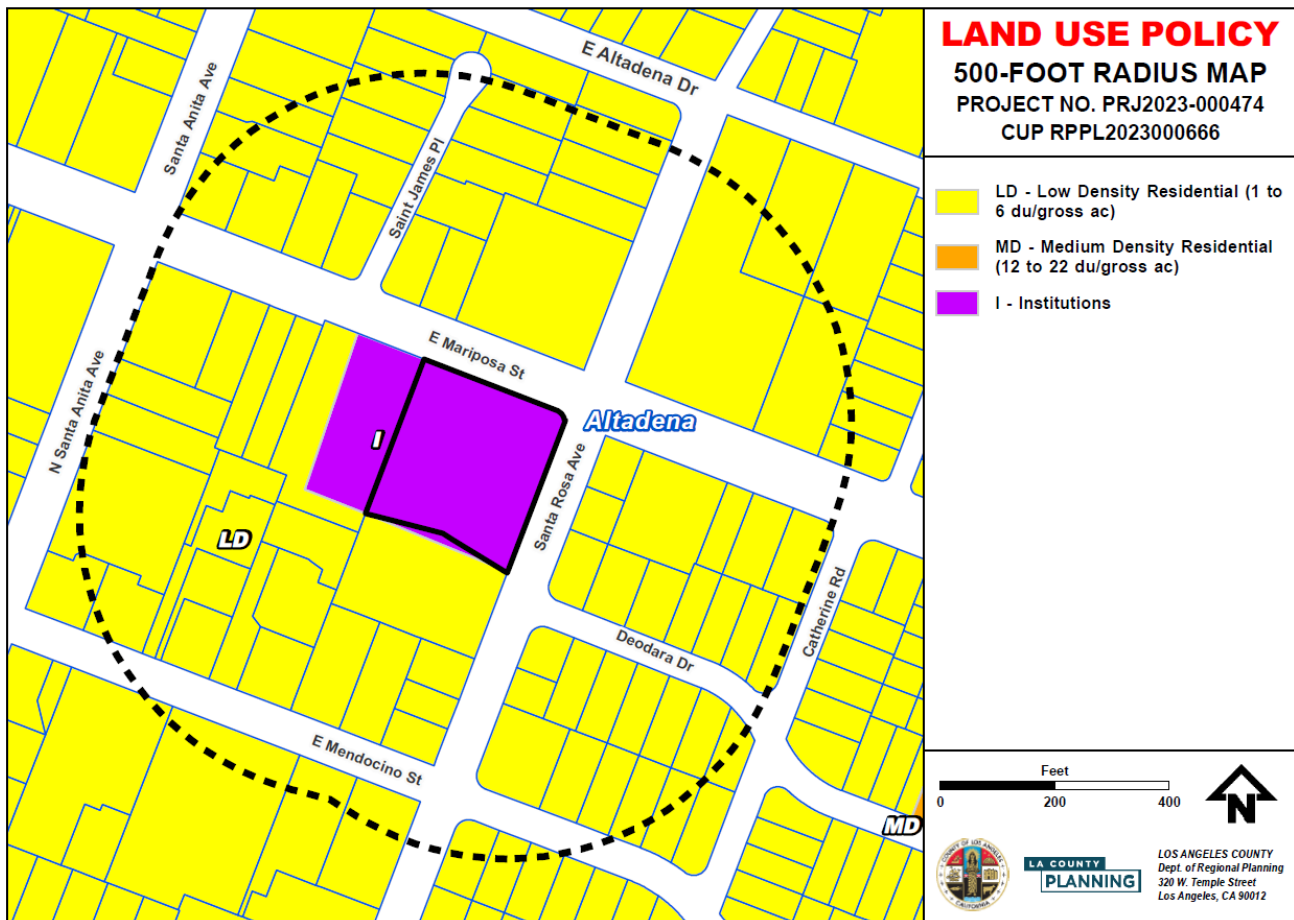
In 2020, the Altadena Library District commissioned a third-party consultant, Architectural Resources Group (“ARG”), to complete a historical resources assessment report of the library. Based on this technical assessment, ARG concluded that the Altadena Main Library is eligible for listing on the National Register of Historic Places, the California Register of Historical Resources, and the Local Register for its association with the increase in civic services resulting from Altadena’s postwar population boom as well as for being an excellent example of Mid-Century Modern architecture designed by noted architect, Boyd Georgi. It has also been recommended as eligible for listing as a Los Angeles County Landmark under Criterion A.7 (County Code Section 22.124.070 – Criteria for Designation of Landmarks and Historic District) for its integral landscape, designed by Eriksson, Peters & Thoms. Therefore, the Altadena Main Library is considered a historical resource for the purposes of the California Environmental Quality Act (“CEQA”).

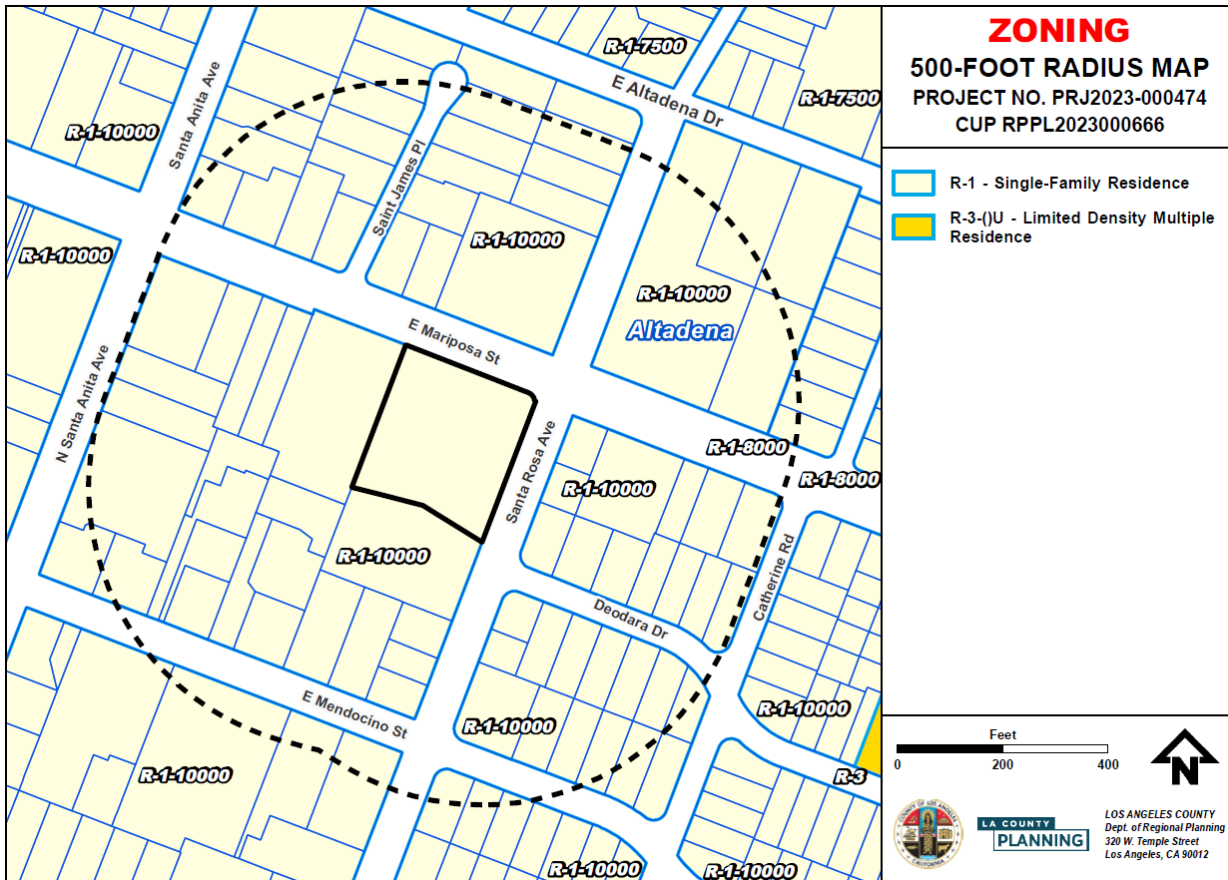
SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	ALTADENA COMMUNITY PLAN LAND USE POLICY ¹	ZONING	EXISTING USES
SUBJECT PROPERTY	I (Institution)	R-1-10,000	Public library
NORTH	LD (Low Density Residential - 1 to 6 Dwelling Units per Gross Acre)	R-1-10,000, R-1-7,500 (Single-Family Residence - 7,500 Square Feet Minimum Required Lot Area)	Girl's Scout camp, single-family residences
EAST	LD	R-1-10,000, R-1-8,000 (Single-Family Residence - 8,000 Square Feet Minimum Required Lot Area)	Senior center, single-family residences,
SOUTH	LD	R-1-10,000	Single-family residences, private school
WEST	LD	R-1-10,000	Single-family residences

¹ The Altadena Community Plan, adopted on July 10, 1986, was applicable at the time this application was deemed complete on May 17, 2024. The West San Gabriel Valley Area Plan ("WSGVAP") was adopted on March 11, 2025 and pursuant to County Code Section 22.246.020 (Applicability of Zone Changes and Ordinance Amendments), this Project is subject to the zoning and regulations that were applicable to the Project prior to the adoption of the WSGVAP.





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
5541	R1-10,000 (Single-Family Residence -10,000 Square Feet Minimum Required Lot Area)	05/09/1950
42	Zone 1 – Single-Family Residence	09/06/1927

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
ZEC No. 6827	To establish, operate, and maintain a Central Public Library	06/25/1963

CASE NO.	REQUEST	DATE OF ACTION
ZEC No. 6927 Revised Exhibit "A"	Approval of parking development and landscaping plan	07/14/1966
ZEC No. 6927 Revised Exhibit "A"	Approval of new pavilion/garden structure on northeast corner fronting Mariposa Street	02/09/1967
ZEC No. 6827 Revised Exhibit "A"	Addition of a library sign	08/17/1967

C. Violations

No violation records exist.

ANALYSIS

A. Land Use Compatibility

Centrally located in the Altadena community, the Project Site is 1.72 acre in size and is designated in the I (Institution) land use category of the Altadena Community Plan, a component of the General Plan. The I land use category is intended for “[all] public and private schools, private institutions, churches, hospitals, and governmental facilities.” The existing library, which is owned and operated by an independent special district (Altadena Library District), is a community-serving, public institution that falls into this category.

The Project is consistent with the intended uses of the I land use category and is also compatible with the surrounding residential land uses. Specific allowable uses and development standards are determined by the underlying R-1 zoning designation. In this case, the R-1 Zone allows libraries as a permitted use subject to CUP approval. With the approval of the requested CUP and OTP, the proposed Project would continue to be compatible with the surrounding existing uses and applicable regulations.

B. Neighborhood Impact (Need/Convenience Assessment)

Altadena Main Library has served the Altadena community and surrounding areas since 1967, when the construction of the facility was completed. The proposed Project is intended to provide residents and visitors with a safe public facility and expanded opportunities for community activities, programs and events. The library will continue to provide a range of services and function as an important public resource for the community. Implementation of the Project would enhance existing services; expand public-facing, usable interior space, outdoor community gathering areas, such as the proposed reading court; and strengthen connectivity between indoor and outdoor space for library users.

Since its construction nearly 60 years ago, the Altadena Main Library has not undergone major upgrades or repairs; and requires safety, structural, and seismic improvements to better protect users and employees during earthquakes or other natural disasters. The proposed Project will make these necessary safety and infrastructure improvements/repairs while enhancing accessibility and user experience through the addition of new ramps, stairs, and restrooms that meet current ADA standards.

In addition to improving the library user experience, the Project will replace outdated infrastructure with modern efficient systems that reduce water and energy consumption. Parking lot, access, wayfinding, and landscaping improvements will enhance circulation, site safety, and the overall appearance of the site.

C. Design Compatibility

The proposed Project design was selected for its ability to meet key project objectives related to ADA compliance, structural, and seismic improvements, flexible indoor and outdoor spatial layout, accessibility, and technological modernization, while maintaining, to the extent feasible, the historic mid-century modern architecture of the Altadena Main Library. Both the building exterior and interior will be altered by the proposed Project. The Project will modify certain identified character-defining features of the historic library building, such as the large open central interior space layout and the exterior recessed entrances. The front building façade, characterized by horizontal planes and an unassuming “hidden” entrances, will be modified to provide an easily identifiable and accessible building entrance for all library users. Although there will be impacts to the historic building materials and interior spatial relationships, the proposed modifications are intended to implement accessibility, safety and infrastructure upgrades and to enhance user experience by providing more flexible public-facing space. A key improvement includes conversion of lower-level floor space, currently used for staff and utility functions, into more community-oriented public user space. The new lower-level floor plan will include a conference room, meeting rooms, call room, maker space, fabrication lab, bookstore, and passport office. The reconfigured floor plan will also allow users to reserve a library meeting room for virtual meetings.

Several design options were considered by the project applicant prior to the selection of the proposed Project design. The alternative design options previously considered include:

- 1) Accessibility Improvements Only. This option would only include minimum work required to meet code regulations and provide ADA access to all levels of the existing building.

- 2) CWA Renovation and Expansion Design. Designed by a private architectural firm (CWA), this option emphasizes major expansion but provided limited outdoor programming space. It was eliminated from further consideration because it did not adequately minimize impacts on the historic character of the building's original mid-century modern design, particularly the historically sensitive interior spaces.
- 3) 2020 Altadena Main Library Master Plan Design by ARG. This option included interior and exterior upgrades addressing ADA compliance and some functional needs, seismic upgrades, fire and safety upgrades, and hazardous materials abatement. Although this option may have less impact on the historic character of the library, it did not centralize staff work areas or provide access to certain library services, (e.g., passport services). It also would not fully meet the Project's objectives to repair deteriorated historic features.

The proposed Project will allow for the infrastructure upgrades, expansion and reconfiguration of interior spaces that will maximize usability, allowing the library to better serve as a flexible, multi-purpose community hub. Improvements such as a new entry lobby, reading court, and deck would create welcoming spaces for both individual and group learning experiences. Lastly, the proposed entry statement block wall sign along Mariposa Street will be limited to three feet tall in height and comply with the Altadena CSD requirements for fences and walls.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Altadena Community Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Sections 22.158.050 (CUP - Findings and Decision) and 22.174.060 (OTP – Findings) of the County Code. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff has determined that an Environmental Impact Report ("EIR") (Exhibit F – Environmental Determination) was necessary for the Project. To prepare for the Draft EIR, the County published a Notice of Preparation ("NOP") and released the Initial Study for public review and comments from agencies, interested parties, and the general public regarding the scope of the environmental analysis. During the NOP public comment period, which was from December 9, 2024 through January 21, 2025, the County received a total of six comments, and these comments were addressed in the Draft EIR.

During the EIR scoping process, the following areas were scoped out from further environmental review in the Draft EIR and determined to have no impact or less than significant impact level determinations: Aesthetics, Agriculture and Forestry Resources, Energy, Geology and Soils, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, Utilities and Service Systems, and Wildfire.

On September 25, 2025, the Draft EIR was circulated for public comments along with the publication of the Notice of Completion/Availability notifying agencies, interested parties, and the general public that the Draft EIR was available for review. Comments were accepted between September 25, 2025 and November 20, 2025. A total of seven public comments were received for the Draft EIR. These comments subsequently documented and addressed in the Final EIR, prepared in accordance with section 15089 and 15132 of the State CEQA Guidelines.

As described in the Draft EIR, the topical areas found to have less than significant impact or less than significant impact after mitigation include: Air Quality, Biological Resources, Cultural Resources, Greenhouse Gas Emissions, Noise, and Tribal Cultural Resources.

The Draft EIR has identified the following project design features and mitigation measures (see Mitigation Monitoring and Reporting Program for full text) to minimize, avoid, or reduce the potential environmental effects to a less than significant level.

Project Design Features:

- Biological Resources, PDF-1: Nesting bird Surveys if construction starts during avian nesting season
- Geology and Soil, PDF-2: Implementation of the Low Impact Development (LID) standards to avoid adverse effects of construction and post-development run-offs on storm water quality and quantity.

Mitigation Measures:

- Biological Resources, BIO-1: Tree Survey, Protection, and Maintenance.
- Cultural Resources, CUL-1: Historic American Buildings Survey-like Documentation.
- Cultural Resources, CUL-2: Salvage and Use of Salvaged Materials.
- Tribal Cultural Resources, TCR-1: Retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities.
- Tribal Cultural Resources, TCR-2: Unanticipated Discovery of Tribal Cultural Resource Objects (Non-Funerary/Non-Ceremonial).
- Tribal Cultural Resources, TCR-3: Unanticipated Discovery of Human Remains and Associated Funerary or Ceremonial Objects.

However, environmental effects to cultural resources as it specifically relates to a historical resource defined by CEQA Statutes and Guidelines Section 15064.5 were found to be

significant and unavoidable. This determination was largely attributed to the proposed work activities affecting the character-defining features of the Altadena Main Library and the Project's inability to meet all Secretary of the Interior (SOI) Standards for Rehabilitation Assessment. Consequently, the Altadena Main Library would likely no longer retain the historic integrity required for eligibility in the National Register of Historic Places, California Register of Historical Resources, or County Landmark designation because the Project would remove or alter several character-defining features, resulting in a loss of integrity of design, materials, workmanship, and feeling.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

1. The County Department of Public Works, in a letter dated July 10, 2025, recommended that the Project proceed to public hearing.
2. The County Fire Department ("Fire"), in a letter dated June 24, 2025, recommended that the Project proceed to public hearing with required conditions of approval.
3. The Fire Forestry Division also recommended clearance to public hearing with conditions in a letter dated February 19, 2026. The Forester confirmed that the Oak Tree Report submitted by the Permittee is accurate and complete as to the location, size, condition and species of the oak trees on the Project Site and recommends several conditions of approval, which have been incorporated into this OTP.
4. The County Department of Public Health, in a letter dated February 18, 2026, recommended the project approval with proposed conditions.

B. Public Comments

1. The Altadena Town Council, in a letter dated January 25, 2026, recommended approval of the project.

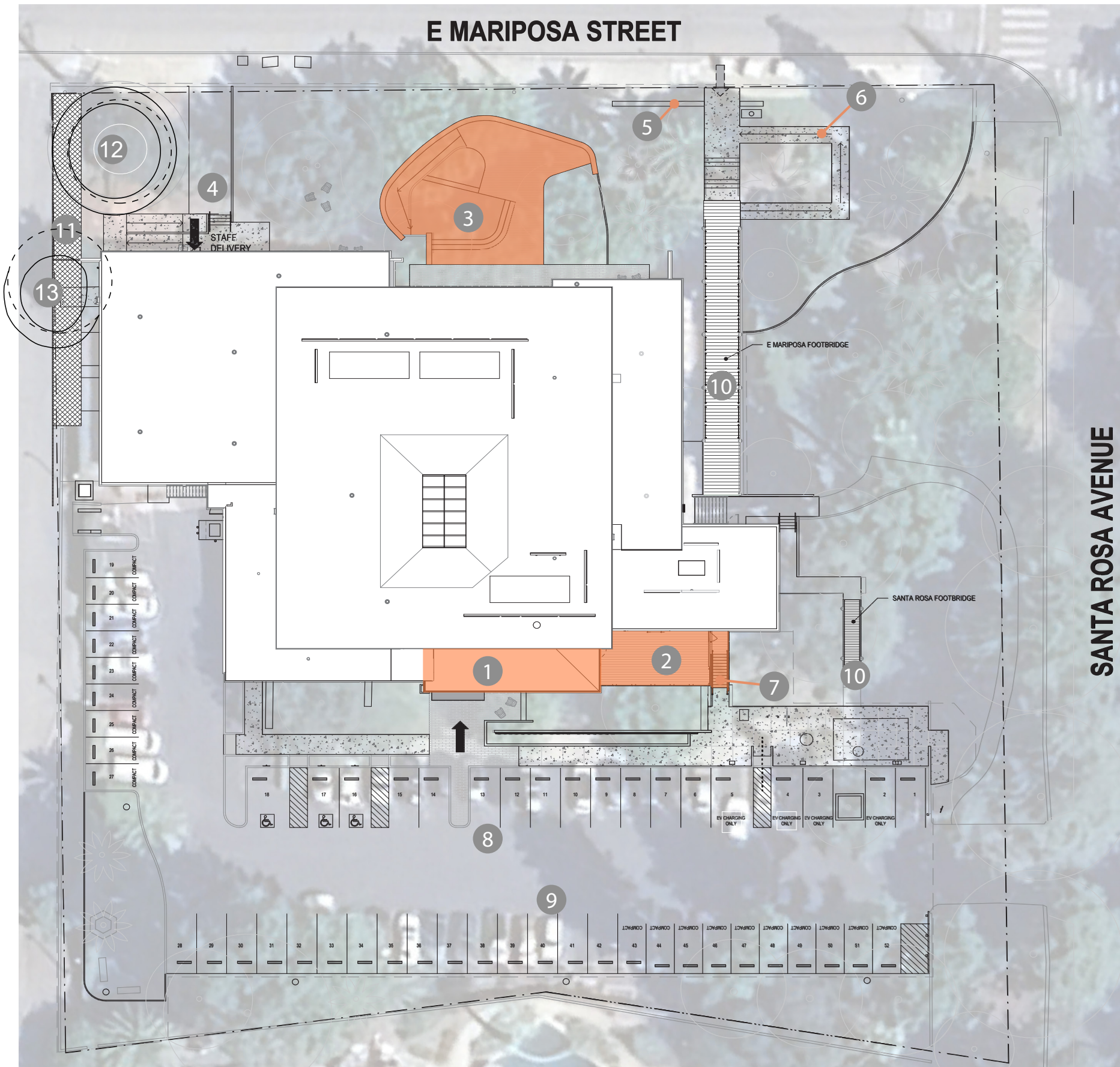
Report
Reviewed By: *Michele R. Bush*
Michele Bush, Supervising Regional Planner

Report
Approved By: *Mama S. Tae* for S. Tae
Susie Tae, AICP, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Draft Findings
EXHIBIT D	Draft Conditions of Approval
EXHIBIT E	Applicant's Statement of Findings
EXHIBIT F	Environmental Determination. Full EIR document available online at https://bit.ly/PRJ2023-000474 LA County Legistar File # 24-300
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Summary of Public Outreach by the Altadena Library District
EXHIBIT J	Public Correspondence
EXHIBIT K	Oak Tree Reports
EXHIBIT L	Past Approvals

EXHIBIT A

PROPOSED SITE PLAN



KEY

NEW ENTRY/LOBBY	1
NEW DECK	2
NEW READING COURT	3
NEW STAFF DELIVERY AREA	4
NEW ENTRY STATEMENT WALL & SIGNAGE	5
NEW ACCESS RAMP	6
NEW STAIRS	7
NEW LOADING ZONE	8
PARKING LOT RE-SURFACED & RE-STRIPED	9
REFURBISH EXISTING BRIDGE	10
EASEMENT	11
OAK TREE #51	12
OAK TREE #52	13



ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET ALTADENA, CA, 91001

PROJECT DIRECTORY

OWNER:	ALTADENA LIBRARY DISTRICT 600 E MARIPOSA STREET ALTADENA, CA 91001 CONTACT: NIKKI WINSLOW PHONE: (626) 798-0833	CIVIL ENGINEER:	VCA ENGINEERS, INC. 1041 S. GARFIELD AVE., SUITE 210 ALHAMBRA, CA 91801 CONTACT: VIRGIL C. AOANAN PHONE: (323) 732-6098
PROGRAM MANAGER:	RACHLIN PARTNERS 8540 NATIONAL BOULEVARD CULVER CITY, CA 90232 CONTACT: JENNIFER PEARSON PHONE: (310) 240-3400	STRUCTURAL ENGINEER:	MIYAMOTO INTERNATIONAL, INC. 1201 DOVE STREET, SUITE 230 NEWPORT BEACH, CA 92660 CONTACT: TRACI WONG PHONE: (949) 732-9845
ARCHITECT:	ANDERSON BRULÉ ARCHITECTS 676 W 9TH STREET CLAREMONT, CA 91711 CONTACT: MARK SCHEEMAN PHONE: (408) 535-2909	ACOUSTICS, AV & IT:	WAVEGUIDE, LLC 6060 CENTER DR., SUITE 870 LOS ANGELES, CA 90045 CONTACT: BRANDON MOSST PHONE: (310) 213-0112
LANDSCAPE ARCHITECT:	DEPARTMENT OF SPACE 480 N INDIAN HILL BLVD, SUITE 2B CLAREMONT, CA 91711 CONTACT: BEN MCCOY PHONE: (909) 532-1460	MEP, LIGHTING, T-24 ENERGY COMPLIANCE:	DCGA ENGINEERS, INC. 4750 EAST ONTARIO MILLS PARKWAY ONTARIO, CA 91764 CONTACT: CHRIS VILLALOBOS PHONE: (909) 987-0017

VICINITY MAP



PROJECT SITE:
600 E MARIPOSA STREET
ALTADENA, CA, 91001

PROJECT INFORMATION

ADDRESS:	600 E MARIPOSA STREET ALTADENA, CA 91001
ASSESSOR'S PARCEL NUMBER:	5840-010-900
ZONING DISTRICT:	R-1-10000
PROJECT DESCRIPTION:	THE RENOVATION OF THE ALTADENA MAIN LIBRARY INCLUDES A MULTI-USE COMMUNITY SPACE, MAKER AND FABRICATION SPACES, ADDITIONAL MEETING SPACES THROUGH-OUT, AND A 155 SQUARE FEET ADDITION AT THE SOUTHEAST CORNER, AND THE FULL RENOVATION OF THE EXISTING BUILDING.
	THE PROJECT ADDRESSES TECHNOLOGY, ACCESS, AND SEISMIC RESISTANCE. ALL SYSTEMS ARE BEING UPGRADED INCLUDING MECHANICAL, PLUMBING, (INCLUDING ADDITIONAL ACCESSIBLE RESTROOMS), ELECTRICAL, AND STRUCTURAL.
	THE SITE IS BEING UPGRADED WITH THE RENOVATION OF THE PEDESTRIAN BRIDGES, UPDATED PLANTINGS AND IRRIGATION, AND THE ADDITION OF EXTERIOR FUNCTIONAL SPACES, SUCH AS AN EXTERIOR DECK.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO SUBMITTING TO THE CITY OR FIRE DEPARTMENT FOR APPROVAL.

DEFERRED SUBMITTALS INCLUDE:

- FIRE SPRINKLERS
- FIRE ALARM SYSTEM
- ELEVATOR GUIDE RAILS

CONTRACTOR SHALL PAY ALL PERMIT FEES NOTED FOR ABOVE DEFERRED SUBMITTALS TO THE FIRE DEPARTMENT

CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING SIGNAGE PERMIT

SHEET INDEX

GENERAL	G000 COVER SHEET	S104 HIGH ROOF FRAMING PLAN
G001	CODE ANALYSIS & GENERAL NOTES	S105 SKYLIGHT ROOF & A/C SCREEN FRAMING PLAN
G100	SITE CODE PLAN	S3.01 WALL ELEVATIONS
G110	CODE PLAN	S3.02 FRAME ELEVATIONS
G120	CALGREEN	S3.03 BUILDING SECTIONS
G121	CALGREEN	S3.04 BUILDING SECTIONS
G122	CALGREEN	S3.05 BUILDING SECTIONS
		S3.06 BUILDING SECTIONS
		S3.07 BUILDING SECTIONS
		S3.08 BUILDING SECTIONS
		S3.09 BUILDING SECTIONS
		S3.10 BUILDING SECTIONS
		S5.00 FOUNDATION DETAILS
		S5.10 FRAMING DETAILS
		S7.00 DECK DETAILS
CIVIL		MECHANICAL
C1-1	GENERAL NOTES, LEGENDS AND ABBREVIATION	M001 MECHANICAL GENERAL NOTES SYMBOLS AND ABBREVIATIONS
C1-11	TOPOGRAPHIC SURVEY	M002 MECHANICAL SCHEDULES
C1-10	SITE DEMOLITION PLAN	M003 MECHANICAL DETAILS AND PIPING DIAGRAM
C2-0	SITE CONTROL PLAN	M200 LOWER LEVEL MECHANICAL DEMOLITION PLAN
C3-0	OVERALL SITE GRADING PLAN	M201 MAIN LEVEL MECHANICAL DEMOLITION PLAN
C3-1	ENLARGED SITE GRADING PLAN	M202 LOWER LEVEL MECHANICAL PLAN
C3-2	ENLARGED SITE GRADING PLAN	M203 MAIN LEVEL MECHANICAL PLAN
C3-3	GRADING SECTIONS	M300 MECHANICAL DEMOLITION ROOF PLAN
C3-4	OVEREXCAVATION PLAN	M301 MECHANICAL ROOF PLAN
C4-0	SITE UTILITY PLAN	M401 TITLE 24
C4-1	LD PLAN	M402 TITLE 24
C5-0	MISCELLANEOUS DETAILS	M403 TITLE 24
C5-1	MISCELLANEOUS DETAILS	M404 TITLE 24
C5-2	MISCELLANEOUS DETAILS	M405 TITLE 24
C6-0	MISCELLANEOUS DETAILS	
C6-1	EROSION CONTROL PLAN	PLUMBING
C6-1	EROSION CONTROL DETAILS	P001 PLUMBING GENERAL NOTES SYMBOLS AND ABBREVIATIONS
		P002 PLUMBING SCHEDULES & DETAILS
		P003 PLUMBING DETAILS
		P111 PLUMBING SITE PLAN
		P200 LOWER LEVEL PLUMBING DEMOLITION PLAN
		P201 MAIN LEVEL PLUMBING DEMOLITION PLAN
		P202 LOWER LEVEL PLUMBING PLAN
		P203 MAIN LEVEL PLUMBING PLAN
		P204 MAIN LEVEL SEWER/VENT PLAN
		P205 MAIN LEVEL HOT/COLD WATER PLAN
		P206 MAIN LEVEL STORM DRAIN PLAN
		P207 MAIN LEVEL GAS PLAN
		P300 PLUMBING DEMOLITION ROOF PLAN
		P301 PLUMBING ROOF PLAN
		P400 PLUMBING RISER DIAGRAMS
		ELECTRICAL
		E001 ELECTRICAL GENERAL
		E002 ELECTRICAL SYMBOLS LIST AND ABBREVIATIONS
		E003 LIGHTING FIXTURE SCHEDULE AND NOTES
		E004 SINGLE LINE DIAGRAM AND FEEDER SCHEDULE
		E005 BRANCH CIRCUIT VOLTAGE DROP CALCULATIONS
		E111 ELECTRICAL SITE PLAN
		E200 LOWER LEVEL ELECTRICAL DEMOLITION PLAN
		E201 MAIN LEVEL ELECTRICAL DEMOLITION PLAN
		E202 LOWER LEVEL LIGHTING PLAN
		E203 MAIN LEVEL LIGHTING PLAN
		E204 LOWER LEVEL POWER PLAN
		E205 MAIN LEVEL POWER PLAN
		E206 ELECTRICAL ROOF PLAN
		E401 ELECTRICAL DETAILS
		E402 ELECTRICAL DETAILS
		E403 ELECTRICAL DETAILS
		E501 PANEL SCHEDULES
		E601 TITLE 24
		E602 TITLE 24
		E603 TITLE 24
		AUDIOVISUAL REFERENCE
		AV000 LEGEND
		AV101 LOWER LEVEL - AV SYSTEMS
		AV102 MAIN LEVEL - AV SYSTEMS
		AV102A MAIN LEVEL ALT - AV PLAN
		AV201 TELE MEETING ROOM ENLARGED PLANS
		AV202 STAFF MEETING ROOM ENLARGED PLANS
		AV203 DIGITAL SIGNAGE ENLARGED PLANS
		AV204 GAMING ROOM ENLARGED PLANS
		AV205 COMMUNITY ROOM ENLARGED PLANS
		AV206 OPEN WORK AREA ENLARGED PLANS
		AV207 DIGITAL SIGNAGE 2 ENLARGED PLANS
		AV301 TELE MEETING ROOM SECTIONS AND ELEVATIONS
		AV302 STAFF MEETING ROOM SECTIONS AND ELEVATIONS
		AV303 DIGITAL SIGNAGE SECTIONS AND ELEVATIONS
		AV304 GAMING ROOM SECTIONS AND ELEVATIONS
		AV305 COMMUNITY ROOM SECTIONS AND ELEVATIONS
		AV306 OPEN WORK AREA SECTIONS AND ELEVATIONS
		AV307 DIGITAL SIGNAGE 2 SECTIONS AND ELEVATIONS
		AUDIOVISUAL INFRASTRUCTURE
		EAV000 LEGEND
		EAV100 LOWER LEVEL - EAV PLAN
		EAV102 MAIN LEVEL - EAV PLAN
		EAV102A MAIN LEVEL ALT - EAV PLAN
		EAV201 TELE MEETING ROOM ENLARGED PLANS
		EAV202 STAFF MEETING ROOM ENLARGED PLANS
		EAV203 GAMING ROOM ENLARGED PLANS
		EAV205 COMMUNITY ROOM ENLARGED PLANS
		EAV206 DIGITAL SIGNAGE ENLARGED PLANS
		EAV207 OPEN WORK AREA ENLARGED PLANS
		EAV207 DIGITAL SIGNAGE 2 ENLARGED PLANS
		EAV301 TELE MEETING ROOM SECTIONS AND ELEVATIONS
		EAV302 STAFF MEETING ROOM SECTIONS AND ELEVATIONS
		EAV303 DIGITAL SIGNAGE SECTIONS AND ELEVATIONS
		EAV304 GAMING ROOM SECTIONS AND ELEVATIONS
		EAV305 COMMUNITY ROOM SECTIONS AND ELEVATIONS
		EAV306 OPEN WORK AREA SECTIONS AND ELEVATIONS
		EAV307 DIGITAL SIGNAGE 2 SECTIONS AND ELEVATIONS
		TELECOM
		T000 TELECOM SYMBOLS AND NOTES
		T001 TELECOM STANDARDS (1 OF 2)
		T002 TELECOM STANDARDS (2 OF 2)
		T100 TELECOM SITE PLAN
		T101 TELECOM LOWER LEVEL FLOOR PLAN
		T102 TELECOM MAIN LEVEL FLOOR PLAN
		T102A TELECOM MAIN LEVEL FLOOR PLAN - ADD ALTS
		T201 TELECOM ENLARGED PLANS
		T301 TELECOM RACK ELEVATIONS

CLIENT REVIEW

THIS DESIGN SET HAS BEEN REVIEWED & APPROVED BY:

CLIENT 1 & CLIENT 2

ANDERSON BRULÉ ARCHITECTS MAY PROCEED WITH WORK IN THE NEXT PHASE.

DATE:

SIGNATURE:

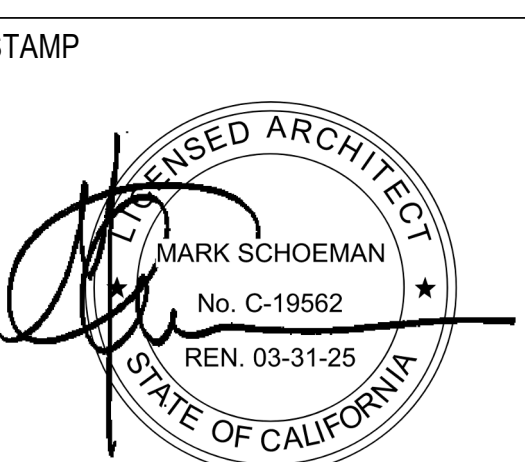


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ADDENDUM 06

CONSULTANTS LOGO



NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
1	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL
7	10/10/2025	ADDENDUM 05
8	10/28/2025	ADDENDUM 06

PROJECT TITLE:

ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

SHEET TITLE:

COVER SHEET

SCALE:

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G000

SHEET NOTES

- SEE CIVIL DRAWINGS FOR SITE WORK AND SITE DEMOLITION WORK, INCLUDING TREE REMOVAL
- SEE LANDSCAPE DRAWINGS FOR HARDSCAPE AND LANDSCAPE INFORMATION
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL RELATED SITE UTILITY WORK AND SITE LIGHTING
- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% OR RAMP LESS THAN 1:12 UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL
- ALL PAVEMENT ALONG PATH OF TRAVEL IS CONCRETE.

KEYNOTES

- 02.09 (E) CMU WALL
- 02.11 (E) TRASH ENCLOSURE
- 02.14 (E) METAL GATE TO REMAIN
- 02.15 (E) CHAIN LINK FENCE TO REMAIN
- 02.16 (E) PARTIAL HEIGHT WALL
- 02.55 (E) ACCESS LADDER
- 04.01 ENTRY WALL AND SIGNAGE, S.L.D.
- 10.06 STAINLESS STEEL LETTERS, MOUNTED ON EXISTING CMU
- 21.01 FIRE RISER
- 32.06 SLOPED WALKWAY, SLOPE <5% MAX. SCD.
- 32.10 ASPHALT PAVING, SLD.
- 32.47 EV CHARGING STATION, TO COMPLY WITH CBC CH 11B-812, SED.
- 32.48 BOOK DROP LOCATION
- 32.49 (E) FOOT BRIDGE TO BE REFURBISHED, SEE SHEET A100

PARKING SPACES

AREA	EXISTING BUILDING		PROPOSED BUILDING ADDITION		TOTAL
	MAIN LEVEL	LOWER LEVEL	ENTRY LOBBY		
TOTAL	17,337	4,883	155	155	17,337
PARKING RATIO	1,444.4	1,250	1,250	0.62	1,438.8
TOTAL	50	0.62	50.62		50.62

TOTAL NO. OF PARKING SPACES REQUIRED: 51
TOTAL NO. OF PARKING SPACES PROVIDED: 52
CBC TABLE 11B-208.2 MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES (51-75): 3 (PROVIDED 4)**

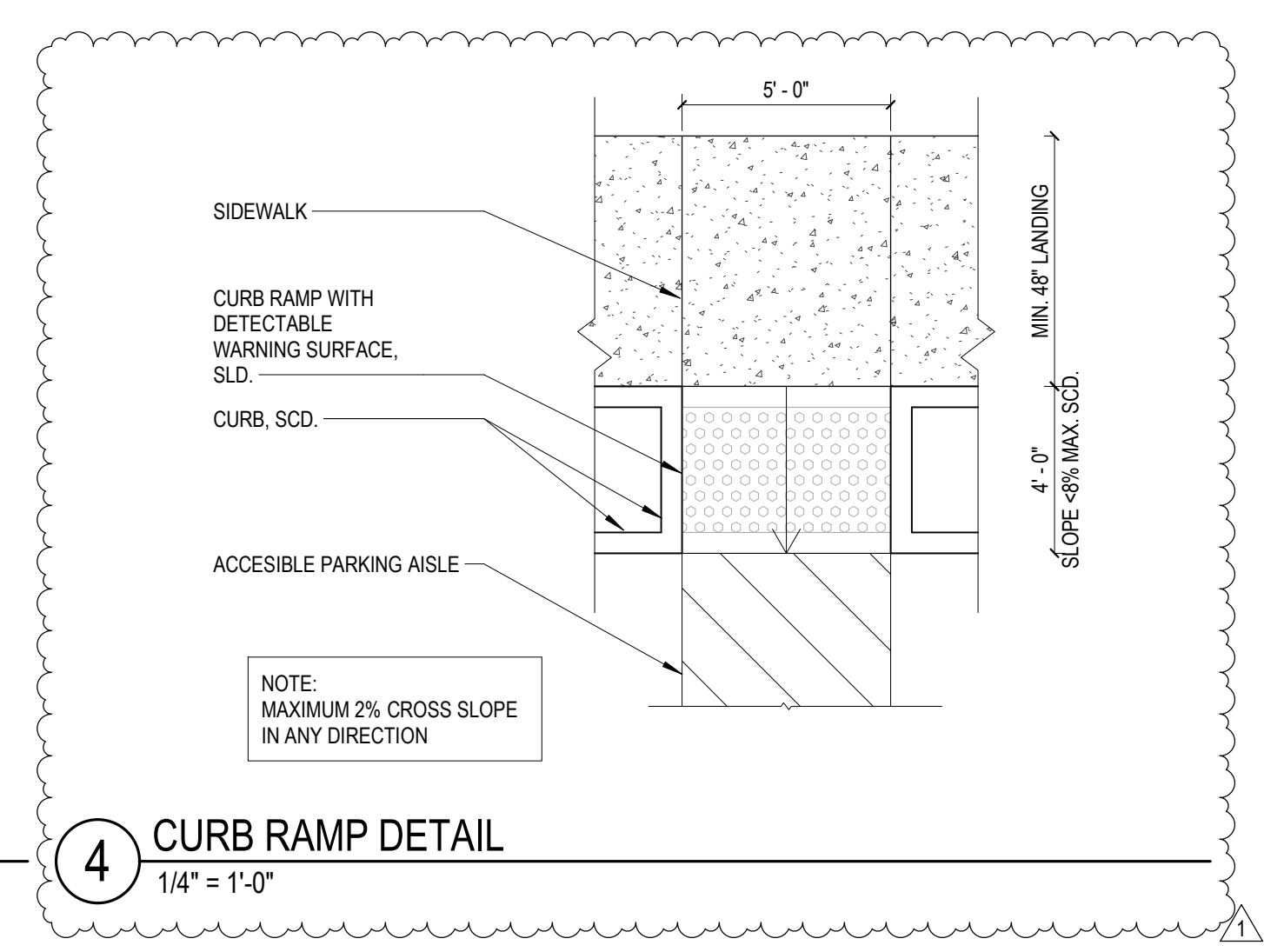
NOTE: NO EV SPACES REQUIRED PER CALGREEN CHAPTER 5, 106.5.3
4 EV SPACES PROVIDED

BICYCLE PARKING

CODE OF ORDINANCES LA COUNTY BICYCLE PARKING, 22.112.100
SHORT TERM BICYCLE PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE FOR EVERY 50 INTENDED VISITORS BASED ON OCCUPANT LOAD OF THE LARGEST ASSEMBLY AREA WITHIN THE FACILITY, AND 1 LONG TERM SPACE FOR EVERY 100 INTENDED VISITORS BASED ON OCCUPANT LOAD OF THE LARGEST ASSEMBLY AREA WITHIN THE FACILITY.
COMMUNITY ROOM WITH LARGEST ASSEMBLY AREA HAS 165 OCCUPANTS:
• 6 SHORT TERM SPACES PROVIDED
• 2 LONG TERM SPACES PROVIDED

LEGEND

- PROPERTY LINE
- (E) BUILDING FOOTPRINT
- BUILDING ADDITION FOOTPRINT
- WALK OFF GRILLE, SCD.
- PATH, CHANGE IN LANDSCAPE OR HARDSCAPE
- STEPS/CHANGE IN LEVEL
- PARTIAL HEIGHT WALL
- PEDESTRIAN CONCRETE PAVING, SLD
- PRECAST CONCRETE PAVERS, SLD
- DECKING
- (E) EASEMENT
- WHEEL STOP
- BUILDING ENTRY
- PEDESTRIAN ACCESS
- ACCESSIBLE PATH OF TRAVEL

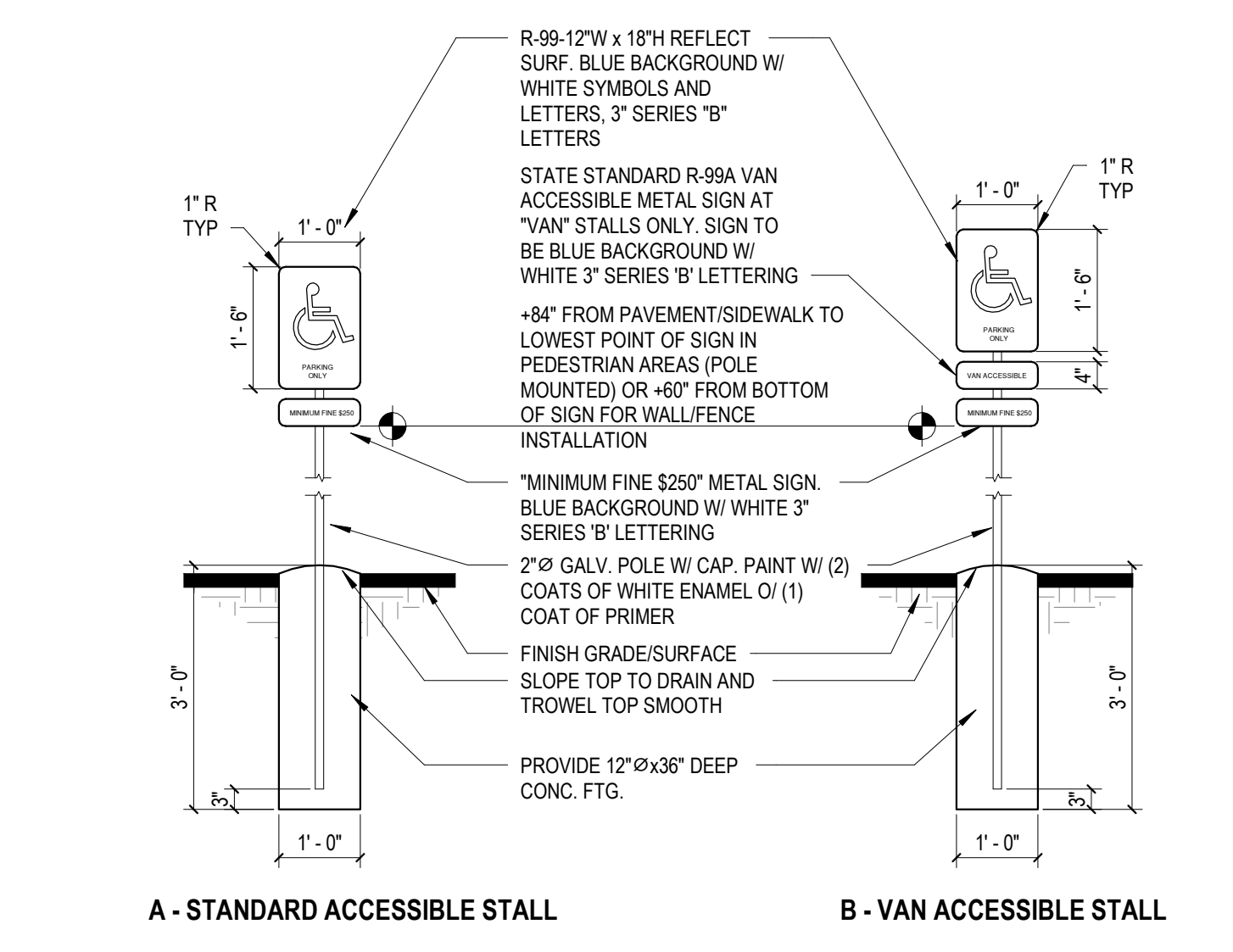


4 CURB RAMP DETAIL
1/4" = 1'-0"

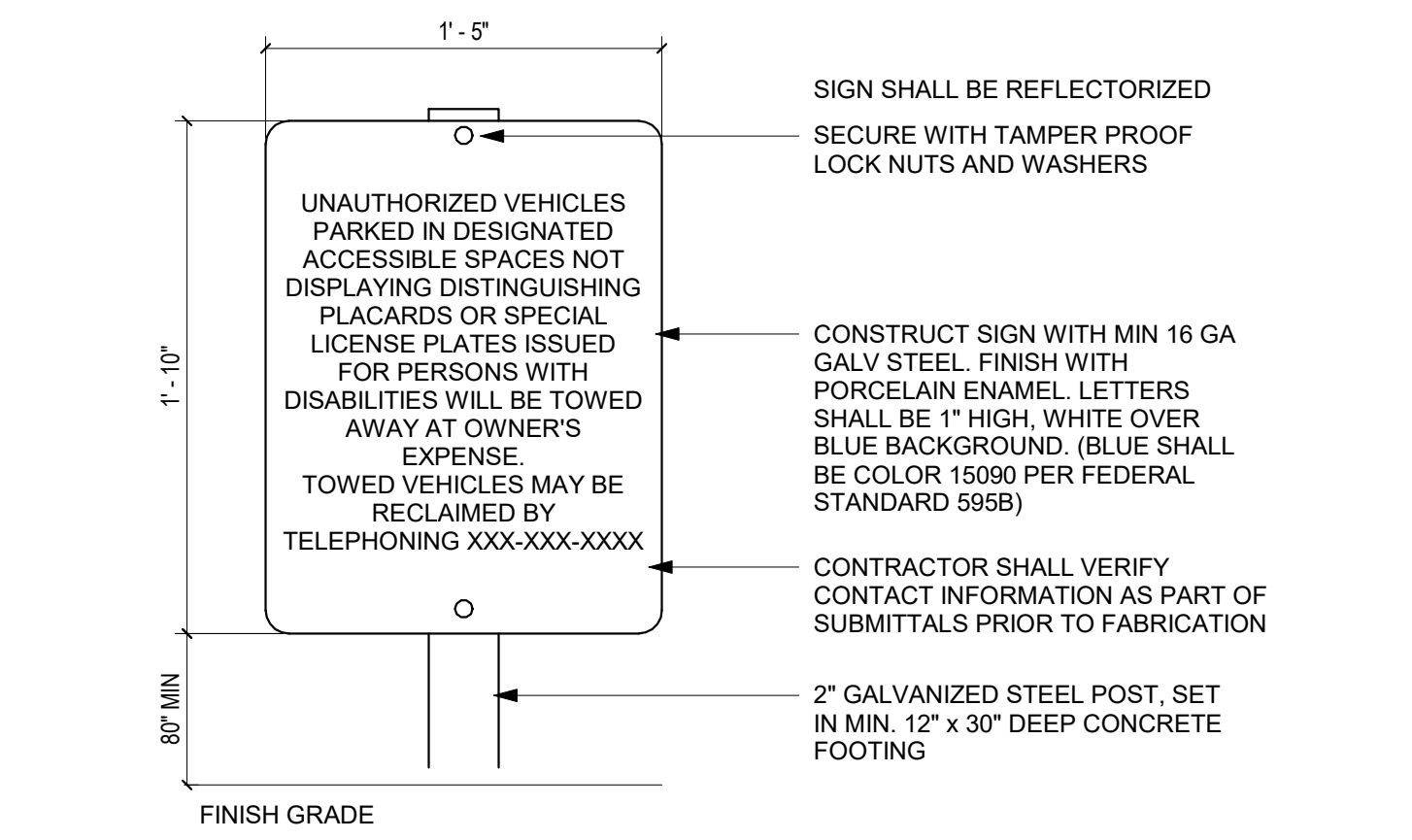
5 CURB STOP DETAIL
3" = 1'-0"

