

## REPORT TO THE REGIONAL PLANNING COMMISSION

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DATE ISSUED: March 5, 2026

HEARING DATE: March 18, 2026                      AGENDA ITEM: 7

PROJECT NUMBER: PRJ2023-001003-(3)

PERMIT NUMBER(S): Minor Coastal Development Permit (“Minor CDP”)  
No. RPPL2023001410  
Variance No. RPPL2023001417  
Lot Line Adjustment No. RPPL2023001914

SUPERVISORIAL DISTRICT: 3

PROJECT LOCATION: 2643 Corral Canyon Road

OWNER: Suzanne and Jeffrey Lekson

APPLICANT: Arfakhashad Munaim, Schmitz and Associates

CASE PLANNER: Tyler Montgomery, Principal Regional Planner  
TMontgomery@planning.lacounty.gov

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### **RECOMMENDATION**

*The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:*

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2023-001003-(3), Minor CDP Number RPPL2023001410, Variance Number RPPL2023001417, and Lot Line Adjustment Number RPPL2023001914 based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motions:

### **CEQA:**

**I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.**

### **ENTITLEMENTS:**

**I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE MINOR COASTAL DEVELOPMENT PERMIT NUMBER RPPL2023001410, VARIANCE**

**NUMBER RPPL2023001417, AND LOT LINE ADJUSTMENT NUMBER RPPL2023001914 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.**

## **PROJECT DESCRIPTION**

### **A. Entitlement(s) Requested**

- Minor CDP for the proposed construction of a single-family residence with a new onsite wastewater treatment system (“OWTS”) at 2643 Corral Canyon Road (“Project”), which is located in the R-C-40 (Rural Coastal – 40 Acre Minimum Required Lot Area) Zone within the Santa Monica Mountains Coastal Zone, pursuant to County Code Section 22.44.810 (Permit Required). Per the requirements of the Santa Monica Mountains Local Implementation Program (“LIP”), an Administrative CDP is required for a new single-family residence with installation of a new OWTS (County Code Section 22.44.860 [Application—Types of Coastal Development Permits and Review Procedures]). A Minor CDP is required for any project that results in grading of more than 50 cubic yards and less than 5,000 cubic yards of earth (County Code Section 22.44.1260 [Grading]). Grading associated with the Project includes 3,015 cubic yards of cut, 20 cubic yards of fill, 1,280 cubic yards of overexcavation and recompaction, and 2,995 cubic yards of export, for a total of 4,315 cubic yards. Therefore, a Minor CDP is required. Removal of two Southern California black walnut trees is also proposed.
- Variance for development within 50 feet (vertical or horizontal) of a significant ridgeline pursuant to County Code Section 22.44.2040.B (Development Standards).
- Lot Line Adjustment to merge two lots pursuant to County Code Sections 22.44.640 (Land Divisions) and 22.44.680 (Lot Line Adjustments). The merging of the two parcels would increase the allowed building site area (“BSA”) beyond 10,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards).

### **B. Project**

The vacant 34.9-acre property (“Project Site”) located at 2643 Corral Canyon Road is zoned R-C-40, and is comprised of two parcels, which are proposed to be merged under a Lot Line Adjustment. The northern parcel—Assessor’s Parcel Number (“APN”) 4457-013-063—is 14.79 acres, and the southern parcel—APN 4457-013-064—is 20.12 acres. The Project Site abuts the El Nido Rural Village to the south. Dry Canyon Creek runs from north to south through the middle of both parcels, roughly parallel to Corral Canyon Road and entirely outside of the project development footprint and associated fuel modification zones. The site slopes downward from east to west toward Dry Canyon Creek, then upward toward Barrymore Drive west of the creek.

The applicant is requesting a Minor CDP for the proposed construction of a 5,897-square-foot, two-story single-family residence with a maximum height of 18 feet. Other proposed improvements include an 810-square-foot detached garage, a new OWTS, a swimming pool, a partially covered deck, and a 282-foot-long driveway with a hammerhead turnaround. The applicant is requesting a Variance for the single-family residence and related improvements to be located within 50 feet of a designated significant ridgeline pursuant to County Code Section 22.44.2040.B.

In addition, the application is requesting a Lot Line Adjustment that would merge the two legal parcels (14.79 acres and 20.12 acres, respectively) into a single 34.91-acre parcel. The proposed BSA is 14,588 square feet, which includes the proposed building pad, graded slopes, structures, decks, patios, impervious surfaces, and parking areas. A lot merger would allow an increased BSA beyond 10,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards), which allows the BSA for projects that comprise two adjoining legal lots to be increased if the existing lots are merged into one lot and one consolidated building site is provided with one access road or driveway. The resulting maximum BSA for the combined lot would be 20,000 square feet.