9 ENLARGED ACCESSIBLE PARKING
1/8" = 1'-0"

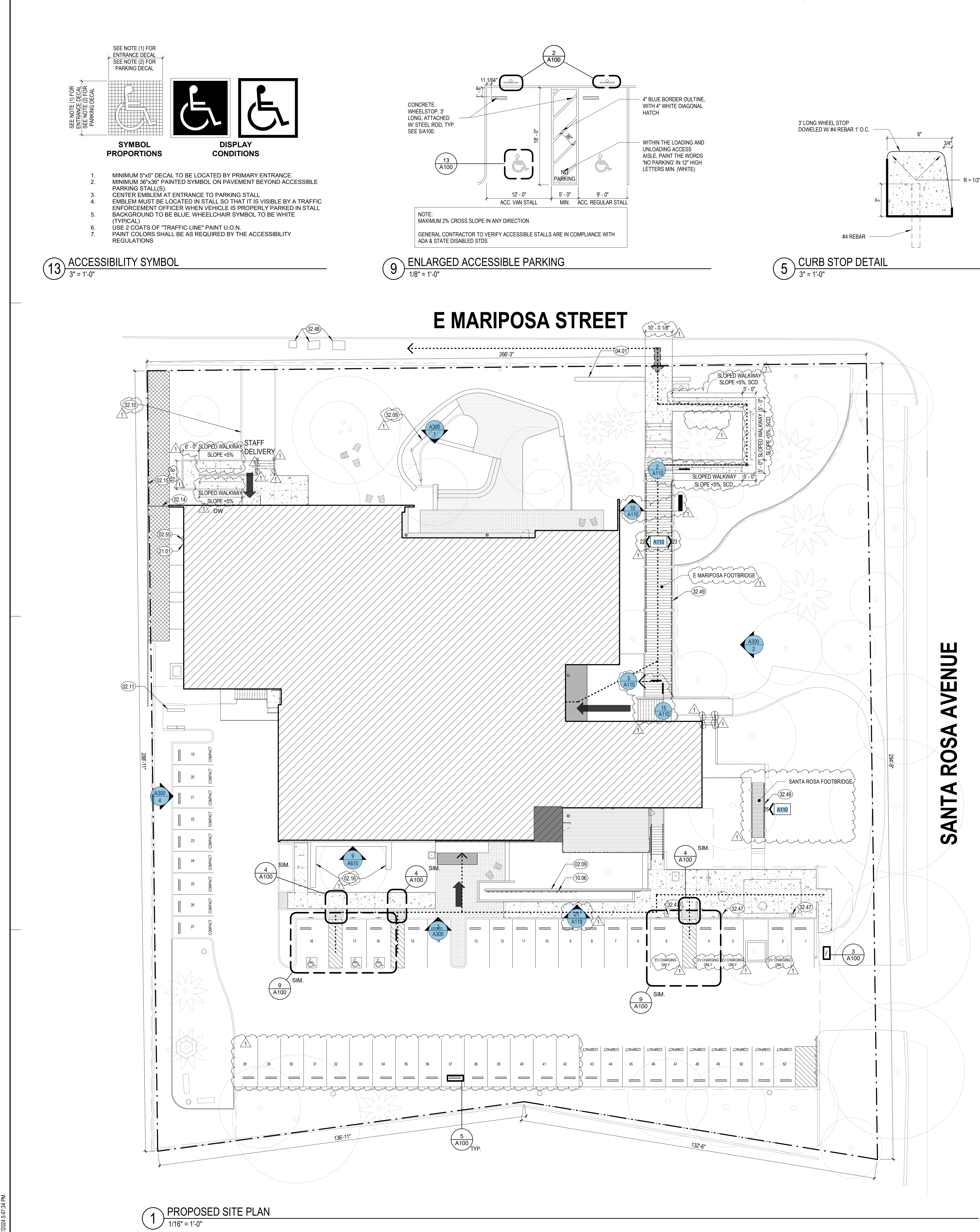
13 ACCESSIBILITY SYMBOL
3" = 1'-0"



2 ACCESSIBLE PARKING SIGNAGE
1/2" = 1'-0"



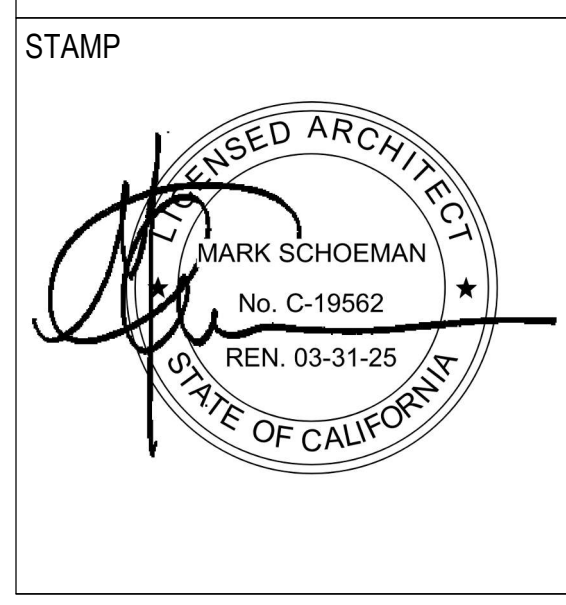
3 ACCESSIBLE PARKING TOW AWAY SIGNAGE
1 1/2" = 1'-0"



1 PROPOSED SITE PLAN
1/16" = 1'-0"

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO



NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
2	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:
ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010
DATE: 11-07-2024
SHEET TITLE:

SITE PLAN

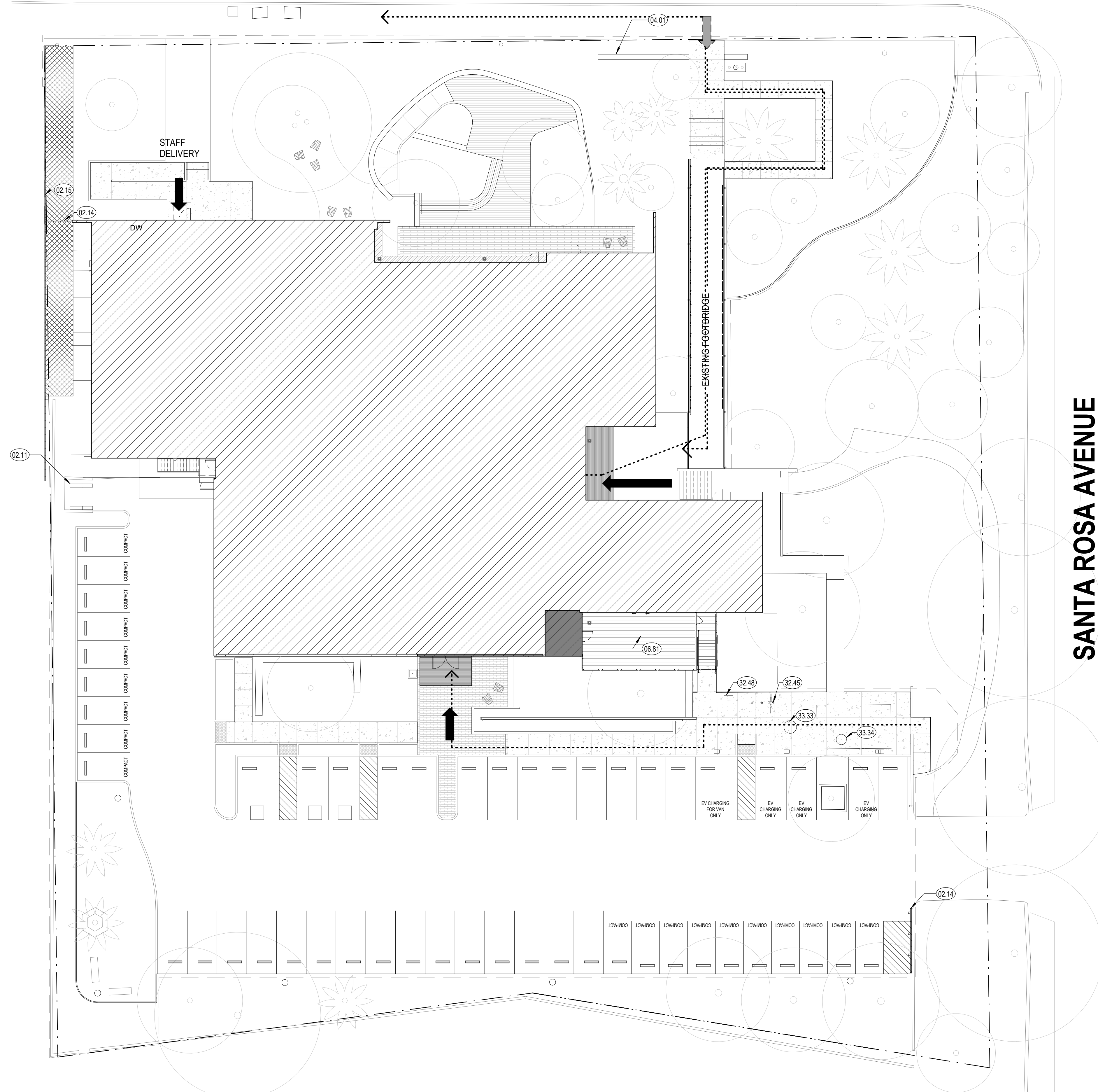
SCALE: As indicated

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E MARIPOSA STREET



SANTA ROSA AVENUE

KEYNOTES

- 02.14 (E) METAL GATE TO REMAIN
- 02.15 (E) CHAIN LINK FENCE TO REMAIN
- 04.01 ENTRY WALL AND SIGNAGE, S.L.D.

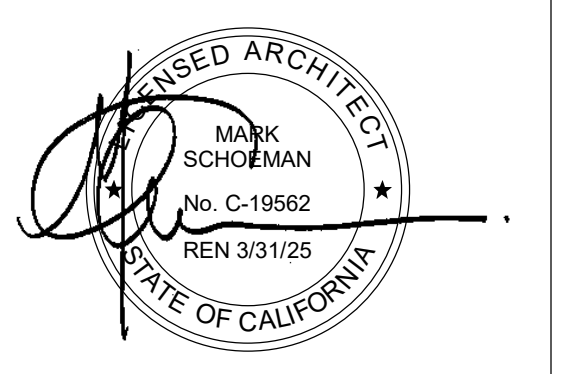
LEGEND

- PROPERTY LINE
- (E) BUILDING FOOTPRINT
- BUILDING ADDITION FOOTPRINT
- PATH, CHANGE IN LANDSCAPE OR HARDSCAPE
- STEPS/CHANGE IN LEVEL
- PARTIAL HEIGHT WALL
- PEDESTRIAN CONCRETE PAVING, SLD
- PRECAST CONCRETE PAVERS, SLD
- PRECAST CONCRETE PAVERS, SLD
- DECKING
- WALK OFF GRILLE
- (E) EASEMENT
- WHEEL STOP
- BUILDING ENTRY
- ACCESSIBLE PATH OF TRAVEL

BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO

STAMP



NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 06-24-2024

SHEET TITLE:

SITE CODE PLAN

SCALE: 1/16" = 1'-0"

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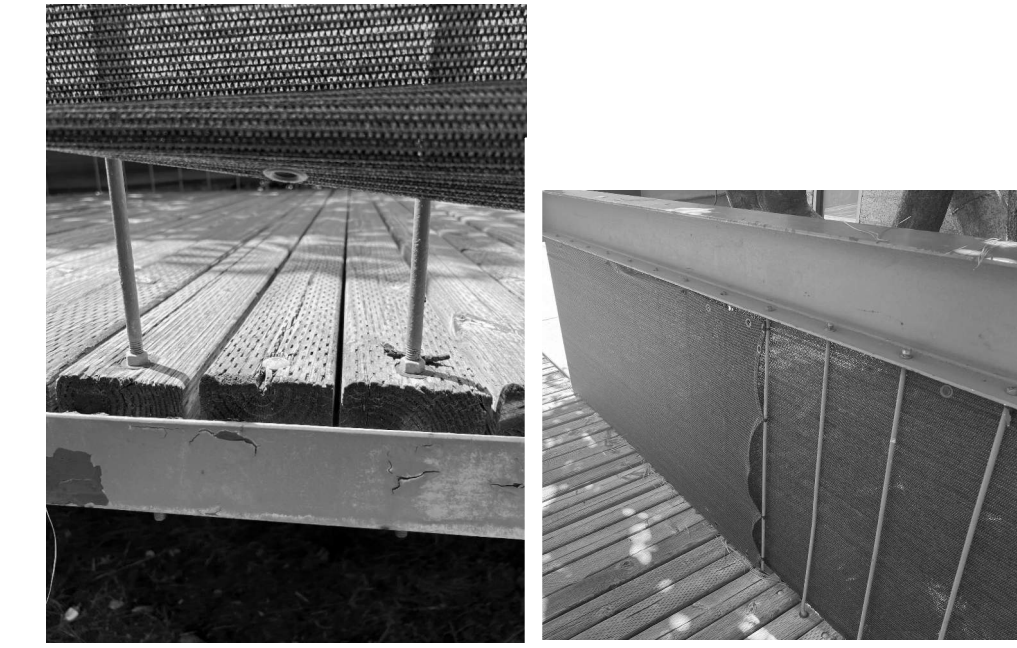
G100

1 PROPOSED SITE PLAN FOR CODE PLAN
1/16" = 1'-0"

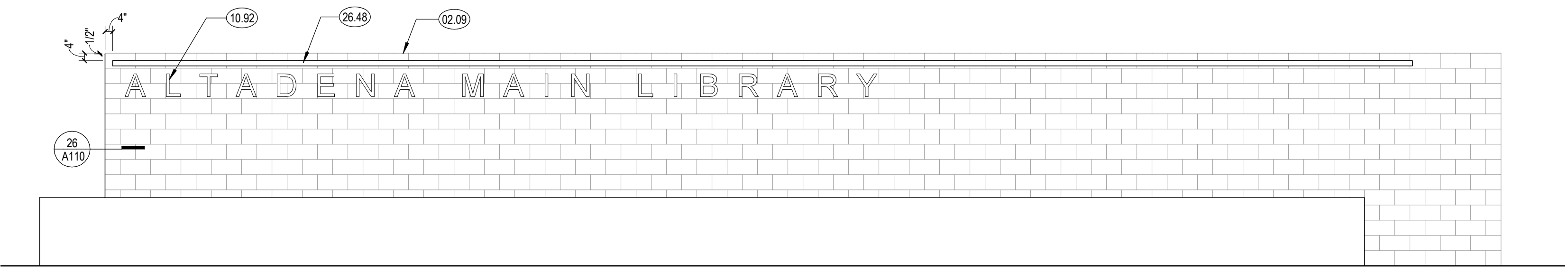
6/24/2024 3:43:07 PM

KEYNOTES

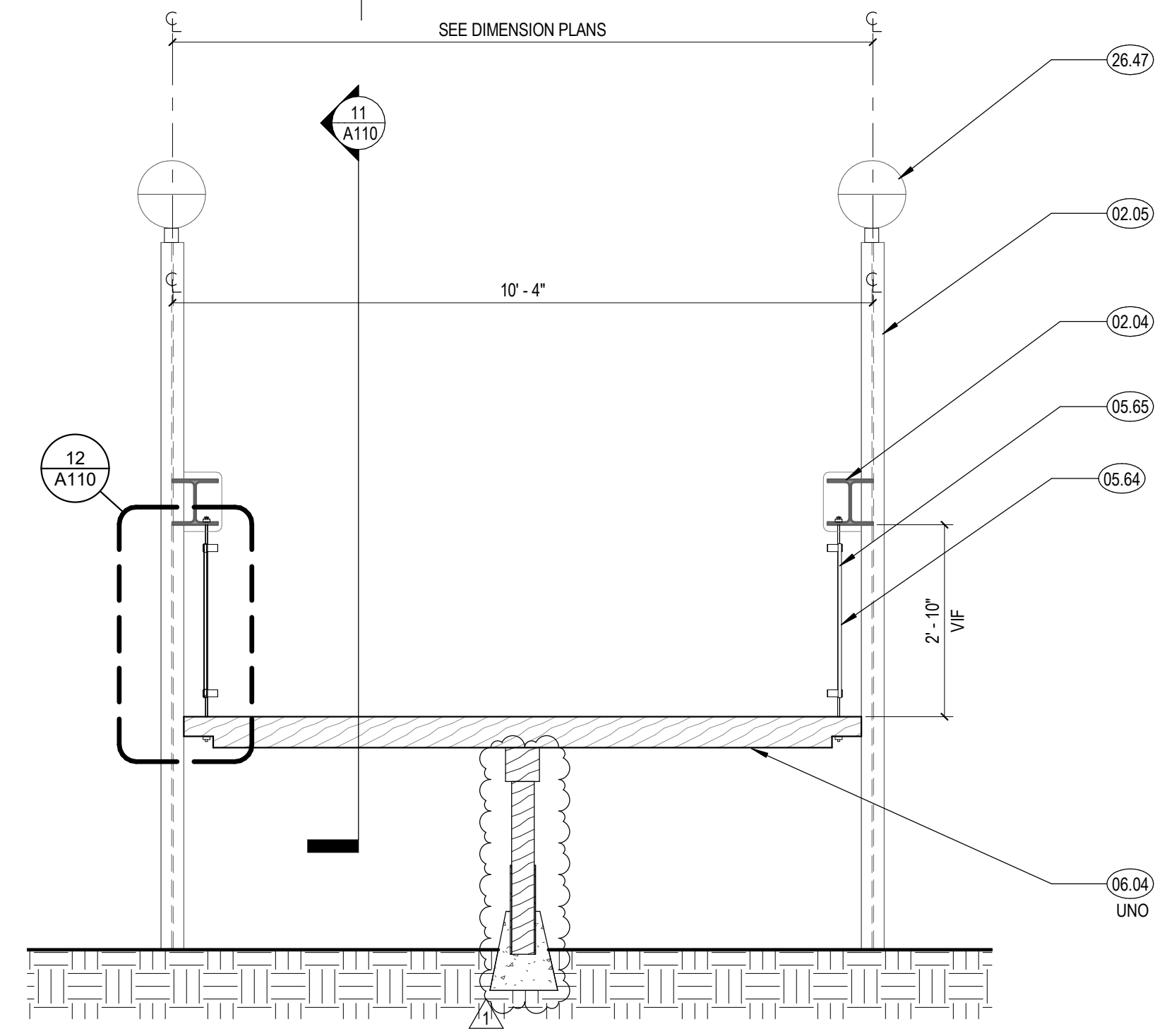
- 02.04 (E) WF TO REMAIN IN PLACE. STRIP, PREP, AND PAINT
- 02.05 (E) WF LAMP POST TO REMAIN IN PLACE. STRIP, PREP, AND PAINT
- 02.09 (E) CMU WALL
- 05.64 S.S. RIGID MESH PANEL, UNO
- 05.65 3/8" S.S. ROD, THREAD PORTIONS AT THE TOP AND BOTTOM FOR CONNECTORS
- 05.04 4X6 SEALED IPE WOOD
- 05.05 4X4 SEALED IPE WOOD
- 10.92 12" TALL ANODIZED ALUMINUM LETTERS, FLUSH MOUNTED. SIGN LETTER SHOWN AS SCHEMATIC INTENT ONLY. FINAL DESIGN TO BE DETERMINED AND SUBMITTED UNDER SEPARATE PERMIT.
- 26.47 (E) LIGHT FIXTURES TO REMAIN. PROTECT IN PLACE OR REMOVE AND REINSTALL
- 26.48 SURFACE MOUNTED UPDOWN LIGHTING. SEE. COORDINATE WITH LOCATION OF (E) J-BOX. VERIFY LOCATION WITH ARCHITECT BEFORE INSTALLING.



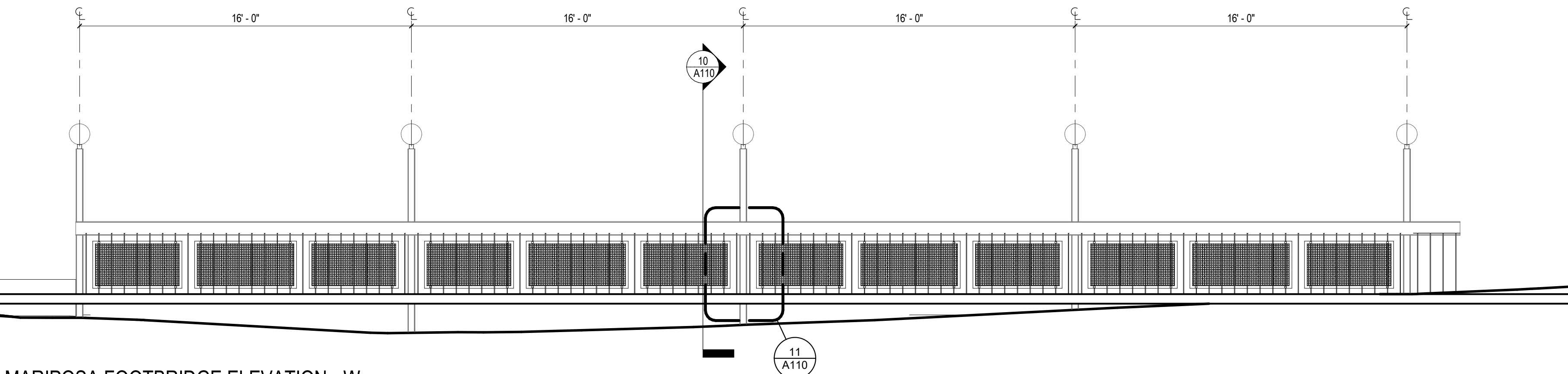
E MARIPOSA FOOTBRIDGE PHOTOS



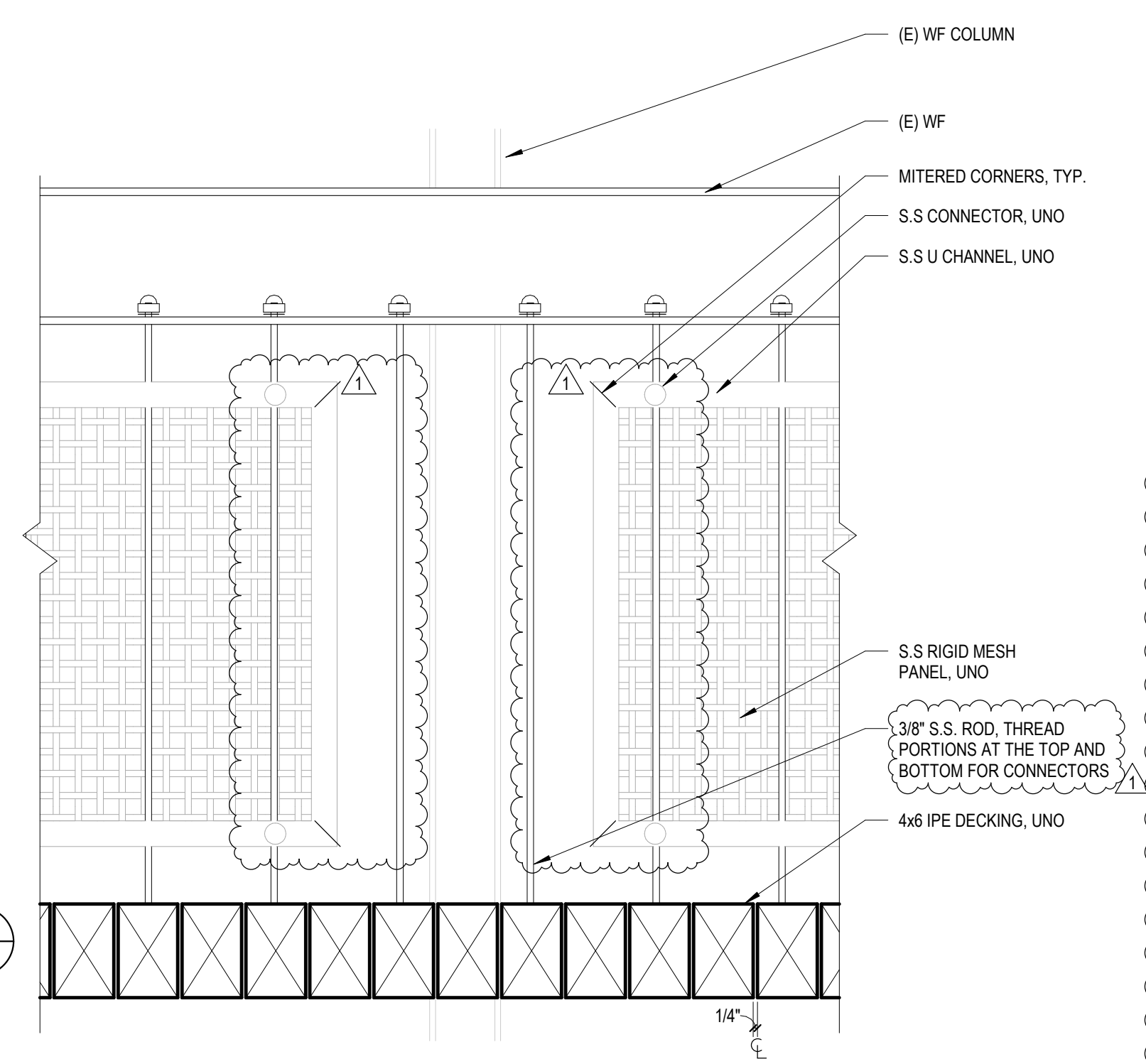
21 SOUTH SIGNAGE @ EXISTING CMU WALL
1/4" = 1'-0"



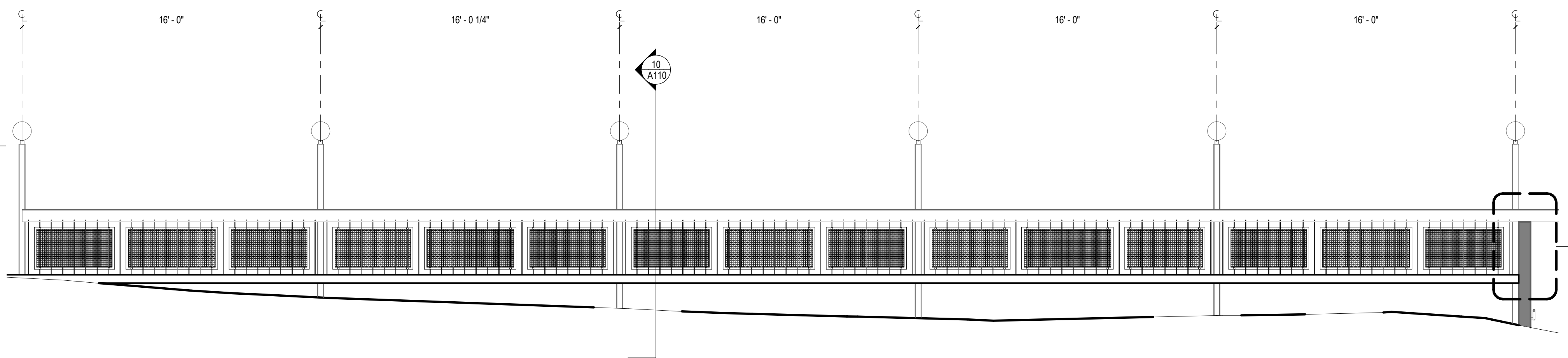
10 E MARIPOSA FOOTBRIDGE EAST - WEST SECTION
1/2" = 1'-0"



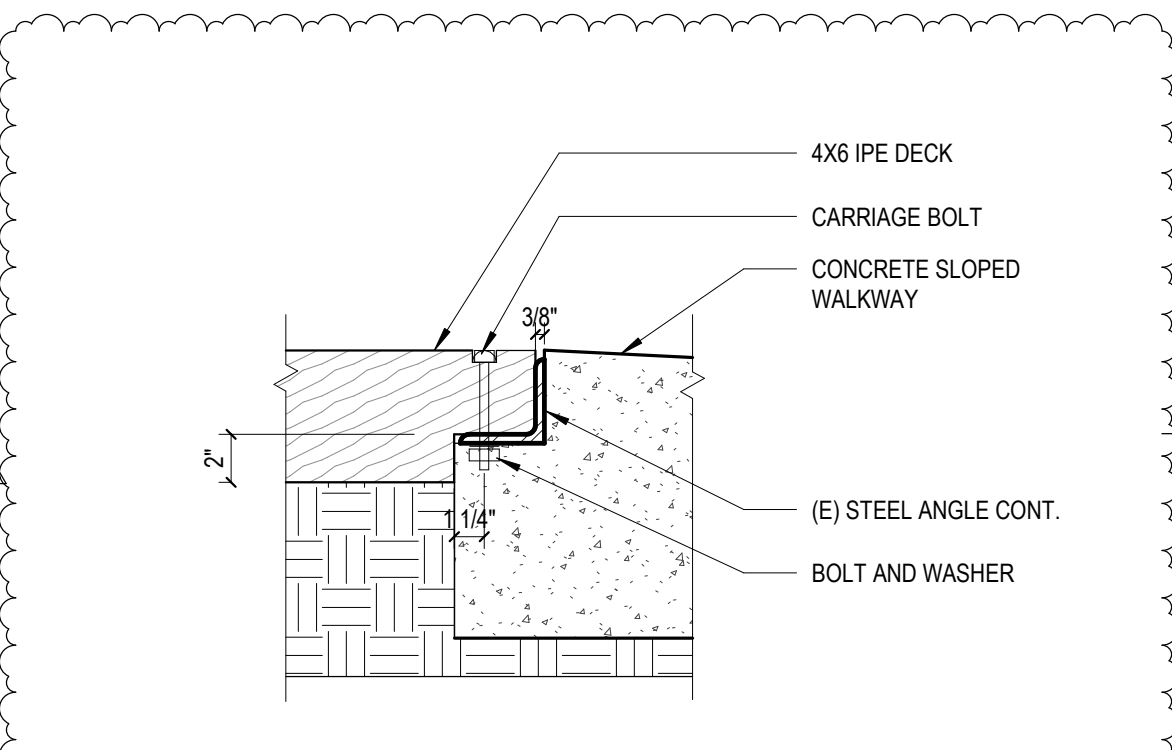
22 E MARIPOSA FOOTBRIDGE ELEVATION - W
1/4" = 1'-0"



11 ELEVATION OF GUARDRAIL @ FOOTBRIDGE
1 1/2" = 1'-0"



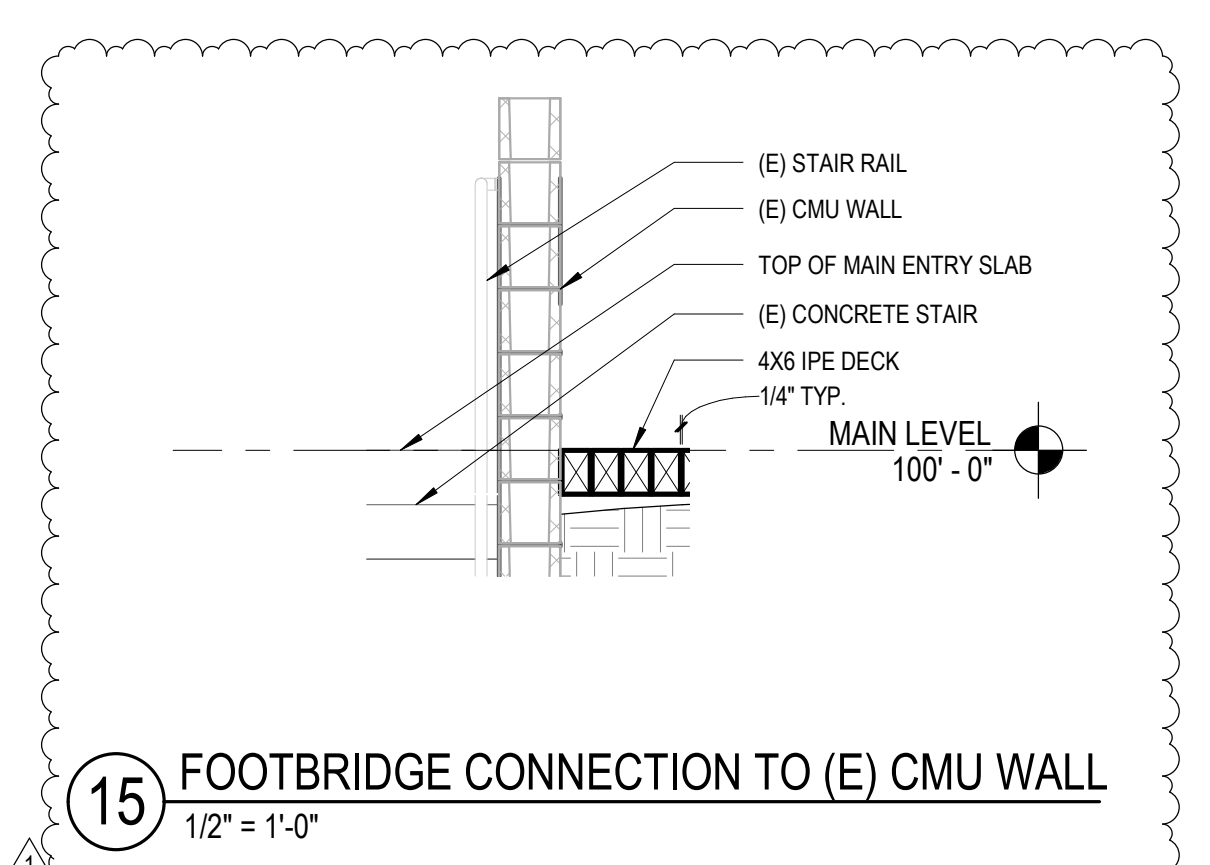
23 E MARIPOSA FOOTBRIDGE ELEVATION - E
1/4" = 1'-0"



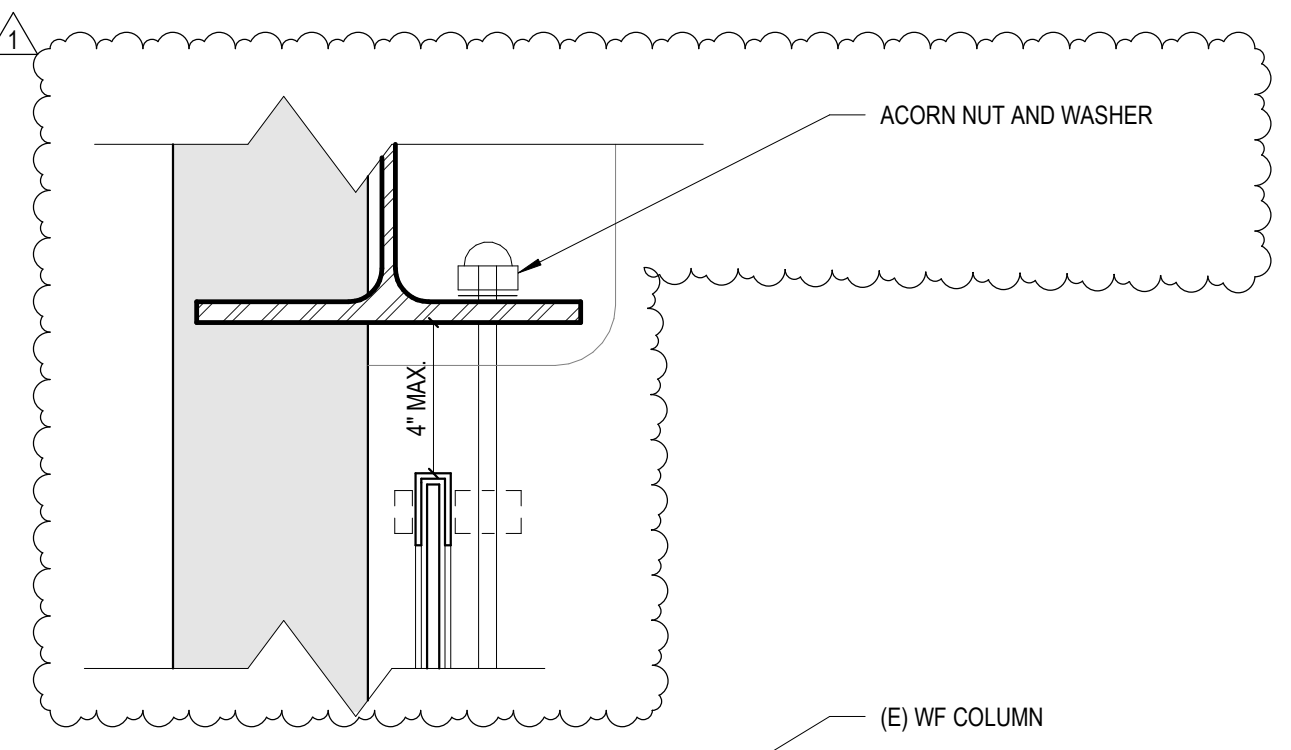
2 CONCRETE SLOPED WALKWAY TO FOOTBRIDGE
1 1/2" = 1'-0"



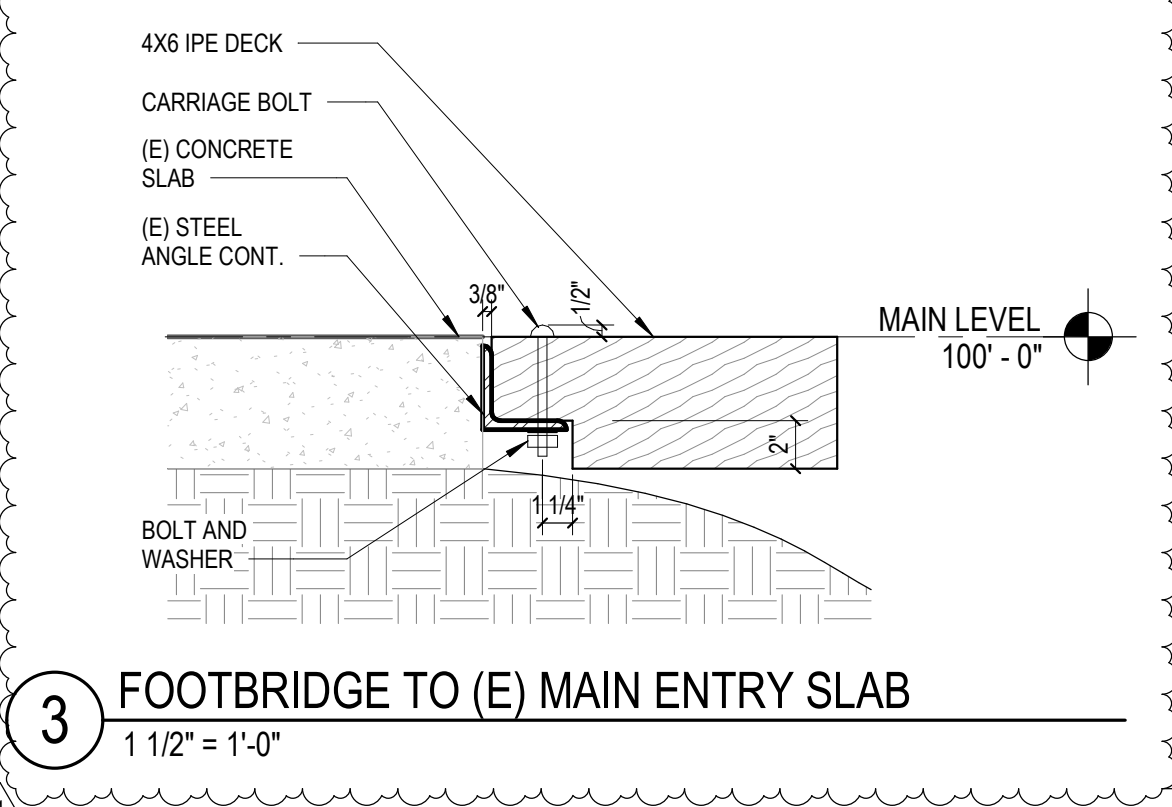
SANTA ROSA FOOTBRIDGE PHOTOS



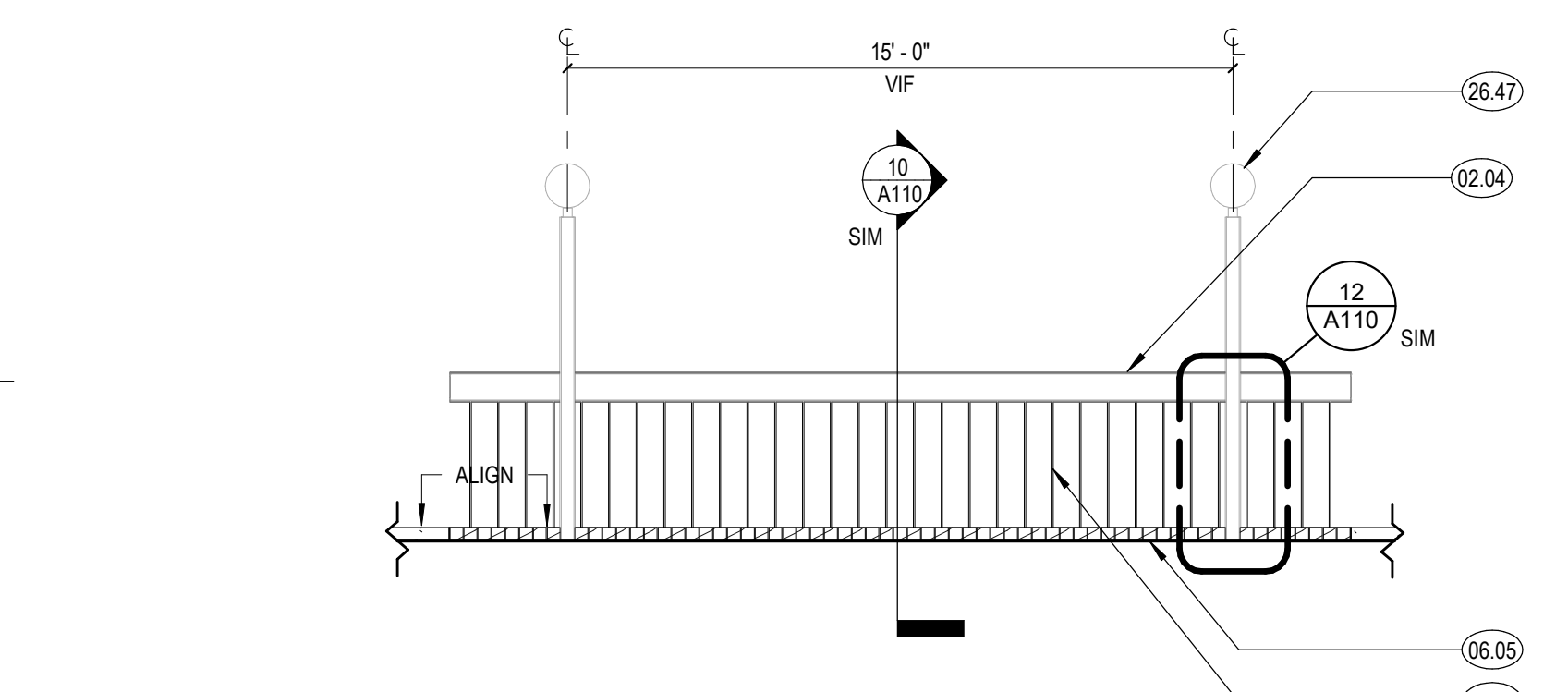
15 FOOTBRIDGE CONNECTION TO (E) CMU WALL
1/2" = 1'-0"



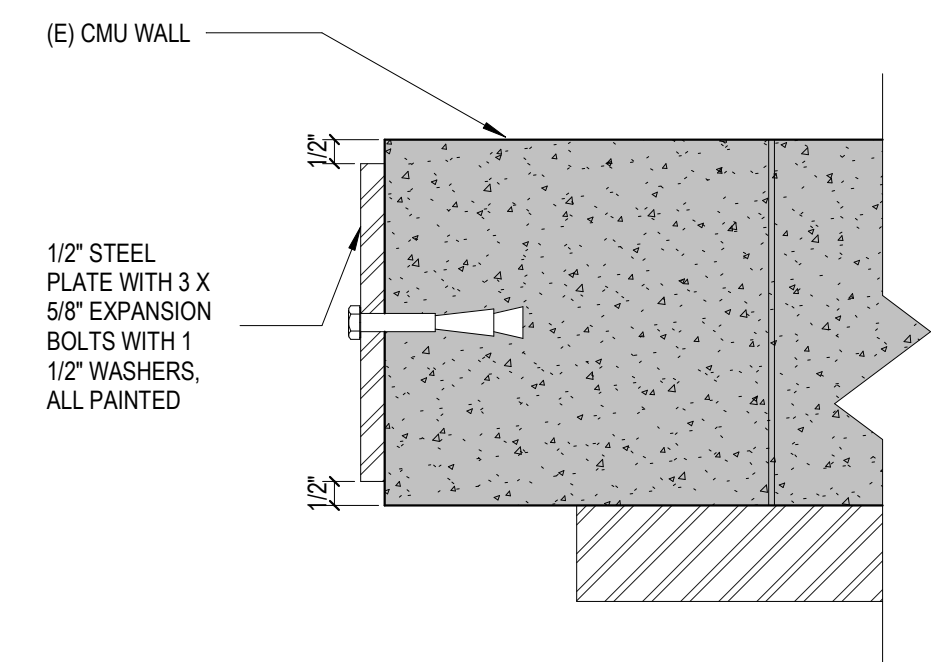
12 FOOTBRIDGE SECTION DETAIL @ ROD
3" = 1'-0"



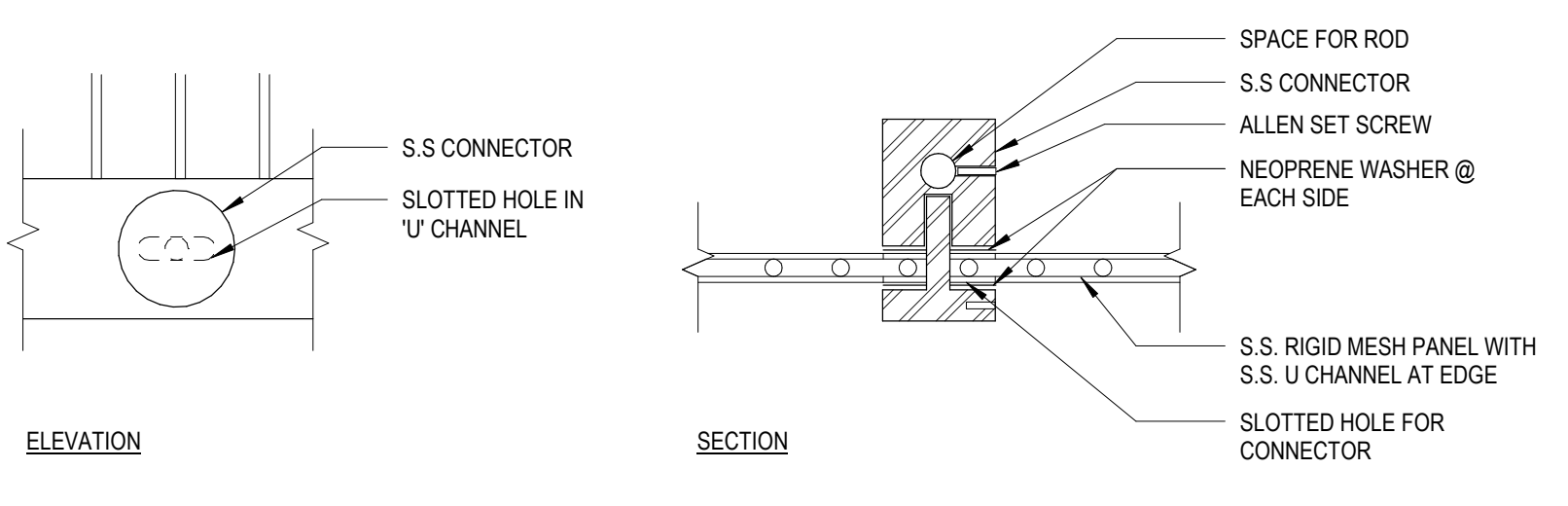
3 FOOTBRIDGE TO (E) MAIN ENTRY SLAB
1 1/2" = 1'-0"



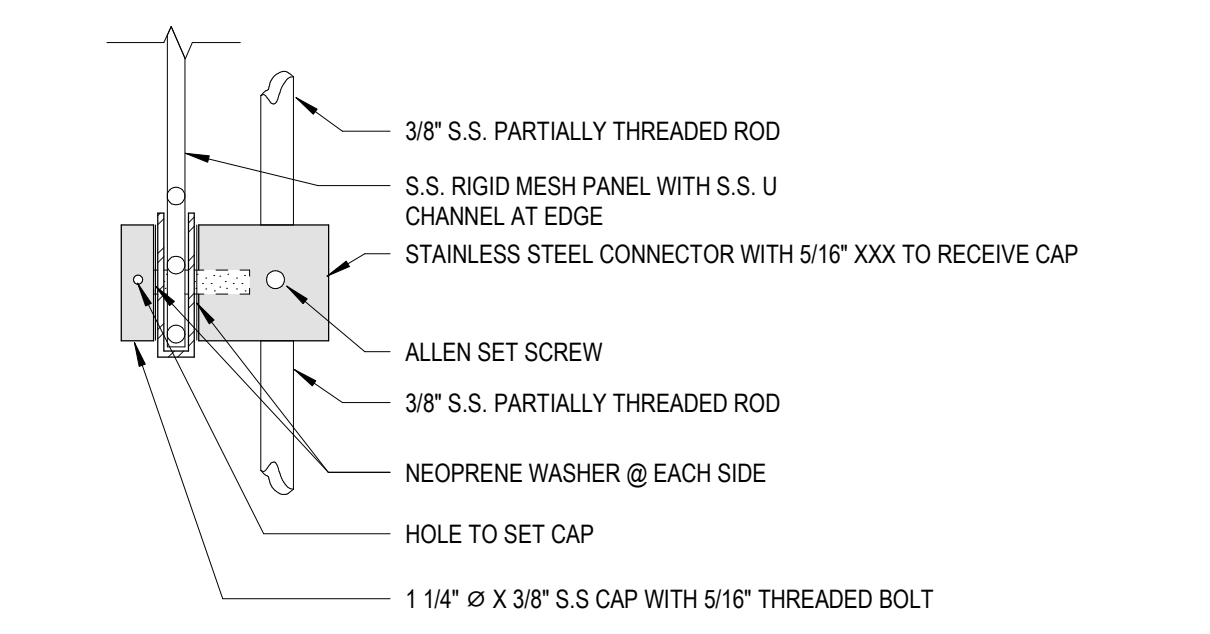
25 SANTA ROSA FOOTBRIDGE ELEVATION - E
1/4" = 1'-0"



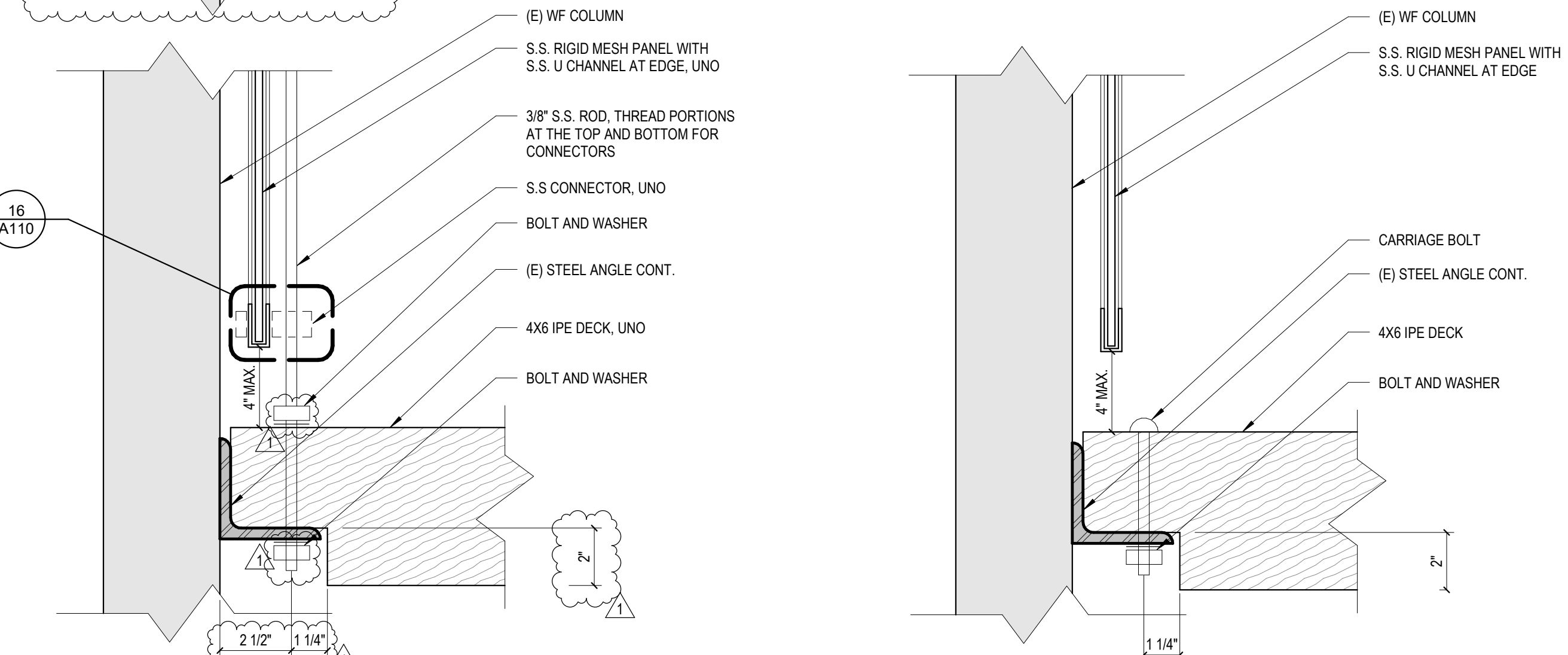
26 EDGE DETAIL @ EXISTING CMU WALL
3" = 1'-0"



20 GUARDRAIL PANEL CONNECTORS
6" = 1'-0"



16 GUARDRAIL PANEL CONNECTORS
6" = 1'-0"

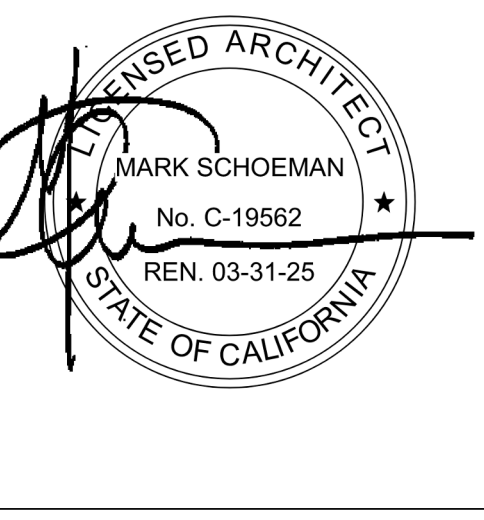


4 FOOTBRIDGE SECTION DETAIL WITHOUT ROD
3" = 1'-0"

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO

STAMP



NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
1	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010
DATE: 11-07-2024
SHEET TITLE:

SITE DETAILS

SCALE: As indicated

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SHEET NOTES

- A. PROVIDE ANTI-GRAFFITI COATING TO ALL ABOVE GRADE EXPOSED CONCRETE, CMU AND PAINTED CEMENT PLASTER. ALIGN TERMINATION OF COATING UNIFORMLY TO NEAREST HORIZONTAL CLADDING JOINT, CHANGE IN PLANE, OR TRANSITION NOT LESS THAN 8'-0" A.F.F., U.N.O.
- B. ALL EXPOSED STRUCTURAL STEEL SHALL RECEIVE FIELD-APPLIED HIGH PERFORMANCE COATING. COLOR TO BE SELECTED BY ARCHITECT. SEE SPECIFICATIONS.
- C. FOR LOCATION OF CMU WALLS, SEE LEGEND. ALL OTHER EXTERIOR WALLS ARE CEMENT PLASTER.

KEYNOTES

- 02.09 (E) CMU WALL
- 02.10 (E) STONE WALL
- 26.47 (E) LIGHT FIXTURES TO REMAIN. PROTECT IN PLACE OR REMOVE AND REINSTALL.
- 32.50 SITE WALL, SLD.

LEGEND

- ### DOOR TAG
- E## EXISTING (E) DOOR TO REMAIN
- S# WINDOW TAG
- SRE# STOREFRONT TO REPLACE EXISTING (E) WINDOW IN KIND
- (E) CMU
- 12X4X16 CMU IN STACKED BOND
- GLAZING FRIT DESIGN
- CEDAR CLADDING

ADDENDUM 05

CONSULTANTS LOGO

STAMP



NO. DATE REVISIONS

0	06/24/2024	BUILDING PERMIT SUBMITTAL
3	06/10/25	BACKCHECK #2 MECH & PLUMB BLDG PERMIT SUBMITTAL
7	10/10/2025	ADDENDUM 05
		TBD

PROJECT TITLE:

ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

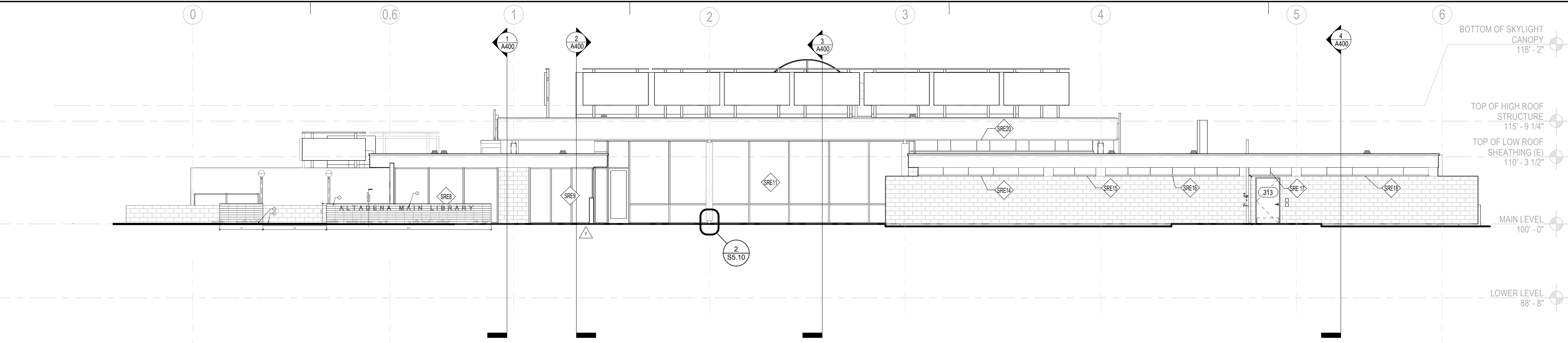
SHEET TITLE:

EXTERIOR ELEVATIONS

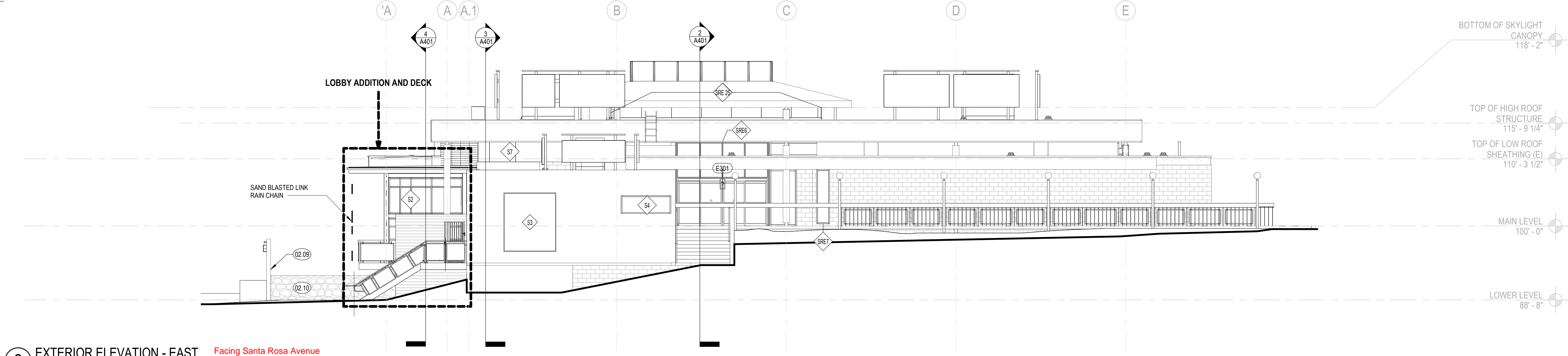
SCALE: As indicated

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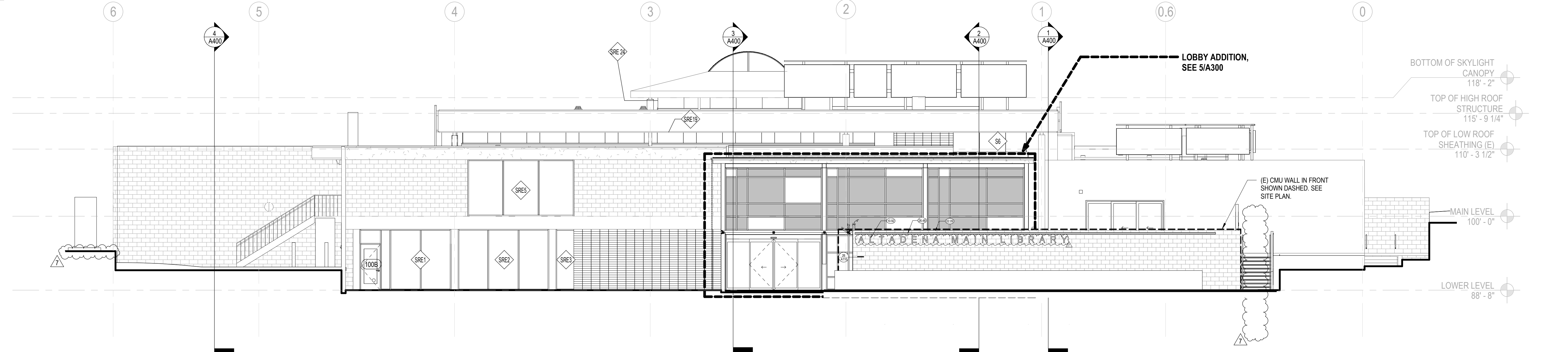
A300



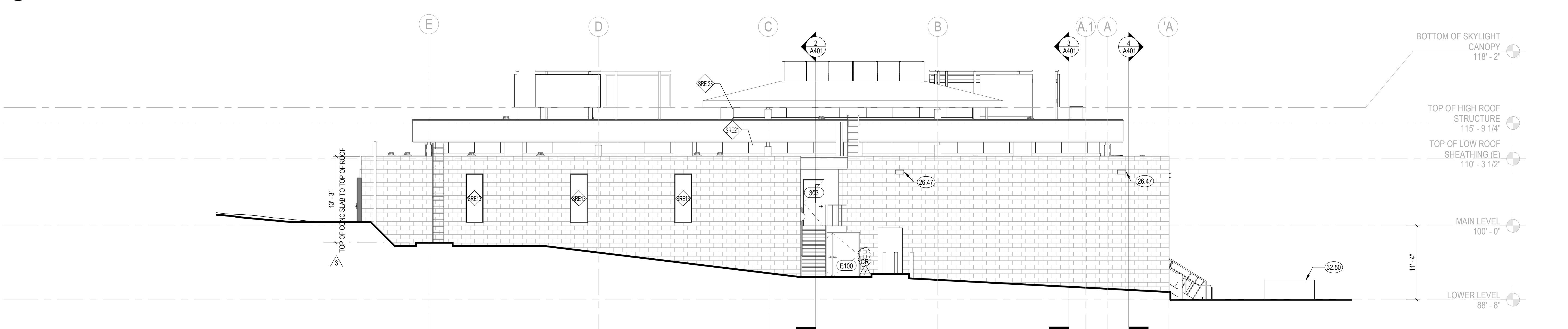
1 EXTERIOR ELEVATION - NORTH Fronting Mariposa Street
1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST Facing Santa Rosa Avenue
1/8" = 1'-0"

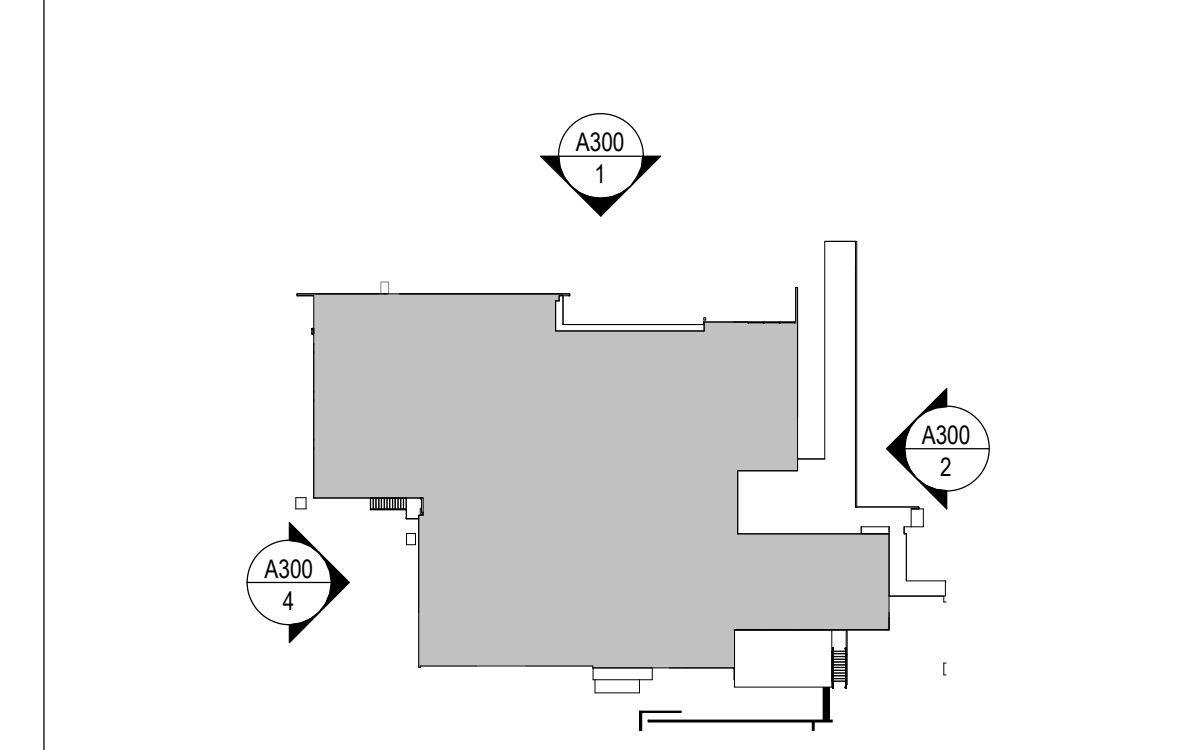


3 EXTERIOR ELEVATION - SOUTH Facing surface parking lot
1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST Facing neighboring lot
1/8" = 1'-0"

KEY PLAN

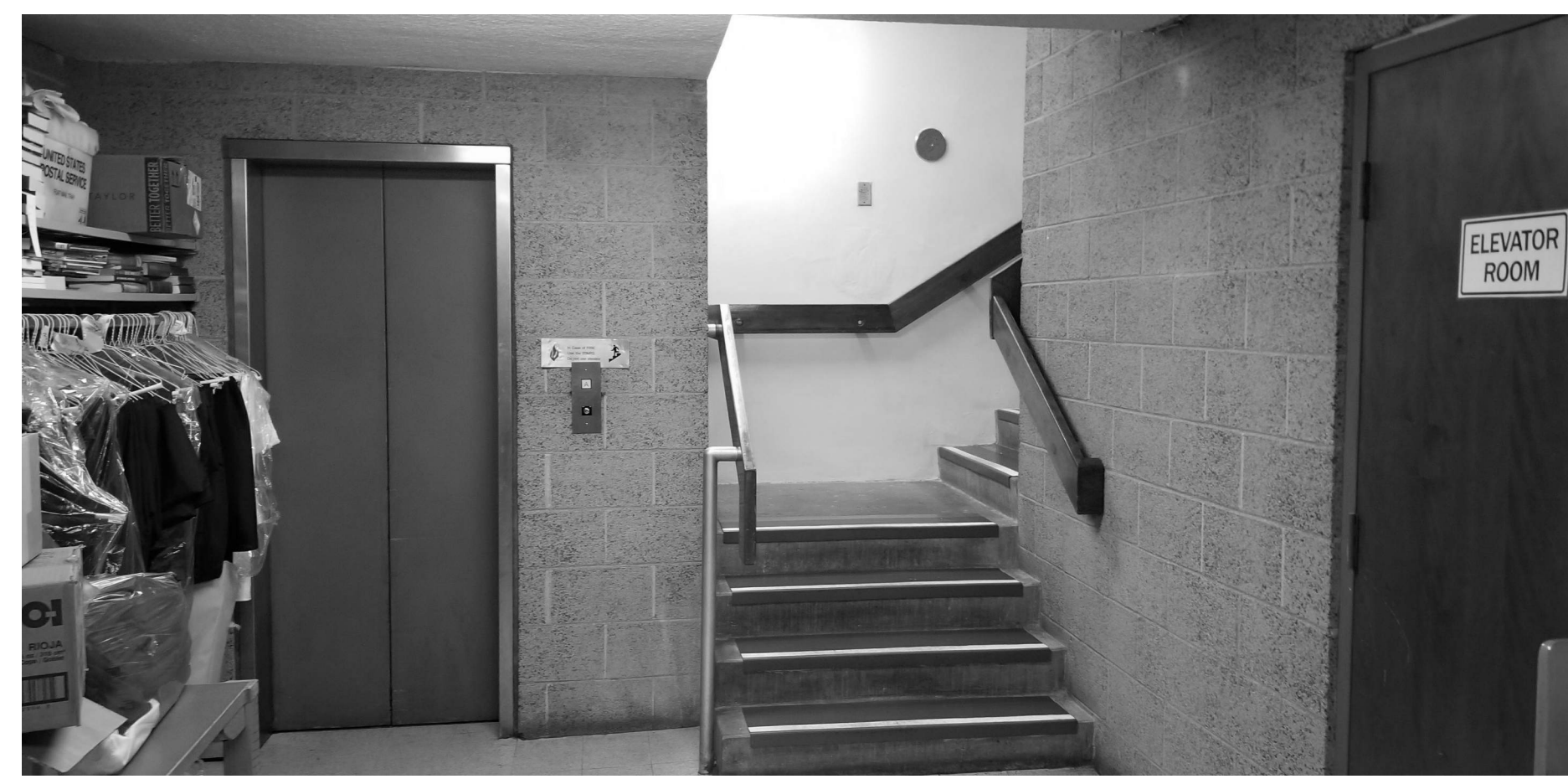


10/10/2025 9:24:14 AM

EXISTING PHOTOS



3 UNEXCAVATED SPACE



2 (E) ELEVATOR & STAIR



1 ELEVATOR CONTROL ROOM EQUIP.

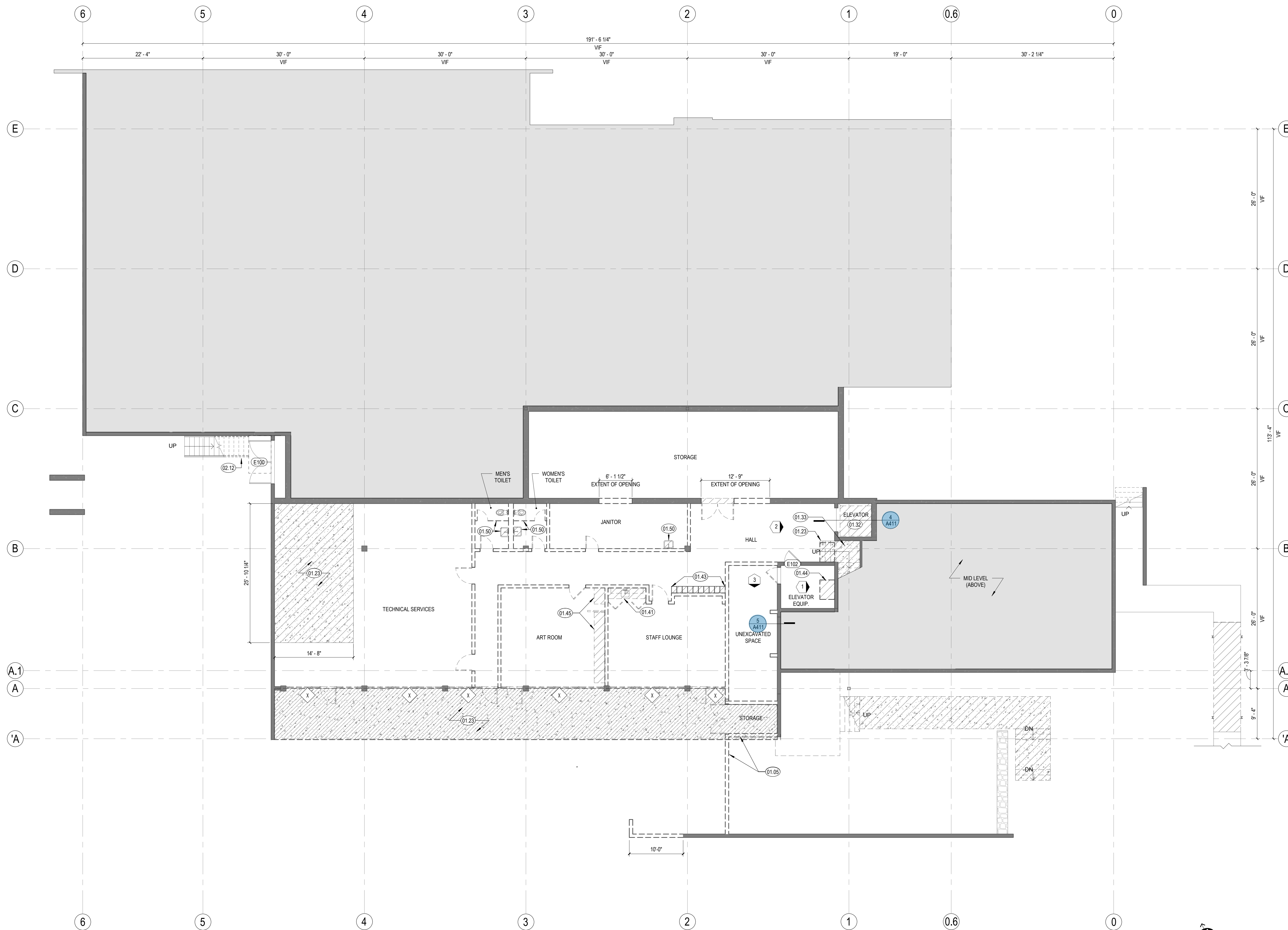
SHEET NOTES

- EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND VISUAL FIELD SURVEYS. THE CONTRACTOR SHALL MAKE A DETAILED SURVEY OF THE EXISTING FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY FOUND BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE HAZARDOUS MATERIALS AND DOES NOT PROVE THE DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS. ALL HAZARDOUS MATERIALS DISCOVERED DURING THE FIELD INSPECTION AND DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. ALL DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS SHALL BE IN CONFORMANCE WITH ALL LOCAL AND STATE CODES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED AND COPIES PROVIDED TO THE OWNER FOR RECORD.
- WHERE WALL FINISHES HAVE BEEN REMOVED AND EXISTING GYPSUM BOARD HAS BEEN DAMAGED, REPLACE AREA WITH NEW GYPSUM BOARD AS APPROPRIATE FOR NEW FINISHES AS SCHEDULED.
- REMOVE ALL (E) INTERIOR PARTITIONS AND DOORS, UNO.
- REMOVE ALL PLUMBING FIXTURES, ACCESSORIES, AND EQUIPMENT, UNO.
- SEE CIVIL DRAWINGS FOR ALL SITE DEMOLITION WORK.
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION WORK.
- SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL DEMOLITION WORK.
- SEE ELECTRICAL DRAWINGS FOR ALL ELECTRICAL DEMOLITION WORK.
- SEE EXTERIOR ELEVATIONS, WALL SECTIONS, AND DETAILS FOR EXTENT OF EXTERIOR ENVELOPE DEMOLITION.
- ALL FLOORING AT RESTROOMS SHALL BE REMOVED ALONG WITH RESPECTIVE MORTAR BED DOWN TO EXISTING RECESSED SLAB.
- REMOVE AND SALVAGE ALL EXISTING PROJECTOR SCREENS, PROJECTORS, MONITORS AND COORDINATE STORAGE WITH DISTRICT.
- REMOVE EXISTING SHELVING AND CONFIRM SALVAGE MATERIALS PRIOR TO DEMOLITION.
- REMOVE (E) MILLWORK AND CASEWORK.
- REMOVE (E) FURNITURE AND CONFIRM ANY SALVAGE ITEMS WITH DISTRICT PRIOR TO REMOVAL.
- REMOVE (E) SIGNAGE AND SEE SPECIFICATIONS FOR PATCHPACK REQUIREMENTS.
- REMOVE ALL (E) FLOOR FINISHES, U.N.O.



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Claremont, CA 91711



KEYNOTES

- 01.05 DEMOLISH (E) RETAINING WALLS
- 01.23 DEMOLISH PORTION OF (E) CONCRETE SLAB.
- 01.32 DEMOLISH (E) ELEVATOR AND ALL ASSOCIATED EQUIPMENT/ACCESSORIES.
- 01.33 DEMOLISH (E) CONCRETE STAIR.
- 01.41 DEMOLISH (E) KITCHENETTE
- 01.43 DEMOLISH (E) LOCKERS
- 01.44 DEMOLISH (E) ELEVATOR CONTROL ROOM EQUIPMENT
- 01.45 DEMOLISH (E) CASEWORK
- 01.50 DEMOLISH (E) PLUMBING FIXTURES AND RESTROOM PARTITIONS
- 02.12 (E) STAIRS TO REMAIN

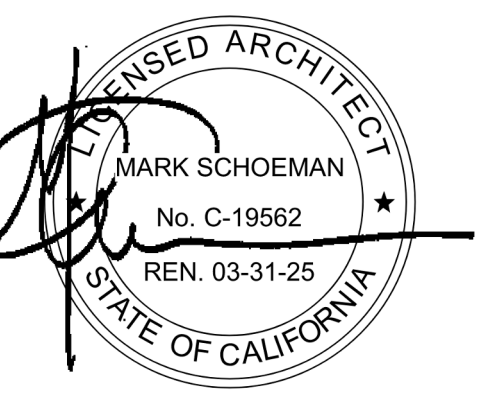
LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) FULL HT. WALL TO REMAIN
- (E) REGION TO BE DEMOLISHED, SEE KEYNOTE FOR DESCRIPTION OF ELEMENTS TO BE DEMOLISHED.
- REGION OF (E) CONCRETE STAIRS OR SLAB TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED
- (E) ITEM TO BE DEMOLISHED
- (E) STOREFRONT TO BE DEMOLISHED AND REPLACED IN KIND (TYP) UNO. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION.
- PROTECT (E) TILE IN PLACE.
- EXISTING PHOTO REFERENCE
- EXISTING (E) DOOR TO REMAIN

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

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NO. DATE REVISIONS

NO.	DATE	REVISIONS
06242024		BUILDING PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

SHEET TITLE:

DEMO FLOOR PLAN - LOWER LEVEL

SCALE: 1/8" = 1'-0"

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2 DEMOLITION FLOOR PLAN - LOWER LEVEL
1/8" = 1'-0"



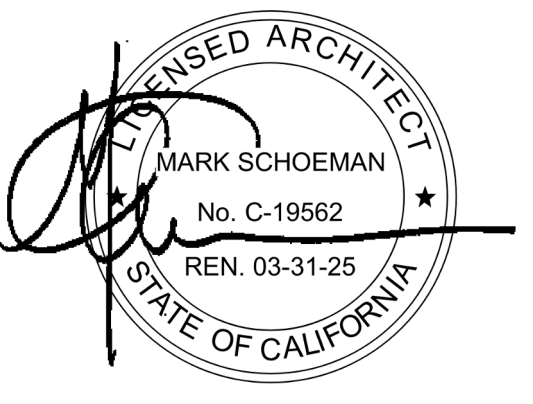
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ADDENDUM 06

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NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
1	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL
7	10/10/2025	ADDENDUM 05
8	10/28/2025	ADDENDUM 06

PROJECT TITLE:

ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

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FLOOR PLAN - LOWER LEVEL

SCALE: 1/8" = 1'-0"

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A200

FLOOR PLAN SHEET NOTES

- A. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO WORK.
- B. PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL ACCESS PANELS AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
- C. MATCH EXISTING STUD DIMENSION WHERE NEW PARTITION FRAMING ALIGNS WITH EXISTING PARTITION. STUD SIZE INDICATED IN WALL TYPE SHALL BE VERIFIED BY CONTRACTOR AT THESE CONDITIONS.
- D. ADJACENT IN-LINE PARTITIONS OF DIFFERENT TYPES SHALL BE CONSTRUCTED SUCH THAT EXPOSED FINISH SURFACES ARE FLUSH AND CONTINUOUS.
- E. PATCH AND REPAIR EXISTING WALLS WHERE DAMAGED DUE TO REMOVAL OF WOOD TRIM, HANDRAILS, AND OTHER ITEMS.
- F. FOR WALLS BUTTING INTO EXTERIOR WINDOWS, SEE 13/AB01

KEYNOTES

- 03.27 CONCRETE STRUCTURAL WALL, SSD.
- 05.48 OUTLINE OF CANOPY (ABOVE). SEE 20/AB210
- 06.51 BASE CABINETS. SEE ELEVATIONS ON 06/AB200-06/AB205
- 06.52 UPPER CABINETS. SEE ELEVATIONS ON 06/AB200-06/AB205
- 06.66 SOLID SURFACE COUNTERTOP
- 06.70 ELEVATOR CALL BOX OUT. SEE DETAIL 22/AA511
- 07.52 RAIN CHAIN
- 08.36 STOREFRONT INTERNAL CORNER MULLION
- 10.43 WALL MOUNTED TV. OFCL. SEE AV DWGS.
- 10.76 EMERGENCY KEY CABINET (RELOCATE EXISTING KNOX BOX)
- 11.81 VENDING MACHINE, OFCL.
- 12.48 ENTRANCE FLOOR GRILLE. SEE EXTERIOR DETAILS ON SHEET AB100 AND SC0
- 12.61 INSTALL SALVAGED (E) CIVIL SCULPTURE. DIMENSION IN FIELD AND SUBMIT INSTALLATION SHOP DRAWINGS. SEE AB101 FOR ADDITIONAL INFORMATION.

LEGEND

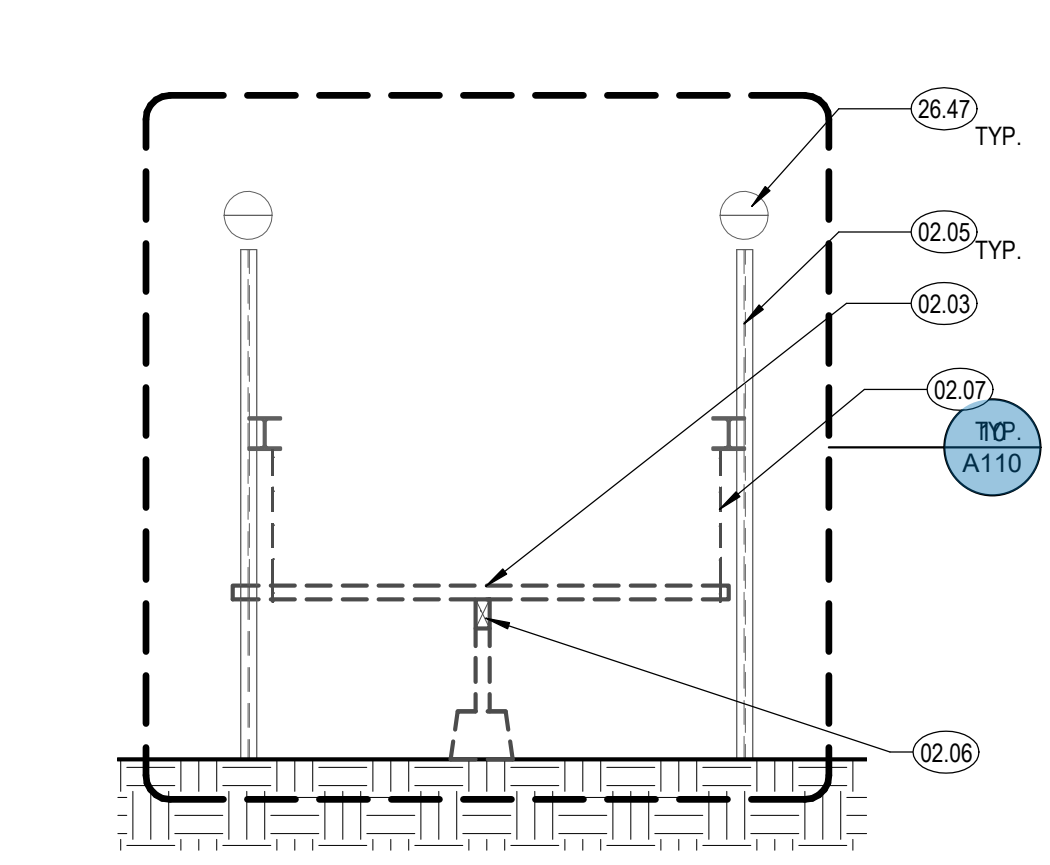
- INTERIOR AND EXTERIOR SOFFITS ABOVE
- PARTITION. SEE PARTITION TYPES ON SHEET AB000
- CMU WALL. SEE PARTITION TYPES ON SHEET AB000
- 1-HR RATED STUD WALL. SEE PARTITION TYPES ON SHEET AB000
- EXISTING (E) WALL TO REMAIN
- (F) LAH WALL TAG. SEE PARTITION TYPES ON SHEET AB000
- DOOR TAG. SEE DOOR TYPES, FRAME TYPES, AND SCHEDULES ON SHEET AB000
- EXISTING (E) DOOR TO REMAIN
- WINDOW TAG. SEE WINDOW TYPES ON SHEETS AB100 AND AB111
- STOREFRONT TO REPLACE EXISTING (E) WINDOW IN KIND, UNO. SEE WINDOW TYPES ON SHEETS AB100 AND AB111
- AP ALARM PANEL
- CR CARD READER
- FEC FIRE EXTINGUISHER CABINET
- PP PUSH PLATE DOOR ACTUATOR



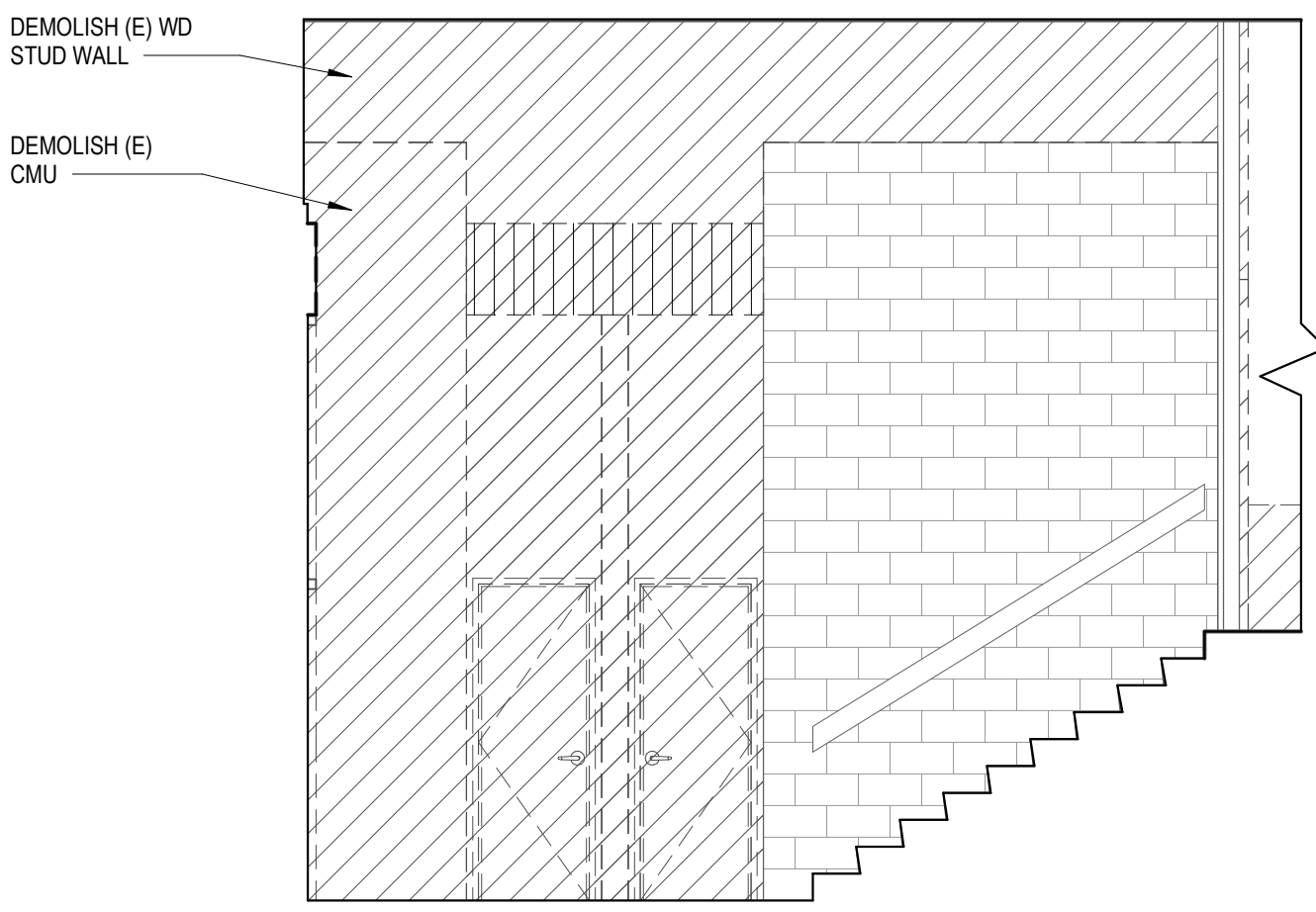
1 FLOOR PLAN - LOWER LEVEL
1/8" = 1'-0"

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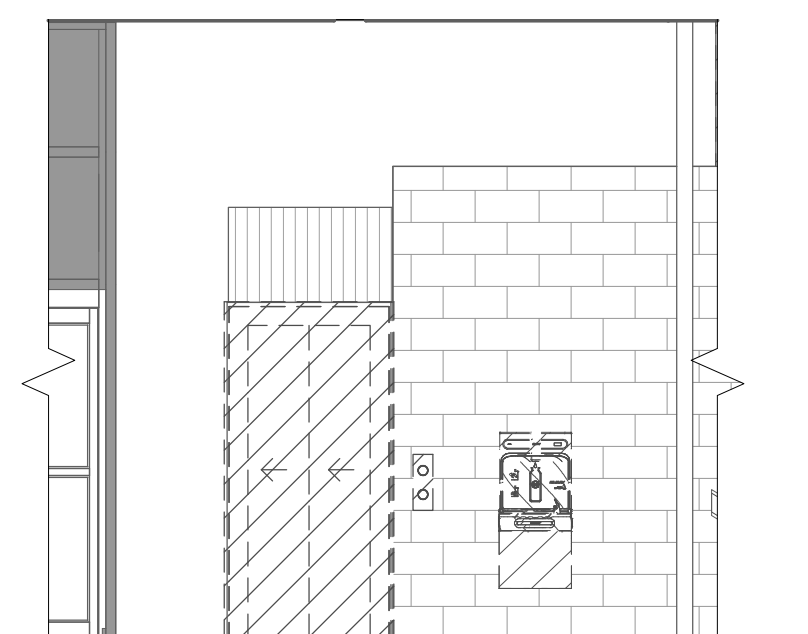
DEMO ELEVATIONS & SECTIONS



4 FOOTBRIDGE EAST - DEMO SECTION
1/4" = 1'-0"

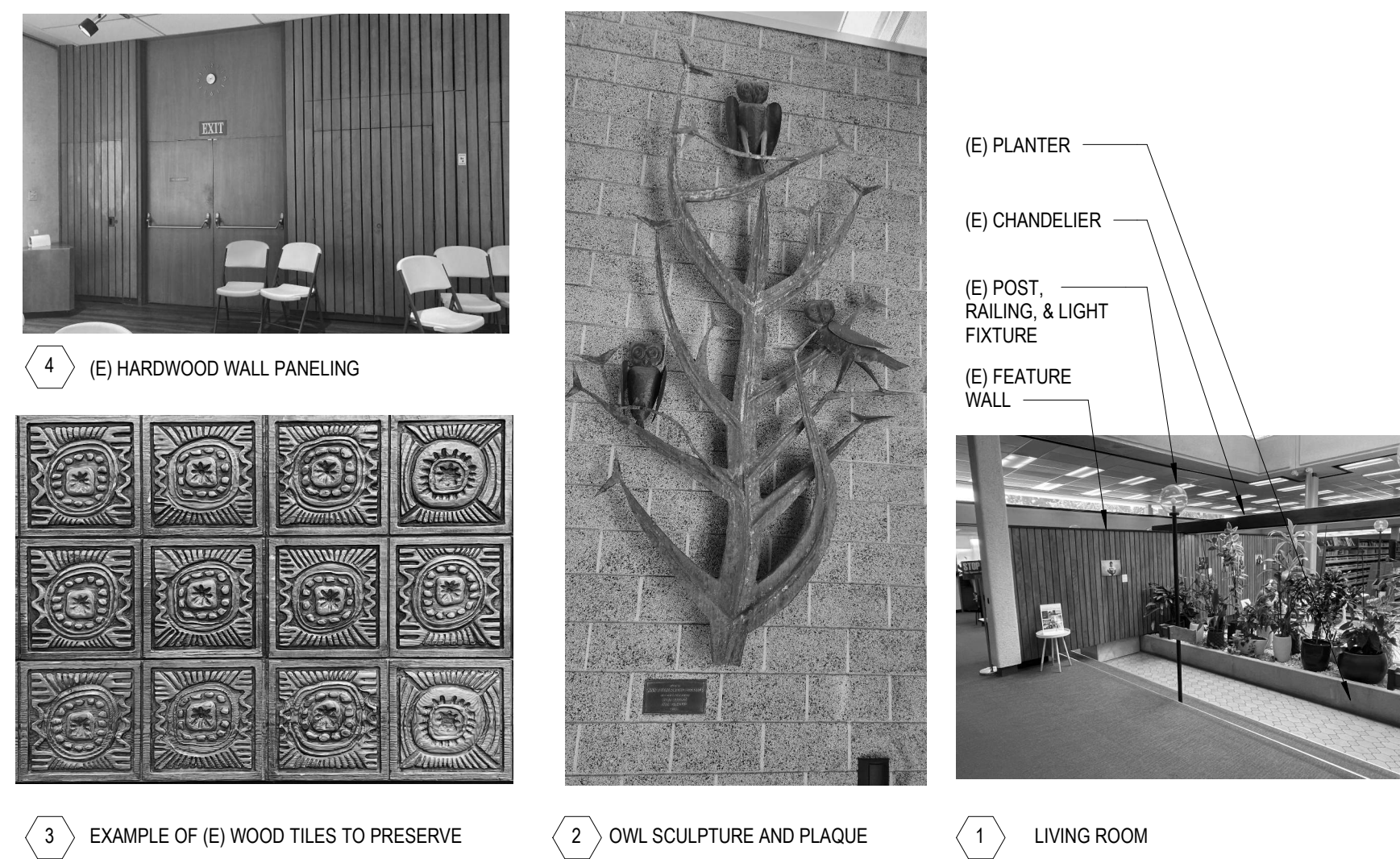


3 MID LEVEL LOBBY - DEMO ELEVATION
1/4" = 1'-0"



2 (E) ELEVATOR - DEMO ELEVATION
1/4" = 1'-0"

EXISTING PHOTOS



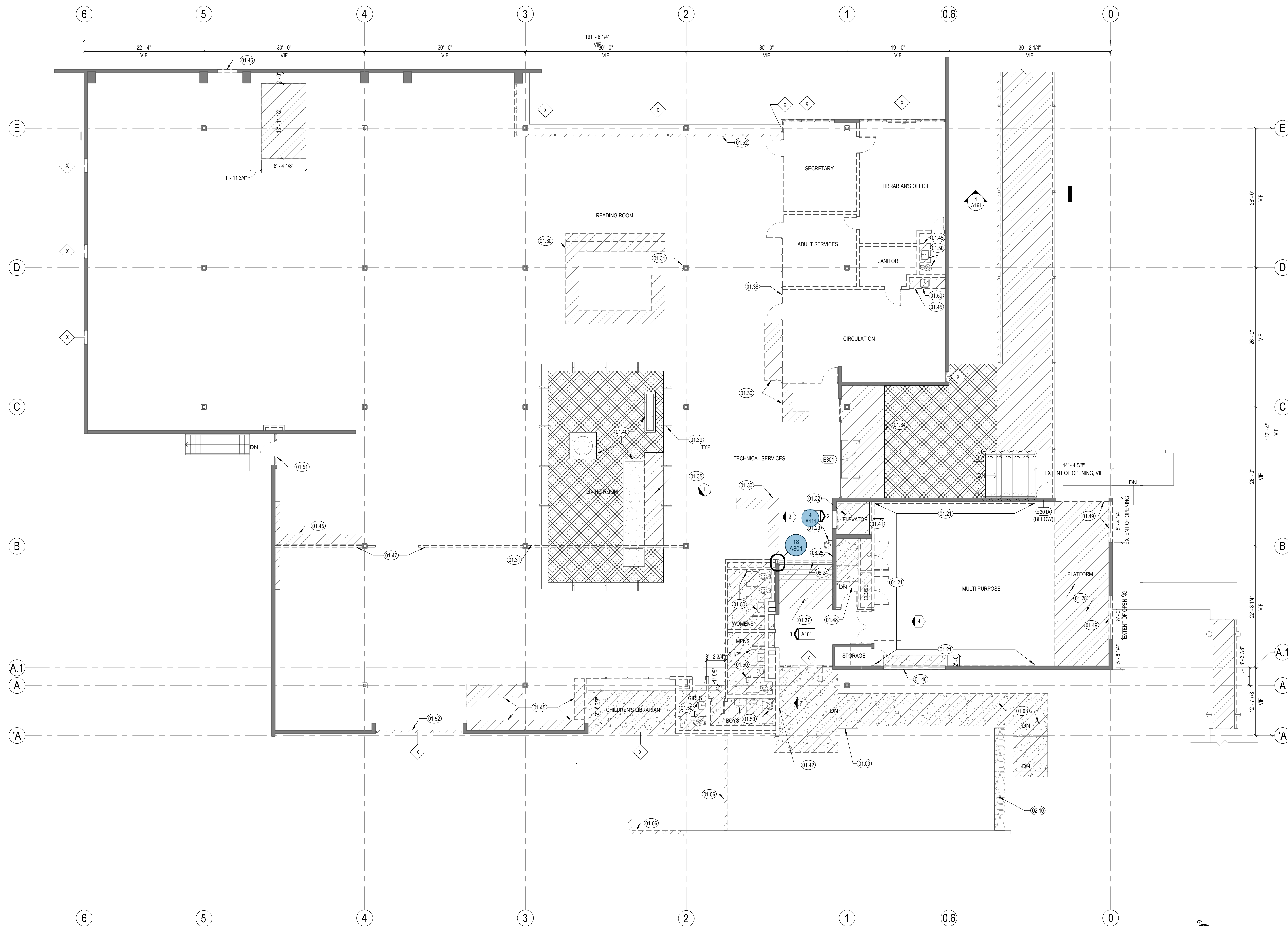
4 (E) HARDWOOD WALL PANELING
3 EXAMPLE OF (E) WOOD TILES TO PRESERVE
2 OWL SCULPTURE AND PLAQUE
1 LIVING ROOM

SHEET NOTES

- EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND VISUAL FIELD SURVEYS. THE CONTRACTOR SHALL MAKE A DETAILED SURVEY OF THE EXISTING FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY FOUND BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE HAZARDOUS MATERIALS AND DOES NOT PROVE THE DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS. ALL HAZARDOUS MATERIALS DISCOVERED DURING THE FIELD INSPECTION AND DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. ALL DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS SHALL BE IN CONFORMANCE WITH ALL LOCAL AND STATE CODES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED AND COPIES PROVIDED TO THE OWNER FOR RECORD.
- WHERE WALL FINISHES HAVE BEEN REMOVED AND EXISTING GYPSUM BOARD HAS BEEN DAMAGED, REPLACE AREA WITH NEW GYPSUM BOARD AS APPROPRIATE FOR NEW FINISHES AS SCHEDULED.
- REMOVE ALL (E) INTERIOR PARTITIONS AND DOORS, UNO.
- REMOVE ALL PLUMBING FIXTURES, ACCESSORIES, AND EQUIPMENT, UNO.
- SEE CIVIL DRAWINGS FOR ALL SITE DEMOLITION WORK.
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION WORK.
- SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL DEMOLITION WORK.
- SEE ELECTRICAL DRAWINGS FOR ALL ELECTRICAL DEMOLITION WORK.
- SEE EXTERIOR ELEVATIONS, WALL SECTIONS, AND DETAILS FOR EXTENT OF EXTERIOR ENVELOPE DEMOLITION.
- ALL FLOORING AT RESTROOMS SHALL BE REMOVED ALONG WITH RESPECTIVE MORTAR BED DOWN TO EXISTING RECESSED SLAB.
- REMOVE AND SALVAGE ALL EXISTING PROJECTOR SCREENS, PROJECTORS, MONITORS AND COORDINATE STORAGE WITH DISTRICT.
- REMOVE EXISTING SHELVING AND CONFIRM SALVAGE MATERIALS PRIOR TO DEMOLITION.
- REMOVE (E) MILLWORK AND CASEWORK.
- REMOVE (E) FURNITURE AND CONFIRM ANY SALVAGE ITEMS WITH DISTRICT PRIOR TO REMOVAL.
- REMOVE (E) SIGNAGE AND SEE SPECIFICATIONS FOR PATCHPACK REQUIREMENTS.
- REMOVE ALL (E) FLOOR FINISHES, U.N.O.