Grading associated with the Project includes 3,015 cubic yards of cut, 20 cubic yards of fill, 1,280 cubic yards of overexcavation and recompaction, and 2,995 cubic yards of export, for a total of 4,315 cubic yards and a disturbed area of 14,588 square feet.

Per the requirements of the Santa Monica Mountains LIP, an Administrative CDP is required for a new single-family residence with installation of a new OWTS (County Code Section 22.44.860 [Application—Types of Coastal Development Permits and Review Procedures]). A Minor CDP is required for any project that results in grading of more than 50 cubic yards and less than 5,000 cubic yards of earth (County Code Section 22.44.1260 [Grading]). A Minor CDP is also required for the proposed Lot Line Adjustment to merge two existing lots pursuant to County Code Section 22.44.680 (Lot Line Adjustments) and subsections A and B of Section 22.44.640 (Land Divisions). A Variance is required for the proposed development, which is within 50 feet of a significant ridgeline, pursuant to County Code Section 22.44.2040.B (Development Standards). Thus, a Minor CDP and a Variance are required for the activities involved with this request.

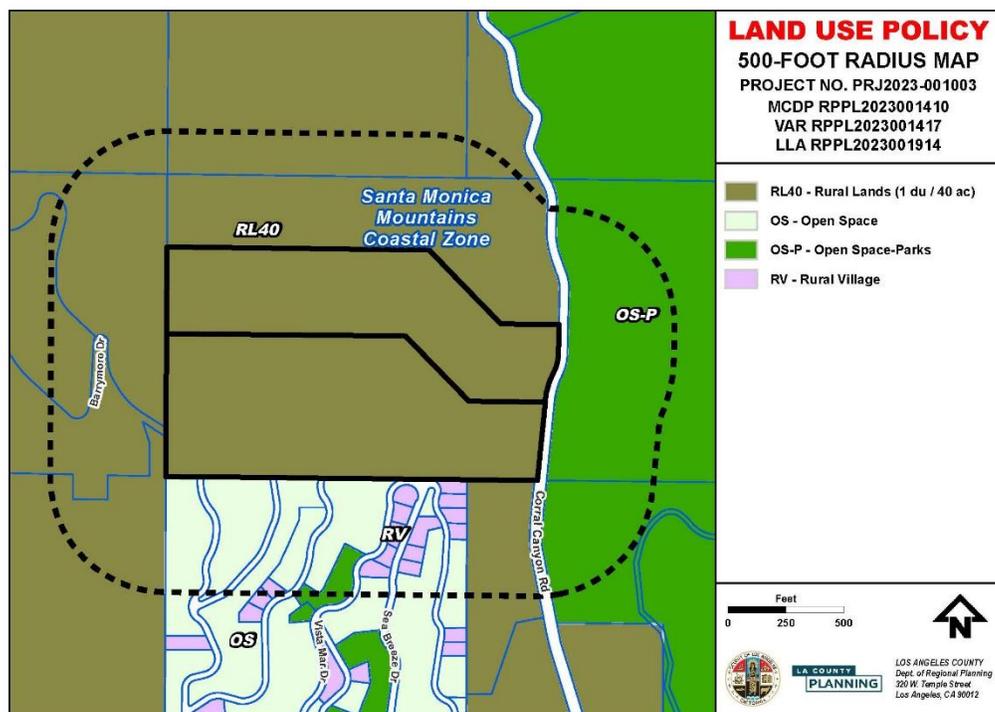
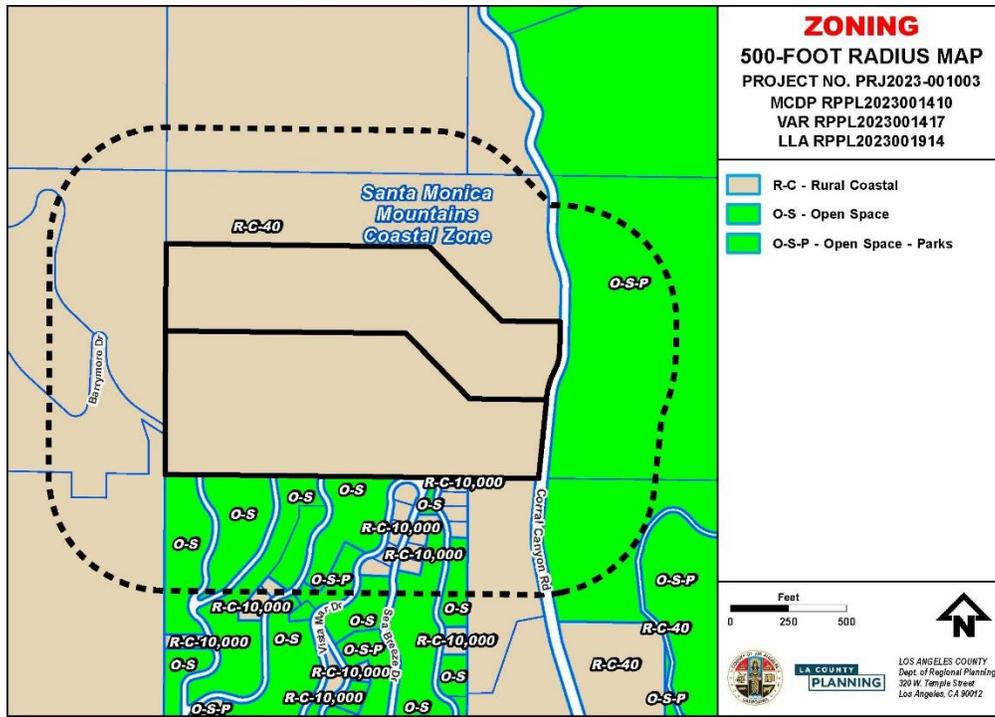
County Code Section 22.44.640.D (Land Divisions) requires that at least one public hearing be held before the Regional Planning Commission (“Commission”) or the Board of Supervisors for a land division, such as a lot line adjustment. Thus, review by the Commission is required. A separate Lot Line Adjustment project number was created to effectuate the lot line adjustment once the Minor CDP is approved.