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1 DEMOLITION FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

KEYNOTES

- 01.03 DEMOLISH (E) CONCRETE STAIRS, WALKWAY, AND RAILINGS.
- 01.06 DEMOLISH (E) CMU WALLS
- 01.21 DEMOLISH (E) HARDWOOD WALL PANELING
- 01.28 DEMOLISH (E) PLATFORM, CURTAINS, AND PROJECTOR SCREEN
- 01.29 DEMOLISH (E) WATER FOUNTAIN
- 01.30 DEMOLISH (E) MILLWORK, PRESERVE WOOD TILES FOR REUSE. CONTRACTOR TO PHOTOGRAPH ALL TILES AND PROVIDE TO ARCHITECT FOR SELECTION AT SERVICE DESK. SEE SHEET 0202 FOR ADDITIONAL INFORMATION.
- 01.31 (E) ELECTRICAL WALKER DUCTS TO REMAIN. DEMO (E) ELECTRICAL CONDUITS ALONG COLUMN AND REROUTE VIA IN-FLOOR DUCT SYSTEM TO ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 01.32 DEMOLISH (E) ELEVATOR AND ALL ASSOCIATED EQUIPMENT/ACCESSORIES.
- 01.34 DEMOLISH (E) FLOOR TILE
- 01.35 REMOVE (E) FLOOR TILE & ADHESIVE IN ITS ENTIRETY. PREP TO RECEIVE NEW FLOOR FINISHES. SEE FINISH PLANS FOR ADDITIONAL INFORMATION.
- 01.36 DEMOLISH (E) INTERIOR GLAZING SYSTEM AND WALL ABOVE AND BELOW.
- 01.37 (E) STAIR AND RAILING TO REMAIN. REMOVE CARPET, POLISH (E) CONCRETE STAIR. PROVIDE ALLOWANCE TO POLISH STAIRS.
- 01.39 REMOVE AND REINSTALL, OR PROTECT IN PLACE, POST, RAILING, AND LIGHT FIXTURE. PROTECT PLANTERS
- 01.40 DEMOLISH (E) KITCHENETTE
- 01.42 REMOVE AND PROTECT EXISTING OWL SCULPTURE AND PLAQUE FOR REUSE
- 01.45 DEMOLISH (E) CASEWORK
- 01.46 DEMOLISH PORTION OF (E) WALL FOR DOOR, SSD.
- 01.47 DEMOLISH (E) FEATURE WALL
- 01.48 DEMOLISH (E) STAIRS
- 01.49 DEMOLISH PORTION OF (E) CMU WALL FOR WINDOW, SSD. 0201 INTERIOR ELEVATIONS ON SHEET 0202 AND EXTERIOR WINDOW TYPES SHEET 0203
- 01.50 DEMOLISH (E) PLUMBING FIXTURES AND RESTROOM PARTITIONS
- 01.51 DEMOLISH (E) DOOR AND SIDELITES
- 01.52 REMOVE (E) CHAIR RAIL AND SALVAGE FOR REUSE
- 02.03 (E) WOOD 4x4 DECKING TO BE DEMO'D
- 02.06 (E) WD JOIST AND CONCRETE FOOTINGS TO BE DEMO'D
- 02.07 (E) THREADED RODS TO BE DEMO'D
- 02.10 (E) STONE WALL
- 02.24 (E) MOTORIZED COILING GRILLE TO REMAIN
- 02.25 (E) COILING GRILLE CONTROLS TO REMAIN
- 02.47 (E) LIGHT FIXTURES TO REMAIN, PROTECT IN PLACE OR REMOVE AND REINSTALL

LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) FULL HT. WALL TO REMAIN
- (E) REGION TO BE DEMOLISHED. SEE KEYNOTE FOR DESCRIPTION OF ELEMENTS TO BE DEMOLISHED.
- REGION OF (E) CONCRETE STAIRS OR SLAB TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED
- (E) ITEM TO BE DEMOLISHED
- (E) STOREFRONT TO BE DEMOLISHED AND REPLACED IN KIND (TYP) UNO. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION.
- PROTECT (E) TILE IN PLACE.
- EXISTING PHOTO REFERENCE
- EXISTING (E) DOOR TO REMAIN

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO

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NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
2	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

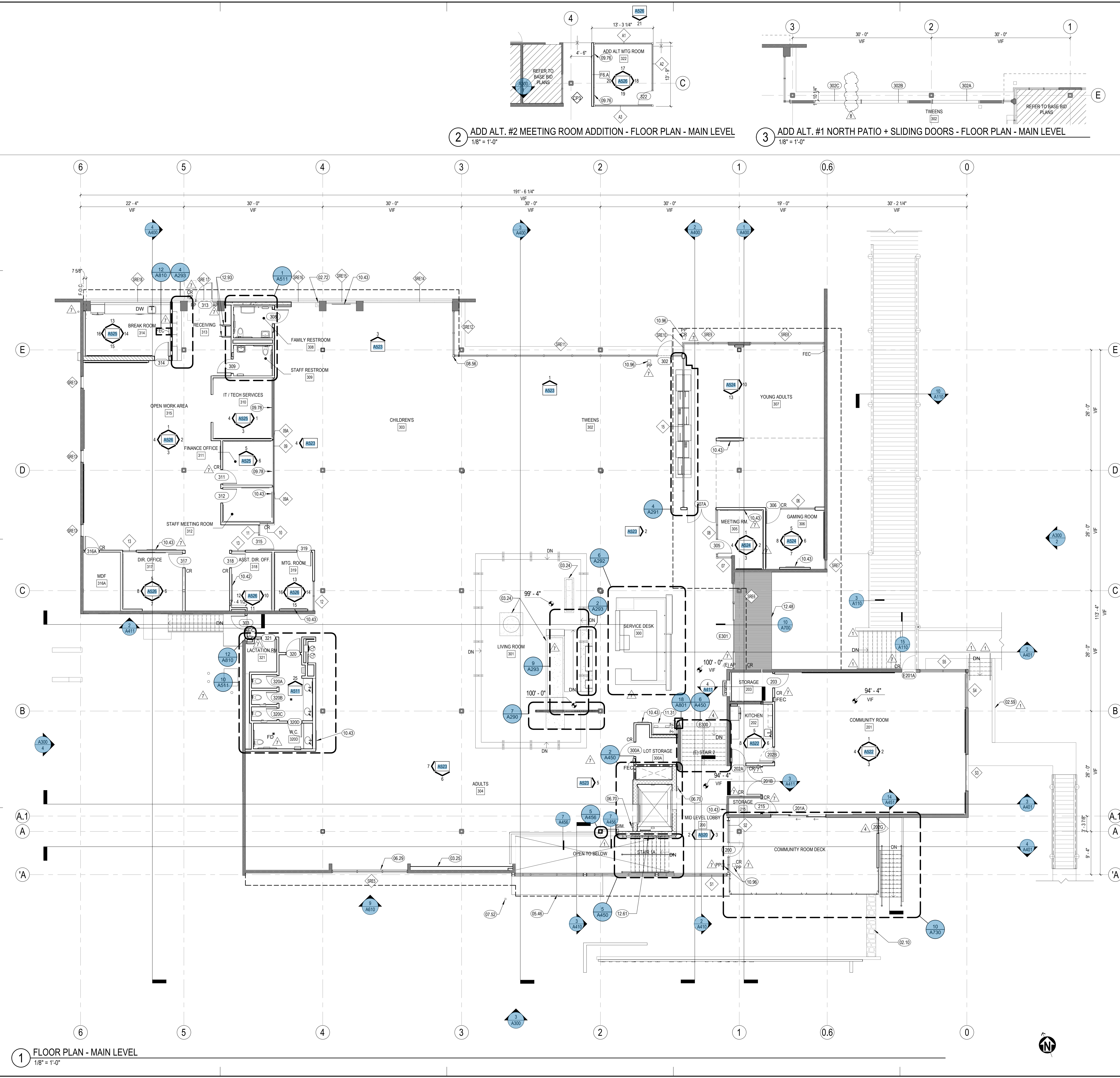
DATE: 11-07-2024

SHEET TITLE:

DEMO FLOOR PLAN - MAIN LEVEL

SCALE: As indicated

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2 ADD ALT. #2 MEETING ROOM ADDITION - FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

3 ADD ALT. #1 NORTH PATIO + SLIDING DOORS - FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

1 FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

- A. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO WORK.
- B. PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL ACCESS PANELS AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
- C. MATCH EXISTING STUD DIMENSION WHERE NEW PARTITION FRAMING ALIGNS WITH EXISTING PARTITION. STUD SIZE INDICATED IN WALL TYPE SHALL BE VERIFIED BY CONTRACTOR AT THESE CONDITIONS.
- D. ADJACENT IN-LINE PARTITIONS OF DIFFERENT TYPES SHALL BE CONSTRUCTED SUCH THAT EXPOSED FINISH SURFACES ARE FLUSH AND CONTINUOUS.
- E. PATCH AND REPAIR EXISTING WALLS WHERE DAMAGED DUE TO REMOVAL OF WOOD TRIM, HANDRAILS, AND OTHER ITEMS.
- F. FOR WALLS BUTTING INTO EXTERIOR WINDOWS. SEE 13/A801

KEYNOTES

- 02.10 (E) STONE WALL
- 02.59 (E) WALL BELOW
- 02.72 (E) RAIN WATER LEADER
- 03.24 EXISTING CONCRETE PLANTERS
- 03.25 SLOPED CONCRETE WALKWAY
- 05.46 OUTLINE OF CANOPY (BELOW). SEE 2/A210
- 06.29 SALVAGED CHAIR RAIL
- 06.70 ELEVATOR CALL BOX OUT. SEE DETAIL 22/A451
- 07.52 RAIN CHAIN
- 08.56 STOREFRONT INTERNAL CORNER MULLION
- 09.76 ACOUSTICAL WALL PANEL
- 09.78 TACKABLE ACOUSTIC PANEL. 1" THICK. NRC 75 MIN UNO. SEE ELEVATIONS FOR EXTENT AND FINISH
- 10.42 PORCELAIN MARKERBOARD
- 10.43 WALL MOUNTED TV. OFCI. SEE AV DWGS.
- 10.96 BIBLIOTHECA SECURED ENTRANCE KEYPAD SYSTEM
- 11.31 LAPTOP KIOSK, OFCI
- 12.48 ENTRANCE FLOOR GRILLE. SEE EXTERIOR DETAILS ON SHEET A800 AND SCD.
- 12.61 INSTALL SALVAGED (E) OVR. SCULPTURE. DIMENSION IN FIELD AND SUBMIT INSTALLATION SHOP DRAWINGS. SEE A818 FOR ADDITIONAL INFORMATION.
- 12.93 SURFACE MOUNTED BICYCLE RACK.

LEGEND

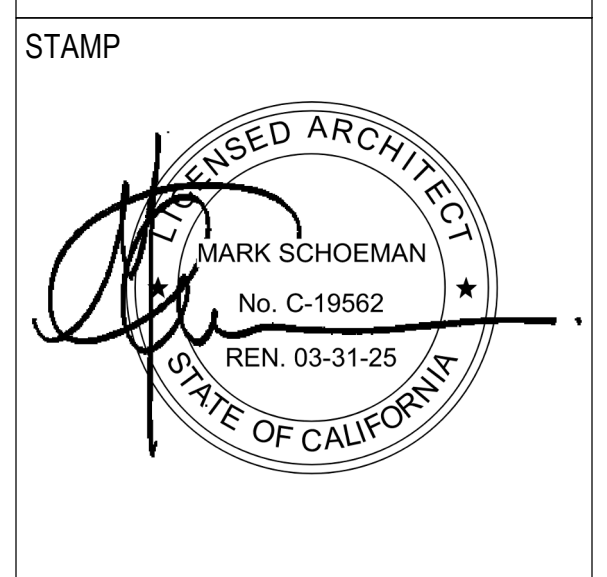
- INTERIOR AND EXTERIOR SOFFITS ABOVE
- PARTITION. SEE PARTITION TYPES ON SHEET A800
- CMU WALL. SEE PARTITION TYPES ON SHEET A800
- 1-HR RATED STUD WALL. SEE PARTITION TYPES ON SHEET A800
- EXISTING (E) WALL TO REMAIN
- WALL TAG. SEE PARTITION TYPES ON SHEET A800
- DOOR TAG. SEE DOOR TYPES, FRAME TYPES, AND SCHEDULES ON SHEET A800
- EXISTING (E) DOOR TO REMAIN
- WINDOW TAG. SEE WINDOW TYPES ON SHEETS A810 AND A811
- STOREFRONT TO REPLACE EXISTING (E) WINDOW IN KIND, UNO. SEE WINDOW TYPES ON SHEETS A810 AND A811
- AP ALARM PANEL
- CR CARD READER
- FEC FIRE EXTINGUISHER CABINET
- PP PUSH PLATE DOOR ACTUATOR



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ADDENDUM 06

CONSULTANTS LOGO



NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
2	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL
4	06/13/2025	FIRE PLAN BACKCHECK
7	10/10/2025	ADDENDUM 05
8	10/28/2025	ADDENDUM 06

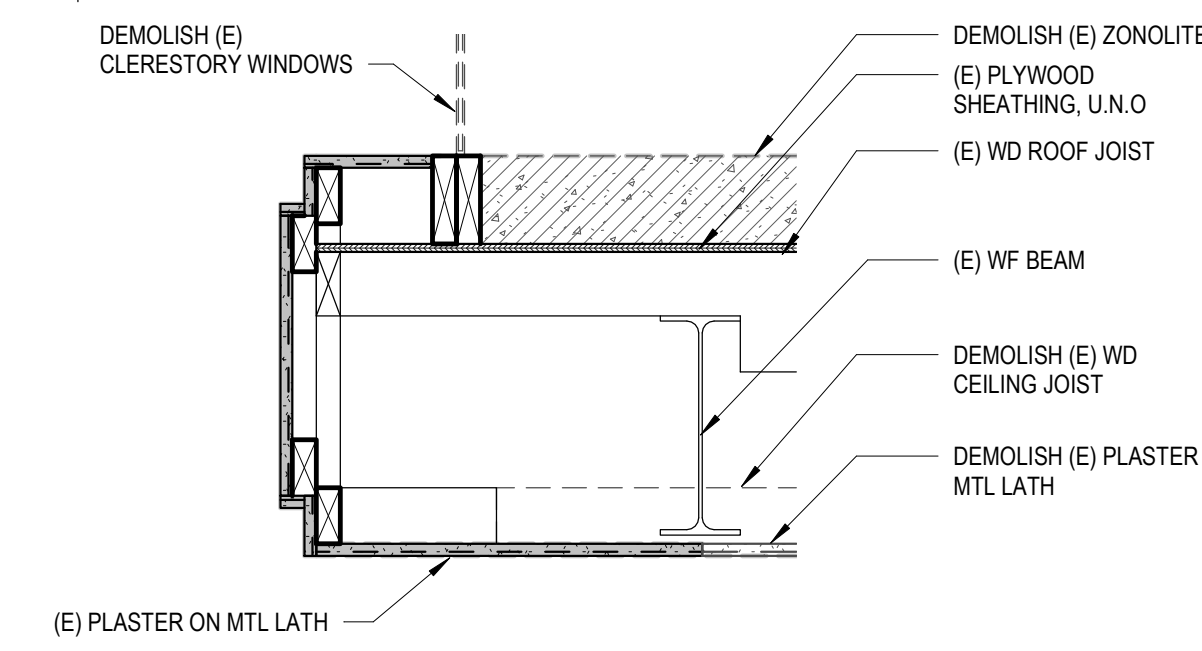
PROJECT TITLE:
ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010
DATE: 11-07-2024
SHEET TITLE:

FLOOR PLAN - MAIN LEVEL

SCALE: 1/8" = 1'-0"
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SHEET NOTES



2 TYPICAL DEMO SECTION @ CLERESTORY LOW ROOF
1" = 1'-0"

KEYNOTES

- 01.63 DEMOLISH (E) METAL CANOPY AND SUPPORT COLUMNS @ A.C UNITS
- 01.65 CONFIRM CLEARANCE AGAINST PROPOSED HVAC. PROVIDE ALLOWANCE FOR DEMOLITION
- 01.67 (E) ROOF HATCH TO BE DEMOLISHED
- 01.68 (E) ACCESS LADDER, TO REMAIN
- 01.69 DEMOLISH PORTION OF (E) ROOF FOR DUCT PENETRATIONS. SEE SHEET A210
- 02.32 (E) ROOF LADDER TO REMAIN IN PLACE
- 02.53 (E) FASCIA TO BE PRESERVED IN PLACE
- 07.63 (E) LOWER ROOF STRUCTURE AT BUILDING INTERIOR TO REMAIN. SEE A100 FOR DEMO RCP.

LEGEND

- (E) LIGHTWEIGHT INSULATING CONCRETE TO BE REMOVED DOWN TO (E) SUBSTRATE. (E) SUBSTRATE TO REMAIN UNLESS DAMAGED OR WATER LOGGED
- (E) GLAZING & FRAME/CHANNEL TO BE DEMOLISHED
- (E) ROOFING, INSULATION, SHEATHING, AND STRUCTURAL MEMBERS TO BE DEMOLISHED
- (E) ROOF DRAIN
- EXISTING PHOTO REFERENCE
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

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NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
2	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:

**ALTADENA MAIN
LIBRARY**

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

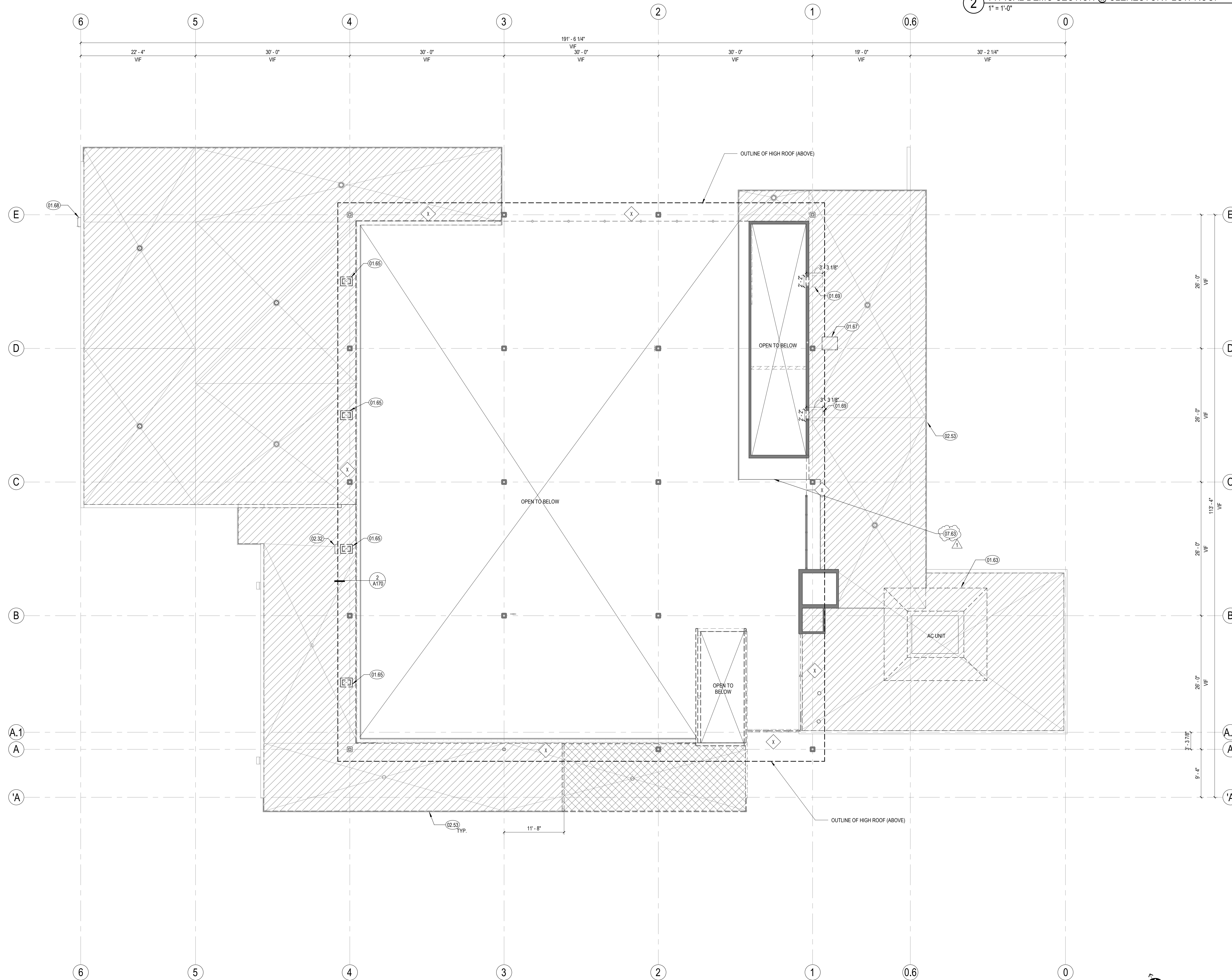
SHEET TITLE:

**DEMO ROOF PLAN -
LOW ROOF**

SCALE: As indicated

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A170



1 DEMOLITION PLAN - LOW ROOF
1/8" = 1'-0"



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SHEET NOTES

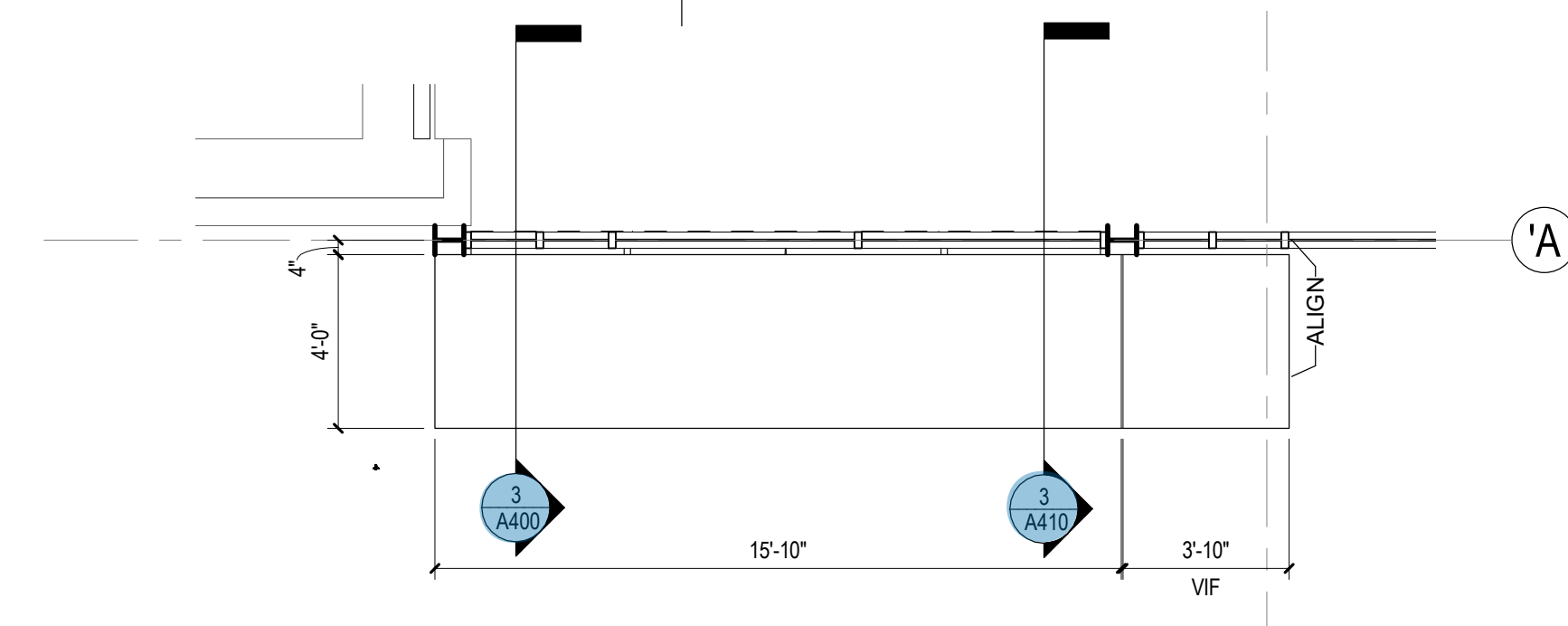
1. PARAPETS AND CURBS SHALL BE A MINIMUM OF 8 INCHES ABOVE THE FINISHED ROOF SURFACE (INCLUDING CRICKETS) TO THE BOTTOM OF THE LOWEST EDGE OF THE PARAPET CAP OR CURB.
2. SKYLIGHTS, HATCHES AND MECHANICAL EQUIPMENT SHALL BE INSTALLED ON CURBS WITH MINIMUM 8 INCH HEIGHT ABOVE THE ADJACENT ROOF SURFACE TO THE LOWEST EDGE OF THE CURB FLASHING FLANGE. FLASHING CAPS SHALL EXTEND DOWN TO COVER THE TOP OF THE ROOFING BY 4 INCHES MINIMUM.
3. ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE CAREFULLY COORDINATED WITH OTHER ROOF ELEMENTS SUCH AS SCREENS AND PARAPETS TO ENSURE ADEQUATE CLEARANCE FOR MAINTENANCE ACCESS AND VENTILATION. AVOID PLACING ROOF PENETRATIONS SUCH AS HATCHES OR UTILITY SERVICE PORTS LESS THAN 24 INCHES FROM PARAPETS OR ROOF EDGES.
4. ROOF PENETRATIONS SHALL BE SPACED A MINIMUM OF 12 INCHES APART CURB-TO-CURB, AND KEPT 24 INCHES AWAY FROM PARAPET WALLS IN ORDER TO PROVIDE CONSTRUCTION AND MAINTENANCE CLEARANCE FOR PENETRATION FLASHINGS.
5. FLASHING FLANGES SHALL BE WELDED TO DUCTWORK AND METAL PENETRATING ELEMENTS WHEREVER POSSIBLE AND SHALL NOT RELY ON 'DRAW-BAND' INSTALLATIONS.
6. CRICKETS TO BE BUILT UP WITH TAPERED RIGID INSULATION.
7. ROOF FINISH TO BE PVC MEMBRANE ROOFING.
8. PROVIDE 6" MIN. UN-WELDED SEAM AT DRAINAGE SIDE OF WALKWAYS AT SPACING PER MFR.
9. FOR TEMPORARY, PORTABLE, NON-PENETRATING FALL PROTECTION ACCESSORIES, SEE DETAIL.

KEYNOTES

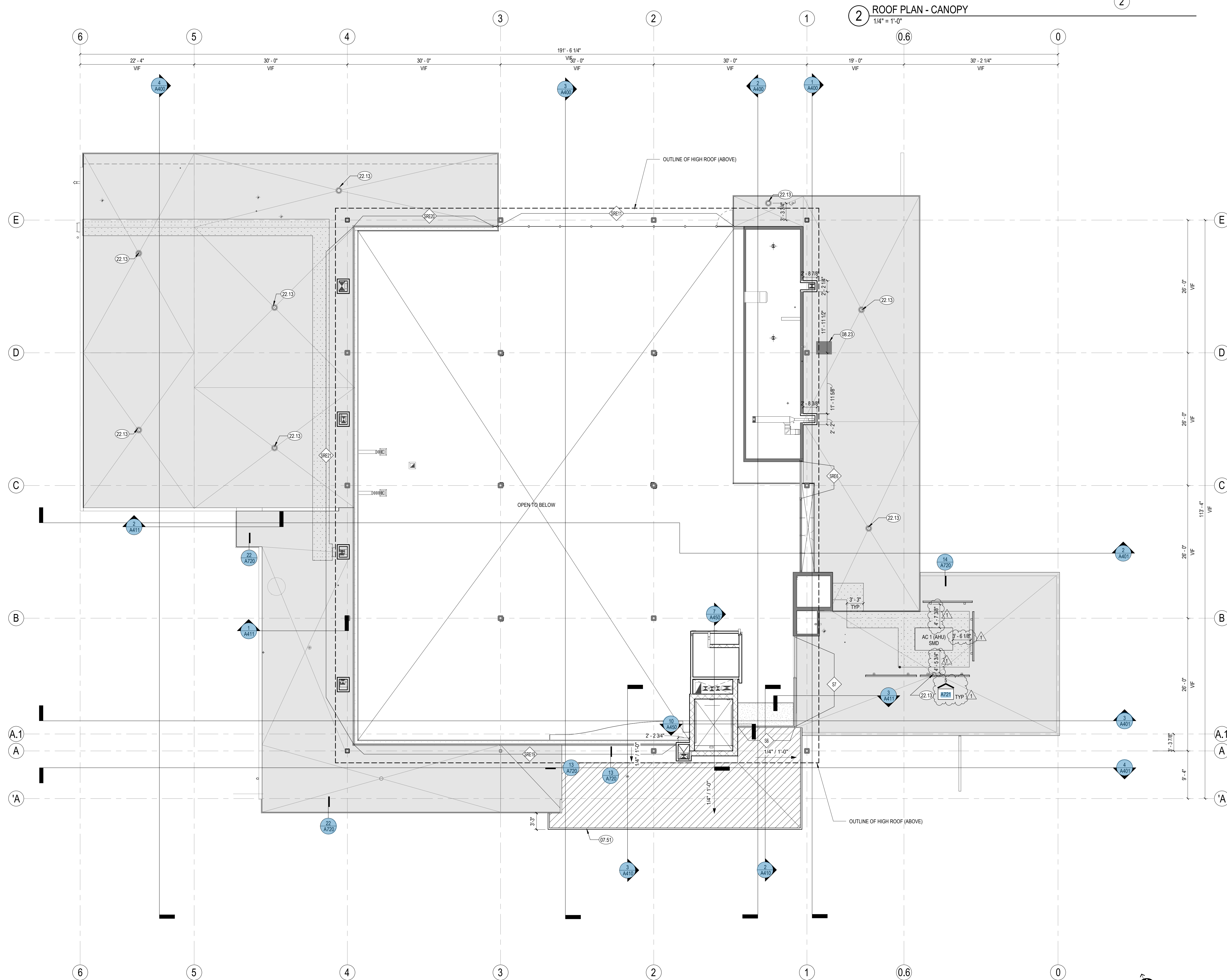
- 07.51 ROOF GUTTER, PAINTED.
- 08.23 REMOVE EXISTING ROOF ACCESS HATCH, SHEATH AND ROOF, PATCH BACK LOCATION WHERE DEMOLISHED
- 22.13 (E) ROOF DRAIN, VIF

LEGEND

- FOOTPRINT OF BUILDING BELOW
- ROOF ABOVE
- (E) ROOF AND LIGHTWEIGHT INSULATING CONCRETE TO BE REMOVED DOWN TO (E) SUBSTRATE AND RIGID INSULATION AND PVC ROOF TO BE INSTALLED ON (E) SUBSTRATE
- PVC ROOF OVER RIGID INSULATION OVER METAL DECK
- STOREFRONT TO REPLACE EXISTING (E) WINDOW IN KIND
- ROOF WALKWAY
- (E) SLOPED PLASTER ROOF OVERHANG AROUND SKYLIGHT
- (E) SLOPED PLASTER ROOF OVERHANG AROUND SKYLIGHT ABOVE (E) ROOF AND LIGHTWEIGHT INSULATING CONCRETE TO BE REMOVED DOWN TO (E) SUBSTRATE AND RIGID INSULATION AND PVC ROOF TO BE INSTALLED ON (E) SUBSTRATE



2 ROOF PLAN - CANOPY
1/4" = 1'-0"

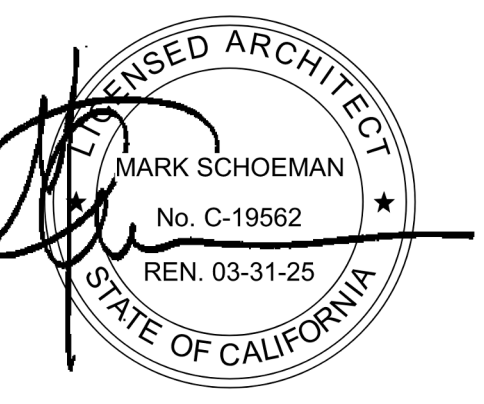


1 ROOF PLAN - LOW ROOF
1/8" = 1'-0"

BACKCHECK #1 BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO

STAMP



NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
1	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

SHEET TITLE:

ROOF PLAN - LOW ROOF

SCALE: As indicated

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A210



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NO. DATE REVISIONS

NO.	DATE	REVISIONS
1	06/24/2024	BUILDING PERMIT SUBMITTAL
1	11/06/2024	BACKCHECK #1 BLDG PERMIT SUBMITTAL

PROJECT TITLE:

ALTADENA MAIN
LIBRARY

600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010

DATE: 11-07-2024

SHEET TITLE:

ROOF PLAN - HIGH
ROOF

SCALE: As indicated

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A211

SHEET NOTES

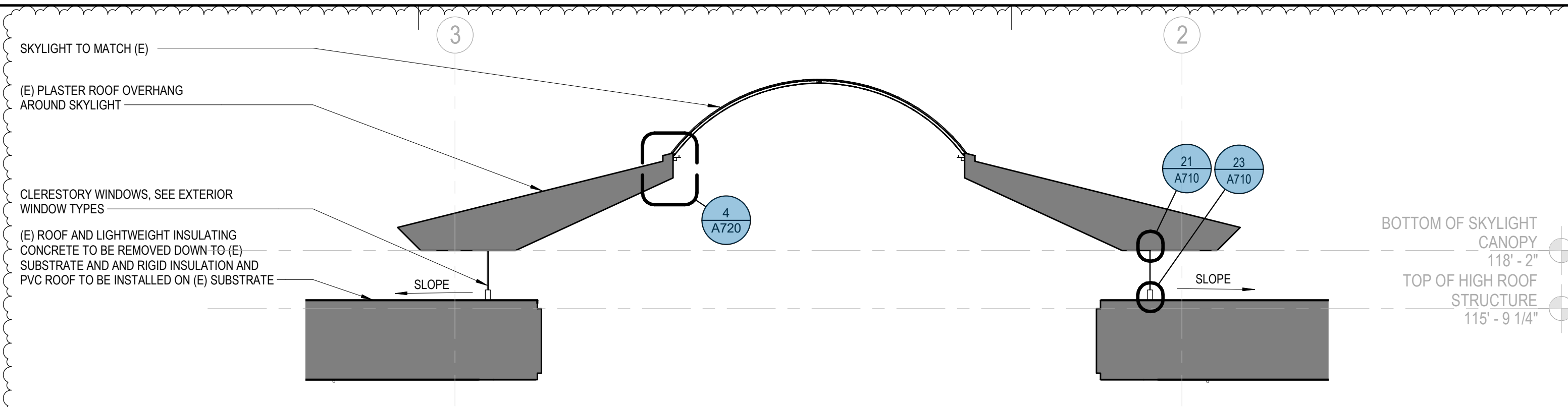
1. PARAPETS AND CURBS SHALL BE A MINIMUM OF 8 INCHES ABOVE THE FINISHED ROOF SURFACE (INCLUDING CRICKETS) TO THE BOTTOM OF THE LOWEST EDGE OF THE PARAPET GAP OR CURB.
2. SKYLIGHTS, HATCHES AND MECHANICAL EQUIPMENT SHALL BE INSTALLED ON CURBS WITH MINIMUM 8 INCH HEIGHT ABOVE THE ADJACENT ROOF SURFACE TO THE LOWEST EDGE OF THE CURB FLASHING FLANGE. FLASHING CAPS SHALL EXTEND DOWN TO COVER THE TOP OF THE ROOFING BY 4 INCHES MINIMUM.
3. ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE CAREFULLY COORDINATED WITH OTHER ROOF ELEMENTS SUCH AS SCREENS AND PARAPETS TO ENSURE ADEQUATE CLEARANCE FOR MAINTENANCE ACCESS AND VENTILATION. AVOID PLACING ROOF PENETRATIONS SUCH AS HATCHES OR UTILITY SERVICE PORTS LESS THAN 24 INCHES FROM PARAPETS OR ROOF EDGES.
4. ROOF PENETRATIONS SHALL BE SPACED A MINIMUM OF 12 INCHES APART CURB-TO-CURB, AND KEPT 24 INCHES AWAY FROM PARAPET WALLS IN ORDER TO PROVIDE CONSTRUCTION AND MAINTENANCE CLEARANCE FOR PENETRATING FLASHINGS.
5. FLASHING FLANGES SHALL BE WELDED TO DUCTWORK AND METAL PENETRATING ELEMENTS WHEREVER POSSIBLE AND SHALL NOT RELY ON "DRAW-BAND" INSTALLATIONS.
6. CRICKETS TO BE BUILT UP WITH TAPERED RIGID INSULATION.
7. ROOF FINISH TO BE PVC MEMBRANE ROOFING.
8. PROVIDE 6" MIN. LIN-WELDED SEAM AT DRAINAGE SIDE OF WALKWAYS AT SPACING PER MFR.
9. FOR TEMPORARY, PORTABLE, NON-PENETRATING FALL PROTECTION ACCESSORIES, SEE DETAIL.

KEYNOTES

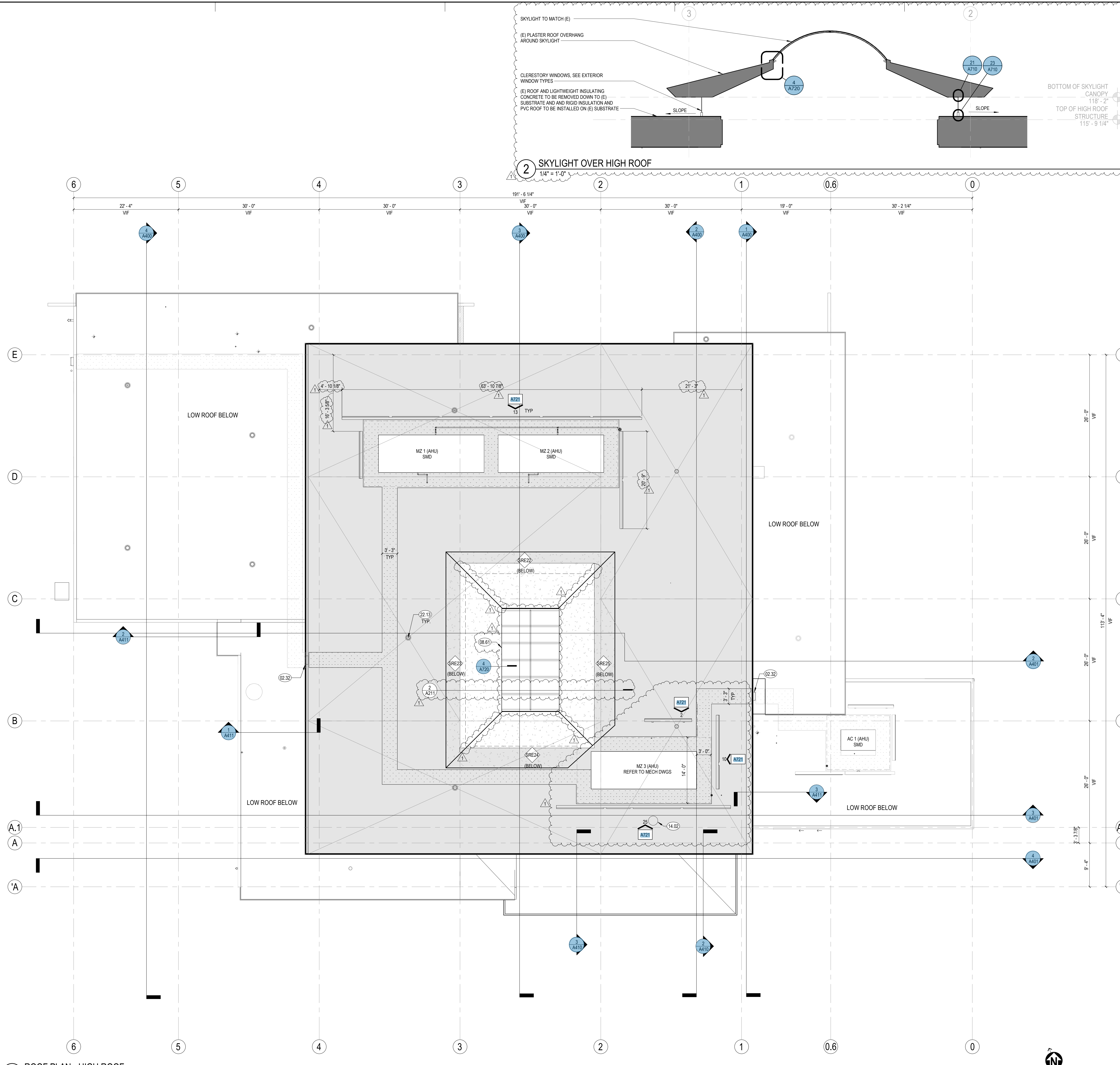
- 02.32 (E) ROOF LADDER TO REMAIN IN PLACE
- 08.61 SKYLIGHT TO MATCH (E)
- 14.02 "RELIEF" VENT
- 22.13 (E) ROOF DRAIN, VIF

LEGEND

- FOOTPRINT OF BUILDING BELOW
- ROOF ABOVE
- (E) ROOF AND LIGHTWEIGHT INSULATING CONCRETE TO BE REMOVED DOWN TO (E) SUBSTRATE AND RIGID INSULATION AND PVC ROOF TO BE INSTALLED ON (E) SUBSTRATE
- PVC ROOF OVER RIGID INSULATION OVER METAL DECK
- STOREFRONT TO REPLACE EXISTING (E) WINDOW IN KIND
- ROOF WALKWAY
- (E) SLOPED PLASTER ROOF OVERHANG AROUND SKYLIGHT
- (E) SLOPED PLASTER ROOF OVERHANG AROUND SKYLIGHT ABOVE (E) ROOF AND LIGHTWEIGHT INSULATING CONCRETE TO BE REMOVED DOWN TO (E) SUBSTRATE AND RIGID INSULATION AND PVC ROOF TO BE INSTALLED ON (E) SUBSTRATE

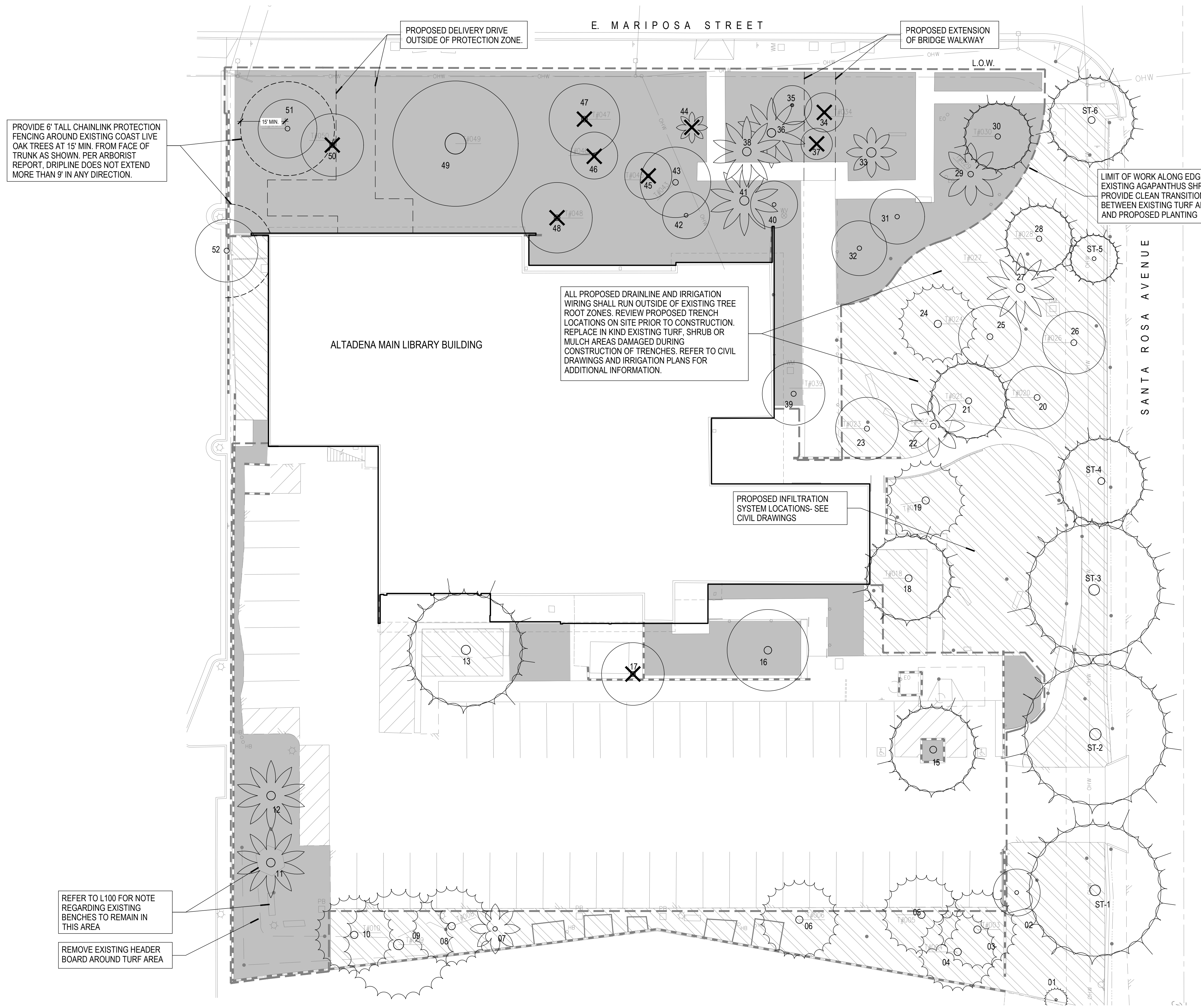


2 SKYLIGHT OVER HIGH ROOF
1/4" = 1'-0"



1 ROOF PLAN - HIGH ROOF
1/8" = 1'-0"

11/20/24 4:57:00 PM



PROVIDE 6' TALL CHAINLINK PROTECTION FENCING AROUND EXISTING COAST LIVE OAK TREES AT 15' MIN. FROM FACE OF TRUNK AS SHOWN. PER ARBORIST REPORT, DRIFLINE DOES NOT EXTEND MORE THAN 9' IN ANY DIRECTION.

ALL PROPOSED DRAINLINE AND IRRIGATION WIRING SHALL RUN OUTSIDE OF EXISTING TREE ROOT ZONES. REVIEW PROPOSED TRENCH LOCATIONS ON SITE PRIOR TO CONSTRUCTION. REPLACE IN KIND EXISTING TURF, SHRUB OR MULCH AREAS DAMAGED DURING CONSTRUCTION OF TRENCHES. REFER TO CIVIL DRAWINGS AND IRRIGATION PLANS FOR ADDITIONAL INFORMATION.

LIMIT OF WORK ALONG EDGE OF EXISTING AGAPANTHUS SHRUBS. PROVIDE CLEAN TRANSITION BETWEEN EXISTING TURF AREA AND PROPOSED PLANTING

REFER TO L100 FOR NOTE REGARDING EXISTING BENCHES TO REMAIN IN THIS AREA

REMOVE EXISTING HEADER BOARD AROUND TURF AREA

LANDSCAPE DEMOLITION LEGEND	
SYM.	DESCRIPTION
	EXISTING LANDSCAPE AREA TO REMAIN. PROTECT IN PLACE. MAINTAIN IRRIGATION DURING CONSTRUCTION THROUGH TEMPORARY ABOVE GROUND SYSTEM OR HAND WATERING. DO NOT DAMAGE EXISTING LANDSCAPE DURING CONSTRUCTION, OR PARK VEHICLES IN THIS AREA. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT IN KIND OF ALL PLANTING, IRRIGATION, OR UTILITY EQUIPMENT DAMAGED IN THIS AREA.
	EXISTING SHRUB AREA TO BE DEMOLISHED- CLEAR AND GRUB SO NO ORGANICS REMAIN. DO NOT DAMAGE ROOT STRUCTURE OF EXISTING TREES TO REMAIN.

TREE LEGEND		
SYMBOL	DESCRIPTION	QTY.
	EXISTING TREE TO BE REMOVED, GRIND STUMP.	9
	ALL TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED IN PLACE. PROVIDE TREE PROTECTION PER NOTES BELOW.	48

REFER TO SHEET L002 FOR ARBORIST REPORT

- TREE PROTECTION NOTES**
- THE GENERAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND LANDSCAPE ARCHITECT A CONSTRUCTION FENCING PLAN FOR REVIEW AND APPROVAL. THE LOCATION OF CONSTRUCTION FENCING SHALL PROHIBIT ANY EARTHWORK, STAGING, OR PARKING OF HEAVY EQUIPMENT WITHIN THE PROTECTED ROOT ZONE (PRZ) OF THE EXISTING TREES TO REMAIN, BOTH INSIDE AND OUTSIDE THE LIMITS OF WORK FOR SITE IMPROVEMENTS. TO CALCULATE THE PRZ, MEASURE THE TREE'S DIAMETER (DBH) 4.5 FEET ABOVE THE GROUND IN INCHES. FOR EACH INCH, PROVIDE ONE FOOT OF PROTECTED AREA FROM THE OUTSIDE FACE OF THE TRUNK. FOR EXAMPLE IF A TREE'S DBH IS TEN INCHES, ITS PROTECTED ROOT ZONE EXTENDS 10' FROM THE FACE OF TRUNK AROUND THE TREE. WITH A DIAMETER OF 20" 10'. SEE ARBORIST REPORT FOR DBH OF EXISTING TREES.
 - PROTECTIVE FENCING SHALL BE INSTALLED PRIOR TO ANY EARTHWORK AND UNTIL WORK IS COMPLETE. FENCING SHALL BE SIX FEET IN HEIGHT AND INSTALLED AT THE OUTER MOST EDGE OF THE CANOPY OR PROTECTED ROOT ZONE (PRZ) AT A MINIMUM. THE TEMPORARY FENCING SHALL BE CHAIN LINK FENCING OR OTHER APPROVED DURABLE MATERIAL. POST "TREE PROTECTION ZONE - KEEP OUT" SIGNS ON THE PRZ FENCING.
 - NO CONSTRUCTION OR STAGING EQUIPMENT IS ALLOWED WITHIN THE PROTECTED ROOT ZONE INCLUDING HEAVY EQUIPMENT THAT WILL COMPACT AND DAMAGE THE ROOTS.
 - NO DISPOSAL OF CONSTRUCTION MATERIALS OR BY PRODUCTS INCLUDING PAINT, PLASTER OR CHEMICAL SOLUTIONS IS ALLOWED WITHIN THE PROTECTED ROOT ZONE.
 - NATURAL OR PRE CONSTRUCTION GRADE SHALL BE MAINTAINED WITHIN THE TREE PROTECTION ZONE. AT NO TIME SHALL SOIL BE IN CONTACT WITH THE TREE TRUNK ABOVE THE ROOT FLARE.
 - ALL EXISTING TREES TO REMAIN WITHIN AND OUTSIDE OF THE LIMIT OF WORK SHALL BE WATERED AS REQUIRED DURING THE CONSTRUCTION PERIOD.
 - ANY WORK REQUIRED TO BE CONDUCTED IN THE GROUND WITHIN THE PRZ SHALL BE ACCOMPLISHED WITH AN AIR SPADE TO MAKE ROOTS VISIBLE AND USE OF HAND TOOLS.
 - PRUNING FOR CLEARANCE, IF NEEDED, SHALL BE DONE TO PREVENT DAMAGING BRANCHES WITH LARGE EQUIPMENT. ALL PRUNING SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS, INTERNATIONAL SOCIETY OF ARBORICULTURE OR ANSI A309, UNDER THE DIRECTION OF A CERTIFIED ARBORIST.
 - A CERTIFIED ARBORIST SHALL BE PRESENT IF MORE THAN 33% OF THE ROOT ZONE IS IMPACTED OR ROOTS GREATER THAN 2" OR WITHIN 5" OF THE TRUNK WILL BE CUT. TO ENSURE TREE STABILITY AND HEALTH CUTS SHOULD BE CLEAN AND MADE AT RIGHT ANGLES TO THE ROOTS. CUT ROOTS BACK TO A BRANCHING LATERAL.
 - PRUNING CUTS OR DAMAGED BARK SHALL BE CUT CLEAN TO HEAL. DO NOT USE TREE SEAL OR PAINT.
 - TRENCHES FOR PIPING OR UTILITIES SHALL NOT BE CONSTRUCTED WITHIN THE TREE PROTECTION ZONES BUT SHALL BE RE-ROUTED OR BORED UNDER TREES AT A MINIMUM OF 36" DEEP.
 - PROTECT SOIL AND ROOTS FROM COMPACTION IN LANDSCAPE AREAS USED FOR DRIVEWAYS, STORAGE OR PARKING WITH A LAYER OF GEOTEXTILE FABRIC AND 6" OF CRUSHED GRAVEL.

TREE REMOVAL LEGEND				
TREE #	SPECIES	DBH	H / W	REASON FOR REMOVAL
17	<i>Pistacia chinensis</i> Chinese Pistache	11.5"	20' X 20'	In addition to being in poor health and planted directly against the maintenance shed and two 6' walls, this tree obscures the new proposed south building entry.
34	<i>Arbutus marina</i> Strawberry Tree	13" @ 1ft. (multi trunked)	25' X 17'	This tree obscures the new proposed bridge pathway connection. Per the arborist report it also suffers from crowded branching, a stripped center, and poor callus tissue formation.
37	<i>Arbutus marina</i> Strawberry Tree	5" @ 3ft. (multi trunked)	15' X 7'	This tree obscures the new proposed bridge pathway connection. Per the arborist report it also suffers from decline, canker damage at base, and is a candidate for removal due to bad health.
44	<i>Phoenix canariensis</i> Canary Island Date Palm	3ft. 8T	5' X 15'	This is a very small tree with undesirable aesthetic impacts to the entry experience.
45	<i>Arbutus marina</i> Strawberry Tree	10" @ 1ft. (multi trunked)	20' X 17'	This tree obscures the new proposed north patio area. The arborist report mentions severe co-dominance and crowded branching.
46	<i>Arbutus marina</i> Strawberry Tree	8" @ 2ft. (multi trunked)	20' X 11'	This tree obscures the new proposed north patio area, and is a candidate for removal due to very poor health and structure.
47	<i>Jacaranda mimosifolia</i> Jacaranda	17"	40' X 25'	This tree has a severe lean of nearly 45 degrees and obscures the new proposed north patio area. In addition, the arborist report mentions exposed roots, poor trunk taper, and power line through canopy.
48	<i>Jacaranda mimosifolia</i> Jacaranda	15"	40' X 30'	Severely co dominant branches, circling roots, leaning south toward building, trunk buried. South canopy over structure, obscures development of North Patio
50	<i>Pittosporum tobira</i> Mock Orange	6", 8", 4", 6" (multi trunked)	20' X 14'	This tree obscures the path of the proposed Delivery drive.

EXISTING BOULDER NOTE
THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING BOULDERS ON SITE. WITHIN THE LIMITS OF WORK EXIST APPROXIMATELY 22 BLACK LAVA ROCK BOULDERS 36" DIA. IN SIZE. APPROXIMATELY 8 BOULDERS NEED TO BE RELOCATED WITHIN THE PROPOSED PLANTING AREA TO PROVIDE ROOM FOR PROPOSED HARDSCAPE OR TURF AREAS. RELOCATED BOULDERS TO BE BURIED 1/3 INTO SOIL.

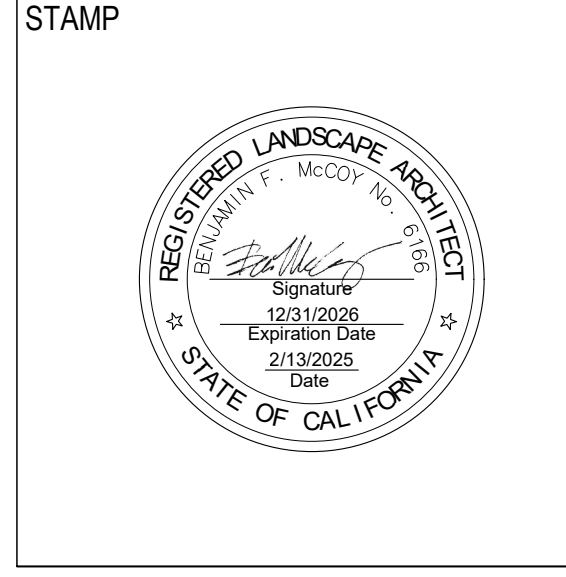


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PROPERTY OWNER
ALTADENA LIBRARY DISTRICT
600 E MARIPOSA STREET
ALTADENA, CA 91001
CONTACT: NIKKI WINSLOW
PHONE: (626) 798-0833

BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO
DEPARTMENT OF SPACE
SITE DESIGN STUDIO
Department of Space, Inc.
480 N Indian Hill Blvd, Suite 2B
Claremont, CA 91711
909-532-1460



NO.	DATE	REVISIONS
1	02/13/2025	RESUBMITTAL #1

PROJECT TITLE:
ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010
DATE: 02-13-25
SHEET TITLE:

LANDSCAPE AND TREE DEMOLITION PLAN

SCALE: AS SHOWN

0' 8' 16' 32'
SCALE: 1" = 16'-0"



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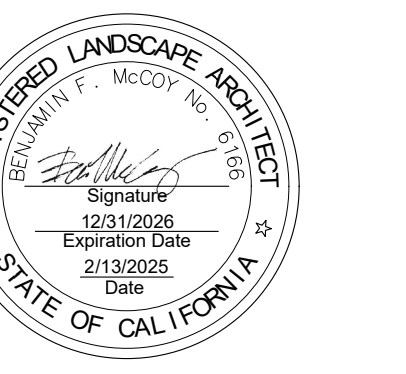
BULLETIN X

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DEPARTMENT OF SPACE SITE DESIGN STUDIO

Department of Space, Inc. 480 N Indian Hill Blvd, Suite 2B Claremont, CA 91711 909-532-1460

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NO. DATE REVISIONS

Table with 3 columns: NO., DATE, REVISIONS. Includes entries for Addendum 02, Addendum 03, Bulletin 01, and Bulletin X.

PROJECT TITLE:

ALTADENA MAIN LIBRARY

600 E MARIPOSA STREET ALTADENA, CA 91001

PROJECT NO. 2111010

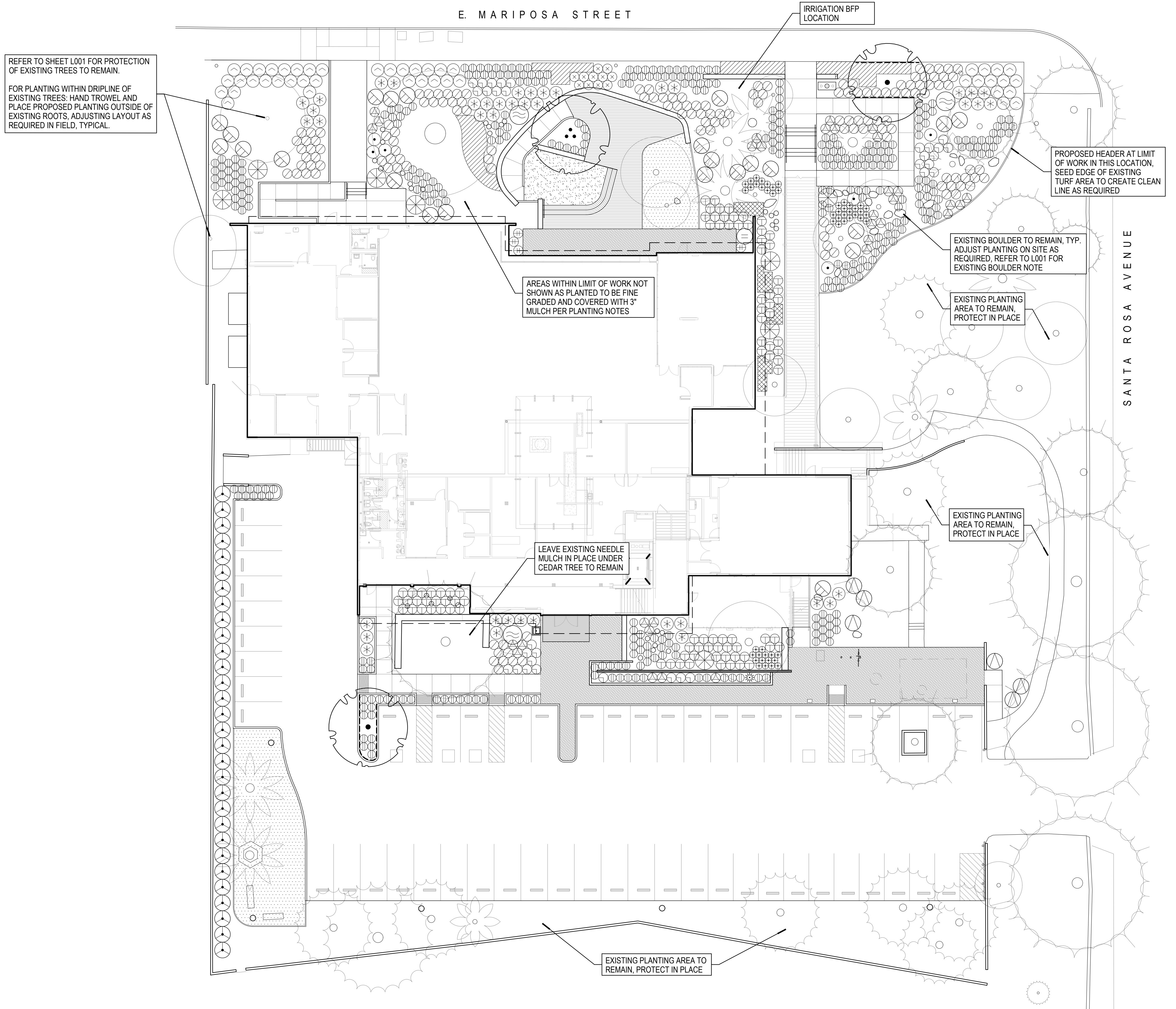
DATE: 01-12-26

SHEET TITLE:

PLANTING PLAN

SCALE: AS SHOWN

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TREE LEGEND table with columns: SYMBOL, BOTANIC NAME COMMON NAME, SIZE / FORM, WATER REQ., QTY, DETAIL. Lists Quercus agrifolia variants.

SHRUB AND GROUNDCOVER LEGEND table with columns: SYMBOL, BOTANIC NAME COMMON NAME, SIZE / SPACING, WATER REQ., QTY, DETAIL. Lists various shrubs like Achillea millefolium, Artemisia tridentata, etc.

TURF LEGEND table with columns: SYMBOL, ITEM, WATER REQ., QTY, DETAIL. Lists Marathon II Turf Sodded and Synthetic Turf.

LANDSCAPE MATERIAL LEGEND table with columns: SYMBOL, ITEM, QTY. Lists steel edging and deep root barrier.

CONSTRUCTION OBSERVATION table with columns: NO., DESCRIPTION. Lists site observation meeting requirements.

PLANTING NOTES section containing 20 numbered instructions regarding site preparation, soil, irrigation, and plant material handling.

REFER TO SHEET L001 FOR PROTECTION OF EXISTING TREES TO REMAIN. FOR PLANTING WITHIN DRIPLINE OF EXISTING TREES, HAND TROWEL AND PLACE PROPOSED PLANTING OUTSIDE OF EXISTING ROOTS, ADJUSTING LAYOUT AS REQUIRED IN FIELD, TYPICAL.

AREAS WITHIN LIMIT OF WORK NOT SHOWN AS PLANTED TO BE FINE GRADED AND COVERED WITH 3" MULCH PER PLANTING NOTES

LEAVE EXISTING NEEDLE MULCH IN PLACE UNDER CEDAR TREE TO REMAIN

IRRIGATION BFP LOCATION

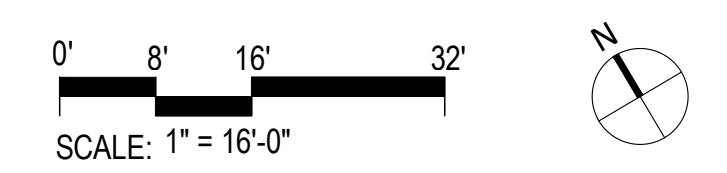
PROPOSED HEADER AT LIMIT OF WORK IN THIS LOCATION, SEED EDGE OF EXISTING TURF AREA TO CREATE CLEAN LINE AS REQUIRED

EXISTING BOULDER TO REMAIN, TYP. ADJUST PLANTING ON SITE AS REQUIRED. REFER TO L001 FOR EXISTING BOULDER NOTE

EXISTING PLANTING AREA TO REMAIN, PROTECT IN PLACE

EXISTING PLANTING AREA TO REMAIN, PROTECT IN PLACE

EXISTING PLANTING AREA TO REMAIN, PROTECT IN PLACE



ALTADENA LIBRARY DISTRICT
600 Mariposa Street Altadena CA 90110

#	Species	Common	DBH (in)	HxW	Health	Structure	N (')	W (')	S (')	E (')	Detail
1	<i>Cupressus sempervirens</i>	Italian Cypress	18.0	50x20	75	72	1	OP	OP	10	Storm damage, pruned for clearance, co-dominant main scaffold branches. Prune for structure if
2	<i>Pittosporum tobira</i>	Mock Orange	3.2,5, 2, 2, 3,5	18x20	78	75	10	10	10	10	Shrubs that have become trees
3	<i>Pinus canariensis</i>	Canary Island Pine	26.5	70x35	72	70	17	17	17	17	Crown raised to 25 ft. Epicormic growth, restructured after severe pruning event, foliage off color.
4	<i>Pinus canariensis</i>	Canary Island Pine	17.0	45x20	70	68	10	10	10	10	Monitor yearly - stimulate root and shoot growth with low salt fertilizer and water
5	<i>Pinus canariensis</i>	Canary Island Pine	23.0	70x30	73	72	15	15	15	15	Crown raised to 20 ft. co-dominant structure, foliage off color, epicormic shoots. Monitor yearly, stimulate root growth with fertigation. May be a candidate for removal -health
6	<i>Pinus canariensis</i>	Canary Island Pine	28.5	70x30	73	70	15	15	15	15	Crown raised to 25 ft. Epicormic growth, restructured after severe pruning event, foliage off color.
7	<i>Phoenix canariensis</i>	Canary Island Date Palm	14' BT	20 x 20	75	75	10	10	10	10	Monitor yearly - stimulate with low salt fertilizer and water
8	<i>Pinus canariensis</i>	Canary Island Pine	13.3	30x15	70	70	7	7	7	7	Crown raised to 25. Metal stake growing into tree, epicormic shoots, base of tree is swollen and sound hollow when struck with mallet. Advanced decay detection (sonic tomography) recommended.
9	<i>Pinus canariensis</i>	Canary Island Pine	40.5	60x50	75	80	30	25	20	12	20 live fronds, leaf bases shaped (wounds to trunk)
10	<i>Pinus canariensis</i>	Canary Island Pine	28.0	65x35	75	75	21	12	15	19	May be a candidate for removal - health. Suppressed by adjacent tree
11	<i>Phoenix canariensis</i>	Canary Island Date Palm	25 ft BT	30x15	85	85	7	7	7	7	Epicormic shoots, recovering from a hard prune, restructured. Foliage color good
12	<i>Phoenix canariensis</i>	Canary Island Date Palm	20 ft BT	25 x 15	90	85	7	7	7	7	40 live fronds, memorial bench underneath
13	<i>Cedrus deodara</i>	Deodar Cedar	32.5	55x60	75	72	30	30	20	25	North side of tree is over structure. Soil very dry, thinning canopy, dieback on W (heat damage?) woodpecker damage. Fertigation recommended to improve shoot and root growth
14	<i>Cedrus deodara</i>	Deodar Cedar	20.0	25x30	69	70	15	15	15	15	Dieback, in decline, poor new shoot growth, raised in small planter with limited root area. Candidate for removal - health.
15	<i>Cedrus deodara</i>	Deodar Cedar	14.5	35x25	85	85	12	12	12	12	Circling roots, in small planter which it may eventually outgrow. Treat as potted. Water and fertilize
16	<i>Afrocarpus falcata</i>	African Fern Pine	24.8	35x30	80	80	17	18	17	17	In main planter near rear entry, rounded and raised.
17	<i>Pistacia chinensis</i>	Chinese Pistache	11.5	20x20	72	70	10	10	15	10	Suppressed. Adjacent to shed by rear. May need to be removed to construct new entry
18	<i>Cedrus deodara</i>	Deodar Cedar	27.3	55x32	75	75	11	19	21	25	Crown raised to 25 ft. pruned hard and restructured, epicormic shoots
19	<i>Pinus canariensis</i>	Canary Island Pine	43.0	70x20	75	70	23	19	17	22	Crown raised, pruned hard and restructured, epicormic shoots, woodpecker holes
20	<i>Cupaniopsis anacardioides</i>	Carrotwood	11.5	20x20	75	70	9	9	9	9	Rounded over, center stripped, reduced. Candidate for removal - aesthetic
21	<i>Cedrus deodara</i>	Deodar Cedar	13.0	35x25	78	78	12.5	13	13	13	Julius Shulman memorial tree with plaque, cleared to 8 ft from grade, top broken, new top establishing
22	<i>Washingtonia filifera</i>	California fan palm	27 ft BT	40x10	72	70	5	5	5	5	Pencil, hourglass thinning, spike wounds mechanical damage, woodpecker nests? Remove - health?
23	<i>Heptapleurum calyptrotum</i>	Tupidanthus	3.5, 4,3,6,6,5,5	15 x 20	75	72	7	10	12	11	Clump next to main library entry
24	<i>Pinus canariensis</i>	Canary Island Pine	40.0	55x35	75	75	18	15	18	16	Rounded and stubbed in previous hard pruning event, restructured, epicormic shoots, new shoot growth OK, monitor yearly for new growth, Water and fertilize. Removal candidate - aesthetic
25	<i>Cupaniopsis anacardioides</i>	Carrotwood	9.5	30x25	75	70	10	9	8	10	Rounded over, center stripped, reduced. Candidate for removal - aesthetic
26	<i>Cupaniopsis anacardioides</i>	Carrotwood	8.0	25x25	75	70	11	8	10	9	Rounded over, center stripped, reduced. Candidate for removal - aesthetic
27	<i>Phoenix canariensis</i>	Canary Island Date Palm	40 ft BT	45 x15	78	75	7	7	7	7	Pencil, air roots, 40 live fronds, nests
28	<i>Pinus canariensis</i>	Canary Island Pine	18.0	50x20	75	75	9	8	14	10	Epicormic shoots. Candidate for removal - aesthetic
29	<i>Phoenix canariensis</i>	Canary Island Date Palm	20 ft BT	30 x 20	85	85	10	10	10	10	20 live fronds, growing at an angle on rocks
30	<i>Pinus canariensis</i>	Canary Island Pine	17.0	45x25	85	85	12	9	9	10	Healthy new growth
31	<i>Pistacia chinensis</i>	Chinese Pistache	7.5	15x20	75	75	7	7	7	7	5 Rounded over, 5 degree lean NW
32	<i>Pistacia chinensis</i>	Chinese Pistache	7.5	15x20	75	75	7	7	7	7	Rounded over, shortened
33	<i>Washingtonia robusta</i>	Mexican Fan Palm	30 ft BT	35x12	75	75	6	6	6	6	May be candidate for removal - aesthetic
34	<i>Arbutus marina</i>	Strawberry Tree	13 @1 ft	25x17	75	75	9	8	8	8	Crowded branching, center stripped, poor callus tissue formation
35	<i>Arbutus marina</i>	Strawberry Tree	9 @2ft	20x14	72	73	7	6	7	7	Mechanical damage to cambium layer, circling roots, crowded branches, seam of damage on bark,
36	<i>Phoenix canariensis</i>	Canary Island Date Palm	20 ft BT	20x20	78	78	10	10	10	10	Seedling trees in leaf bases on lower trunk where it is wet by sprinklers. Remove spray from trunk
37	<i>Arbutus marina</i>	Strawberry Tree	5 @ 3ft	15x7	70	70	0	4	4	3	Declining, canker damage at base. Candidate for removal - health
38	<i>Phoenix canariensis</i>	Canary Island Date Palm	35 ft BT	40x15	72	73	7	7	7	7	Signs of dieback in fronds, monitor for pink rot, remove sprinklers spray from trunk

ALTADENA LIBRARY DISTRICT
600 Mariposa Street Altadena CA 90110

#	Species	Common	DBH (in)	HxW	Health	Structure	N (')	W (')	S (')	E (')	Detail
39	<i>Heptapleurum calyptrotum</i>	Tupidanthus	5,5,7,9,5, 9	33x12	85	75	6	0	6	8	Near wall front planter facing Mariposa near building
40	<i>Pistacia chinensis</i>	Chinese Pistache	7.5	20x13	80	75	6	6	6	7	Symmetrical, dominant, near front entry walk from Mariposa
41	<i>Phoenix canariensis</i>	Canary Island Date Palm	20 ft BT	30x20	90	90	10	10	10	10	Near sidewalk, remove sprinkler spray from trunk, seedling acorns growing on tree
42	<i>Arbutus marina</i>	Strawberry Tree	13 @2 ft	25x15	80	75	6	8	12	9	Suppressed, shortened, hummingbird feeder in tree
43	<i>Jacaranda mimosifolia</i>	Jacaranda	17.0	40x25	72	72	10	27	23	9	Co-dominant scaffolds, restructured after hard pruning, needs continued restructuring
44	<i>Phoenix canariensis</i>	Canary Island Date Palm	3ft BT	5x15	90	90	7	7	7	7	Too close to sidewalk? Young tree. Relocate? Awkward location
45	<i>Arbutus marina</i>	Strawberry Tree	10 @ 1 ft	20x17	80	70	9	10	7.5	7	Severely co-dominant, crowded branches, remove ivy. Prune for structure over time
46	<i>Arbutus marina</i>	Strawberry Tree	8 @ 2ft	20x11	70	70	5	5	4	7.5	Structural crack in main trunk. Candidate for removal - health/structure
47	<i>Jacaranda mimosifolia</i>	Jacaranda	17.0	40x24	75	73	12.5	12	10	24	Exposed roots, lean, poor trunk taper, power line through canopy. Removal candidate - aesthetic
48	<i>Jacaranda mimosifolia</i>	Jacaranda	15.0	40x30	75	73	5	9	21	13	Severely co dominant branches, circling roots, leaning S, trunk buried, South canopy over structure
49	<i>Olea europaea</i>	Olive	10,8,13,9,17,25	35x45	90	75	24	24	21	19	Remove water spray on trunk, hole and decay on lower branch on NE, interior foliage stripped, Monitor yearly
50	<i>Pittosporum tobira</i>	Mock Orange	6,8,4,6	20x14	72	74	7.5	12	11	12	Canker on inside branch. Slow moving disease. Sterilize tools
51	<i>Quercus agrifolia</i>	Coast live oak	9.0	30x11	85	72	8	5.5	5.5	9	Poor taper, center stripped, string on trunk, prune for structure? Remove for new driveway?
52	<i>Quercus agrifolia</i>	Coast live oak	12 @1.5 ft	30x16	90	70	9	Oppl	7	9	Growing in fence, Remove for new driveway? Not a good relocation candidate
St-1	<i>Cedrus deodara</i>	Deodar Cedar	38.0	60x50	75	75	24	21	26	26	Possible root damage on S, crown raised to 18 ft., stub cuts, circling root 1" in diameter could be cut. Lights and rigging in canopy
St-2	<i>Cedrus deodara</i>	Deodar Cedar	53.0	70x60	80	73	30	30	30	30	Severely co-dominant structure, potential for branch failure from weak attachment. Circling roots. Decay can be seen in lower scaffold branch. Driveway 10ft S, Walkway 15 ft W, Street on E. Lights and rigging in canopy
St-3	<i>Cedrus deodara</i>	Deodar Cedar	40.0	70x50	80	75	25	25	25	25	Circling roots, root uplift on sidewalk that has been patched, lights and rigging in canopy
St-4	<i>Cedrus deodara</i>	Deodar Cedar	33.5	70x34	80	80	17	17	17	17	Co-dominant scaffolds, lights and rigging
St-5	<i>Cedrus deodara</i>	Deodar Cedar	2.0	15x15	95	95	7	7	7	7	Young healthy tree
St-6	<i>Cedrus deodara</i>	Deodar Cedar	15.0	40x30	80	80	16	13	14	15	Trunk has bulging that may be decay, further testing is recommended, rigging and lights in tree



ANDERSON BRULÉ ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
408 298 1885 | www.aba-arch.com
408 Harvard Avenue, Suite 201
Claremont, CA 91711

PROPERTY OWNER
ALTADENA LIBRARY DISTRICT
600 E MARIPOSA STREET
ALTADENA, CA 91001
CONTACT: NIKKI WINSLOW
PHONE: (626) 798-0833

BUILDING PERMIT SUBMITTAL

CONSULTANTS LOGO
DEPARTMENT OF SPACE
SITE DESIGN STUDIO
Department of Space, Inc.
480 N Indian Hill Blvd, Suite 2B
Claremont, CA 91711
909-532-1460

STAMP
REGISTERED LANDSCAPE ARCHITECT
Signature
12/13/2005
2/13/2025
Date
STATE OF CALIFORNIA

NO.	DATE	REVISIONS
1	02/13/2025	RESUBMITTAL #1

PROJECT TITLE:
ALTADENA MAIN LIBRARY
600 E MARIPOSA STREET
ALTADENA, CA 91001

PROJECT NO. 2111010
DATE: 02-13-25

SHEET TITLE:
ARBORIST REPORT

SCALE: AS SHOWN

ARBORIST REPORT IS FOR REFERENCE ONLY, AND RECOMMENDATIONS SHOWN ARE PRELIMINARY. SEE SHEET L001 FOR TREE REMOVAL AND PROTECTION

EXHIBIT B



PROJECT NUMBER PRJ2023-000474-(5)
HEARING DATE April 22, 2026
REQUESTED ENTITLEMENT(S)
Conditional Use Permit (“CUP”) No. RPPL2023000666
Oak Tree Permit (“OTP”) No. RPPL2025003986
Environmental Assessment No. RPPL2024005464

PROJECT SUMMARY

OWNER / APPLICANT
Altadena Library District

MAP/EXHIBIT DATE
Feb 2026

PROJECT OVERVIEW

Request for a CUP to authorize the continued use and operation of an existing public library (Altadena Main Library), in conjunction with proposed renovations and expansion of the existing facility. Proposed improvements include approximately 700 square feet of new building footprint, new outdoor functional spaces, interior space reconfiguration, seismic retrofit, structural repairs, replacement of aging infrastructure, technological upgrades, and new plantings and irrigation to outdoor spaces. OTP to authorize encroachment into the protected zone of two non-heritage-sized Coast Live oak trees, identified as Tree #51 and Tree #52, associated with the proposed landscaping, utility undergrounding, and infrastructure improvements.

LOCATION

600 East Mariposa Street, Altadena

ACCESS

East Mariposa Street

ASSESSORS PARCEL NUMBER(S)

5840-010-900

SITE AREA

1.72 Acre

GENERAL PLAN / LOCAL PLAN

General Plan/Altadena Community Plan¹

ZONED DISTRICT

Altadena

PLANNING AREA

West San Gabriel Valley

LAND USE DESIGNATION

I (Institutions)

ZONE

R-1-10,000 (Single-Family Residence - 10,000 Square Feet Minimum Required Lot Area)

PROPOSED UNITS

N/A

MAX DENSITY/UNITS

N/A

COMMUNITY STANDARDS DISTRICT (CSD)

Altadena

ENVIRONMENTAL DETERMINATION (CEQA)

Environmental Impact Report (State Clearinghouse No. 2024120781): The Project would result in significant adverse impacts to the environment related to cultural resources, specifically on a historical resource. A Statement of Overriding Considerations is required to allow the approval of the Project in light of the identified remaining significant and unavoidable impacts, since the benefits and value of the Project outweigh the remaining significant impacts of the Project after implementation of all feasible mitigation.

KEY ISSUES

- Consistency with the General Plan and Altadena Community Plan.
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section [22.158.050](#) (Conditional Use Permits Findings and Decision)
 - Section Chapter [22.306](#) (Altadena CSD)
 - Chapter [22.110](#) (General Site Regulations)

CASE PLANNER:

Jolee Hui

PHONE NUMBER:

(213) 893-7011

E-MAIL ADDRESS:

jhui@planning.lacounty.gov

¹ The Altadena Community Plan, adopted on July 10, 1986, was applicable at the time this application was deemed complete. The WSGVAP was adopted on March 11, 2025 and pursuant to Section 22.246.020 (Applicability of Zone Changes and Ordinance Amendments), this Project is subject to the zoning and regulations that were applicable to the Project prior to the adoption of the WSGVAP.

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
DRAFT FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
PROJECT NO. PRJ2023-00474-(5)
CONDITIONAL USE PERMIT NO. RPPL2023000666
OAK TREE PERMIT NO. RPPL2025003986

RECITALS

1. **HEARING DATE(S).** The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly noticed public hearing on April 22, 2026, in the matter of Project No. **PRJ2023-00474-(5)**, consisting of Conditional Use Permit (“CUP”) No. RPPL2023000666, Oak Tree Permit (“OTP”) No. RPPL2025003986. The CUP and OTP are referred to collectively as the “Project Permits.”)
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT REQUESTED.** The permittee, Altadena Library District (“Permittee”), requests a CUP to authorize the continued use and operation of an existing public library (Altadena Main Library) in conjunction with the proposed renovation and expansion of the existing facility in the R-1-10,000 (Single-Family Residence – 10,000 Square Feet Minimum Required Lot Area) Zone pursuant to Los Angeles County (“County”) Code Section 22.18.030.C (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4 and R-5).
4. **ENTITLEMENT REQUESTED.** The Permittee also requests an OTP to authorize encroachment into the protected zone of two non-heritage-sized oak trees associated with the proposed landscaping, utility undergrounding, and infrastructure improvements of the existing public library pursuant to County Code Section 22.174.030 (Oak Tree Permits, Applicability).
5. **LOCATION.** The Project is located at 600 E. Mariposa Street, Assessor’s Parcel Number 5840-010-900, (“Project Site”) in the community of Altadena.
6. **PREVIOUS ENTITLEMENT(S).** Zoning Exception Case (“ZEC”) No. 6827, approved by the Commission on June 25, 1963, authorized the construction and operation of the Altadena Main Library. Pursuant to County Code Section 22.246.020.D.3 (Legislative Provisions – Zone Exception), a ZEC approved prior to November 5, 1971 by the Commission shall be deemed a CUP.

ZEC No. 6827 approval included a 53-car off-street parking concept proposal, which exceeded the parking regulations in effect at the time. Subsequent Revised Exhibit “A” approvals to the ZEC No. 6827, issued on July 14, 1966 and August 17, 1967, established the landscaping, signage, and parking development of 50 stalls at the Project Site.

7. **LAND USE DESIGNATION.** The Project Site is located within the I (Institutions) land use category of the Altadena Community Plan (“Community Plan”) Land Use Policy Map, a component of the General Plan. The Community Plan, adopted on July 10, 1986, was applicable at the time this Project application was deemed complete on May 17, 2024. Pursuant to Section 22.246.020 (Applicability of Zone Changes and Ordinance Amendments), this Project is subject to the zoning and regulations that were applicable to the Project prior to the adoption of the West San Gabriel Valley Area Plan on March 11, 2025.
8. **ZONING.** The Project Site is currently zoned R-1-10,000. A CUP is required for the continued use and expansion of the existing library pursuant to County Code Section 22.18.030.C (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4 and R-4).

9. SURROUNDING LAND USES AND ZONING

LOCATION	COMMUNITY PLAN LAND USE POLICY¹	ZONING	EXISTING USES
NORTH	LD (Low Density Residential - 1 to 6 dwelling units per gross acre)	R-1-10,000, R-1-7,500 (Single-Family Residence - 7,500 Square Feet Minimum Required Lot Area)	Girl’s Scout camp, single-family residences
EAST	LD	R-1-10,000, R-1-8,000 (Single-Family Residence- 8,000 Square Feet Minimum Required Lot Area)	Senior center, single-family residences
SOUTH	LD	R-1-10,000	Single-family residences, private school
WEST	LD	R-1-10,000	Single-family residences

10. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is 1.72 acre in size and consists of one legal lot. The Project Site is square in shape with gentle-sloping topography and is developed with a two-story building consisting of three intersecting levels and approximately 22,220 square

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feet of floor area. Toward the north the building is a garden setting (fronting Mariposa Street) with a wooden footbridge that leads to the main entrance. Two non-heritage-sized oak trees are located near the northeast corner of the Project Site. A surface parking lot consisting of 50 spaces is located immediately south of the building.

B. Site Access

The Project Site is accessible via Mariposa Street, a 85-foot-wide public right-of-way to the north, and Santa Rosa Avenue, a 75-foot-way public right-of-way to the west. Primary vehicular access to the Project Site is via a driveway cut on Santa Rosa Avenue. Pedestrian access to the Project Site is provided via an entrance/exit on both Mariposa Street and Santa Rosa Avenue through wooden footbridges and concrete pathways. The library's main level is accessible from Mariposa Avenue by a wooden footbridge. Located six feet below the main level, there is a mid-level (still part of the main floor) including an entrance lobby (accessed from the south parking lot via stairs). A partial lower level, which sits at grade on the south side, is accessible from the parking lot.

C. Site Plan

The site plan depicts the Altadena Main Library building that will remain largely intact except for an approximately 700-square-foot addition to the existing building footprint. The footprint increase is attributed to the 155-square-foot new entry/lobby addition and a new deck area (approximately 530 square feet) adjacent to the existing community room. In sum, the facility modifications and additions include the following: (1) New entry/lobby with direct access from the surface parking lot; (2) New deck, which is adjacent to the existing community room; (3) New reading court; (4) New staff delivery; (5) New three-foot-tall statement entry sign block wall with steel letters fronting Mariposa Street; (6) New access ramp; (7) New stairs; (8) New loading zone; (9) Re-surfaced and re-striped parking lot (total 52 spaces, including three Americans with Disabilities Act ("ADA"), one combined ADA and electric vehicle ("EV") charging space and three EV charging spaces); and (10) Refurbished existing foot bridges accessible from Mariposa Street.

D. Building Improvements and Site Upgrades

Other planned health and safety upgrades as well as modernization and infrastructure improvements include the following:

- Reconfiguration of interior space to maximize space efficiency and improved user experience, including better wayfinding and greater connectivity between indoor and outdoor space.
- Access improvements to meet requirements of ADA and to improve accessibility for all user groups (e.g., parents with baby strollers).
- Health and safety upgrades covering seismic retrofit, structural repair, asbestos abatement and modern fire detection/suppression.
- Replacement of aging building infrastructure to address mechanical (elevator and heating, ventilation, and air conditioning [HVAC]), plumbing

- (including additional and accessible restrooms), energy efficiency, and electrical elements of the facility.
- Additional improvements covering modernized Audio Visual (AV) spaces with newer technology, updated communications infrastructure, and structured cabling.
 - Upgrades to plantings and irrigation and adding outdoor functional spaces, including voluntary planting of two oak trees along Mariposa Street and one oak tree within the parking lot.
 - Upgrades to landscaping and irrigation, and addition of outdoor functional spaces, including voluntary planting of two oak trees along Mariposa Street.
 - Wayfinding signage and new 12-inch-high stainless steel letters (“Altadena Main Library” identification signage) mounted to existing south concrete masonry unit (“CMU”) wall.

The proposed utility undergrounding will encroach into the protected zone of two non-heritage-sized oak trees, identified as Tree #51 and Tree #52, in the oak tree reports prepared by Rebecca Latta, Consulting Arborist, dated December 11, 2025 and January 20, 2026. As part of the Project’s landscaping proposal, a total of three oak trees will be voluntarily planted. Two oaks are proposed north of the library building, facing Mariposa Street, and one oak will be located within the surface parking lot.

E. Parking

The Project Site currently has 50 parking spaces including one ADA compliant space. After parking re-surfacing and re-stripping work, the proposed Project will provide a total of 52 parking spaces - three ADA compliant spaces, one combined ADA and EV space, and three of which will be EV spaces.

11. CEQA DETERMINATION.

A Draft Environmental Impact Report (“Draft EIR”) was prepared, which evaluated the potential project-specific and cumulative environmental impacts of the Project. Prior to the preparation of the Draft EIR, the County published the Notice of Preparation (“NOP”) and released the Initial Study for public review and comments from public agencies, interested parties, and the general public regarding the scope of the environmental analysis. During the NOP public comment period, which was from December 9, 2024 to January 21, 2025, the County received a total of six comments, and these comments were subsequently addressed in the Draft EIR.

Environmental resource areas found to have no impact or less than significant impact determinations in the Initial Study and that required no further environmental review in the Draft EIR are as follows: Aesthetics, Agriculture and Forestry Resources, Energy, Geology and Soils, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Population and Housing, Recreation, Public Services, Transportation, Utilities and Service Systems, and Wildfire.

On September 25, 2025, the Draft EIR was circulated for public comments along with the publication of the Notice of Completion/Availability notifying agencies, interested parties, and the general public that the Draft EIR was available for review. Comments were accepted between September 25, 2025, and November 25, 2025 and a total of seven public comments were received for the Draft EIR. These comments subsequently documented and addressed in the Final EIR, prepared in accordance with section 15089 and 15132 of the State CEQA Guidelines.

As documented in the Draft EIR, the topical areas found to have less than significant impact or less than significant impact after mitigation include: Air Quality, Biological Resources, Cultural Resources, Greenhouse Gas Emissions, Noise, and Tribal Cultural Resources.

The Draft EIR has identified the following project design features and mitigation measures (see Mitigation Monitoring and Reporting Program for full text) to minimize, avoid, or reduce the potential environmental effects.

Project Design Features:

- Biological Resources, PDF-1: Nesting bird Surveys if construction starts during avian nesting season
- Geology and Soil, PDF-2: Implementation of the Low Impact Development (LID) standards to avoid adverse effects of construction and post-development run-offs on storm water quality and quantity.

Mitigation Measures:

- Biological Resources, BIO-1: Tree Survey, Protection, and Maintenance.
- Cultural Resources, CUL-1: Require the completion of Historic American Buildings Survey-like Documentation prior to commencement of demolition.
- Cultural Resources, CUL-2: Require coordination with architect historian prior to the commencement of demolition to develop a list of materials that would be salvaged during demolition and a salvage plan.
- Tribal Cultural Resources, TCR-1: Retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities.
- Tribal Cultural Resources, TCR-2: Cease construction activities in an event of unanticipated discovery of tribal cultural resource Objects (Non-Funerary/Non-Ceremonial).
- Tribal Cultural Resources, TCR-3: Follow applicable regulations and best practices in the event of unanticipated discovery of human remains and associated funerary or ceremonial objects.

Despite the incorporation of mitigation measures, environmental effects to cultural resources as it relates to a historical resource defined by CEQA Statute and Guidelines section 15064.5 remain significant and unavoidable. This determination was largely attributed to the proposed work activities affecting the character-defining features of

the Altadena Main Library and the Project's inability to meet all Secretary of the Interior ("SOI") Standards for Rehabilitation Assessment. Consequently, the Altadena Main Library would likely no longer retain the historic integrity required for eligibility in the National Register of Historic Places, California Register of Historical Resources, or County Landmark designation because the Project would remove or alter several character-defining features, resulting in a loss of integrity of design, materials, workmanship, and feeling.

A separate Findings of Fact ("CEQA Findings") and Statement of Overriding Considerations ("SOC") are required to allow the approval of the Project in light of the above-identified remaining significant and unavoidable impacts. The CEQA Findings and SOC affirm that the benefits and value of the Project outweigh the remaining significant impacts of the Project after all feasible mitigation has been implemented. The benefits of the Project include, but are not limited to, upgrading the facility to current health, safety, and accessibility standards in addition to improving a community library facility for current Altadena residents and future generations while preserving its historic Mid-Century Modern architecture to the greatest extent feasible. These, and other project features beyond those that are required, which are more fully described in the CEQA Findings and SOC, provide benefits supporting the determination that the benefits of the Project outweigh the Project's remaining significant and unavoidable impacts.

12. COMMUNITY OUTREACH. The Altadena Library District has conducted extensive community outreach from August 2021 to January 2026. Notable outreach efforts include seven Community Focus Group meetings to solicit feedback and input, two town hall meetings on project design, regular updates at the Altadena Town Council meetings, and promotional boards and survey displayed at Altadena Library and Bob Lucas Library.

13. PUBLIC COMMENTS. The Altadena Town Council submitted a letter of support dated January 25, 2026. There were no additional public comments received at the time of report preparation, aside from the public comments received as part of the earlier CEQA review process (i.e., NOP and Draft EIR public comment periods), which have been included in the EIR.

14. AGENCY RECOMMENDATIONS.

- A. County Department of Public Works: Recommended clearance to public hearing with conditions in a letter dated July 10, 2025.
- B. County Fire Department ("Fire"), Fire Prevention Division: Recommended clearance to public hearing with conditions in a letter dated June 24, 2025.
- C. Fire, Forestry Division: Recommended clearance to public hearing with conditions in a letter dated February 19, 2026. The County Forester ("Forester") confirmed that the Oak Tree Report submitted by the Permittee is accurate and complete as to the location, size, condition and species of the oak trees on the Project Site and

recommends several conditions of approval, which have been incorporated into this OTP.

D. County Department of Public Health: Recommended Choose an item. in a letter dated February 18, 2026.

15. **LEGAL NOTIFICATION.** Pursuant to Section 22.222.120 (Public Hearing Procedure) and Section 22.174.040.E.1 (Oak Tree Permit – Application and Review Procedures – Application with a Public Hearing-Notice Requirements) of the County Code, the community was properly notified of the public hearing by mail, and newspaper, *Pasadena Star News*, and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On March 9, 2026, a total of 285 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as nine notices to those on the courtesy mailing list for the Altadena Zoned District and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

16. **LAND USE POLICY.** The Commission finds that the Project is consistent with the goals and policies of the General Plan and the Community Plan because the I land use category is intended for “[all] public and private schools, private institutions, churches, hospitals, and governmental facilities.” The existing library, which is owned and operated by an independent special district (Altadena Library District), is a public and community-serving use that falls into this category.

17. **GOALS AND POLICIES.** The Commission finds that the Project is consistent with the goals and policies of the General Plan and the Altadena Community Plan.

General Plan, Public Services and Facilities Element (“PS/F”)

- *Policy PS/F 8.1: Ensure a desired level of library service through coordinated land use and facilities planning.*

The Altadena Main Library has served the local community since 1967 and has remained relatively unchanged for over 50 years without major building upgrades. As a result, certain infrastructure and building features are deteriorated or outdated and do not meet the current accessibility standards, health and safety codes, operational standards, or the usability and service needs of the existing community and future generations. The proposed Project is intended to support the community's desired level of library service by providing free and equal access to information and technology while maintaining, to the extent feasible, the building's historic Mid-Century Modern architectural elements. The existing building design, which lacks separate secured spaces, limits the library's ability to provide services such as passport services, notary services, and educational programming outside of business hours.

General Plan, Conservation Element and Natural Resources Element (“C/NR”)

- *Policy C/NR 14.3: Support the preservation and rehabilitation of historic buildings.*
- *Policy C/NR 14.6: Ensure proper notification and recovery processes are carried out for development on or near historic, cultural, and paleontological resources.*

Although the existing Altadena Main Library building is not officially listed in the General Plan as a Historic Resource Site (Table 9.8: Historic Resource Sites in the Unincorporated Areas or Figure 9.9: Historic Resource Site Policy Map), or as a County Historical Landmark, a separate Historical Resources Assessment Report, prepared by Architectural Resources Group in 2020 and a subsequent Historical Resource Impact Assessment Report, prepared by Kleinfelder and dated August 2024, have identified the Main Library building as a good example of Mid-Century Modern architecture and as eligible for listing on the National Register of Historic Places, California Register of Historical Resources, and as a Local Register. The building was originally designed by prominent Southern California architect, Boyd Georgi, with landscape design by Eriksson, Peters & Thoms in 1967, and its architectural integrity has remained largely intact.

The 2024 assessment evaluated the Project’s design changes based on the SOI Standards for Rehabilitation Assessment. The Project could not conform with all SOI Standards and would result in an overall loss of integrity of materials, design, and workmanship, and feeling. While some materials and finishes will be retained, other character-defining features such as wood paneling and millwork, tiles, spatial relationship between the interior and exterior, and emphasis in horizontal panes will be altered or removed.

During the design process, efforts were made to ensure that new materials and modifications are complementary to the original design intent. Historic features such as the trellis/chandelier will be refurbished rather than replaced, and the exterior wooden footbridges will be repaired and/or replaced with in-kind materials. Although the EIR concluded that the Project would result in significant and unavoidable impacts to historic resources, mitigation measures would be adopted to reduce the potentially significant impacts (albeit significance level remains unchanged). Specifically, they include the following:

- Mitigation Measure CUL-1 stipulates that the building shall be recorded through a documentation report based on Historic American Buildings Survey (“HABS”)-standards. The report will be completed by an architectural historian or historic architect who meets the Secretary of the Interior’s Professional Qualification Standards and will be based on the National Park Service (“NPS”) HABS Level III format and content requirements. An archival copy of the HABS report will be filed with the Altadena Library and nonarchival copies may be deposited in the collections of the Long Beach Public Library and Long Beach Heritage Museum, if requested, and in the California Historical Resources Information System South Central Coastal Information Center.