The Project Site is irregularly shaped and is mapped in the Santa Monica Local Coastal Program Land Use Plan (“LUP”) as H1, H2, and H3 Habitat areas (see Exhibit F – Informational Maps). The development footprint, including the driveway, would affect 0.06 acres of H2 Habitat. Total on-site fuel modification would affect 2.98 acres of H2 Habitat (0.84 acres irrigated, 2.08 acres non-irrigated), while new off-site brush thinning would affect 1.46 acres of H2 Habitat. No H1 Habitat will be affected. All other development would occur within H3 Habitat. No habitat remapping is proposed.

**SUBJECT PROPERTY AND SURROUNDINGS**

The following chart provides property data within a 700-foot radius:

LOCATION	LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	RL40 (Rural Lands - One dwelling unit per 40 acres maximum density)	R-C-40	Vacant Land
NORTH	RL40	R-C-40	Single-family residence, Vacant Land
EAST	OS-P (Open Space – Parks)	O-S-P (Open Space – Parks)	Single-family residence, Vacant Land
SOUTH	OS (Open Space), RL40, RV (Rural Village)	O-S-P, R-C-40, and R-C-10,000	Single-family residences, Vacant Land
WEST	RL40	R-C-40	Single-family residence, Vacant Land



## **PROPERTY HISTORY**

### **A. Zoning History**

<b>ORDINANCE NO.</b>	<b>ZONING</b>	<b>DATE OF ADOPTION</b>
8281	A-2-5 (Heavy Agricultural – Five Acre Minimum Required Lot Area)	10/2/1962
ZCO-20140055	R-C-40	10/10/2014

### **B. Previous Cases**

<b>CASE NO.</b>	<b>REQUEST</b>	<b>DATE OF ACTION</b>
LLA 102,045	Lot Line Adjustment and Certificate of Compliance for both parcels, adjusting boundaries and confirming the legality of both parcels	Recorded on July 18, 2003

### **C. Violations**

The property has not been cited for any zoning violations.

## **ANALYSIS**

### **A. Land Use Compatibility**

A Minor CDP is requested for a new single-family residence in the Santa Monica Mountains Coastal Zone. As proposed, the Project, except for the location of the proposed residence within 50 feet of a designated ridgeline, would comply with all applicable development standards for residences and related structures in the LIP. For further details on this compliance, see the “Zoning Ordinance Consistency” section below or the attached Exhibit C – Findings. The Project Site is not located between the ocean and the nearest public road, so coastal access requirements are not applicable. The Project is also similar to other single-family residences in the immediate area. Therefore, the Project would be in conformity with the certified Local Coastal Program and is not expected to negatively affect the surrounding community.

A Minor CDP is also requested for the proposed lot line adjustment that would merge the two legal parcels (14.79 acres and 20.12 acres, respectively) into a single 34.9-acre parcel. The proposed lot merger would allow an increased BSA beyond 10,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards). The proposed BSA is 14,588 square feet, which would be less than the resulting limit of 20,000 square feet, contingent upon the lot line adjustment being approved.

In accordance with County Code Section 22.170.030 (Development Standards), lot line adjustments must also conform to specific development standards regarding lot design, frontage, access, and the legality of existing structures to be effectuated, after the Minor CDP is approved. For further details on this compliance, see the attached Exhibit C – Findings.