- Mitigation Measure CUL-2 stipulates that the Altadena Library District shall coordinate with an architectural historian or historic architect who meets the SOI's Professional Qualification Standards, the Project architect, and the demolition contractor to develop a list of materials that would be salvaged during demolition and a salvage plan, which may include architectural history monitoring during demolition.

General Plan, Land Use Element ("LU")

- *Policy LU 5.4: Encourage community-serving uses, such as early care and education facilities, grocery stores, farmers markets, restaurants, and banks to locate near employment centers.*
- *Policy LU 7.3: Protect public and semi-public facilities, including but not limited to major landfills, natural gas storage facilities, and solid waste disposal sites from incompatible uses.*

The existing library building will remain. The 700 square-foot increase in footprint is attributed to the new entry/new lobby to provide accessible entrance for all users, and a new exterior deck area adjacent to the existing community room, which will provide flexible outdoor spaces. Many of the proposed project features are designed to provide a safe and accessible library space that serves a population of all ages and diverse backgrounds.

- *Policy LU 10.7: Promote public spaces, such as plazas that enhance the pedestrian environment, and, where appropriate, continuity along commercial corridors with active transportation activities.*
- *Policy LU 10.9: Encourage land uses and design that stimulate positive and productive human relations and foster the achievement of community goals.*

The proposed Project includes interior reconfiguration and the addition of exterior public-facing, usable spaces and features intended to enhance the pedestrian environment and increase community engagement. Refurbishment of the wooden foot bridges, installment of wayfinding signage, and landscaping improvements will facilitate pedestrian permeability from Mariposa Street. The new deck to the community room as well as the new reading court proposed north of the building will serve as venues for library events and programming such as children's story time, reading sessions, book club meetings, and learning and educational workshops. These additional project features will activate the existing outdoor spaces and promote more community engagement.

- *Policy LU 3.1: Encourage the protection and conservation of areas with natural resources, and Significant Ecological Areas.*

Although the Project Site is an urban area with an existing public library, two ordinance-sized oak trees are identified on the northern portion of the site along Mariposa Street. The Project would protect these oaks in place, and any encroachments or ground-

disturbing activities from construction would be monitored and subject to appropriate conditions of approval under the requested OTP to ensure the trees' survival. To further enhance the existing landscape setting of the Project Site, the Project will include voluntary planting of three oak trees.

Community Plan

- *4.3 Policies, Issue 1: Land Use Mix, Policy 1, Page 4-2: Preserve existing residential neighborhoods, commercial districts, community facilities, institutions, and environmental amenities.*
- *4.3 Policies, Issue 2: Preservation of Single-family Character, Policy 8, Page 4-3: Ensure that residential neighborhoods are supported by adequate open spaces, community facilities, and amenities.*
- *4.2 Goals, Goal 2, Page 4-1: Maintain and enhance a living environment for Altadena residents which provides for their needs: health, physical safety, and high quality of life.*

The proposed Project will continue to preserve and improve the existing institutional use. The planned improvements and upgrades aim to make the existing library facility universally accessible for all user groups, more resilient to hazards, and support services such as passport services as well as providing flexible meeting space for use by the public, community partners, and organizations. The new outdoor reading court designed around a new native Coast Live oak tree would also provide a new community amenity that benefits the surrounding residential neighborhood. These upgrades will make the area safer and boost the overall well-being of the Altadena community.

ZONING CODE CONSISTENCY FINDINGS

18. PERMITTED USE IN ZONE. The Commission finds that the Project is consistent with the R-1 zoning classification as a library is permitted in such zone with a CUP pursuant to County Code Section 22.18.030.C (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4 and R-5).

19. OAK TREE PERMIT REQUIRED. The Commission finds that destroying, removing, relocating, damaging or encroaching into a protected zone of any tree of the oak genus which is 25 inches or more in circumference (eight inches in diameter for single trunk or combined diameter of 12 inches of two trunks) measured four and one-half feet (4.5') above mean natural grade is prohibited without an OTP pursuant to County Code Section 22.174.030 (Oak Tree Permits - Applicability). The Project Site has two non-heritage-sized oak trees near the northwest building corner. According to the oak tree report prepared by Rebecca Latta, Consulting Arborist, for the Project, Tree #51 has a diameter of 12.8 inches and Tree #52 has a diameter of 10 and 11 inches (combined diameter 21 inches) at 4.5 feet above grade level. Both trees are anticipated to be encroached upon by the proposed underground utility line upgrades. Therefore, an OTP is required for the Project.

20. REQUIRED YARDS. The Commission finds that the required yard setback standards under the Altadena CSD for the R-1 zoning classification in County Code Section

22.320.090.D.1 (Zone Specific Development Standards- Zone R-1) do not apply to the Project because the existing library setbacks were originally established under ZEC No. 6827 in 1963, which predated the adoption of the Altadena CSD in 1989. The existing front yard setback is measured at approximately 50 feet. The east side yard setback is 12 feet at its most narrow point; the west side yard setback ranges from 62 to 92 feet; and rear yard setback ranges from 96 to 168 feet.

21. **HEIGHT.** The Commission finds that the Altadena CSD's Zone R-1 height limit of 35 feet, identified in County Code Section 22.320.090.D.1 (Zone Specific Development Standards - Zone R-1) does not apply to the proposed Project because the existing building height was established by ZEC No. 6827 in 1963, prior to the adoption of the Altadena CSD in 1989. No overall height change is proposed. The existing building height ranges from 20 feet to 25 feet tall (excluding the mechanical equipment screening and parapets that extend up to an additional 10 feet).
22. **VEHICLE PARKING.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.112.060.C (On-Site Parking – Uses Not Specified). Although the library use does not have a specified required parking minimum, the Director of LA County Planning (“Director”) has the authority to specify an amount that the Director finds adequate to prevent traffic congestion and excessive on-street parking. For the purpose of this library use, a parking ratio of one space per 250 square feet for the proposed lobby expansion is required. The new lobby will add approximately 155 square feet of floor area to the library building, which equates to one additional parking space. The proposed Project will add two additional parking spaces, increasing the number of parking spaces from the existing 50 spaces to 52 spaces, including three ADA spaces, three EV spaces, and one combined ADA/EV space.
23. **BICYCLE PARKING.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.112.100 (Bicycle Parking Spaces and Bicycle Facilities). Using a bicycle parking ratio of one short-term space for every 50 intended visitors and one long-term space for every 100 intended visitors based on occupant load of the largest assembly area within the facility (i.e., community room with 185 occupants), the library facility is required to provide a minimum of four short-term spaces and two long-term spaces. The Project will have six short-term parking spaces and two long-term parking spaces.
24. **SIGNS.** The Commission finds that the Project's proposed signage is consistent with the sign regulations identified in County Code 22.114.230 (Signs for Uses Granted by a CUP in Residential, Agricultural, or Watershed Zones). This provision allows the approval of business signs deemed appropriate for such conditional use as part of the application; provided, however, that no business sign or signs may be authorized that would not be permitted in Zone C-1 under Chapter 22.114 (Signs) of the County Code. As part of the proposed Project, an entry statement wall sign is proposed along the Mariposa Street pedestrian entrance. This new sign consists of eight-inch-tall stainless steel letters spelling “Altadena Library” mounted across a new three-foot-tall and 26-foot-long CMU wall along the northern property line. The proposed sign area is approximately 13 square feet, which is well below the permitted sign area allowed for

the Project Site's Mariposa Street frontage (approximately 322 square feet permitted sign area calculated based on the two square feet sign area for each linear foot of building frontage at 161 feet). A second set of 12-inch-tall, stainless-steel letters, covering 60 square feet of surface area, identifying the library's name will also be affixed to the existing CMU wall facing the surface parking lot and adjacent to the front entrance. This sign is also below the permitted sign area of 161 square feet for this side of the building.

25. **COMMUNITY STANDARDS DISTRICT.** The Commission finds that the Altadena CSD R-1 Zone development standards related to lot coverage and gross structural area do not apply to the Project as these requirements apply to residential uses only; the public library is not a residential use. The Commission also finds that the proposed statement entry sign block wall fronting Mariposa Street is consistent with Section 22.206.070.A.3 (Fences, Walls, and Landscaping) of the CSD. This new three-foot-tall wall is below the 42-inch maximum height for fences and walls in the front yard area between the right-of-way line and 10 feet back from the right-of-way line towards the property. No other CSD standards are applicable to the proposed Project.
26. **TREE PLANTING.** The Commission finds that the Project is not subject to the tree planting standards identified in Section 22.126.020 (Tree Planting Requirements – Applicability). The work scope of the proposed Project will not trigger any new tree plantings under this code provision because it will not introduce a new principal use building, the proposed additions have a cumulative floor area of less 50% of the total existing building, and no expansion of an existing surface parking lot with an additional 15 or more parking spaces. However, the proposed Project will voluntarily plant three oak trees and other ornamental trees to improve the garden-like setting of the library facility.

CONDITIONAL USE PERMIT FINDINGS

27. **The Commission finds that the proposed use with the attached conditions will be consistent with the adopted General Plan.** The continued use and operation of a public library, along with the associated proposed improvements, are consistent with the land use policies of the Community Plan, which is a component of the adopted General Plan. The Project Site is located within the I land use category, which is intended for “[all] public and private schools, private institutions, churches, hospitals, and governmental facilities.” The existing library, which is owned and operated by an independent special district (Altadena Library District), is a community-serving, public institution that falls into this category. The proposed renovation aims to extend the life of the existing library building by making it more resilient to earthquakes, improving its structural integrity, enforcing fire safety, and better serving persons with disabilities.
28. **The Commission finds that the proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will**

not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare. While the proposed Project consists of the renovation of existing library use, the Altadena Main Library has served the Altadena community and the surrounding areas for nearly 60 years. The proposed Project is intended to provide both residents and visitors with a more accessible and safer environment with expanded opportunities to participate in a diverse range of community activities, programs, and events.

Since its construction in 1967, the Altadena Main Library has not undergone any major upgrades or repairs. As a result, the facility has a substantial need for safety, structural, and seismic improvements to better protect its users in the event of an earthquake or other natural disaster. The proposed improvements would address these needs by implementing necessary safety and infrastructure upgrades while also enhancing accessibility and the overall user experience. Planned improvements include the reconfiguration of interior space to adjust to changing community needs for public space along with the addition of new ramps, stairs, and restrooms designed to meet current ADA standards.

Following project implementation, the Altadena Main Library will continue to maintain its book collections and provide digital and computer resources, educational and literacy programs, children's story times and enhanced services. Community partners and organizations, such as the Altadena Historical Society, Altadena Heritage, and government agencies, will continue to benefit from the use of the community room and other public-facing spaces. The library will continue to offer a multitude of services and remain a valuable public resource for individuals of all ages. In addition, the proposed Project would further enhance the facility by expanding the outdoor community gathering space, including a new deck for the community room and a new outdoor reading court surrounded by newly planted oak trees.

29. **The Commission finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.** While the proposed Project involves the continued use and operation of an existing library with proposed improvements, the Project Site remains compliant with applicable development standards prescribed in Title 22 of the County Code. Access improvements, particularly for people needing accommodation, represent a key component of the proposed renovation. The refurbished footbridges, along with new access ramp, and stairs, will be provided to improve accessibility to the building. Although the proposed Project will include two oak encroachments from the proposed utility and infrastructure upgrades, three landscaped oak trees, planted on a voluntarily basis, will be planted as part of the proposed landscape plan. Existing yards, fences, and walls will continue to be maintained. The re-striping of the parking lot will provide two additional new parking spaces and incorporate several improvements, including a designated loading zone, ADA-compliant parking spaces, and several EV parking space.

30. **The Commission finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.** The Project Site is accessible via the 85-foot-wide, Mariposa Street public right-of-way to the north and the 75-foot-wide public Santa Rosa Avenue to the west. Primary vehicular access to the Project Site is via an ingress/egress on Santa Rosa Avenue. Pedestrian access to the Project Site is available from both Mariposa Street and Santa Rose Avenue via wooden footbridges that connect the sidewalks to the library grounds. The proposed Project would not intensify the existing use but improve the existing space to serve the community. Both Mariposa Street and Santa Rosa Avenue are of sufficient width to serve library users.
31. The Commission finds that the Altadena Main Library has operated at Project Site for nearly 60 years without issue and has diligently provided valuable public resources and services for the betterment of the local community. The library continues to be compatible with the surrounding residential uses. Therefore, a grant term is not necessary, which is also consistent with the previous land use approval.

OAK TREE PERMIT FINDINGS

32. **The Commission finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property.** The proposed Project is appropriately conditioned through the approval of the requested OTP to ensure that any ground-disturbing activities conducted within the protected zone of Tree #51 and Tree #52 would have minimal impacts on the trees' health. The proposed encroachments are mainly attributed to utilities proposed under the root plate. According to the Oak Tree Reports prepared by Rebecca Latta, Consulting Arborist, both trees were evaluated to be in good health and the proposed encroachments are not anticipated to have any long-term health effects. If a conflict is found with any roots, as determined by the consulting arborist, the utility line would be rerouted to run above grade in steel. To minimize any possible adverse impacts, the OTP will incorporate the standard recommendations from the Forester as well as the consulting arborist. Such conditions include requiring a consulting arborist to supervise the construction work within the protected zone as well as tree preservation measures as recommended by the consulting arborist.
33. **The Commission finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters, which cannot be satisfactorily mitigated.** No oak trees are proposed to be removed or relocated as a part of this Project. The Project will not result in any soil erosion at the Project Site. Furthermore, the Project would include voluntary planting of three Coast Live oaks. One would be centrally located in the new reading court, one would be placed adjacent to the new entry statement sign, and one located in the surface parking lot.

34. **The Commission finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that placement of such trees precludes the reasonable and efficient use of such property for a use otherwise authorized.** No oak trees are proposed to be removed or relocated as a part of this project. The Project is a request for encroachment into the protected zone of two non-heritage-sized oak trees in conjunction with the proposed renovation, improvement, and expansion of an existing public library.
35. **The Commission finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.** No oak trees are proposed to be removed as a part of this Project. The Project is a request for encroachment into the protected zone of two non-heritage-sized oak trees in conjunction with the proposed renovation, improvement, and expansion of an existing public library. Aside from the two existing, Tree #51 and Tree #52 oak trees, the proposed landscaping plan will include voluntary planting of three Coast live oaks. The protective measures that will be undertaken as part of the Project will remedy any potential effects the proposed construction work would have on Tree #51 and Tree #52. Thus, the requested two encroachments are consistent with the provisions of the County Code.

ENVIRONMENTAL FINDINGS

36. The Commission finds that the Final EIR, including the Draft EIR, for the Project was prepared in accordance with CEQA, the State CEQA Statute and Guidelines, and the County's Environmental Document Reporting Procedures and Guidelines. The Commission reviewed and considered the Final EIR, along with its associated MMRP, Findings of Fact and Statement of Overriding Considerations, and finds that they reflect the independent judgment of the Commission. The Findings of Fact and Statement of Overriding Considerations are incorporated herein by this reference, as set forth in full.
37. The Commission finds that no evidence of new significant impacts, new substantial increase in severity of an environmental impact, new or considerably different mitigation measures from others previously analyzed, or any new information of "substantial importance" as defined by State CEQA Statute and Guidelines section 15088.5, has been received by the County after circulation of the Draft EIR that would require recirculation.
38. The Commission finds that the MMRP for the Project is consistent with the conclusions and recommendations of the Final EIR. The Commission further finds that the MMRP is adequately designed to ensure compliance with the mitigation measures during Project implementation. The Commission further finds that the MMRP's requirements are incorporated into the conditions of approval for the Project, and that approval of this Project is conditioned on the Permittee's compliance with the attached conditions of approval and MMRP.

39. The Commission finds that the MMRP, prepared in conjunction with the Final EIR, identifies in detail how compliance with its measures will mitigate or avoid potential adverse impacts to the environment from the Project. To the extent that the Project would result in an unavoidable significant effect after the adoption of said mitigation measures, that significant effect is outweighed by specific health, safety, economic, social, and/or environmental benefits of the Project as stated in the Findings of Fact and Statement of Overriding Considerations.

40. The Commission finds that the Permittee is subject to payment of the California Department of Fish and Wildlife fees related to the Project's effect on wildlife resources pursuant to section 711.4 of the California Fish and Game Code.

ADMINISTRATIVE FINDINGS

41. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Service Area Section, LA County Planning.

BASED ON THE FOREGOING, THE REGIONAL PLANNING COMMISSION CONCLUDES THAT:

Conditional Use Permit

- A. The use with the attached conditions will be consistent with the adopted General Plan.
- B. The use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. The Project Site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- D. The Project Site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.

Oak Tree Permit

- E. The proposed Project will be accomplished without endangering the health of the remaining trees subject to County Code Title 22 (Planning and Zoning) regulations on the subject property.
- F. The oak tree encroachments proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.
- G. The Project will not result in the removal or relocation of the oak trees and will continue to allow the existing oak trees to remain at the present location without precluding the reasonable and efficient use of subject property for a use otherwise authorized.
- H. The Project will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit Procedure.

THEREFORE, THE REGIONAL PLANNING COMMISSION:

1. Certifies that the Final EIR for the Project was completed in compliance with CEQA and the State and County CEQA Guidelines related thereto; certifies that it independently reviewed and considered the information contained in the Final EIR, and that the Final EIR reflects the independent judgment and analysis of the Commission as to the environmental consequences of the Project; adopts the Findings of Fact, Statement of Overriding Considerations, and the MMRP; finds that the MMRP is adequately designed to ensure compliance with the mitigation measures during the Project implementation, and finds that the unavoidable significant effects of the Project after adoption of said mitigation measures are as described in those Findings of Facts and Statements of Overriding Considerations; and determines that the remaining environmental effects of the Project have been reduced to an acceptable level and are outweighed by specific health, safety, economic, social, and/or environmental benefits of the Project as stated in the Findings of Fact and Statement of Overriding Considerations.
2. Approves **CONDITIONAL USE PERMIT NO. RPPL2023000666** and **OAK TREE PERMIT NO. RPPL2025003986**, subject to the attached conditions.

ACTION DATE: April 22, 2026

MRB: JPH

April 7, 2026

c: Each Commissioner

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL
PROJECT NO. PRJ2023-00474-(5)
CONDITIONAL USE PERMIT (“CUP”) NO. RPPL2023000666
OAK TREE PERMIT (“OTP”) NO. RPPL2025003986

PROJECT DESCRIPTION

The project is a request for a CUP to authorize the continued use and operation of an existing public library located at 600 E. Mariposa Street (“Project Site”), with proposed renovation, expansion, and safety/accessibility improvements to the existing library facility, Altadena Main Library, in the R-1-10,000 (Single-Family Residence – 10,000 Square Feet Minimum Required Lot Size) Zone. Concurrently, an OTP is requested to encroach into the protected zone of two non-heritage-sized Coast Live oak trees, identified as Tree #51 and #52, in the oak tree reports dated December 11, 2025 and January 20, 2026, and prepared by Rebecca Latta, Consulting Arborist. The project is subject to the following conditions of approval:

GENERAL CONDITIONS

1. **Permittee.** Unless otherwise apparent from the context, the term “Permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. **Affidavit of Acceptance.** This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County (“County”) Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid pursuant to Condition No[s]. 8[Inspections], 9[NOD/F&G fee], and 12[Mitigation Monitoring Deposit]. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4[Indemnification], 5[Litigation Deposit], 7[Expiration], and 9[NOD/F&G fee] shall be effective pursuant to County Code Section 22.222.230 (Effective Date of Decision and Appeals).
3. **Date of Final Approval.** Unless otherwise apparent from the context, the term “date of final approval” shall mean the date the County’s action becomes effective pursuant to County Code Section 22.222.230 (Effective Date of Decision and Appeals).
4. **Indemnification.** The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.

5. **Litigation Deposit.** In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010 (Fees for Providing County Records).

6. **Invalidation.** If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. **Expiration.** This grant shall expire unless used within ninety (90) days from the date of decision for this grant. A single thirty (30) day time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date. For the purposes of this provision, continued operation of the public library and satisfaction of Condition No. 2 shall be considered use of this grant.
8. **Inspections.** The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of or any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum **\$470.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **one (1)** inspection.

The inspections may be unannounced. The inspections may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS). Use of a UAS requires the consent of the Permittee pursuant to LA County

Planning's UAS policy, which may be updated from time to time, and which shall be provided to the Permittee upon request.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$470.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. **Environmental Document Filing Fees.** Within five (5) working days from the day after your appeal period ends on **May 12, 2026**, the Permittee shall remit processing fees at the County Registrar-Recorder/County Clerk Office (i.e. County Clerk Office), payable to the County of Los Angeles, in connection with the filing and posting of a Notice of Determination ("NOD") for this project and its entitlements in compliance with section 21152 of the Public Resources Code. Unless a Certificate of Exemption is issued by the California Department of Fish and Wildlife pursuant to section 711.4 of the California Fish and Game Code, the Permittee shall pay the fees in effect at the time of the filing of the NOD, as provided for in section 711.4 of the Fish and Game Code, currently **\$3,068.75** (\$3,043.75 for a Negative Declaration or Mitigated Negative Declaration plus \$25.00 processing fee), or **\$4,252.50** (\$4,227.50 for an Environmental Impact Report plus \$25.00 processing fee). No land use project subject to this requirement is final, vested or operative until the fee is paid.
10. **Mitigation Monitoring and Reporting Program.** The Permittee shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program ("MMRP"), which are incorporated by this reference as if set forth fully herein.
11. **Covenant and Agreement.** Within thirty (30) days of the date of final approval of the grant by the County, the Permittee shall record a covenant and agreement, which attaches the MMRP and agrees to comply with the mitigation measures imposed by the Environmental Impact Report for this project, in the Recorder's Office. Prior to recordation of the covenant, the Permittee shall submit a draft copy of the covenant and agreement to LA County Planning for review and approval. As a means of ensuring the effectiveness of the mitigation measures, the Permittee shall submit annual mitigation monitoring reports to LA County Planning for approval or as required. The reports shall describe the status of the Permittee's compliance with the required mitigation measures.
12. **Mitigation Monitoring and Reporting Program Deposit.** The Permittee shall deposit an initial sum of **\$6,000.00** with LA County Planning within thirty (30) days of the date of final approval of this grant in order to defray the cost of reviewing and verifying the information contained in the reports required by the MMRP. The Permittee shall replenish the mitigation monitoring account if necessary, until all mitigation measures have been implemented and completed.

13. **Revocation.** Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission (“Commission”) or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public’s health or safety or so as to be a nuisance, or as otherwise authorized pursuant to County Code Chapter 22.238 (Modifications and Revocations). Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions and may result in revocation.
14. **County Fire Code.** All development pursuant to this grant shall comply with the requirements of Title 32 (Fire Code) of the County Code to the satisfaction of the County Fire Department (“Fire”).
15. **County Public Works Requirements.** All development pursuant to this grant shall comply with the requirements of the County Department of Public Works (“Public Works”) to the satisfaction of said department.
16. **Exhibit “A.”** All development pursuant to this grant shall comply with the requirements of Title 22 (Planning and Zoning) of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning (“Director”).
17. **Maintenance.** The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
18. **Graffiti.** All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

19. **Revisions to the Exhibit “A”.** The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit “A.” If changes to any of the plans marked Exhibit “A” are required as a result of instruction given at the public hearing, **an electronic copy of a modified Exhibit “A”** shall be submitted to LA County Planning by **June 22, 2026.**
20. **Subsequent Revisions to the Exhibit “A.”** In the event that subsequent revisions to the approved Exhibit “A” are submitted, the Permittee shall submit **an electronic**

copy of the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

21. **Conditions of Approval Maintained on the Premises.** The conditions of this grant shall always be retained on the premises and shall be immediately produced upon request by any County Sheriff, or LA County Planning Zoning Enforcement ("Zoning Enforcement") inspector. The manager and all employees of the facility shall be knowledgeable of the conditions herein. Violation of the conditions herein may subject the use to the provisions of County Code Chapter 22.238 (Modifications and Revocations).

CONDITIONAL USE PERMIT-SPECIFIC CONDITIONS

22. **Grant.** This grant shall authorize the continued use and operation with proposed renovation, expansion, and improvements of an existing public library.
23. **State Regulations.** The Permittee shall comply with all staffing, rules, regulations, and facility requirements established and regulated by the State of California and other applicable agencies.
24. **Exterior Lighting.** All exterior lighting fixtures shall be fully shielded to confine light spread on-site. Lighting used on-site shall be hooded and not impact surrounding or neighboring properties. The type and location of site and building lighting shall preclude direct glare onto adjoining properties, streets, or skyward.
25. **Required Vehicle Parking.** The Permittee shall provide parking as required by the County Code and as shown on the approved Exhibit "A", calculated at a parking ratio determined by the Director to be adequate to prevent traffic congestion and excessive on-street parking pursuant to County Code Section 22.112.070.C (Required Parking Spaces – Uses Not Specified).
26. **Required Bicycle Parking.** The Permittee shall provide parking as required by the County Code and as shown on the approved Exhibit "A", calculated at the "Institutional uses" parking ratio pursuant to County Code Section 22.112.110.A (Bicycle Parking Spaces and Bicycle Facilities - Required Bicycle Parking Spaces).
27. **Recycling and Solid Waste Storage.** Recycling and solid waste generated on-site shall be stored in closed receptacles, within a designated area as depicted on the approved Exhibit "A," and shall not be visible from the street.
28. **Public Works' Project-Specific Conditions.** The Permittee shall comply with all conditions set forth in the County Department of Public Works letter dated July 10, 2025, attached hereto and incorporated by reference, or otherwise to the satisfaction of said department.

29. **Fire's Project-Specific Conditions.** The Permittee shall comply with all conditions set forth in the Fire Department letter dated June 24, 2025, attached hereto and incorporated by reference, or otherwise to the satisfaction of said department.
30. **County Public Health's Project-Specific Conditions.** The Permittee shall comply with all conditions set forth in the Department of Public Health letter dated February 18, 2026, attached hereto and incorporated by reference, or otherwise to the satisfaction of said department.

OAK TREE PERMIT-SPECIFIC CONDITIONS

31. **Scope of Approval.** This grant shall authorize the encroachment into the protected zone of two non-heritage-sized oak trees (identified as Tree No. 51 and Tree No. 52) as depicted on Exhibit "A," in association with the proposed landscaping, utility undergrounding, and infrastructure improvements.
32. **County Forester.** The Permittee shall comply with all conditions and requirements contained in the County of Los Angeles Forester and Fire Warden, Forestry Division ("Forester"), letter dated February 19, 2026 (attached hereto), to the satisfaction of said Division, except as otherwise required by said Division and by these conditions.
33. **Consulting Arborist.** Before commencing any work authorized or required by this grant, the consulting arborist shall submit a letter to the Director and Forester stating that he or she has been retained by the Permittee to perform or supervise the work, and that he or she agrees to report to the Director and the Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates, if applicable.
34. **Replacement Ratio.** The Permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments.
35. **Replacement Trees.** All required replacement trees shall be planted on native undisturbed soil and shall be the same native species of oak (*Quercus* sp.) as the removed or dead tree. The location of the replacement tree shall be in the vicinity of other oak trees of the same species. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
36. **Voluntary Native Oak Plantings.** The Permittee shall plant three oak trees consisting of locally native oak species to the West San Gabriel Valley, as depicted on the provided Landscape Plan.

37. **Rooting Zones of Replacement Trees.** When replacement trees are planted on disturbed soil or are not in the vicinity of the same species of oak (*Quercus* sp.) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. “mycorrhizaROOTS” or similar product) in accordance with the label’s directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
38. **Arborist’s Recommended Tree Preservation Measures.** The recommended tree preservation measures provided in the Oak Tree Report prepared by Rebecca Latta, Consulting Arborist, dated December 11, 2025 and January 20, 2026, shall be accomplished to the satisfaction of the Forester and LA County Planning, as advised by the arborist on record in Condition No. 16 above. Except as otherwise expressly modified or waived by the County Forester, these recommendations shall be implemented under the service, supervision and direction of the arborist on record.

Attachments:

Public Works Letter dated July 10, 2025
Fire Department Letter dated June 24, 2025
Public Health Letter dated February 18, 2026
Fire Department, Forester Letter dated February 19, 2026
Oak Trees: Care and Maintenance Guide
Arborist’s Recommended Tree Preservation Measures
Mitigation Monitoring and Reporting Program (Pages 1- 6)



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

July 10, 2025

IN REPLY PLEASE

REFER TO FILE: **LD-4**

TO: Michelle Bush
Foothills Development Services
Department of Regional Planning

Attention Jolee Hui

FROM: James Chon 
Land Development Division

**CONDITIONAL USE PERMIT (RPPL2023000666)
600 EAST MARIPOSA STREET
ASSESSOR'S MAP BOOK 5840, PAGE 10, PARCEL 900
UNINCORPORATED ALTADENA**

As requested, Public Works reviewed the zoning permit application and site plan for the expansion of an existing library building footprint by approximately 700 square feet.

- Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.
- Public Works has comments on the submitted documents; therefore, a Public Hearing shall NOT be scheduled until the comments have been addressed.

1. Drainage

1.1. Prior to obtaining a building permit:

1.1.1. Submit building and grading plan to Public Works, Building and Safety Division, for review and approval. Plans must be approved to provide for the proper distribution of drainage and for contributory drainage from adjoining properties and eliminate the sheet overflow, ponding, and protect the lots from high velocity scouring action.

1.1.2. Comply with Low-Impact Development standards in accordance with the Low-Impact Development Standards Manual, which can be found at <https://pw.lacounty.gov/idd/lib/fp/Hydrology/Low%20Impact%20Development%20Standards%20Manual.pdf>.

Michelle Bush
July 10, 2025
Page 2

For questions regarding the drainage conditions, please contact Alex Mikhailpoor of Public Works, Land Development Division, at (626) 458-3138 or amikhailpoor@pw.lacounty.gov.

2. Water

2.1. Prior to obtaining a building permit, submit Landscape and Water Efficiency plans for landscape area greater than 500 square feet, in accordance with the Water Efficient Landscape Ordinance.

For questions regarding the water condition, please contact Joseph Nguyen of Public Works, Land Development Division, at (626) 458-7119 or chnguyen@pw.lacounty.gov.

If you have any questions or require additional information, please contact Toan Duong of Public Works, Land Development Division, at (626) 458-4921 or tduong@pw.lacounty.gov.

DK:la

\\Pw01\pwpublic\ldpub\SUBPCHECK\Plan Checking Files\CUP\600 E Mariposa Street\RPPL202300666 - CUP\DPW_Cleared_2025-07-08_RPPL202300666.docx



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

ANISH P. MAHAJAN, M.D., M.S., M.P.H.
Chief Deputy Director

AZAR KATTAN, J.D., M.P.H.
Deputy Director for Health Protection

LIZA FRIAS, REHS
Director of Environmental Health

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Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
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www.publichealth.lacounty.gov/eh/

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February 18, 2026

TO: Michele Bush
Supervising Regional Planner
Department of Regional Planning

Attention: Jolee Hui

FROM: Lusi Mkhitarian, REHS, MPH *Lusi Mkhitarian*
Branch Director, Environmental Protection Branch
Department of Public Health

**SUBJECT: CONDITIONAL USE PERMIT (CUP) REQUEST
600 E MARIPOSA STREET ALTADENA CA 91001
RPPL2023000666**

Thank you for the opportunity to review the subject project for a Conditional Use Permit. The applicant requests the expansion of an existing library building footprint, interior space configurations, access improvements, seismic retrofit, mechanical, plumbing, electrical, and structural elements.

- Public Health has no conditions to impose on this project should the advisory agency grant its approval.
- Public Health conditions for this project have been met as of the date of this letter. Public Health recommends approval of the aforementioned project.
- Public Health DOES NOT recommend approval of the subject project and requires that the following conditions and/or information requested below are addressed prior to agency approval.

Drinking Water Program: Potable Water

The proposed project is required to have an approved, safe, and reliable potable water source, either from an approved onsite source (e.g., groundwater well) or a permitted public water system that can meet the project's water demands.

The applicant provided a copy of a water bill from Rubio Canon Land and Water Association with a due date of May 21, 2025.

Onsite Wastewater Treatment (OWT) Program: Wastewater

The proposed project is required to have an approved, safe, and reliable method of wastewater disposal, either from an approved onsite wastewater treatment system or a permitted public sewer system that can meet the project's load demands.

According to the most recent property tax bill's direct assessment records, the project site utilizes public sewer infrastructure for wastewater disposal; therefore, the project falls outside the jurisdiction of the Department of Public Health.

For more information, please visit the Consolidated Sewer Maintenance Districts home page at <https://pw.lacounty.gov/sewer/index.cfm> or call (626) 300-3399.

Community Protection Branch: Environmental Hygiene

Please Note: The following are general requirements for Noise and Air Quality recommendations for the proposed projects.

The applicant shall comply with the requirements outlined in Title 12, Sections 12.08.390, 12.08.440, and 12.08.530 of the Noise Control Ordinance for the County of Los Angeles. The following section contains recommendations along with excerpts of the code, presented in italics for reference. The full text of the codes is available for review at https://library.municode.com/ca/los_angeles_county/codes/code_of_ordinances

Recommendations

1. Based on the proposed plan and findings, activities from the subject property should comply with requirements contained in Title 12, Section 12.08.390.
2. Operational noise generated from the subject property shall comply with Title 12, Section 12.08.390, Noise Control Ordinance for the County of Los Angeles.
3. Construction Noise – Noise mitigation measures should be applied to reduce construction noise and to comply with Title 12, 12.08.440 – Construction Noise. Noise mitigation strategies may include, but are not limited to:
 - a. All construction equipment shall be equipped with the manufacturer's recommended noise muffling devices, such as mufflers and engine covers.

These devices shall be kept in good working condition throughout the construction process.

- b. Installation of a temporary sound barrier at the property lines of the proposed project site to mitigate noise impacts on all surrounding properties.
 - c. All construction equipment shall be properly maintained and tuned to minimize noise emissions.
 - d. Stationary noise sources (e.g., generators, compressors, etc.) shall be located as far from residential receptor locations as is feasible.
4. Residential Air Conditioning - Ensure HVAC units do not exceed 50 dBA at the neighboring property line

Exterior Noise Ordinance: Exterior Noise Standards (12.08.390)

No person shall operate or cause to be operated, any source of sound at any location within the unincorporated county, or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person which causes the noise level, when measured on any other property either incorporated or unincorporated, to exceed any of the following exterior noise standards:

Exterior Noise Standards, dBA						
Area	Duration	Std # 1	Std # 2	Std # 3	Std # 4	Std # 5
		30min/hr L50	15min/hr L25	5 min/hr L8.3	1 min/hr L1.7	At no time L0
Residential	7 am – 10 pm	50	55	60	65	70
	10 pm – 7 am	45	50	55	60	65
Commercial	7 am – 10 pm	60	65	70	75	80
	10 pm – 7 am	55	60	65	70	75
Industrial:	Anytime	70	75	80	85	90

Table 1. Std = Standard dB that may not exceed the cumulative period

Construction Noise Ordinance: Construction Noise Standards (12.08.440)

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sunday or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work or public service utilities or by variance issued by the health officer is prohibited.

- A. Mobile Equipment – Maximum noise levels for nonscheduled intermittent, short-term operation (less than 10 days) of mobile equipment shall not exceed:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	75 dBA	80 dBA	85 dBA

Table 2. Std = Standard dB that may not exceed

B. *Stationary Equipment – Maximum noise level for repetitively scheduled and relatively long-term operation (periods of 10 days or more) of stationary equipment shall not exceed:*

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	60 dBA	65 dBA	70 dBA

Table 3. Std = Standard dB that may not exceed

Community Noise Ordinance: Residential Air Conditioning or Refrigeration Equipment (12.08.530)
 Operating or permitting the operation of any air conditioning or refrigeration equipment in such a manner as to exceed any of the following sound levels is prohibited:

Measuring Location	Units Installed on or after January 1, 1980 dBA
<i>Any point on neighboring property line, 5 feet above grade level, no closer than 3 feet from any wall.</i>	55
<i>Center of neighboring patio, 5 feet above level, no closer than 3 feet from any wall.</i>	50
<i>Outside the neighboring living area window nearest the equipment location, not more than 3 feet from the window opening, but at least 3 feet from any other surface.</i>	50

Table 4: dBA levels not to be exceeded on the neighboring property.

For questions regarding the above comments, please contact Makkaphoeum Em at (626) 430-5201 or mem@ph.lacounty.gov.

For any additional questions regarding this report, please contact Veronica Aranda, DRP Liaison for Public Health at DPH-EHDRPLiaison@ph.lacounty.gov.



COUNTY OF LOS ANGELES FIRE DEPARTMENT

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LOS ANGELES, CALIFORNIA 90063-3294
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FIFTH DISTRICT

February 19, 2026

Jolee Hui, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Jolee Hui:

OAK TREE PERMIT NUMBER RPPL2025003986 600 E MARIPOSA STREET, ALTADENA

We have reviewed the "Request for Oak Tree Permit #RPPL2025003986." The project is located at 600 E Mariposa Street in the unincorporated area of Altadena. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Rebecca Latta, the consulting arborist, dated December 11, 2025.

We recommend the following:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS	CARSON	EL MONTE	INGLEWOOD	LAWNDALE	PICO RIVERA	SIGNAL HILL
ARTESIA	CERRITOS	GARDENA	IRWINDALE	LOMITA	POMONA	SOUTH EL MONTE
AZUSA	CLAREMONT	GLENDORA	LA CANADA-FLINTRIDGE	LYNWOOD	RANCHO PALOS VERDES	SOUTH GATE
BALDWIN PARK	COMMERCE	HAWAIIAN GARDENS	LA HABRA	MALIBU	ROLLING HILLS	TEMPLE CITY
BELL	COVINA	HAWTHORNE	LA MIRADA	MAYWOOD	ROLLING HILLS ESTATES	VERNON
BELL GARDENS	CUDAHY	HERMOSA BEACH	LA PUENTE	NORWALK	ROSEMead	WALNUT
BELLFLOWER	DIAMOND BAR	HIDDEN HILLS	LAKEWOOD	PALMDALE	SAN DIMAS	WEST HOLLYWOOD
BRADBURY	DUARTE	HUNTINGTON PARK	LANCASTER	PALOS VERDES ESTATES	SANTA CLARITA	WESTLAKE VILLAGE
CALABASAS		INDUSTRY		PARAMOUNT		WHITTIER

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and three (3) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

7. This grant allows encroachment within the protected zone of two (2) trees of the Oak genus identified as Trees Number 51 and 52 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

REPLACEMENT TREES:

10. The permittee shall provide replacement trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each replacement tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Replacement trees shall consist of indigenous varieties of Quercus agrifolia, grown from a local seed source.
13. Replacement trees shall be planted within one (1) year of the permitted Oak tree removals. Replacement trees shall be planted on site or within the same community if approved by the County Forester. If replacement trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each replacement tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the replacement trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All replacement Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,



KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION
COMMUNITY RISK REDUCTION BUREAU

KT:jl

Enclosure

An illustration of several oak leaves and a branch. The leaves are detailed with veins and have a lobed, wavy edge. Some leaves are shaded in a light gray color, while others are white with black outlines. The branch is dark and textured, showing small knots and a rough surface.

OAK TREES: Care and Maintenance

This Oak Tree Care and Maintenance Guide offers basic information and practical guidelines aimed at the preservation and continued health and survival of oak trees in the residential landscape.

Increasing pressure for development is changing the oak woodland of Los Angeles County. Heritage oaks which once survived in open rolling hills are now being preserved or replanted and incorporated into the community.

How do we protect these trees during the planning and development process, and ensure their survival once they are in the home garden?

The Oak Tree

Oak Trees in the residential landscape often suffer decline and early death due to conditions that are easily preventable. Damage can often take years to become evident, and by the time the trees show obvious signs of disease it is usually too late to help.

Improper watering, especially during the hot summer months, and disturbance to critical root areas are most often the causes. This booklet will provide guidelines on where these critical areas lie and ways to avoid disturbing them, as well as information on long-term care and maintenance of both natural and planted oaks. Lists of additional resources for more information and demonstration areas to visit are also included.

The Oak Tree Ordinance

The Los Angeles County Oak Tree Ordinance has been established to recognize oak trees as significant historical, aesthetic, and ecological resources. The goal of the ordinance is to create favorable conditions for the preservation and propagation of this unique and threatened plant heritage. By making this part of the development process, healthy oak trees will be preserved and maintained.

The Los Angeles County Oak Tree Ordinance applies to all unincorporated areas of the County. Individual cities may have their own ordinances, and their requirements may be different.

Permit Requirements:

Under the Los Angeles County Ordinance, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the *protected zone* (see text) of any ordinance sized tree of the oak tree genus without first obtaining a permit.

Damage includes but is not limited to :

- Burning
- Application of toxic substances
- Pruning or cutting
- Trenching
- Excavating
- Paving
- Operation of machinery or equipment
- Changing the natural grade

Chapter 22.56.2050: Oak Tree Permit Regulations, Los Angeles County, Adopted: August 20, 1982. Amended: September 13, 1988.

For more information about the County Oak Tree Ordinance, visit the Forestry Division's website at:

<http://www.fire.lacounty.gov>

Or contact:

Department of Regional Planning
320 W. Temple Street, 13th floor
Los Angeles, CA 90012-3284
(213) 974-6411
TDD: (213) 617-2292
<http://planning.co.la.ca.us>

Types of oaks commonly found in Los Angeles County:

Many kinds of oak trees are native to Los Angeles County. A few of the more common ones are shown below, but *all* oak trees are covered by the Oak Tree Ordinance.

Older oaks which have thrived under the natural rainfall patterns of dry summers and wet winters often can't handle the extra water of a garden setting. These trees must be treated with special care if they are to survive.

Those oaks that have been planted into the landscape or sprouted naturally tend to be more tolerant of watered landscapes. These vigorous young trees may grow 1½ to 4 feet a year in height under good conditions. Once established these trees would benefit from the same special care outlined in this guide.



Valley Oak
QUERCUS LOBATA

LARGE DECIDUOUS TREE 60'-75' HIGH, BROADLY SPREADING 50'-80' WIDE.

LEAVES: DEEP GREEN, 3"-4" LONG; PAPER-LIKE TEXTURE WITH DEEP ROUNDED LOBES ON THE LEAF EDGE.

TENDS TO FAVOR VALLEY BOTTOMS: FOR THIS REASON THE VALLEY OAK HAS DISAPPEARED FROM THE LANDSCAPE MORE RAPIDLY, IMPACTED SEVERELY BY AGRICULTURE AND URBAN DEVELOPMENT.



Coast Live Oak
QUERCUS AGRIFOLIA

LARGE EVERGREEN TREE WITH A BROAD, ROUND SHAPE AND LARGE LIMBS. 30'-70' HIGH, 35'-80' WIDE.

LEAVES: GLOSSY GREEN, 1"-3" LONG; SPINY, ROUNDED, AND HOLLY-LIKE; BUT DISTINCTLY CUPPED OR CURLED UNDER AT THE EDGES.



Interior Live Oak
QUERCUS WISLIZENII

EVERGREEN TREE 30'-75' HIGH OR A SHRUB 8'-10' HIGH IN CHAPARRAL AREAS. HAS A FULL, DENSE ROUNDED SHAPE, NOT BROAD OR WITH LARGE LIMBS LIKE A COAST LIVE OAK. THEY TEND TO GROW IN CLUMPS RATHER THAN AS A SINGLE TREE.

LEAVES: DARK GREEN, 1"-4" LONG. EDGES EITHER SMOOTH OR SPINY, BUT ALWAYS FLAT— NOT CURLED UNDER.

OTHER COMMON OAKS :

CALIFORNIA BLACK OAK : QUERCUS KELLOGGI
CANYON LIVE OAK : QUERCUS CHRYSOLEPIS
ENGELMANN OAK : QUERCUS ENGELMANNII

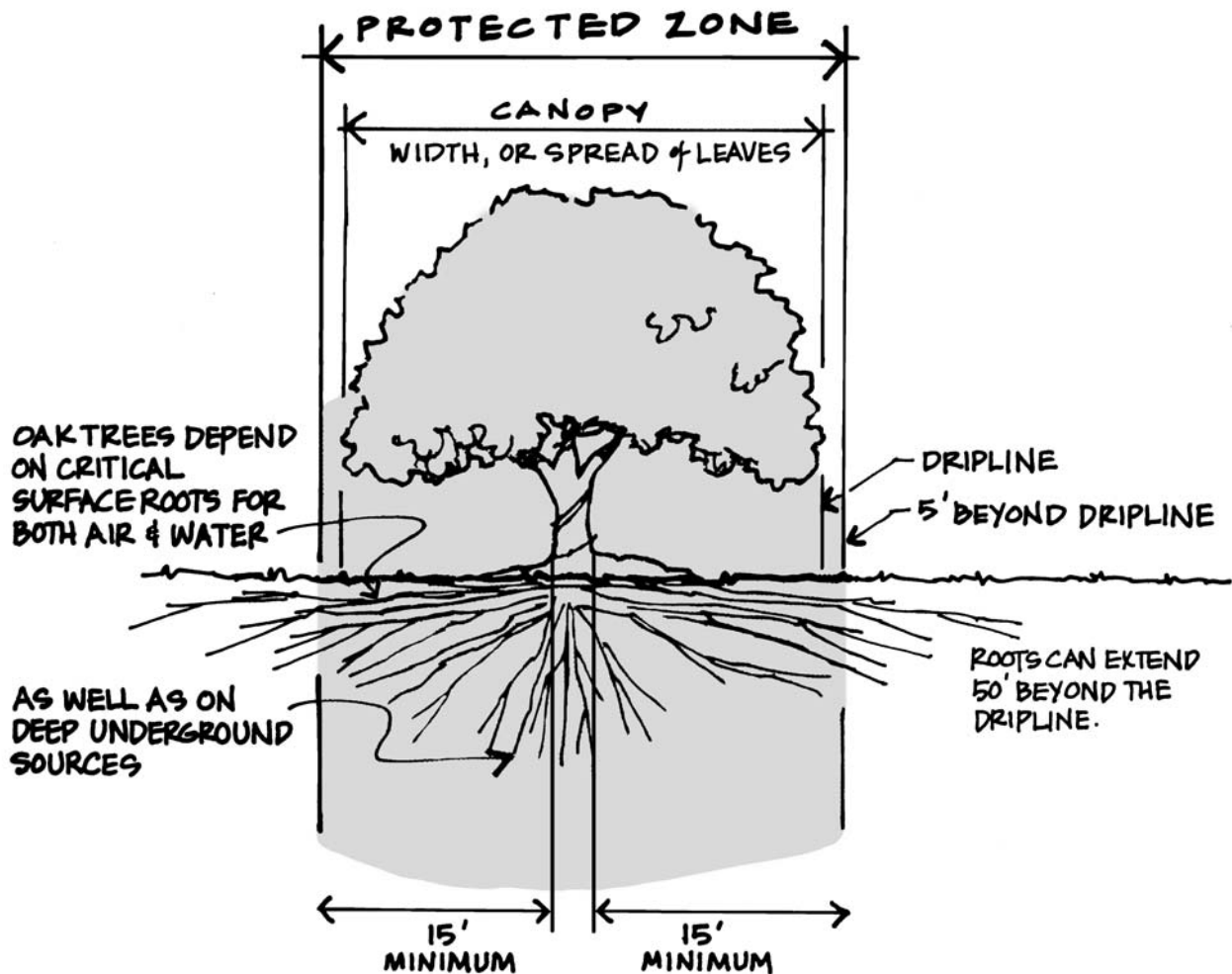
THE PROTECTED ZONE

The **protected zone** defines the area most critical to the health and continued survival of an oak tree. Oaks are easily damaged and very sensitive to disturbances that occur to the tree or in the surrounding environment.

The root system is extensive but surprisingly shallow, sometimes radiating out as much as 50 feet beyond the spread of the tree leaves, or canopy. The ground area at the outside edge of the canopy, referred to as the *dripline*, is especially important: the tree obtains most of its surface water and nutrients here, and conducts an important exchange of air and other gases.

The protected zone is defined in the Oak Tree Ordinance as follows:

“The Protected Zone shall mean that area within the dripline of an oak tree and extending there from to a point at least 5 feet outside the dripline or 15 feet from the trunk, whichever distance is greater.”



CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE

Changes in Grade

Any change in the level of soil around an oak tree can have a negative impact. The most critical area lies within 6' to 10' of the trunk: no soil should be added or scraped away. Water should drain away from this area and not be allowed to pond so that soil remains wet at the base.

Retaining walls designed to hold back soil above or below an existing tree should be avoided if at all possible, especially within the protected zone. These types of structures cause critical areas at the dripline to be buried, or require that major roots be severed. Water trapped at the base of the tree could lead to root rot or other impacts, and to the decline and premature death of a highly valued landscape tree.

Construction activities outside the protected zone can have damaging impacts on existing trees. Underground water sources can be cut off due to falling water tables, or drainage may be disrupted.

Trenching

Digging of trenches in the root zone should be avoided. Roots may be cut or severely damaged, and the tree can be killed.

If trenches must be placed within the protected zone, utilities can be placed in a conduit, which has been bored through the soil, reducing damage to the roots. Insist that as many utilities as allowed be placed in a single trench, instead of the common practice of digging a separate trench for each individual line.

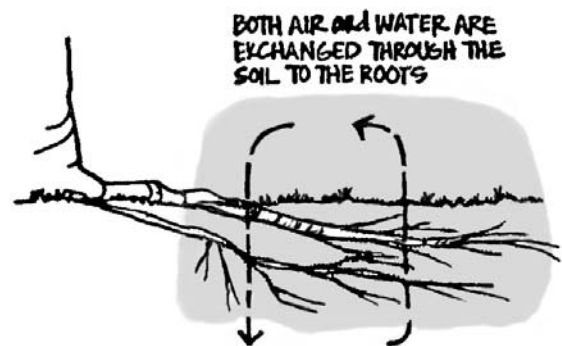
Trenching can also be accomplished using hand tools or small hand held power equipment to avoid cutting roots. Any roots exposed during this work should be covered with wet burlap and kept moist until the soil can be replaced.