A Variance is requested for siting the proposed single-family residence within a 50 feet vertical and 50 feet horizontal distance from the designated ridgeline along Corral Canyon Road (County Code Section 22.44.2040.B). In order for an applicant to be granted a Variance, the applicant must demonstrate that there are special physical circumstances or characteristics of the subject property which are not generally applicable to other properties in the vicinity that are similarly classified. The applicant must also demonstrate that the Variance is necessary to preserve a property right enjoyed by owners of other properties in the same vicinity and zone (County Code Section 22.44.1150.H). Furthermore, the applicant must demonstrate that alternative building sites and alternative access road or driveway locations within the property or project have been considered and eliminated from consideration because each alternative was physically infeasible, was less protective of scenic resources, H1 and/or H2 Habitat areas, or other coastal resources, or had the potential for substantial habitat destruction (County Code Section 22.44.1920.C).

This applicant is requesting the Variance to allow development to occur closer to the ridgeline and to protect sensitive biological resources, including a stream and related riparian H1 and H2 Habitat areas, that are downslope from the proposed residence. This approach balances the protection of biological resources and scenic resource protection measures. Grading quantities would also be reduced by allowing the residence and related driveway access to be closer to the ridgeline and public road. Any alternative buildings sites would require significantly more grading and be located closer to H1 and H2 Habitat. In addition, the proposed residence would be less than 18 feet in height, as required by County Code Section 22.44.2040.B.4(2), and conform to the natural contours of the slope to further reduce grading impacts.

## **B. Neighborhood Impact**

No neighborhood impact would result from implementation of the Project, as it would consist of the construction of a single-family residence in an area with existing residential development to the north, west, and south. Single-family residences of similar height and bulk are located on Corral Canyon Road further to the north and south. The Project is unlikely to result in a cumulative increase in nearby development, as road access, a water main, and electric utility connections already exist in the area. It will also be conditioned to be compliant with dark skies outdoor lighting requirements (County Code Section 22.44.1270 [Exterior Lighting]).

Approximately 0.90 acres of direct development and irrigated fuel modification, 2.08 acres of non-irrigated fuel modification, and 1.46 acres of off-site brush clearance would occur within H2 Habitat, but this area does not contain habitats or species of critical or special status, as confirmed by the biological assessment prepared for the Project. Because the entirety of the Project Site is less than 200 feet from this H2 Habitat, this development is unavoidable and would be mitigated through on-site restoration, off-site restoration, and/or payment of an in-lieu fee. Per the formula mandated by the LIP, if on-site and/or off-site restoration is not pursued, the mitigation fee for development of this amount of H2 Habitat would be \$240,417.68 (County Code Section 22.44.1950 [Mitigation]).

### **C. Design Compatibility**

The Project Site is adjacent to and visible from Corral Canyon Road, a designated scenic route and ridgeline adjacent to and east of the property. As a result, the Project Site is located within a Scenic Resource Area per County Code Section 22.44.2000 (Identification of Scenic Resource Areas). Per this section of the County Code, the Project would have a height limit of 18 feet above grade and be designed to minimize impacts by breaking up the building mass, blending into the natural hillside setting, and not being visible from scenic resource areas. In addition, the home is designed to step down the slope and conform to the natural contours of the property.

Portions of the proposed single-family residence, driveway and ancillary structures will be visible from Corral Canyon Road and surrounding properties; however, they would be similar in character and size to improvements associated with other residential properties to the north and south of the Project Site along Corral Canyon Road. The design of the new single-family residence would also be in conformance with all requirements of the LIP and would be compatible with the surrounding community. This compatibility is indicated by the applicant's submitted architectural elevations and grading plans.

The location of the Project immediately adjacent to Corral Canyon Road within H3 Habitat would also result in a design that is more harmonious with surrounding landforms by avoiding grading on the steepest portions of the Project Site to the west. In addition, story poles demonstrating the elevation of all parts of the structure were erected on the Project Site pursuant to LIP requirements (County Code Section 22.44.1440.A [Visual Resource Protection]). Photos of the story poles on the Project Site (part of Exhibit H – Photos) show that the design is compatible with the Project Site's topography and would preserve the views from neighboring properties, as it is located well away from the mapped significant ridgeline. The Project includes fully shielded and downward facing outdoor lighting, consistent with the Dark Skies policies of the LUP, to allow for adequate safety and access lighting near the driveway, walkways, and doors.

In addition, 0.06 acres of direct development, 0.84 acres of irrigated fuel modification, 2.08 acres of non-irrigated fuel modification, and 1.46 acres of off-site brush clearance would occur within H2 Habitat. Because the Project was proposed for a location less than 200

feet from mapped H2 Habitat, a biological assessment was prepared and reviewed by the Environmental Review Board (“ERB”). The ERB determined that the Project, with modifications, would be consistent with surrounding biological resources. More details regarding this review are provided in the “ERB Comments and Recommendations” section below. Because the entirety of the Project Site is less than 200 feet from this H2 Habitat, some development within H2 Habitat is unavoidable, and the Project is proposed within the most appropriate site for development, as it is within H3 Habitat, relatively level, and adjacent to the existing road.