Soil Compaction and Paving

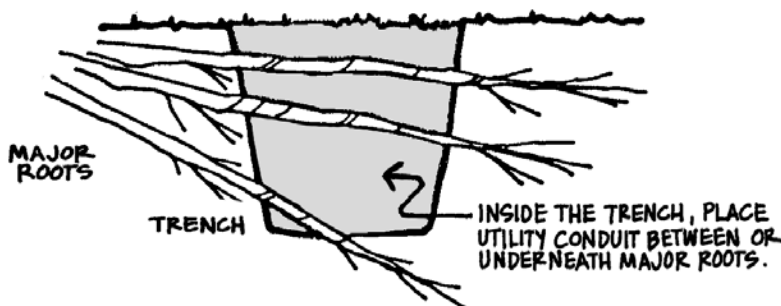
The roots depend upon an important exchange of both water and air through the soil within the protected zone. Any kind of activity that compacts the soil in this area blocks this exchange and can have serious long-term negative effects on the tree.

If paving material must be used, some recommended surfaces include brick paving with sand joints, or ground coverings such as wood chips (note the advantages of natural materials for providing nutrients under *mulching*).

SOIL COMPACTION



TRENCHING



MAINTENANCE

Watering

The key is prevention – **do not over water**. Improper watering is often overlooked as the cause of tree death because it can take years for the damage to show. Once the tree shows obvious signs of decline, it is often too late to correct the problem.

The seasonal weather pattern for this region is one of dry summers and winter rain. Oak trees are naturally drought tolerant and adapted to this cycle. If the tree is vigorous and thriving it should not require **any** additional water.

If the natural source of surface or underground water has been altered, some supplemental water may be necessary, but proceed with caution. The goal of any watering schedule for oak trees should be to supplement natural rainfall and it should occur only when the tree would normally receive moisture. This might be in the winter, if rains are unusually late, or in spring if rainfall has been below normal levels.

Over watering, especially during the summer months, causes a number of problems which can lead to decline and eventual death of the tree. It creates ideal conditions for attacks of Oak Root Fungus by allowing the fungus to breed all year. In addition, both evergreen and deciduous oaks grow vigorously in the spring and naturally go dormant in the summer. Extra water only encourages new tip growth which is subject to mildew. Oaks need this period of rest.

Newly planted oaks may need supplemental watering during their first few summers. After they become established water should be applied according to the previous guidelines.

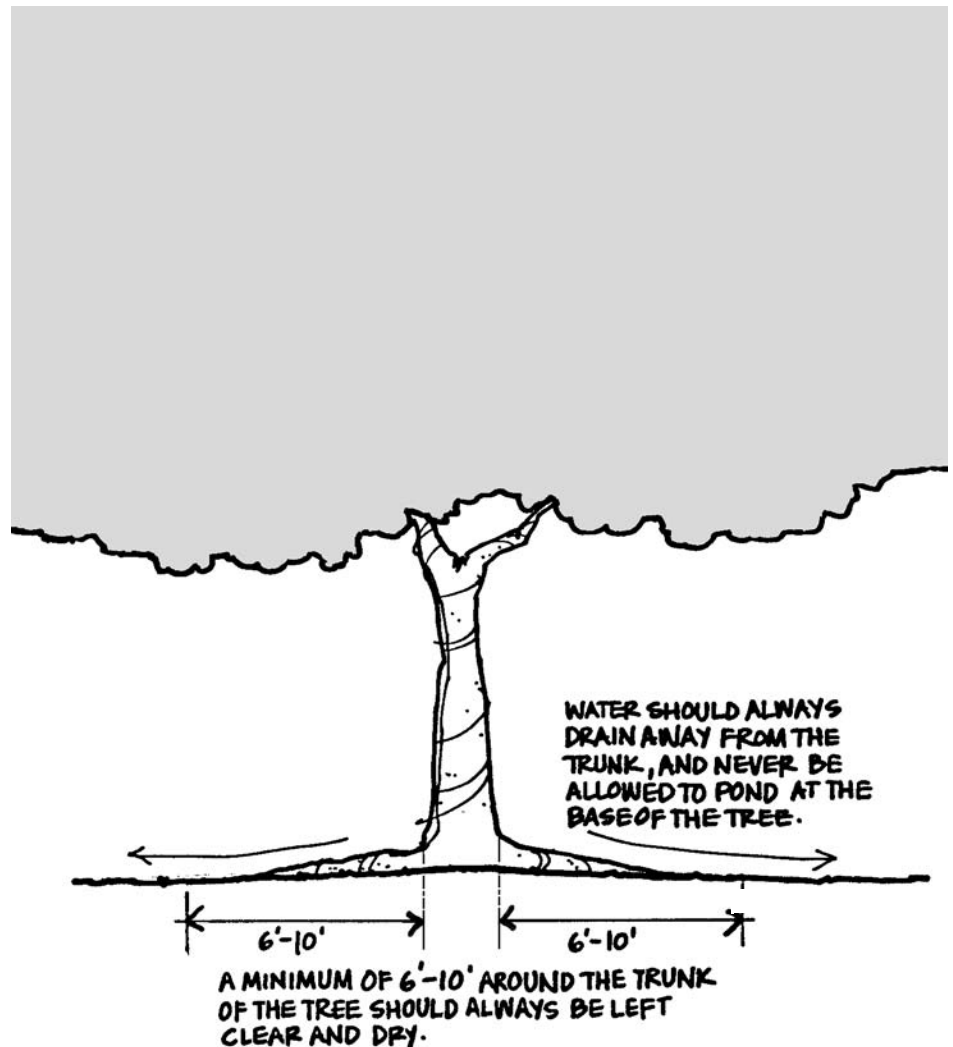
Pruning

For oak trees the periodic removal of dead wood during periods of tree dormancy should be the only pruning needed. Any cutting of green wood opens scars that could allow the entry of organisms or disease.

Before pruning obtain the advice of a certified arborist or other professional and consult the local city or county where the tree is located to find out what regulations apply. Pruning of both live and dead wood can sometimes require a permit.

Mulching

Leaf litter from the tree is the best mulch and should be allowed to remain on the ground within the protected zone. Crushed walnut shells or wood chips can be used, but the oak leaves that drop naturally provide the tree with a source of nutrients. Avoid the use of packaged or commercial oak leaf mulch which could contain Oak Root Fungus. Redwood chips should not be used due to certain chemicals present in the wood.



Disease and Pests

Trees that are stressed, especially because of improper watering practices, are prone to certain diseases and attacks by pests.

The most damaging of these diseases is the Oak Root Fungus *Armillaria mellea*. Occurring naturally in the soil, the fungus thrives under wet conditions and dies back in the summer when soils dry out. This is why summer watering of oaks can be a deadly practice. As noted in the watering guidelines, wet soil in the summer allows the fungus to grow all year. As the population grows, their natural food sources are depleted and they begin feeding on oak tree roots. The fungus does not require an open wound in the tree to gain entry.

Indications of the fungus include:

- die back of branches or tips.
- honey colored fungus at or near the root crown.
- white fan-like fungus between wood and bark.
- the presence of black, shoestring-like growths in the soil.

Once the tree begins to show obvious signs of infection treatment is generally ineffective. The best treatment is to *avoid* the conditions that lead to Oak Root Fungus infections.

Pit Scale, Oak Moth, and other pests: any significant changes in leaf color, branch die back, presence of black sooty materials on leaves or other changes should be noted. Seek the advice of a professional forester, arborist, farm advisor or other expert before the application of any pesticides on an oak tree.

Planting Underneath Oaks

The natural leaf litter is by far the best ground cover within the protected zone. If plants must be placed, the following guidelines should be followed:

There should be no planting within a minimum 6 to 10 feet of the trunk.

Avoid plants that require any supplemental water once established.

Choose plants suited for “dry shade.” Those listed in the box below offer some good choices. To see some examples of how these plants have been used under oaks refer to the Additional Resources section on the following page.

PLANTS TO CONSIDER:

Plant Name	Description
<i>Arctostaphylos densiflora</i> 'Howard McMinn' Manzanita	3' high, 6' wide. Toughest of available forms. Whitish-pink flowers.
<i>Arctostaphylos edmundsii</i> Little Sur Manzanita	1-2' high, 4-5' wide. Tolerant of full shade.
<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita	1-2' high, spreading to 12' wide by rooting branches. White to pink flowers.
<i>Ceanothus griseus horizontalis</i> Carmel Creeper	Less than 2 1/2' tall, low & creeping. Clusters of small blue flowers.
<i>Heuchera spp.</i> Coral Bells	2-4' mound. Flowers on an upright stem 2-3' high and spotted with red or pink.
<i>Mahonia aquifolium compacta</i> Oregon Grape	2-4' high, spreading by underground roots. Bright yellow flower clusters.
<i>Ribes viburnifolium</i> Evergreen or Catalina Currant	2-3' high, spreading to 12' wide. Flowers pink to red in small clusters.

NOTES:

Before deciding on plants, check a source such as the [Sunset Western Garden Book](#) to determine which plants will grow in your area.

When choosing shade tolerant plants, consider that the ground under the south side of the tree will get more sunlight while the northern side will tend to remain more deeply shaded.

ADDITIONAL RESOURCES and Places to Visit

Public Agencies

County of Los Angeles Fire Department
Prevention Bureau, Forestry Division
5823 Rickenbacker Road, Rm #123
Commerce, CA 90040-3027
(323) 890-4330
<http://www.fire.lacounty.gov/forestry>

**University of California
Oak Woodland Conservation Workgroup**
http://ucanr.edu/sites/oak_range/

Private Organizations

The Theodore Payne Foundation
10459 Tuxford Street
Sun Valley, CA 91352-2126
(818) 768-1802
www.theodorepayne.org

California Native Plant Society
2707 K Street, Suite 1
Sacramento, CA 95816-5113
(916) 447-2677
www.cnps.org

California Oaks
428 13th. Street, Suite 10A
Oakland, CA 94612
(510) 763-0282
www.californiaoaks.org

Arboretums and Botanic Gardens

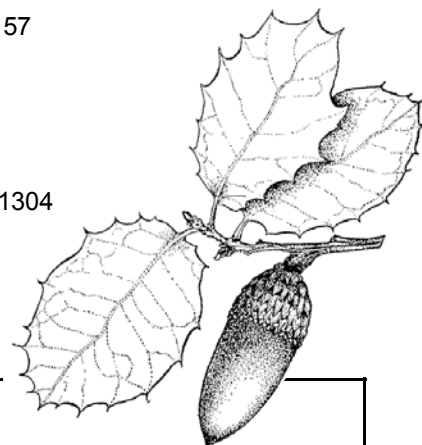
Los Angeles County Arboreta and Botanic Gardens
301 N. Baldwin Ave.
Arcadia, CA 91007-2697
(626) 821-3222
www.arboretum.org

Los Angeles County South Coast Botanic Garden
26300 Crenshaw Blvd.
Palos Verdes Peninsula, CA 90274-2515
(310) 544-1948
www.southcoastbotanicgarden.org

Los Angeles County Descanso Gardens
1418 Descanso Drive
La Canada-Flintridge, CA 91011-3102
(818) 949-4200
www.descansogardens.org

Rancho Santa Ana Botanic Garden
1500 North College
Claremont, CA 91711-3157
(909) 625-8767
www.rsabg.org

The Lummis Home
200 E. Avenue 43
Los Angeles, CA 90031-1304
(818) 243-6488



Publications

For a list of publications both free and for purchase checkout the **University of California Oak Woodland Conservation Workgroup** at http://ucanr.edu/sites/oak_range/

Goldspotted Oak Borer: Integrated Pest Management for Land Managers and Landscape Professionals
University of California Statewide Integrated Pest Management Program. January 2013.



County of Los Angeles Fire Department Forestry Division

County of Los Angeles Board of Supervisors

Hilda L. Solis, First District
Holly J. Mitchell, Second District
Lindsey P. Horvath, Third District
Janice Hahn, Fourth District
Kathryn Barger, Fifth District

County of Los Angeles Fire Department

Anthony C. Marrone, Fire Chief

Defensible Space Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-2375

Environmental Review Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5719

Fire Plan Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5783

Fuel Modification Unit
605 N. Angeleno Avenue
Azusa, CA 91702
(626) 969-5205

Grants/Interpretive Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5723

Malibu Forestry Unit
942 N. Las Virgenes Road
Calabasas, CA 91302
(818) 222-1108

San Dimas Forestry Unit
1910 N. Sycamore Canyon Road
San Dimas, CA 91773
(909) 599-4615

Technical Operations Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5752

Vegetation Management Unit
12605 Osborne Street
Pacoima, CA 91331
(818) 890-5720

ARBORIST'S RECOMMENDED PRESERVATION MEASURES (EXTRACTED FROM OAK TREE REPORT)

REBECCA LATTA CONSULTING – ISA Certified Arborist WE 04264A

Recommended Tree Preservation Measures:

Protect Anchor/Structural Roots: Define a Root System Protection Area

Anchor roots occur within the first 15 feet of the trunk and farther. A 30 ft protection radius is recommended for all trees. No heavy equipment is to be parked or operated in this area. Feeder roots extend beyond the dripline of the tree as much as 20%. If roots over 1" are encountered, contact a qualified arborist. Roots are to be pruned, when necessary, with sharp, sterilized pruning tools. Pruning tools are recommended to be sterilized between cuts. Sterilization can occur either with a mini-torch or 70% alcohol solution for 3 -5 minutes.

Protect Feeder Root/Absorptive Roots: Limit compaction and removal of roots

1. Discourage storage of materials and equipment in the root zone of the trees.
2. Stage materials and vehicles outside of the 'feeder root' area of the tree.
3. Avoid trenching for sprinklers, sewers or main lines underneath the canopy of mature trees. Damage the feeder roots can cause trees to experience water stress because they can no longer keep their leaves hydrated.
4. Work occurring under the canopy of protected trees should be observed by a qualified arborist. Roots over 1 inch encountered during construction activities should be cut cleanly with a sharp pruning saw. Pruning should be according to the ANZI A300 standards for pruning.

Landscaping under Trees

1. Irrigation – The area adjacent to the trunk should be completely dry. In nature, the leaves of a tree prevent moisture from falling next to the trunk. If the root crown area stays wet, opportunistic fungus will cause decline in the tree. The two most prominent predatory disease organisms in Southern California are Avocado Root Rot *Phytophthora cinnamomi* and Oak Root Fungus *Armillaria mellea*. At minimum, all irrigation should be at least fifteen feet from the trunk. No spray should hit the trunk of trees.
2. Plant Resistant Varieties – Avoid plants that are susceptible to either Avocado Root Rot or Oak Root Fungus.
3. Apply Mulch – A three to four-inch thick layer of mulch throughout the protected zone of each tree. Large bark chips are the most effective at suppressing weeds and retaining moisture.
4. Avoid Rock Mulches – Keep rocks away from the trunks of trees. Moisture builds up underneath the rocks and provides a favorable environment for disease pathogens leading to the decline of the tree.

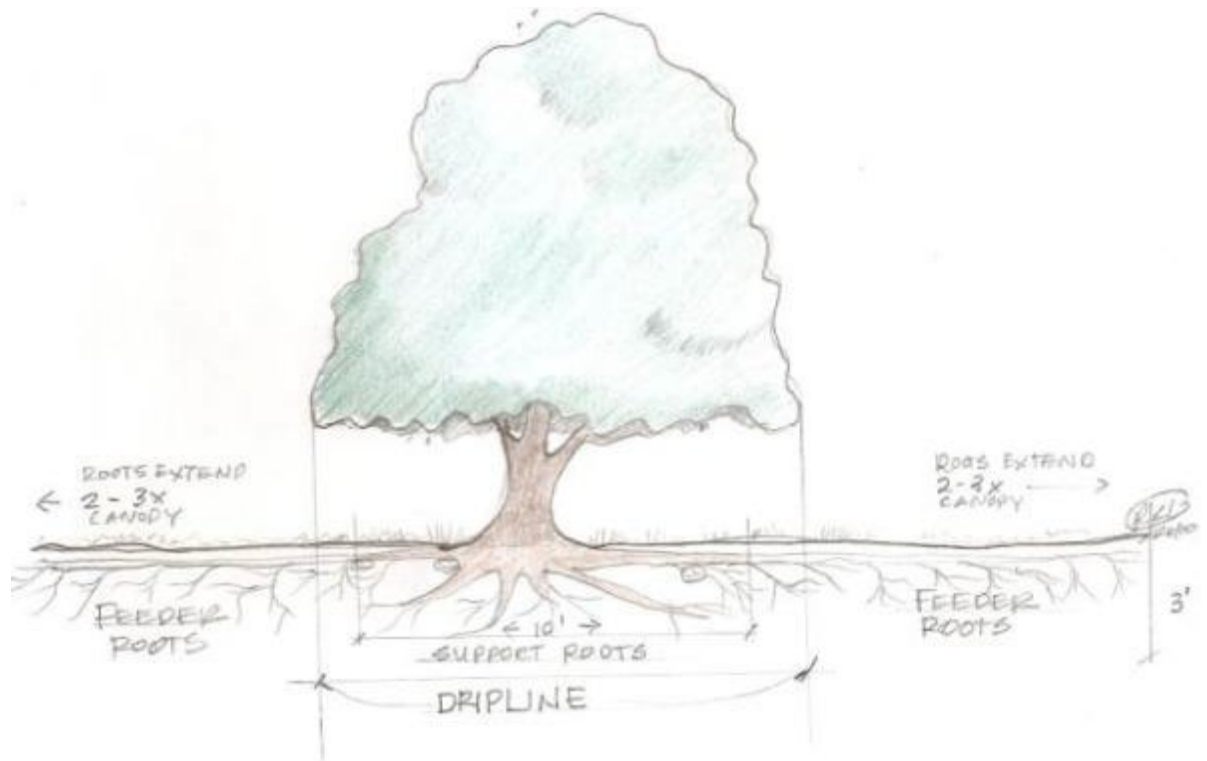


Figure 1: Tree Root System Diagram

When to Call an Arborist for Field Monitoring or Assistance

If the contractor is working in the dripline or 'protected zone', a qualified arborist should monitor the work.

Pruning

If trees are damaged during construction or require clearance pruning, they must be pruned by qualified arborist using ANZI A300 or equivalent (Best Management Practices 2008). More information is available at www.isa-arbor.com. A prescription pruning plan specific to each tree is recommended.

Insects and Disease Pathogens

Early detection of insects or disease is important to preventing damage to valuable tree specimens. Signs such as early fall color, weeping sap, stains on trunk, conks or mushrooms, partial or entire brown leaves should be discussed with a certified arborist or pest control advisor. Spraying and pesticide use should be a last resort. Least toxic approaches to insect and disease management are available for many problems.

Avoid Changes in Soil Level

Excess soil of 2 inches or more in the protected zone of a tree can cause the roots to suffocate and die leading to tree decline. Excess soil should not be spread under existing trees. If excess soil is present, it should be carefully removed back to natural grade.

**MITIGATION MONITORING AND REPORTING PROGRAM
ALTADENA MAIN LIBRARY RENOVATION PROJECT
ALTADENA, CALIFORNIA**

Prepared for:

LOS ANGELES DEPARTMENT OF REGIONAL PLANNING
320 West Temple Street
Los Angeles, CA 90012

Prepared by:



CHAMBERS GROUP, INC.
3151 Airway Avenue, Suite F208
Costa Mesa, California 92626
(949) 261-5414

March 2026

MITIGATION MONITORING AND REPORTING PROGRAM

Public Resources Code, Section 21081.6 (Assembly Bill 3180) requires that mitigation measures identified in environmental review documents prepared in accordance with California Environmental Quality Act (CEQA) are implemented after a project is approved. This Mitigation Monitoring and Reporting Program (MMRP) has been prepared for the Altadena Main Library Renovation Project (Project), as set forth in the Final Environmental Impact Report (Final EIR), ensure compliance with adopted mitigation measures.

The County of Los Angeles (County) is the Lead Agency that must adopt the MMRP for development under the Project. The MMRP will be kept on file with the Los Angeles County Department of Regional Planning, 320 West Temple Street, 13th Floor, Los Angeles, California, 90012.

The project applicant, Altadena Library District (“District”), is the responsible party for carrying out the mitigation measures identified in this MMRP. This MMRP provides the Lead Agency and project proponent with a convenient mechanism for quickly reviewing all the mitigation measures including the ability to focus on select information such as timing. Los Angeles County will provide oversight and enforcement of MMRP actions. The MMRP includes the following information for each mitigation measure:

- The phase of the project during which the required mitigation measure must be implemented;
- The phase of the project during which the required mitigation measure must be monitored; and
- The enforcement agency.

The MMRP includes a checklist to be used during the mitigation monitoring period. The checklist will verify the name of the monitor, the date of the monitoring activity, and any related remarks for each mitigation measure.

MITIGATION MONITORING AND REPORTING PROGRAM							
The Altadena Main Library Renovation Project							
Mitigation Measure	Implementation Phase	Monitoring Phase	Enforcement Agency	Level of Significance After Mitigation	Verification of Compliance		
					Initial	Date	Remarks
Biological Resources							
<p>BIO-1: Tree Survey, Protection, and Maintenance. Prior to the issuance of any building permits, the Altadena Library District shall retain a certified arborist to conduct a tree survey and complete a report identifying all trees proposed for removal. The report shall include, at a minimum, the species, size (diameter at breast height), health condition, and location of each tree. The Tree Survey and Report shall be submitted to the County for review and approval to determine applicable tree replacement requirements in accordance with County ordinances. The Altadena Library District shall implement all required replacement measures as determined by the County. Any new or replacement oak trees shall consist of native oak species to avoid hybridization with non-native species.</p> <p>Any pruning of oak trees shall be conducted in accordance with County Code Chapter 22.174, which states that maintenance shall be limited to medium pruning of branches not exceeding two (2) inches in diameter, unless otherwise approved by the County, and shall be conducted in accordance with the guidelines of the International Society of Arboriculture to ensure the continued health of protected trees. The protection, maintenance, and care of all remaining and new oak trees, regardless of size, shall be conducted in accordance with: (1) the recommendations of the certified arborist or County Forester; (2) applicable County guidance documents, including the Oak Trees: Care and Maintenance Guide; and (3) the oak tree reports prepared for Oak Tree Permit No. RPPL2025003986. All such measures shall be implemented throughout construction and for any post-construction maintenance period required by the County.</p>	Pre-construction, Construction, and Operation	Pre-construction, Construction, and Operation	Los Angeles County	Less than Significant			
Cultural Resources							
<p>CUL-1: Historic American Buildings Survey-like Documentation. Prior to commencement of demolition, the building should be recorded through a documentation report based on Historic American Buildings Survey (HABS) standards. The report will be completed by an architectural historian or historic architect who meets the Secretary of the Interior's Professional Qualification Standards and will be based on the National Park Service (NPS) HABS Level III format and content requirements. An archival copy of the HABS report will be filed with the Altadena Library and nonarchival copies may be deposited in the collections of the Long Beach Public Library and Long Beach Heritage Museum, if requested, and in the California Historical Resources Information System (CHRIS) South Central Coastal Information Center (SCCIC).</p>	Pre-construction	Pre-construction	Los Angeles County	Significant and Unavoidable			

MITIGATION MONITORING AND REPORTING PROGRAM The Altadena Main Library Renovation Project							
Mitigation Measure	Implementation Phase	Monitoring Phase	Enforcement Agency	Level of Significance After Mitigation	Verification of Compliance		
					Initial	Date	Remarks
CUL-2: Salvage and Use of Salvaged Materials. Prior to the commencement of demolition, the Altadena Library District shall coordinate with an architectural historian or historic architect who meets the Secretary of the Interior’s Professional Qualification Standards, the Project architect, and the demolition contractor to develop a list of materials that would be salvaged during demolition and a salvage plan which may include architectural history monitoring during demolition.	Pre-construction	Pre-construction	Los Angeles County	Significant and Unavoidable			
Tribal Cultural Resources							

MITIGATION MONITORING AND REPORTING PROGRAM The Altadena Main Library Renovation Project							
Mitigation Measure	Implementation Phase	Monitoring Phase	Enforcement Agency	Level of Significance After Mitigation	Verification of Compliance		
					Initial	Date	Remarks
<p>TCR-1: Retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities.</p> <p>A. The Altadena Library District shall retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians – Kizh Nation. The monitor shall be retained prior to the commencement of any “ground-disturbing activity” for the subject project at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in connection with the project, such as public improvement work). “Ground-disturbing activity” shall include, but is not limited to, demolition, pavement removal, potholing, auguring, grubbing, tree removal, boring, grading, excavation, drilling, and trenching.</p> <p>B. A copy of the executed monitoring agreement shall be submitted to the lead agency prior to the commencement of any ground-disturbing activity, or the issuance of any permit necessary to commence a ground-disturbing activity.</p> <p>C. The monitor will complete daily monitoring logs that will provide descriptions of the relevant ground-disturbing activities, the type of construction activities performed, locations of ground-disturbing activities, soil types, cultural-related materials, and any other facts, conditions, materials, or discoveries of significance to the Tribe. Monitor logs will identify and describe any discovered TCRs, including but not limited to, Native American cultural and historical artifacts, remains, places of significance, etc., (collectively, tribal cultural resources, or “TCR”), as well as any discovered Native American (ancestral) human remains and burial goods. Copies of monitor logs will be provided to the project applicant/lead agency upon written request to the Tribe.</p> <p>D. On-site tribal monitoring shall conclude upon the latter of the following (1) written confirmation to the Kizh from a designated point of contact for the project applicant/lead agency that all ground disturbing activities and phases that may involve ground-disturbing activities on the project site or in connection with the project are complete; or (2) a determination and written notification by the Kizh to the project applicant/lead agency that no future, planned construction activity and/or development/construction phase at the project site possesses the potential to impact Kizh TCRs.</p>	Pre-construction	Construction	Los Angeles County	Less than Significant			

MITIGATION MONITORING AND REPORTING PROGRAM The Altadena Main Library Renovation Project							
Mitigation Measure	Implementation Phase	Monitoring Phase	Enforcement Agency	Level of Significance After Mitigation	Verification of Compliance		
					Initial	Date	Remarks
<p>TCR-2: Unanticipated Discovery of Tribal Cultural Resource Objects (Non-Funerary/Non-Ceremonial).</p> <p>Upon discovery of any TCRs, all construction activities in the immediate vicinity of the discovery shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by the Kizh monitor and/or Kizh archaeologist. The Kizh will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the Tribe's sole discretion, and for any purpose the Tribe deems appropriate, including for educational, cultural and/or historic purposes.</p>	Construction	Construction	Los Angeles County	Less than Significant			
<p>TCR-3: Unanticipated Discovery of Human Remains and Associated Funerary or Ceremonial Objects.</p> <p>A. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in Public Resources Code Section 5097.98, are also to be treated according to this statute.</p> <p>B. If Native American human remains and/or grave goods are discovered or recognized on the project site, then Public Resource Code 5097.9 as well as Health and Safety Code Section 7050.5 shall be followed.</p> <p>C. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2).</p> <p>D. Preservation in place (i.e., avoidance) is the preferred manner of treatment for discovered human remains and/or burial goods.</p> <p>E. Any discovery of human remains/burial goods shall be kept confidential to prevent further disturbance.</p>	Construction	Construction	Los Angeles County	Less than Significant			

CONDITIONAL USE PERMIT STATEMENT OF FINDINGS

Pursuant to County Code Section [22.158.050](#) (Findings and Decision), the applicant shall substantiate the following:

(Please see [Guidelines for Writing Your Conditional Use Permit Findings Statement](#). Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

<p>B.1 The proposed use will be consistent with the adopted General Plan for the area.</p>
<p>The Project site is designated in the General Plan as Other Property Type, and zoned as Single Family Residential (R-1). According to the County's zoning code, libraries are conditionally authorized land uses within the R-1 zone (MC Section 22.18). The Project does not propose a change to the existing land use or zoning designations.</p> <p>The project supports General Plan Goal PS/F 8.1: "Ensure a desired level of library service through coordinated land use and facilities planning." Likewise, the project supports the Altadena Community Plan Policy Issue 1.5: "Provide for strengthening of existing corridors and clusters of commercial, industrial, and public uses (library, parks, senior citizens facilities, etc.) as principal activity centers of the Altadena Community." It also supports Policy Issue 2.8: "Ensure that residential neighborhoods are supported by adequate open spaces, community facilities, and amenities."</p> <p>The proposed project would allow The Altadena Library to improve and expand the important services the library provides to the Altadena community.</p>
<p>B.2 The requested use at the location proposed will not:</p> <ul style="list-style-type: none"> a. Adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; b. Be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and c. Jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare.
<p>The Proposed Project would result in temporary impacts to air quality, noise, and traffic during repair and upgrade activities. The impacts would cease upon completion of construction. However, with implementation of BMPs and compliance with existing regulations, the proposed project would not result in any unmitigated significant adverse impacts to public health, safety, or persons in the area.</p>
<p>B.3 The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.</p>
<p>The proposed project activities include reconfiguration of the library, interior and exterior improvements, and the addition of an exterior reading court and deck for the library. All work would take place within the existing library and parking lot property, and the site size is adequate for all the proposed work to be completed.</p>

B.4 The proposed site is adequately served:

- a. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of traffic such use would generate; and
- b. By other public or private service facilities as are required.

The Altadena Main Library is currently adequately served by Mariposa Avenue and Santa Rosa. A bus stop is located diagonally across the intersection of Mariposa and Santa Rosa. The proposed minor expansion to the lobby would not create a substantial increase in library occupant load; the existing roadways would remain adequate to serve the completed project. No additional public or private service facilities are required for the proposed use beyond those already existing in and around the site.



Los Angeles County
Department of Regional Planning



Planning for the Challenges Ahead

OAK TREE PERMIT FINDINGS

Please identify the number of oak trees proposed for:

___ Removal 2 Encroachment 2 To Remain 2 Total existing oak trees

Pursuant to Section 22.174.060 (Findings and Conditions), the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

B.1 The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.

Project proposes to airspade a trench for underground power lines so that they can be run underneath the root plate of both trees (51 and 52). There is an irrigation mainline proposed to be placed within the protection zone of Oak 52 with a note on Plan L200 that states if a clear path cannot be located around the roots of the tree, a steel pipe is to be installed above grade. There is a fire water line proposed for the north edge of tree 51.

B.2 The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

No oak trees are proposed for removal

Type text here

B.3 In addition to the above facts, at least one of the following findings apply:
a. That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that:
i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or
ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized;
b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or
c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.

No oak trees are proposed for removal

B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

No oak trees are proposed for removal.

EXHIBIT F:
**ENVIRONMENTAL IMPACT REPORT,
FINDINGS OF FACT, MITIGATION
MONITORING AND REPORTING PROGRAM,
AND STATEMENT OF OVERRIDING
CONSIDERATION**

SEE LEGISTAR FILE VIA THIS LINK:

<https://bit.ly/PRJ2023-000474>

LA County Legistar File # 24-300



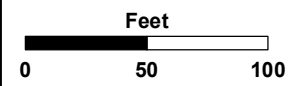
AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2023-000474

CUP RPPL2023000666

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2025



LA COUNTY
PLANNING

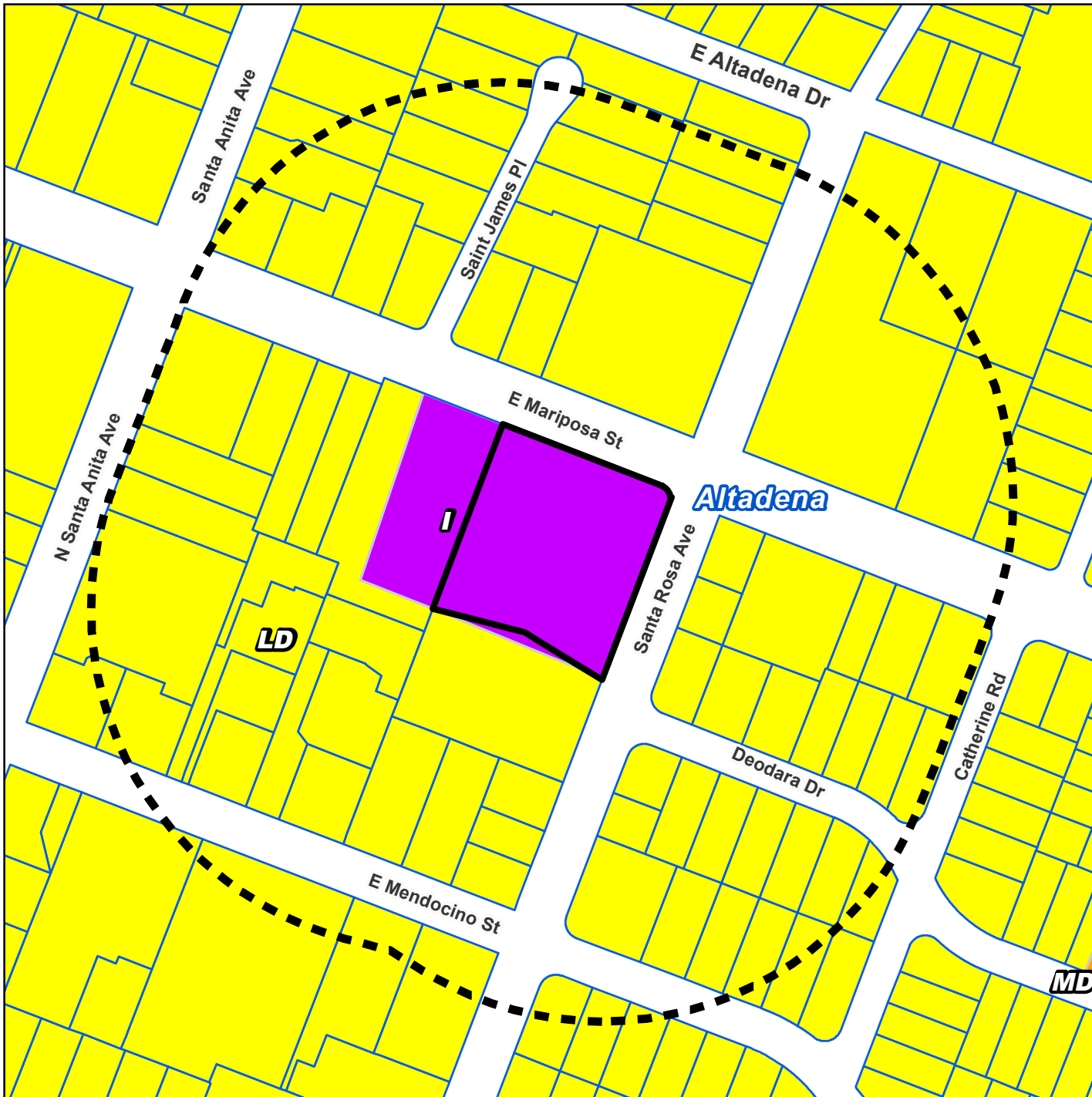
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012


LAND USE POLICY

500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-000474

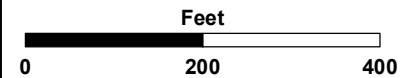
CUP RPPL2023000666



 LD - Low Density Residential (1 to 6 du/gross ac)

 MD - Medium Density Residential (12 to 22 du/gross ac)

 I - Institutions



LA COUNTY
PLANNING

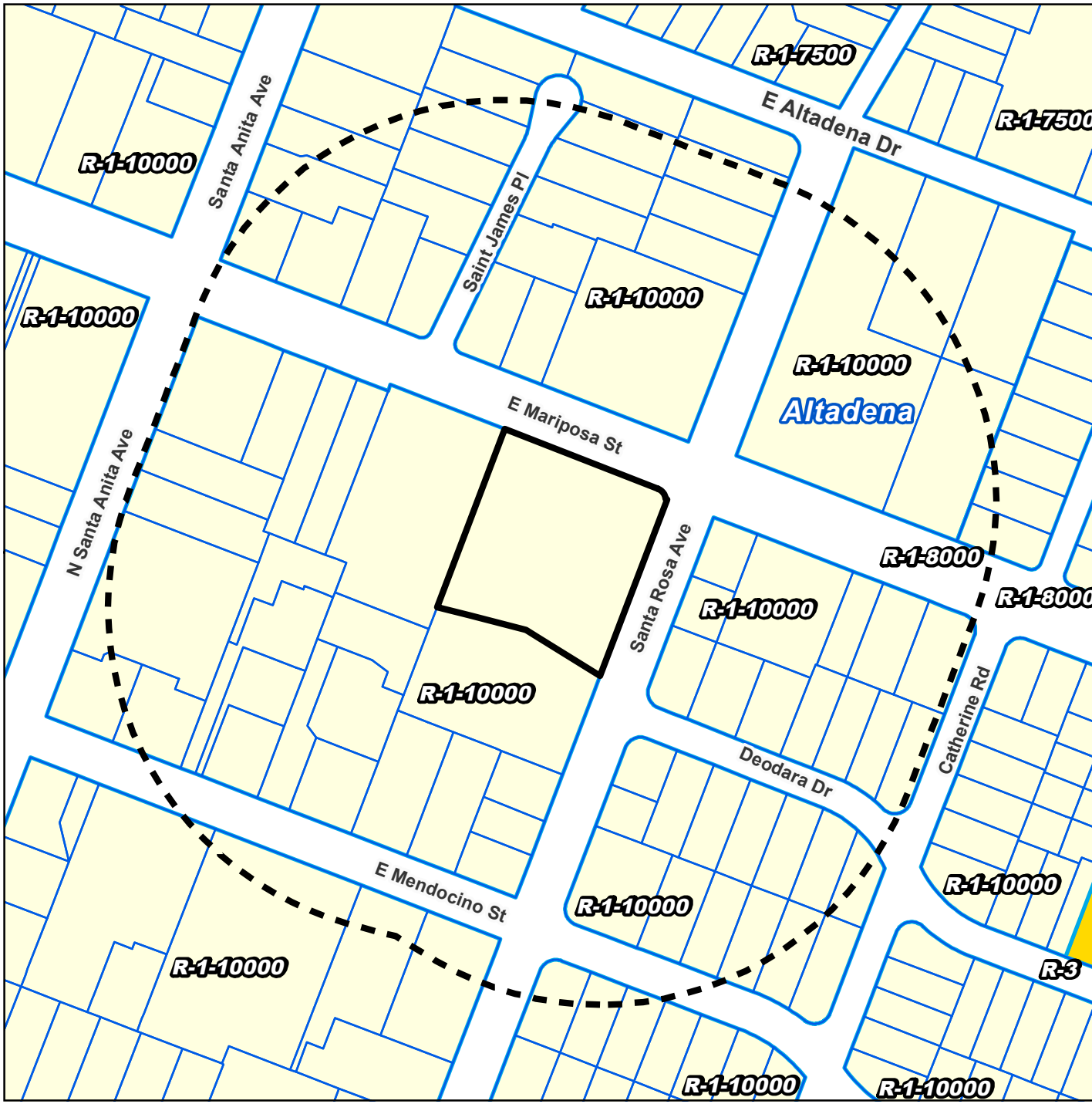
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



ZONING

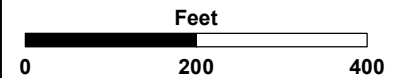
500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-000474

CUP RPPL2023000666



-  R-1 - Single-Family Residence
-  R-3-()U - Limited Density Multiple Residence



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

EXHIBIT H - SITE PHOTOS



South façade of the Altadena Main Library with an existing CMU wall covering the entrance from the surface parking lot.



North façade of the Altadena Main Library from Mariposa Street.

EXHIBIT H - SITE PHOTOS



Existing Altadena Main Library entrance at Santa Rosa Avenue



Steps to the library entrance from the surface parking lot

EXHIBIT H - SITE PHOTOS



Pedestrian pathway from the surface parking lot to the library entrance on the south side.



Vehicular entrance into the surface parking lot from Santa Rosa Avenue

EXHIBIT H - SITE PHOTOS



Existing Library signage

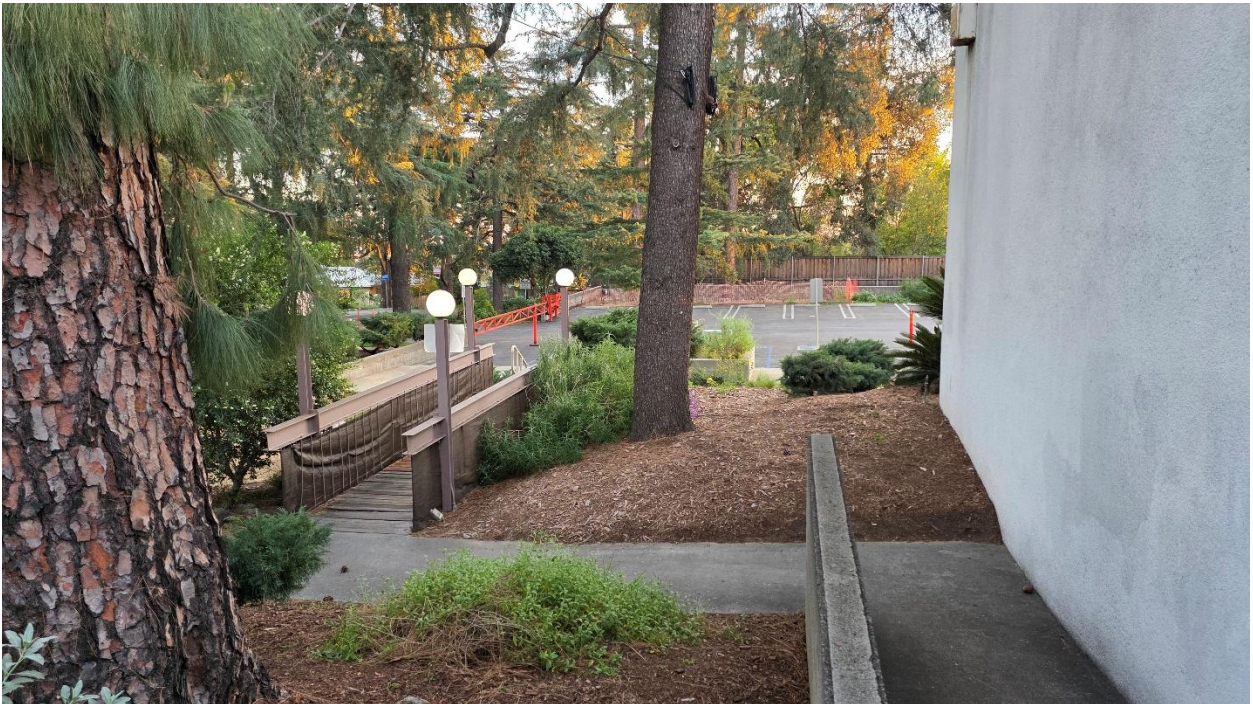


Pedestrian pathway with steps leading to the library entrance fronting Santa Rosa Avenue

EXHIBIT H - SITE PHOTOS



Existing pedestrian wooden footbridge from Mariposa Street



Existing footbridge leading to the library entrance from the surface parking lot

EXHIBIT H - SITE PHOTOS



View of Oak Tree #51 (center) and Tree #52 (behind Tree #51 to the right) on Mariposa Street



Existing landscaping space fronting Santa Rosa Avenue

APPENDIX C
SURVEY PHOTOGRAPHS

EXHIBIT H
SURVEY PHOTOGRAPHS EXTRACTED FROM APPENDIX C OF THE
2024 HISTORICAL RESOURCES IMPACT ASSESSMENT REPORT



South elevation, facing northwest. New two-story atrium/entrance and deck will be located on this elevation.



South elevation, facing northeast. Doors and fenestration on first floor will be altered.



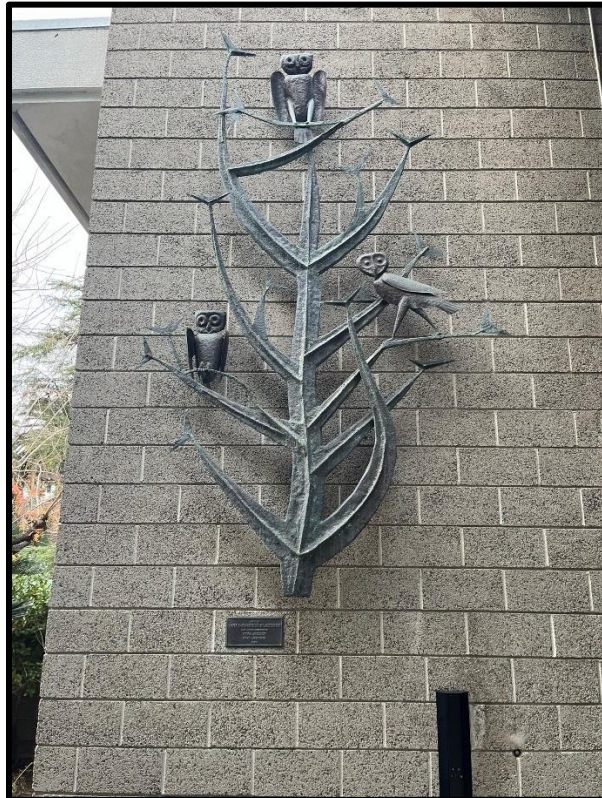
South elevation of community room, facing north. New deck will be located on this elevation, with a shade canopy and sliding doors. New fenestration will be added to east and north elevations of the community room.



South and east elevations, facing northwest. New two-story atrium/entrance and deck will be located on this elevation.



South elevation entry doors. These will be removed.



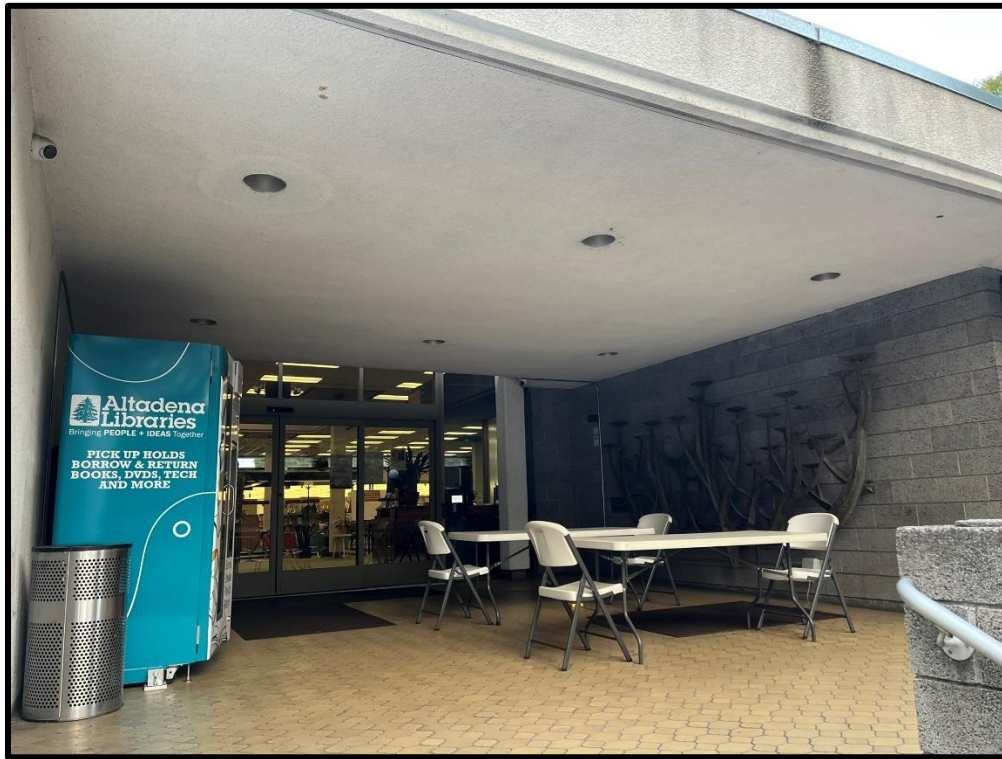
South elevation David Green sculpture. Planned to be relocated.



South elevation bridge, facing north. Bridge expected to remain, materials replaced in-kind if necessary.



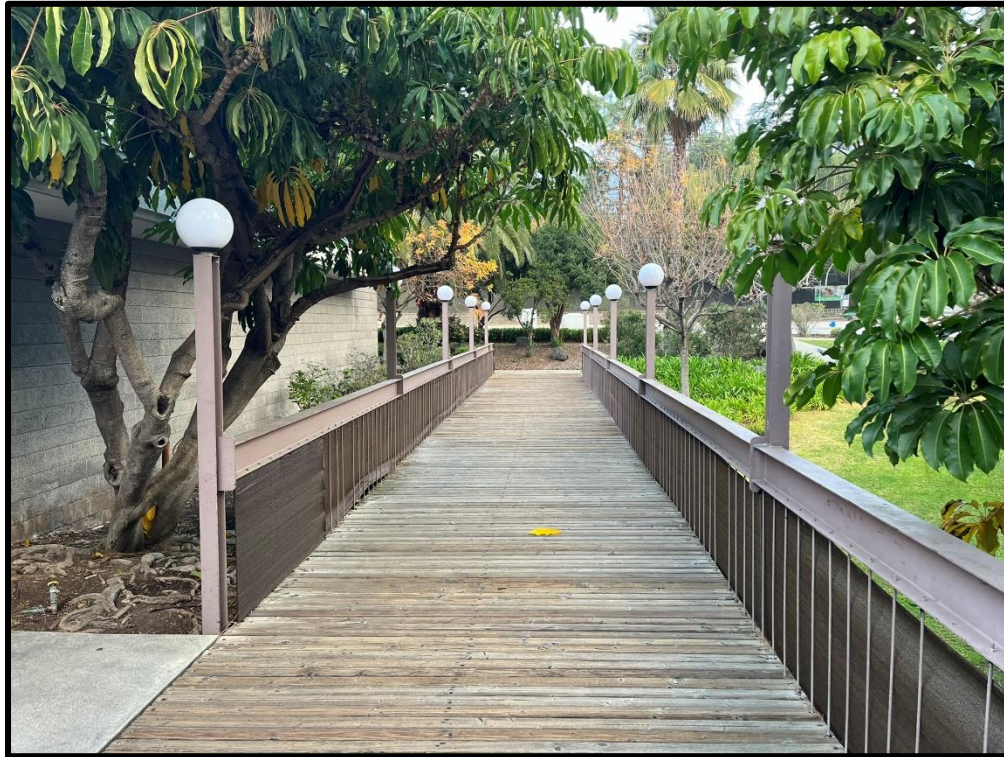
South elevation bridge and east elevation of community room, facing northwest. Bridge expected to remain, materials replaced in-kind if necessary. New fenestration is proposed on east elevation of community room.



East elevation entry, facing east. Non-historic-period doors and windows which will likely be replaced.



East elevation entry David Green sculpture. No current plan to relocate.



East elevation bridge, facing north. Bridge expected to remain, materials replaced in-kind if necessary.



East elevation bridge, facing west. Bridge expected to remain, materials replaced in-kind if necessary.



North elevation, west and central portion, facing south. New entrance door and parking lot planned for west portion of the elevation, potential sunken amphitheater planned for central portion; several trees will be removed.



North elevation, east portion, facing south. Fenestration and doors will change.



West elevation, facing northeast. No expected modifications to this elevation.



HVAC enclosure. Modifications will be made to make them more cohesive with the building.



North and east elevation pathway and landscaping, facing southwest. Concrete walkway will be modified.



East elevation community garden, facing northwest; will not experience significant changes.



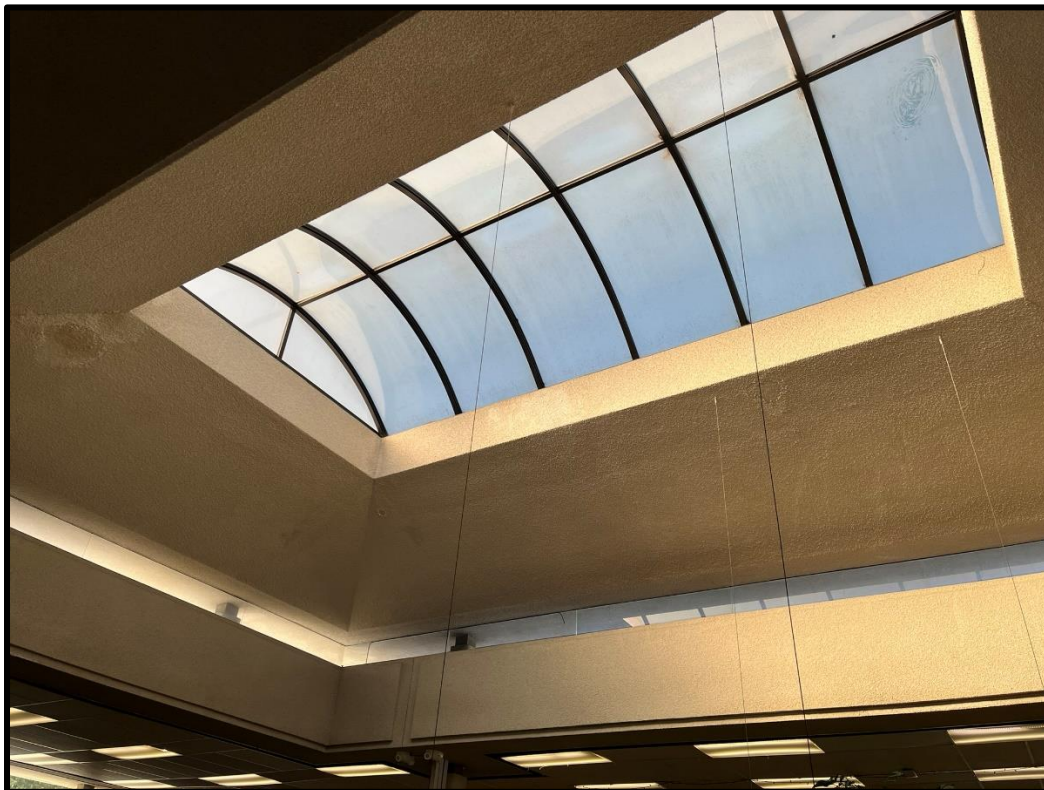
Interior view of south elevation entrance. Community room access on the left of image, bathrooms on the right of image. Space will be significantly modified.



Interior view, community room, facing west.



Sunken reading area, facing southwest. Steps on left side of image will be replaced with ADA-compliant ramp, globe lamps will remain. Portion of wood wall on left side of image will be removed.



Skylight clearstory windows over sunken reading area. Glass will be replaced.



Office on eastern portion of main floor, facing northeast. Walls, doors, and existing windows will be removed and replaced. Space will be reconfigured.



Western portion of main floor, facing northwest. New office area will be constructed, enclosing area.



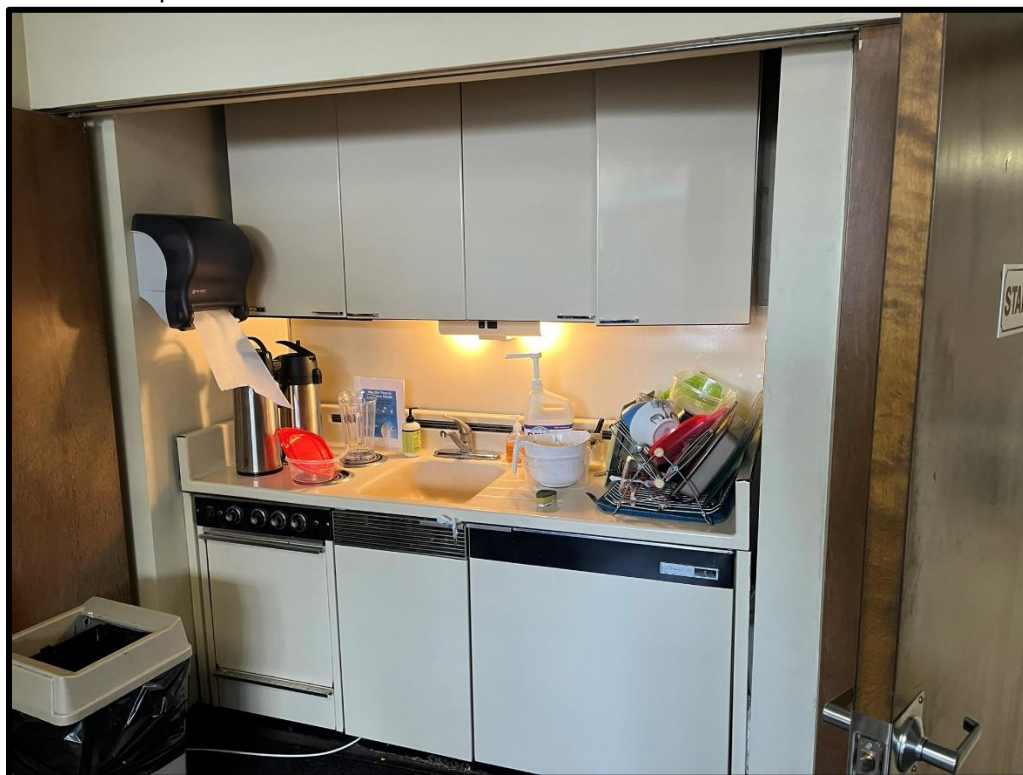
Office on western portion of main floor, facing northeast. Walls, doors, and existing windows will be removed and replaced. Space will be reconfigured.



Western portion of main floor, facing southeast. New lobby area will be constructed here.



Example of circulation desk with detailed relief. The tiles will be reused.



Ca. 1967 kitchenette on ground floor breakroom which should be salvaged.

EXHIBIT I

ALTADENA LIBRARY DISTRICT COMMUNITY OUTREACH SUMMARY

Community Focus Group

Early in the planning phase, the Community Focus Group was formed. With representatives from the Altadena Library Foundation, Friends of the Altadena Library, Altadena Historical Society, Altadena Heritage, and the Altadena Town Council, along with Library staff and community at-large members, this group of community representatives helps the District consistently incorporate feedback and input into the decision making process and assists in identifying when broader-scale, more widespread community engagement is needed.

The following meetings were held with the Community Focus Group with a focus on the Main Library:

- 8/26/21 – Discussed overall scope, budget and schedule of the building program
- 12/14/21 – Discussed overall project scope, budget and schedule for the Main Library
- 1/12/22 – Gathered information on community priorities and reviewed the proposed space programming
- 11/9/22 – Reviewed and gathered feedback on preliminary space layouts and massing
- 12/14/22 – Reviewed and gathered feedback on renderings, floor plans and material and planting images
- 6/20/23 – Reviewed the project budget and proposed cost-saving measures, prioritized alternate designs
- 6/17/24 – Provided a project status and design update

Town Hall Meetings

Two town hall meetings were held – one on January 28, 2023 and one on February 1, 2023 – to present the Schematic Design for the Main Library and to gather feedback from the general public. The meetings were held in a hybrid format and streamed live on YouTube. Videos of the meetings can be found at the following links:

- <https://youtube.com/live/-OdPBvg41zg>
- <https://youtube.com/live/V5HJ-fFRJDk>

Altadena Town Council Meetings

The Altadena Library District Director attended these monthly meetings to provide regular updates on Library happenings, including building project updates. Typical attendance is 40-50 people.

Community Speeches by Library Director

The building projects were included as talking points in Director Nikki Winslow's community speeches beginning in 2023, including the Christmas Tree Lane Lighting Ceremony, Prime Pizza vending machine launch, Poets Laureate events, CSDA meeting, and many others.

Promotional Boards and Survey

Promotional boards with information on the project were displayed at both the Bob Lucas Library and the Altadena Main Library from August 2022 through March 2023. The boards were also taken to all outreach events in the community in the Curiosity Connection for the same time period. The boards included a QR code that linked to an online survey to gather feedback on the respondents' use of the libraries, priorities for the new library, and opinions on the direction of the design of the library. Feedback cards were also provided next to the promotional boards. Promotional boards with renderings and information about the renovation were on display in the Main Library for much of 2025.

Mailer, Website, Email and Social Media Outreach

The community was notified of the January & February 2023 Town Halls by email in January 2023. The town halls were also promoted in January 2023 in the District's Facebook, Instagram, and Nextdoor. The Town Halls and the Building Projects update (June 2024) were posted on the District's Youtube Channel and shared on the building projects webpage on the District website. The June 2024 update video is at:

<https://www.youtube.com/watch?v=rhMEtmiUdHw&list=PLUZFDIIZd0ksDqthbXr4NhmBhYOFO1U2Z&index=5>

In September and October 2025, the community was emailed about the posting of the Environmental Impact Report and notified of public comment deadline. A large board of the EIR was also posted onsite at Main. In fall of 2025, the District website indicated (at the top of each page) that the Main Library would close in early 2026 for renovation. In December 2025, the notice was updated to the end of January 2026.

In early January 2026, the District posted a video about the history of the building and an update on the closure and renovation on its Facebook, LinkedIn, Instagram, and Youtube channels. The video and information were emailed to the community in multiple times in January 2026. The library sent a mailer to Altadena addresses with notification of the closure for the building project, book sale, and the groundbreaking ceremony. The video can be found at:

<https://www.youtube.com/watch?v=OiT7h0L3f38&list=PLUZFDIIZd0ks7WGQBptNhLivAc4Nrb24N>



ALTADENA TOWN COUNCIL

Serving the community since 1975

www.altadenatowncouncil.org

730 East Altadena Drive • Altadena, California 91001

Ms. Amy Bodek
Planning Director
Los Angeles County Department of Regional Planning
320 West Temple Street
Los Angeles, CA 90012

January 25, 2026

Project Number PRJ2923-000474-(5)
Altadena Main Library
600 East Mariposa Street
Altadena, CA 91001

Dear Ms. Bodek

The Altadena Town Council (ATC) resolved at its January 20, 2026 meeting to recommend the APPROVAL of the above mentioned project without conditions. The ATC provided several opportunities for public comment including one Land Use Committee meeting and one ATC meeting. 2 comments were made at the Land Use meeting, both were in favor of the project, none were received at the ATC meeting. In addition, 38 neighbors were spoken to and 102 flyers were left for neighbors in the immediate area of the project. All neighbors spoken to were in favor of the project.

The existing Main Altadena Library will expand its footprint by approximately 700 square feet, provide access improvements, seismic retrofit and replace the aged building infrastructure, address mechanical, plumbing, electrical and structural elements of the facility.

Thank you for your attention to this project

Sincerely,

A handwritten signature in black ink that reads "Nic Arnzen".

Nic Arnzen
Altadena Town Council

cc: Ms. SussyNemer, Senior Deputy to Supervisor Barger



EXHIBIT K

Rebecca Latta Consulting Arborist Report



Date: December 11, 2025 Resident Name: _____
 Address: Altadena Library Main Branch Location: Northwest
 Species: Coast live Oak Inventory ID: 51 (tagged)
 DBH: 12.8 Height: 25 Width: 27 E/W 28 N/S
 Health rating (A-F): A Structural rating (1-10): 8
 Evidence of: Surface roots Hardscape/infrastructure damage Recent limb failure
 Pests: Two horned gall wasp (minor)
 Disease: None observed

Arborist Comments: Young tree with competing leaders. Tree is recommended to be pruned for structure to remove too long/too low branches competing with the main trunk of the tree. There is a dead branch in the upper canopy that appears to have been caused by squirrels chewing bark.
Encroachment of 15% is proposed under the edge of the canopy on the east side of the tree to construct a proposed walkway for deliveries. This encroachment is not expected to impact the long term health of the tree.

Recommendations: Protect tree with chain link fencing at 5 ft from the edge of the canopy or the edge of the limit of work. Tree protection fencing to be inspected by the project arborist and should remain in place during construction. Please see tree construction preservation measures attached to this report.
Prune for structure and to remove dead branch in September/October 2026. Remove ivy.

Certified Arborist: Rebecca Latta # ISA WE 04264A

Signature: *Rebecca Latta* Photos attached? Yes No

<input checked="" type="checkbox"/> Monitoring required? If yes, when?	<u>During construction</u>
Recommendation after monitoring:	_____
	Date: _____





REBECCA LATTA CONSULTING – ISA Certified Arborist WE 04264A

Recommended Tree Preservation Measures:

Protect Anchor/Structural Roots: Define a Root System Protection Area

Anchor roots occur within the first 15 feet of the trunk and farther. A 30 ft protection radius is recommended for all trees. No heavy equipment is to be parked or operated in this area. Feeder roots extend beyond the dripline of the tree as much as 20%. If roots over 1" are encountered, contact a qualified arborist. Roots are to be pruned, when necessary, with sharp, sterilized pruning tools. Pruning tools are recommended to be sterilized between cuts. Sterilization can occur either with a mini-torch or 70% alcohol solution for 3 -5 minutes.

Protect Feeder Root/Absorptive Roots: Limit compaction and removal of roots

1. Discourage storage of materials and equipment in the root zone of the trees.
2. Stage materials and vehicles outside of the 'feeder root' area of the tree.
3. Avoid trenching for sprinklers, sewers or main lines underneath the canopy of mature trees. Damage the feeder roots can cause trees to experience water stress because they can no longer keep their leaves hydrated.
4. Work occurring under the canopy of protected trees should be observed by a qualified arborist. Roots over 1 inch encountered during construction activities should be cut cleanly with a sharp pruning saw. Pruning should be according to the ANZI A300 standards for pruning.

Landscaping under Trees

1. Irrigation – The area adjacent to the trunk should be completely dry. In nature, the leaves of a tree prevent moisture from falling next to the trunk. If the root crown area stays wet, opportunistic fungus will cause decline in the tree. The two most prominent predatory disease organisms in Southern California are Avocado Root Rot *Phytophthora cinnamomi* and Oak Root Fungus *Armillaria mellea*. At minimum, all irrigation should be at least fifteen feet from the trunk. No spray should hit the trunk of trees.
2. Plant Resistant Varieties – Avoid plants that are susceptible to either Avocado Root Rot or Oak Root Fungus.
3. Apply Mulch – A three to four-inch thick layer of mulch throughout the protected zone of each tree. Large bark chips are the most effective at suppressing weeds and retaining moisture.
4. Avoid Rock Mulches – Keep rocks away from the trunks of trees. Moisture builds up underneath the rocks and provides a favorable environment for disease pathogens leading to the decline of the tree.

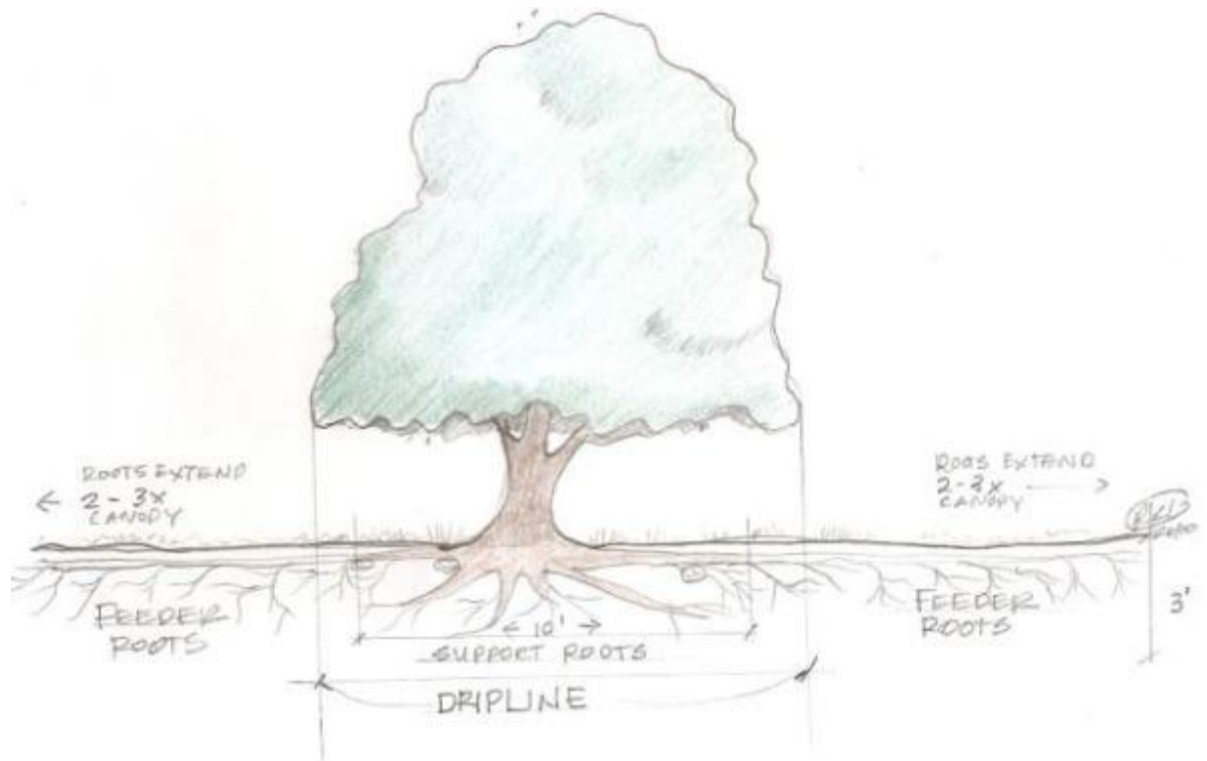


Figure 1: Tree Root System Diagram

When to Call an Arborist for Field Monitoring or Assistance

If the contractor is working in the dripline or 'protected zone', a qualified arborist should monitor the work.

Pruning

If trees are damaged during construction or require clearance pruning, they must be pruned by qualified arborist using ANZI A300 or equivalent (Best Management Practices 2008). More information is available at www.isa-arbor.com. A prescription pruning plan specific to each tree is recommended.

Insects and Disease Pathogens

Early detection of insects or disease is important to preventing damage to valuable tree specimens. Signs such as early fall color, weeping sap, stains on trunk, conks or mushrooms, partial or entire brown leaves should be discussed with a certified arborist or pest control advisor. Spraying and pesticide use should be a last resort. Least toxic approaches to insect and disease management are available for many problems.

Avoid Changes in Soil Level

Excess soil of 2 inches or more in the protected zone of a tree can cause the roots to suffocate and die leading to tree decline. Excess soil should not be spread under existing trees. If excess soil is present, it should be carefully removed back to natural grade.



Rebecca Latta Consulting Arborist Report



Date: January 20, 2026 Resident Name: _____
 Address: Altadena Library Main Branch Location: Northwest
 Species: Coast live Oak Inventory ID: 51 (tagged)
 DBH: 12.8 Height: 25 Width: 27 E/W 28 N/S
 Health rating (A-F): A Structural rating (1-10): 8
 Evidence of: Surface roots Hardscape/infrastructure damage Recent limb failure
 Pests: Two horned gall wasp (minor) Squirrel damage on upper branches.
 Disease: None observed

Arborist Comments: Young tree with competing leaders. Tree is recommended to be pruned for structure to remove too long/too low branches competing with the main trunk of the tree. There is a dead branch in the upper canopy that appears to have been caused by squirrels chewing bark.
Fire line trenching is proposed for the north edge of the dripline.
Tree is proposed to have encroachments from underground power line run underneath the root plate. Soil removal using a compressed air (Air Spade) is recommended to allow the line to be placed beneath the roots.
Neither of the encroachments are expected to compromise the long term health of the tree.

Recommendations: Protect tree with chain link fencing at 5 ft from the edge of the canopy or the edge of the limit of work. Tree protection fencing to be inspected by the project arborist and should remain in place during construction. Please see tree construction preservation measures attached to this report.
Prune for structure and to remove dead branch in September/October 2026. Remove ivy from trunk

Certified Arborist: Rebecca Latta # ISA WE 04264A

Signature: *Rebecca Latta* Photos attached? Yes No

<input checked="" type="checkbox"/> Monitoring required? If yes, when?	<u>During construction</u>
Recommendation after monitoring:	_____
	Date: _____





REBECCA LATTA CONSULTING – ISA Certified Arborist WE 04264A

Recommended Tree Preservation Measures:

Protect Anchor/Structural Roots: Define a Root System Protection Area

Anchor roots occur within the first 15 feet of the trunk and farther. A 30 ft protection radius is recommended for all trees. No heavy equipment is to be parked or operated in this area. Feeder roots extend beyond the dripline of the tree as much as 20%. If roots over 1" are encountered, contact a qualified arborist. Roots are to be pruned, when necessary, with sharp, sterilized pruning tools. Pruning tools are recommended to be sterilized between cuts. Sterilization can occur either with a mini-torch or 70% alcohol solution for 3 -5 minutes.

Protect Feeder Root/Absorptive Roots: Limit compaction and removal of roots

1. Discourage storage of materials and equipment in the root zone of the trees.
2. Stage materials and vehicles outside of the 'feeder root' area of the tree.
3. Avoid trenching for sprinklers, sewers or main lines underneath the canopy of mature trees. Damage the feeder roots can cause trees to experience water stress because they can no longer keep their leaves hydrated.
4. Work occurring under the canopy of protected trees should be observed by a qualified arborist. Roots over 1 inch encountered during construction activities should be cut cleanly with a sharp pruning saw. Pruning should be according to the ANZI A300 standards for pruning.

Landscaping under Trees

1. Irrigation – The area adjacent to the trunk should be completely dry. In nature, the leaves of a tree prevent moisture from falling next to the trunk. If the root crown area stays wet, opportunistic fungus will cause decline in the tree. The two most prominent predatory disease organisms in Southern California are Avocado Root Rot *Phytophthora cinnamomi* and Oak Root Fungus *Armillaria mellea*. At minimum, all irrigation should be at least fifteen feet from the trunk. No spray should hit the trunk of trees.
2. Plant Resistant Varieties – Avoid plants that are susceptible to either Avocado Root Rot or Oak Root Fungus.
3. Apply Mulch – A three to four-inch thick layer of mulch throughout the protected zone of each tree. Large bark chips are the most effective at suppressing weeds and retaining moisture.
4. Avoid Rock Mulches – Keep rocks away from the trunks of trees. Moisture builds up underneath the rocks and provides a favorable environment for disease pathogens leading to the decline of the tree.

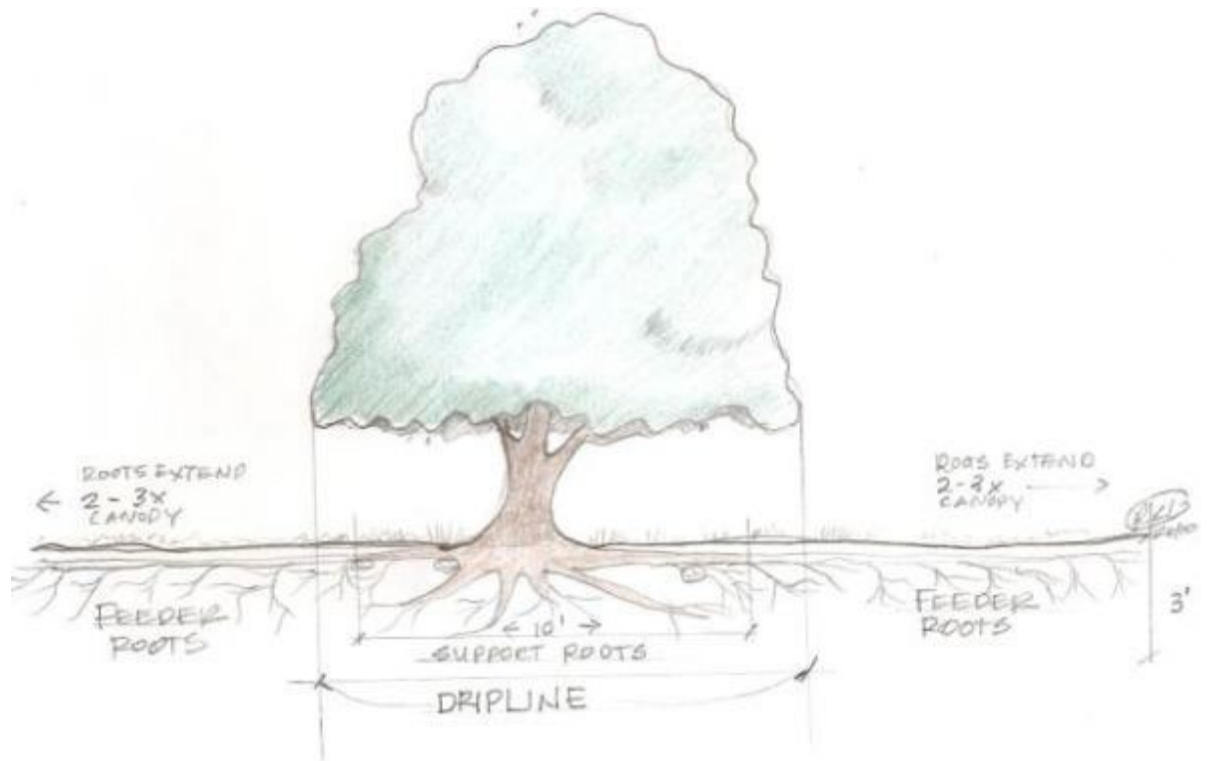


Figure 1: Tree Root System Diagram

When to Call an Arborist for Field Monitoring or Assistance

If the contractor is working in the dripline or 'protected zone', a qualified arborist should monitor the work.

Pruning

If trees are damaged during construction or require clearance pruning, they must be pruned by qualified arborist using ANZI A300 or equivalent (Best Management Practices 2008). More information is available at www.isa-arbor.com. A prescription pruning plan specific to each tree is recommended.

Insects and Disease Pathogens

Early detection of insects or disease is important to preventing damage to valuable tree specimens. Signs such as early fall color, weeping sap, stains on trunk, conks or mushrooms, partial or entire brown leaves should be discussed with a certified arborist or pest control advisor. Spraying and pesticide use should be a last resort. Least toxic approaches to insect and disease management are available for many problems.

Avoid Changes in Soil Level

Excess soil of 2 inches or more in the protected zone of a tree can cause the roots to suffocate and die leading to tree decline. Excess soil should not be spread under existing trees. If excess soil is present, it should be carefully removed back to natural grade.



Rebecca Latta Consulting Arborist Report



Date: December 11, 2025 Resident Name: _____
 Address: Altadena Library Main Branch Location: Northwest
 Species: Coast Live Oak Inventory ID: 52
 DBH: 10,11 at 54" Height: 25 Width: 24 ft N/S
 Health rating (A-F): A Structural rating (1-10): 6
 Evidence of: Surface roots Hardscape/infrastructure damage Recent limb failure
 Pests: Two horned Gall Wasp
 Disease: None observed

Arborist Comments: Tree is growing through the property line fence. The chain link has been swallowed up by the bark. The tree is severely co-dominant and is recommended to be pruned to reduce one of the two co-dominant main branches. The tree is close to the structure and has been pruned for clearance away from the building.

The tree is proposed for encroachments for utilities under the root plate but within the root protection zone of the tree. Encroachment is not expected to affect the long term health of the tree.

Recommendations: The tree is already fenced on the north protecting it from encroachments. the tree should be fenced on the south at 5 ft beyond the dripline to protect it from construction related damage. See construction preservation measures (attached)

Certified Arborist: Rebecca Latta # ISA WE 04264A

Signature: *Rebecca Latta* Photos attached? Yes No

<input type="checkbox"/> Monitoring required? If yes, when?	_____
Recommendation after monitoring:	_____
	Date: _____





Recommended Tree Preservation Measures:

Protect Anchor/Structural Roots: Define a Root System Protection Area

Anchor roots occur within the first 15 feet of the trunk and farther. A 30 ft protection radius is recommended for all trees. No heavy equipment is to be parked or operated in this area. Feeder roots extend beyond the dripline of the tree as much as 20%. If roots over 1" are encountered, contact a qualified arborist. Roots are to be pruned, when necessary, with sharp, sterilized pruning tools. Pruning tools are recommended to be sterilized between cuts. Sterilization can occur either with a mini-torch or 70% alcohol solution for 3 -5 minutes.

Protect Feeder Root/Absorptive Roots: Limit compaction and removal of roots

1. Discourage storage of materials and equipment in the root zone of the trees.
2. Stage materials and vehicles outside of the 'feeder root' area of the tree.
3. Avoid trenching for sprinklers, sewers or main lines underneath the canopy of mature trees. Damage the feeder roots can cause trees to experience water stress because they can no longer keep their leaves hydrated.
4. Work occurring under the canopy of protected trees should be observed by a qualified arborist. Roots over 1 inch encountered during construction activities should be cut cleanly with a sharp pruning saw. Pruning should be according to the ANZI A300 standards for pruning.

Landscaping under Trees

1. Irrigation – The area adjacent to the trunk should be completely dry. In nature, the leaves of a tree prevent moisture from falling next to the trunk. If the root crown area stays wet, opportunistic fungus will cause decline in the tree. The two most prominent predatory disease organisms in Southern California are Avocado Root Rot *Phytophthora cinnamomi* and Oak Root Fungus *Armillaria mellea*. At minimum, all irrigation should be at least fifteen feet from the trunk. No spray should hit the trunk of trees.
2. Plant Resistant Varieties – Avoid plants that are susceptible to either Avocado Root Rot or Oak Root Fungus.
3. Apply Mulch – A three to four-inch thick layer of mulch throughout the protected zone of each tree. Large bark chips are the most effective at suppressing weeds and retaining moisture.
4. Avoid Rock Mulches – Keep rocks away from the trunks of trees. Moisture builds up underneath the rocks and provides a favorable environment for disease pathogens leading to the decline of the tree.

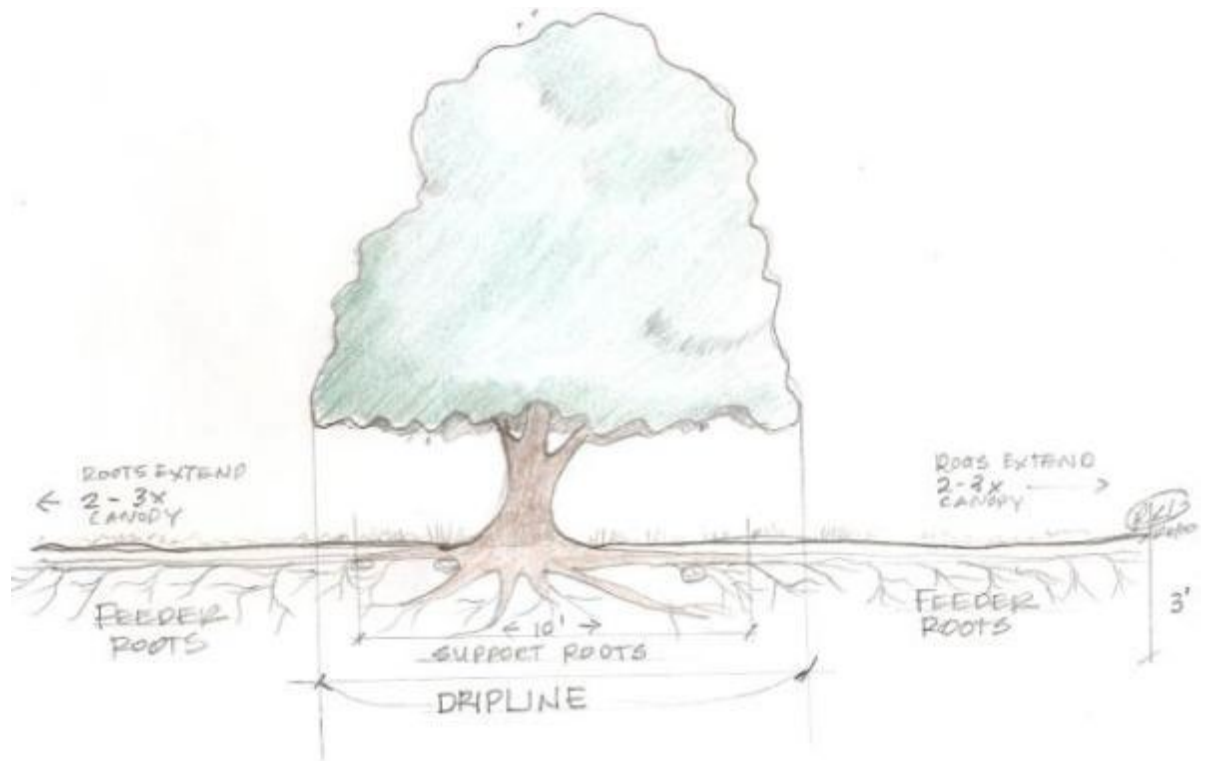


Figure 1: Tree Root System Diagram

When to Call an Arborist for Field Monitoring or Assistance

If the contractor is working in the dripline or 'protected zone', a qualified arborist should monitor the work.

Pruning

If trees are damaged during construction or require clearance pruning, they must be pruned by qualified arborist using ANZI A300 or equivalent (Best Management Practices 2008). More information is available at www.isa-arbor.com. A prescription pruning plan specific to each tree is recommended.

Insects and Disease Pathogens

Early detection of insects or disease is important to preventing damage to valuable tree specimens. Signs such as early fall color, weeping sap, stains on trunk, conks or mushrooms, partial or entire brown leaves should be discussed with a certified arborist or pest control advisor. Spraying and pesticide use should be a last resort. Least toxic approaches to insect and disease management are available for many problems.

Avoid Changes in Soil Level

Excess soil of 2 inches or more in the protected zone of a tree can cause the roots to suffocate and die leading to tree decline. Excess soil should not be spread under existing trees. If excess soil is present, it should be carefully removed back to natural grade.



Rebecca Latta Consulting Arborist Report



Date: December 11, 2025 Resident Name: _____
 Address: Altadena Library Main Branch Location: Northwest
 Species: Coast Live Oak Inventory ID: 52
 DBH: 10,11 at 54" Height: 25 Width: 24 ft N/S
 Health rating (A-F): A Structural rating (1-10): 6
 Evidence of: Surface roots Hardscape/infrastructure damage Recent limb failure
 Pests: Two horned Gall Wasp
 Disease: None observed

Arborist Comments: Tree is growing through the property line fence. The chain link has been swallowed up by the bark. The tree is severely co-dominant and is recommended to be pruned to reduce one of the two co-dominant main branches. The tree is close to the structure and has been pruned for clearance away from the building.

The tree is proposed for encroachments for utilities under the root plate but within the root protection zone of the tree. Encroachment is not expected to affect the long term health of the tree. The mainline for water is proposed to be placed within the protection zone of the tree. There is a note on the plans Sheet L200 that indicate that if there are root conflicts as determined by the project arborist, the mainline will be run above grade in steel.

Recommendations: The tree is already fenced on the north protecting it from encroachments. the tree should be fenced on the south at 5 ft beyond the dripline to protect it from construction related damage. See construction preservation measures (attached)

Certified Arborist: Rebecca Latta # ISA WE 04264A

Signature: *Rebecca Latta* Photos attached? Yes No

<input type="checkbox"/> Monitoring required? If yes, when?	_____
Recommendation after monitoring:	_____
	Date: _____





REBECCA LATTA CONSULTING – ISA Certified Arborist WE 04264A

Recommended Tree Preservation Measures:

Protect Anchor/Structural Roots: Define a Root System Protection Area

Anchor roots occur within the first 15 feet of the trunk and farther. A 30 ft protection radius is recommended for all trees. No heavy equipment is to be parked or operated in this area. Feeder roots extend beyond the dripline of the tree as much as 20%. If roots over 1" are encountered, contact a qualified arborist. Roots are to be pruned, when necessary, with sharp, sterilized pruning tools. Pruning tools are recommended to be sterilized between cuts. Sterilization can occur either with a mini-torch or 70% alcohol solution for 3 -5 minutes.

Protect Feeder Root/Absorptive Roots: Limit compaction and removal of roots

1. Discourage storage of materials and equipment in the root zone of the trees.
2. Stage materials and vehicles outside of the 'feeder root' area of the tree.
3. Avoid trenching for sprinklers, sewers or main lines underneath the canopy of mature trees. Damage the feeder roots can cause trees to experience water stress because they can no longer keep their leaves hydrated.
4. Work occurring under the canopy of protected trees should be observed by a qualified arborist. Roots over 1 inch encountered during construction activities should be cut cleanly with a sharp pruning saw. Pruning should be according to the ANZI A300 standards for pruning.

Landscaping under Trees

1. Irrigation – The area adjacent to the trunk should be completely dry. In nature, the leaves of a tree prevent moisture from falling next to the trunk. If the root crown area stays wet, opportunistic fungus will cause decline in the tree. The two most prominent predatory disease organisms in Southern California are Avocado Root Rot *Phytophthora cinnamomi* and Oak Root Fungus *Armillaria mellea*. At minimum, all irrigation should be at least fifteen feet from the trunk. No spray should hit the trunk of trees.
2. Plant Resistant Varieties – Avoid plants that are susceptible to either Avocado Root Rot or Oak Root Fungus.
3. Apply Mulch – A three to four-inch thick layer of mulch throughout the protected zone of each tree. Large bark chips are the most effective at suppressing weeds and retaining moisture.
4. Avoid Rock Mulches – Keep rocks away from the trunks of trees. Moisture builds up underneath the rocks and provides a favorable environment for disease pathogens leading to the decline of the tree.

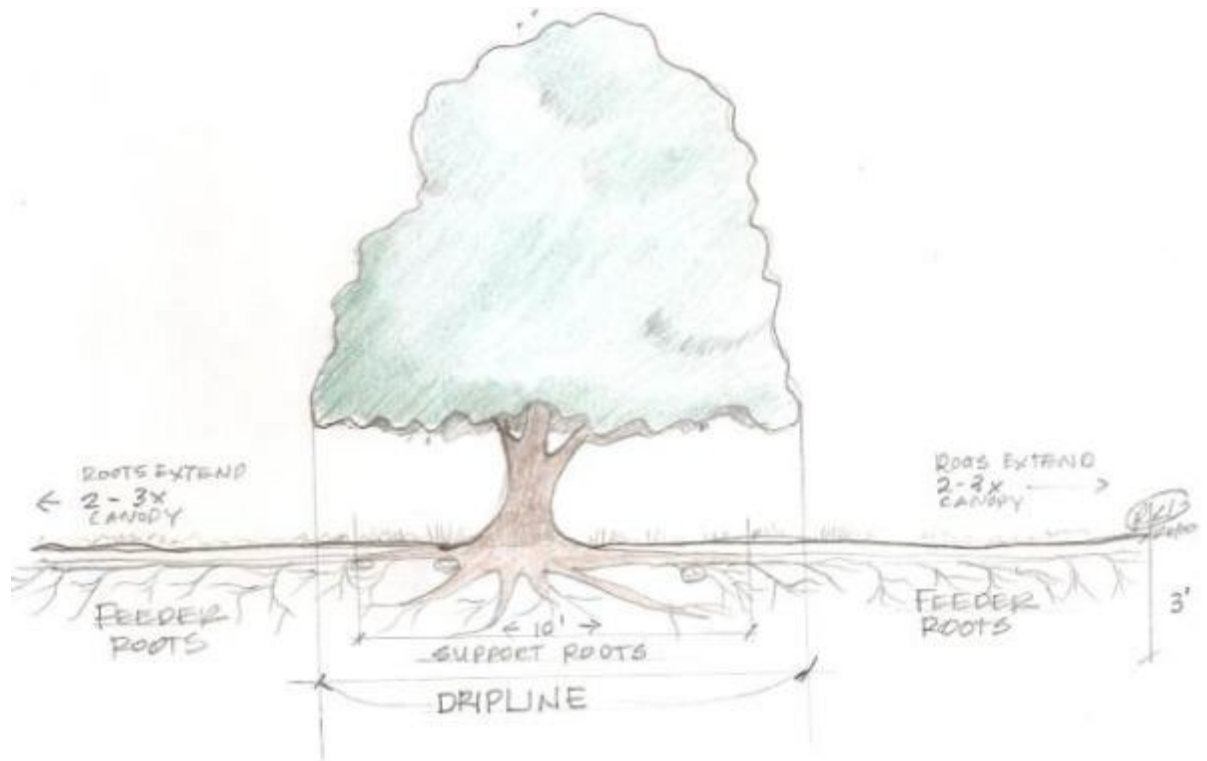


Figure 1: Tree Root System Diagram

When to Call an Arborist for Field Monitoring or Assistance

If the contractor is working in the dripline or 'protected zone', a qualified arborist should monitor the work.

Pruning

If trees are damaged during construction or require clearance pruning, they must be pruned by qualified arborist using ANZI A300 or equivalent (Best Management Practices 2008). More information is available at www.isa-arbor.com. A prescription pruning plan specific to each tree is recommended.

Insects and Disease Pathogens

Early detection of insects or disease is important to preventing damage to valuable tree specimens. Signs such as early fall color, weeping sap, stains on trunk, conks or mushrooms, partial or entire brown leaves should be discussed with a certified arborist or pest control advisor. Spraying and pesticide use should be a last resort. Least toxic approaches to insect and disease management are available for many problems.

Avoid Changes in Soil Level

Excess soil of 2 inches or more in the protected zone of a tree can cause the roots to suffocate and die leading to tree decline. Excess soil should not be spread under existing trees. If excess soil is present, it should be carefully removed back to natural grade.

EXHIBIT L

(Card typed
7-10-63)

July 3, 1963

Certified Mail -
Return Receipt Requested

Altadena Library District
2366 North Lake Avenue
Altadena, California

3
6-25-68

Attention: Mrs. Muriel B. Pickering, President
of Board of Trustees

Gentlemen:

Subject: Zone Exception Case No. 6827-(5)
Public Library
Altadena Zoned District

The zone exception granted by the Regional Planning Commission at its meeting on June 25, 1963, in the above numbered case is enclosed. This exception is for property located at 626 East Mariposa Street, in the Altadena Zoned District.

Your attention is called to the following:

1. Paragraph 7 of the decision relating to acceptance of the conditions of the exception.
2. That all setback and other requirements of the R-1-10,000 Zone, in which this property is located, must be complied with unless specifically set forth and itemized in the exception.
3. That there is a period of fifteen days following your receipt of this letter during which this decision may be appealed to the Board of Supervisors by a written communication and deposit of the amount necessary to cover the cost of preparing a transcript of the proceedings before the Regional Planning Commission. Caution should be exercised in making any expenditures under the exception during this period.

Very truly yours,

THE REGIONAL PLANNING COMMISSION
Milton Breivogel, Director of Planning

Fred M. Gebhart, Chief Deputy Director

DMP:es

Encs: Zone Exception No. 6827-(5)
Affidavit form
cc: Building & Safety Division
Chf Clk Bd of Spvrs
Los Angeles County Road Department
County Engineer, Design Division

ZONE EXCEPTION CASE NO. 6827-(5)

The Regional Planning Commission of the County of Los Angeles excepts the following described property:

These portions of Lots 5, 6 and 7, in Block 14 of Map No. 1 Altadena, as shown on map recorded in Book 16, pages 45 and 46 of Miscellaneous Records, in the Office of the County Recorder of the County of Los Angeles, described as follows:

Beginning at the most east corner of Lot 7, thence along the southeasterly line of said lot 7, South $21^{\circ}12'15''$ West 285 feet to the most east corner of the land described in the deed to Franklin O. Van Der Kar, recorded on May 25, 1951 as Instrument No. 1708 in Book 36378 page 284 of Official Records, of said county, thence following the boundary line of said last mentioned deed, North $58^{\circ}43'00''$ West 132.50 feet and North $75^{\circ}33'00''$ West 136.84 feet to the most north corner of said last mentioned deed, said most north corner also being a point in the westerly line of the easterly 49 feet of said lot 5; thence along the westerly line of said easterly 49 feet; North $21^{\circ}12'15''$ East 278.97 feet to the northeasterly line of said lot 5; thence southeasterly along the northeasterly line of said lots 5, 6 and 7 to the point of beginning,

from the provisions of Ordinance No. 1494, the Zoning Ordinance of the County of Los Angeles, but only insofar as such exception is necessary to permit the use of said property to establish, operate and maintain a Central Public Library with off-street parking facilities, subject to the attached conditions numbered 1 through 9.

This exception shall become null and void unless it is used prior to June 25, 1968.

The foregoing is the decision rendered by the Regional Planning Commission on June 25, 1963.

THE REGIONAL PLANNING COMMISSION
Milton Breivogel, Director of Planning

Fred M. Gebhart, Chief Deputy Director

DMF:cs

ZONE EXCEPTION CASE NO. 6827-(5)
CONDITIONS RECOMMENDED BY
THE ZONING BOARD

June 13, 1963

1. That three copies of a revised plot plan, showing the complete development of the subject property and incorporating such of the following conditions as may be shown on a plan, be submitted for approval of the Director of Planning. The property shall thereafter be developed and maintained substantially in conformance with such approved revised plan;
2. That the location and design of all accessways shall be submitted to, and approved by, the Los Angeles County Road Department;
3. That sidewalks be provided along subject property bordering East Mariposa Street;
4. That provisions be made for all natural drainage to the satisfaction of the County Engineer. Drainage plans and two signed grading plans shall be submitted to the County Engineer, Design Division, for approval prior to grading or construction;
5. That all driveways and parking areas shall be developed and landscaped in accordance with Sections 261 and 750 of the Zoning Ordinance;
6. That the construction of the structure as proposed be completed prior to June 25, 1968; however, Conditions 2, 3, 4, and 5 shall be complied with prior to use of any structure;
7. This exception shall not be effective for any purpose until the owner of the property involved has filed at the offices of the said Regional Planning Commission his affidavit stating that he is aware of, and accepts, all the conditions of this exception;
8. It is hereby declared to be the intent that if any provision of this exception is held or declared to be invalid, the exception shall be void and the privileges granted hereunder shall lapse;
9. It is further declared and made a condition of this exception that if any condition hereof is violated, or if any other law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.

DMF:ZW:ml

ZONE EXCEPTION CASE NO. 6827-(3)
FACTUAL DATA REPORT

DATE OF HEARING:
June 13, 1963

APPLICANT'S PROPOSAL: ✓ To establish, operate, and maintain a Central Public Library with off-street parking facilities in the R-1, 10,000 Zone (Single Family Residence - 10,000 square feet minimum required area).

The existing and proposed developments are shown on the plot plan marked Exhibit "A". Proposed is a 20,000 square foot library facility with off-street parking for 53 cars. The number of parking spaces exceeds ordinance requirements but walls and landscaping, in accordance with Section 261 of the Zoning Ordinance, are not indicated.

The existing residence and garage will be removed but the existing sunken gardens, on the south property line, apparently will be retained.

This use is permitted in the R-4 Zone (Unlimited Residence) as a matter of course.

FACTUAL DATA BEARING ON THIS CASE ARE NOTED AS FOLLOWS:

1. The subject property is a nearly rectangular shaped corner parcel with frontages of approximately 266 feet on Mariposa Street and 285 feet on Santa Rosa Avenue. It is developed with a large residence and garage as shown in Exhibit "A".

The area surrounding the subject property is developed to single-family residences in all directions except for girl scout campgrounds (Zone Exception Case No. 2802) and a Theosophical Society Headquarters (Legislative Exception No. 88) immediately to the north and northeast, respectively.

2. The subject property is zoned R-1-1,000 by Ordinance 5541 adopted May 9, 1950. Previously it was zoned R-1-5,000 (Single Family Residence-5,000 square feet minimum required area)
3. East Mariposa Street and North Santa Rosa Avenue are local streets with right-of-way widths of 95 feet and 75 feet, respectively.
4. Seventy-six (76) notices of this hearing were mailed by first-class mail, postage prepaid, on May 31, 1963, to those persons whose names and mailing addresses appeared on the latest available assessment roll of the County Assessor as property owners of record within a 500-foot radius of the boundaries of the property under consideration.

12 additional notices of this hearing were mailed on the same date to persons whose names appeared on a courtesy list. Legal notice of this hearing was published in the Altadenan on May 23, 1963.

Respectfully submitted,

Zeno Waitkus
Jr. Planning Assistant

ZW:af

*Waitkus for Raitella
no signature in application
no letter from*

Lease?

ZONE EXCEPTION CASE NO. 6827-(5)
SUMMARY OF THE HEARING:

June 13, 1963

Four witnesses were sworn. It was testified on behalf of the applicant that the Library District owns the subject property, and will construct and operate said library. Further testified that, prior to construction, it will be necessary to have a bond issue. The District will pave all parking areas and provide walls as may be required.

THE ZONING BOARD FINDS:

1-4 being items 1-4 of the Factual Data Report.

5. There were no protests to the granting of this exception.

6. Under the conditions hereinafter noted, such exception would not be materially detrimental to the public welfare nor to the property of other persons in the vicinity thereof.

THE ZONING BOARD RECOMMENDS:

That this exception be GRANTED, subject to the attached conditions.

ZONING BOARD MEMBERS CONCURRING:

Mr. Baum, Chairman, Mrs. Baca and Mr. Christenson.

County Counsel present: Mr. Seehusen.

DMF:ZW:m1