### **GENERAL PLAN/COMMUNITY PLAN CONSISTENCY**

The Project is consistent with applicable goals and policies of the General Plan and the Santa Monica Mountains LUP. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

### **ZONING ORDINANCE CONSISTENCY**

The proposed Project complies with all applicable zoning requirements, except for development in proximity to a designated ridgeline, which requires a Variance. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

### **BURDEN OF PROOF**

The applicant is required to substantiate all facts identified by County Code Sections 22.44.850 (Application—Burden of Proof) and 22.44.1150.D (Variances). The Burden of Proof with applicant’s responses is attached (Exhibit E – Applicant’s Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

### **ENVIRONMENTAL ANALYSIS**

Staff recommends that this Project qualifies for a Categorical Exemption (Class 3 – New Construction or Conversion of Small Structures and Class 4 – Minor Alterations to Land) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. Pursuant to Section 15303 of the State CEQA Guidelines, the Project qualifies for a Class 3 Categorical Exemption because it includes construction of one single-family residence, accessory structures, and associated infrastructure.

Pursuant to Section 15304(i) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes alterations in the condition of land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees except for fuel management purposes. Pursuant to the County Environmental Document Reporting Procedures and Guidelines, the Class 4 Categorical Exemption also allows for proposed grading and fuel management activities associated with the single-family residence and driveway. The proposed Project would not result in the taking of endangered, rare, or threatened plant or animal species, or significant erosion and sedimentation to surface waters, and therefore qualifies for the Class 4 Categorical Exemption.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 Categorical Exemption mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because a biological inventory of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by implementation and operation of the Project.

The Project is not expected to significantly impact scenic resources, such as the designated ridgeline along Corral Canyon Road, as the improvements will be located partially below the roadway with portions of the rooftops visible from the roadway. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development and infrastructure, and no hazardous waste sites or historic resources would be affected. Therefore, Staff recommends that the Commission determine that the Project is categorically exempt from CEQA (see Exhibit J – Environmental Determination).

## **COMMENTS RECEIVED**

### **A. ERB Review and Recommendations**

The ERB reviewed potential biological resource impacts related to the proposed Project at their November 18, 2024, meeting and made recommendations as required per County Code Section 22.44.1840, as development would occur less than 200 feet from H2 and H1 Habitat.

Two existing Southern California black walnut trees are proposed to be removed, as they are entirely within the proposed construction footprint. The applicant has volunteered mitigation at a 5:1 replacement ratio with a five-year monitoring period. This mitigation plan was accepted by the ERB, which also recommended the use of native plant palettes in fuel modification zones A, B, and C. Other recommendations from the ERB included additional fuel modification zone requirements to preserve native vegetation where possible, runoff/drainage plan measures, reflective glass and lighting restrictions, biological monitor requirements during construction, and other measures to protect native vegetation, wildlife crossing areas, and nesting birds. All of the ERB recommendations have been included within the Project's draft conditions of approval (Exhibit D – Conditions). The minutes from the ERB meeting of November 18, 2024, are also attached (Exhibit G – ERB Minutes).

**B. County Department Comments and Recommendations**

1. The Department of Parks and Recreation recommended the Project proceed to a public hearing with no conditions on April 6, 2023. The clearance was given through the County’s EPIC-LA permit tracking system. No letter was provided.
2. The Department of Public Health, in a letter dated May 2, 2023, recommended that the Project proceed to a public hearing with specific conditions regarding exterior noise, stating that the operation of the subject site must adhere to the County Exterior Noise Standards as well as all other applicable County Noise Control Ordinance Standards. These have been included as draft conditions of Project approval (Exhibit D – Conditions).
3. The County Fire Department, on May 4, 2023, stated that review and approval of the proposed dwelling and garage have been accepted by the Fire Prevention Building Plan Check Unit. No conditions of approval are required.
4. The Department of Public Works, in a letter dated January 30, 2025, recommended that the Project proceed to a public hearing with specific conditions regarding approval of a Streambed Alteration Agreement (or exemption) from the State of California Department of Fish and Wildlife, and compliance with the approved Geotechnical Report prior issuance of grading or building permits. These have been included as draft conditions of Project approval (Exhibit D – Conditions).

All the letters cited above are attached to this report (Exhibit I – Agency Correspondence).

**C. Other Agency Comments and Recommendations**

Staff has received no other agency comments or recommendations at this time.

**D. Public Comments**

Staff has not received any public comments regarding the Project at this time.

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Report  
Reviewed By: Rob Glaser  
Robert Glaser, Supervising Regional Planner

Report  
Approved By: M. Glaser  
Mitch Glaser, Assistant Administrator

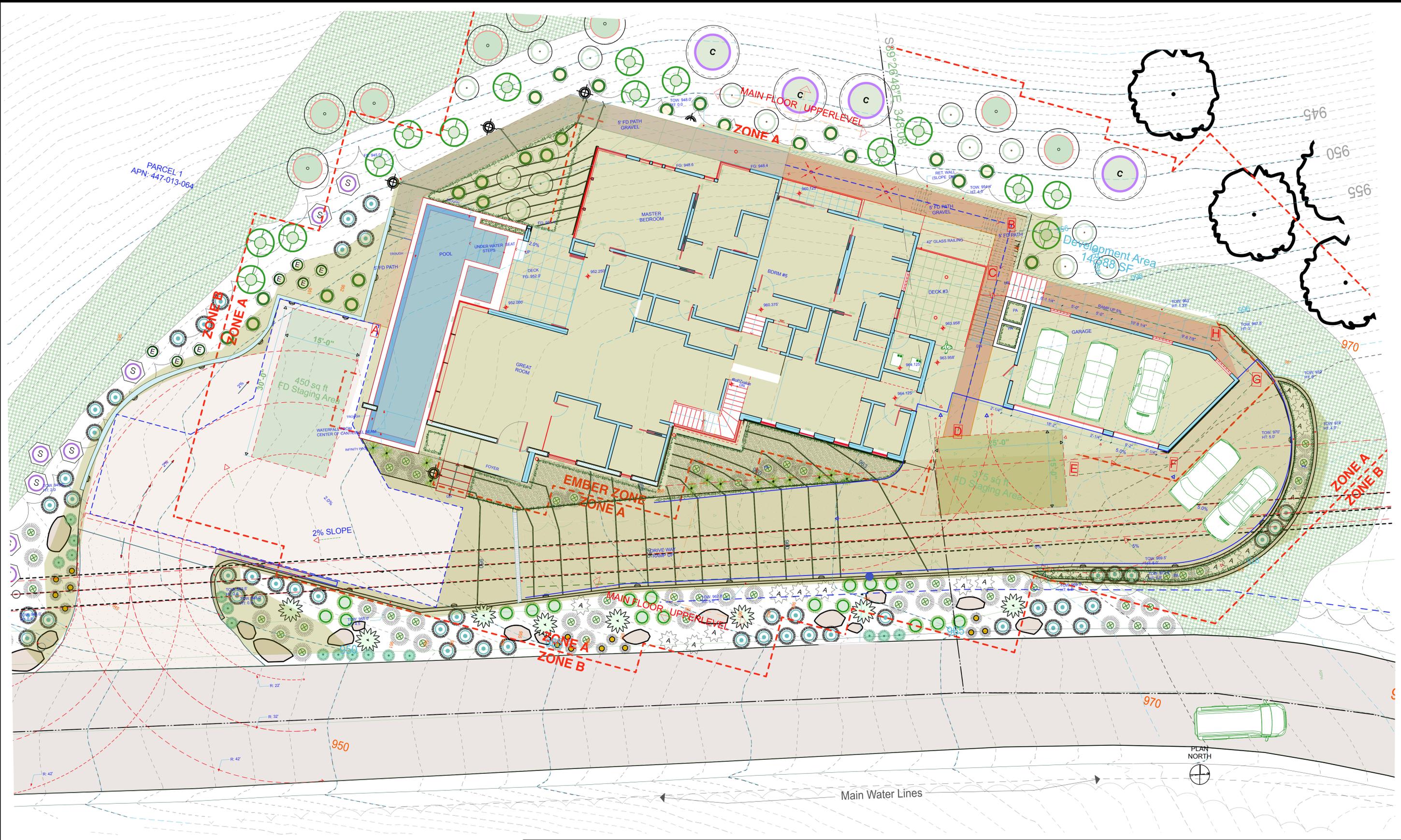
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<b>LIST OF ATTACHED EXHIBITS</b>	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Informational Maps
EXHIBIT G	ERB Minutes (11/18/24)
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Environmental Determination









PARCEL 1  
APN: 447-013-064

Development Area  
14,888 SF

450 sq ft  
FD Staging Area

375 sq ft  
FD Staging Area

EMBER ZONE  
ZONE A

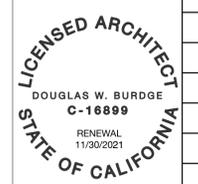
ZONE A  
ZONE B

Main Water Lines



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WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.



MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
2643 Corral Canyon  
Malibu, CA

**BURDGE**  
& Associates  
ARCHITECTS  
MALIBU  
SUN VALLEY  
WWW.  
BUAIA.COM

DESCRIPTION:  
**PARTIAL SITE PLAN**

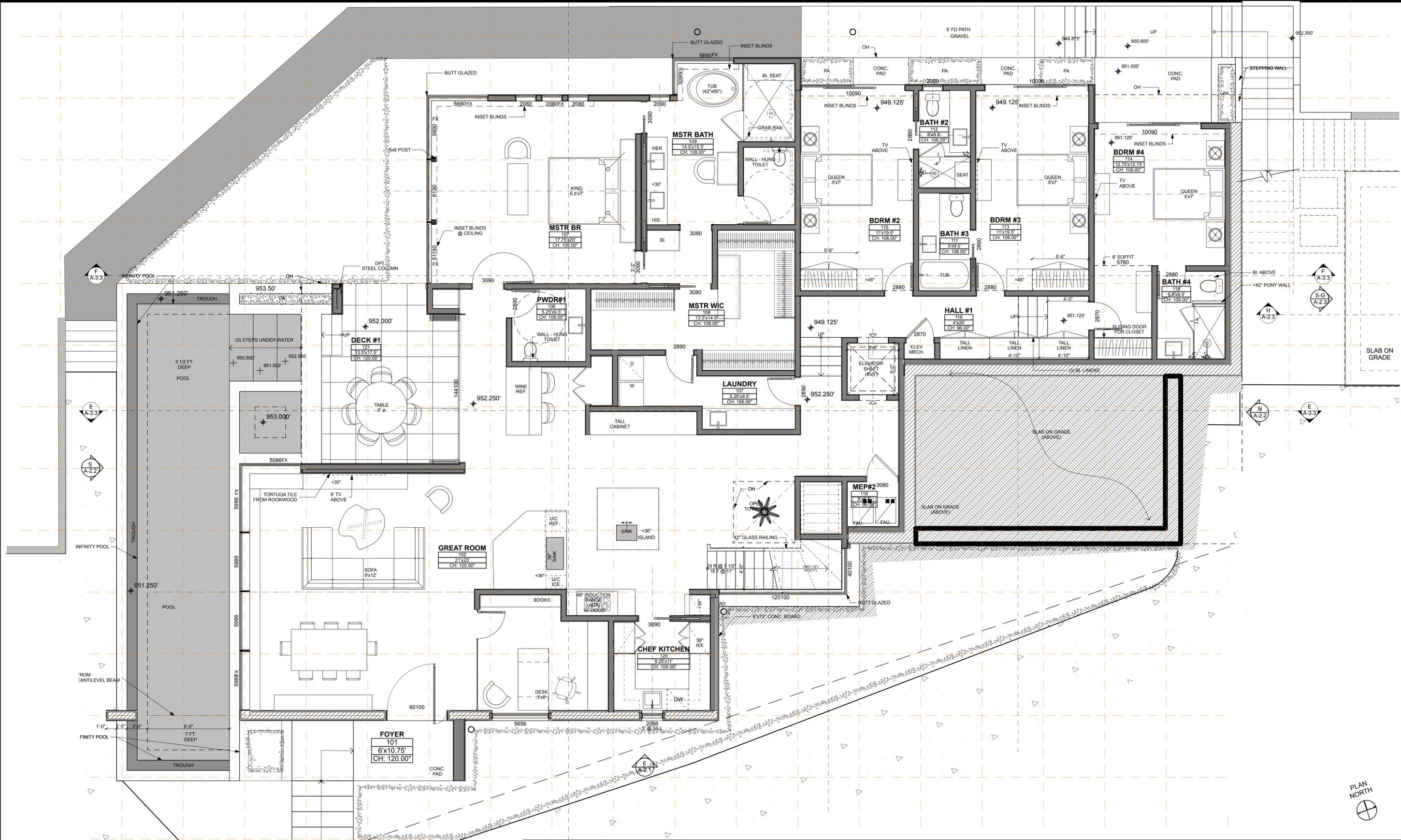
DRAWING NO.  
**A-0.2**

PROJECT: LEKSON RESIDENCE  
DATE: 11/8/24  
DRAWN BY: D.W.B.

SCALE:  
1/8" = 1'-0"

24911 PACIFIC COAST HWY.  
MALIBU, CA 90265  
TEL. 310-456-5905  
1/8" = 1'-0"





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**LICENSED ARCHITECT**  
 DOUGLAS W. BURDGE  
 C-16899  
 RENEWAL 11/30/2021  
 STATE OF CALIFORNIA

MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
 2643 Corral Canyon  
 Malibu, CA

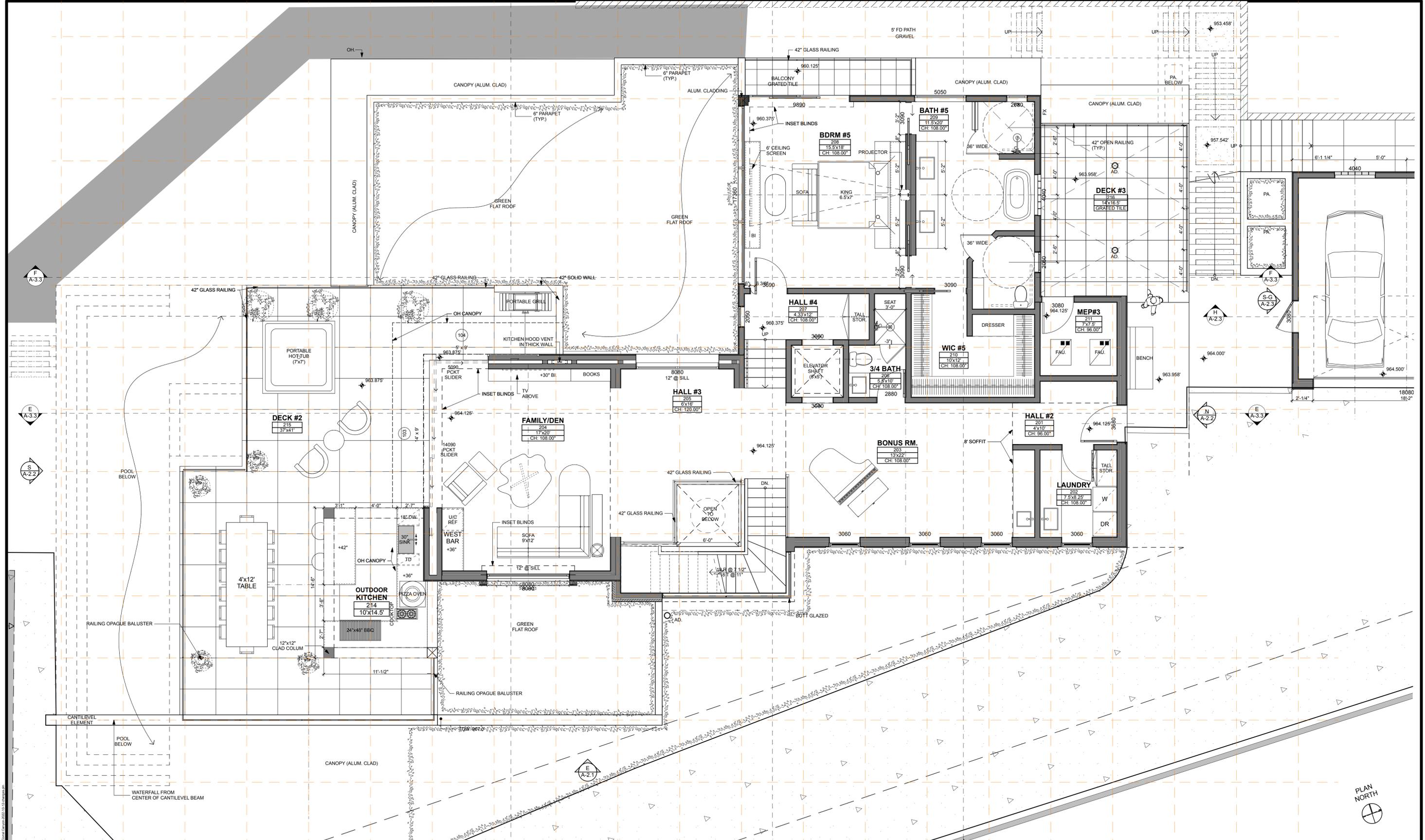
**BURDGE & Associates**  
 ARCHITECTS  
 MALIBU SUN VALLEY  
 WWW.BUAIA.COM

24911 PACIFIC COAST HWY.  
 MALIBU, CA 90265  
 TEL. 310-456-5905

DESCRIPTION:  
**MAIN FLOOR PLAN**

DRAWING NO.  
**A-1.1**

PROJECT: LEKSON RESIDENCE  
 DATE: Plot Date: 10/17/22  
 DRAWN BY: D.W.B., SCALE: 1/4" = 1'-0"



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WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

**LICENSED ARCHITECT**  
 DOUGLAS W. BURDGE  
 C-16899  
 RENEWAL 11/30/2021  
 STATE OF CALIFORNIA

MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
 2643 Corral Canyon  
 Malibu, CA

**BURDGE & Associates**  
 ARCHITECTS  
 MALIBU SUN VALLEY  
 WWW.BUAIA.COM

24911 PACIFIC COAST HWY.  
 MALIBU, CA 90265  
 TEL. 310-456-5905

DESCRIPTION:  
 UPPER LEVEL PLAN

DRAWING NO.  
**A-1.2**

PROJECT: LEKSON RESIDENCE  
 DATE: 10/17/22  
 DRAWN BY: S.W.B. 1'-0" SCALE:



**FIRE DEPARTMENT NOTES:**

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING:

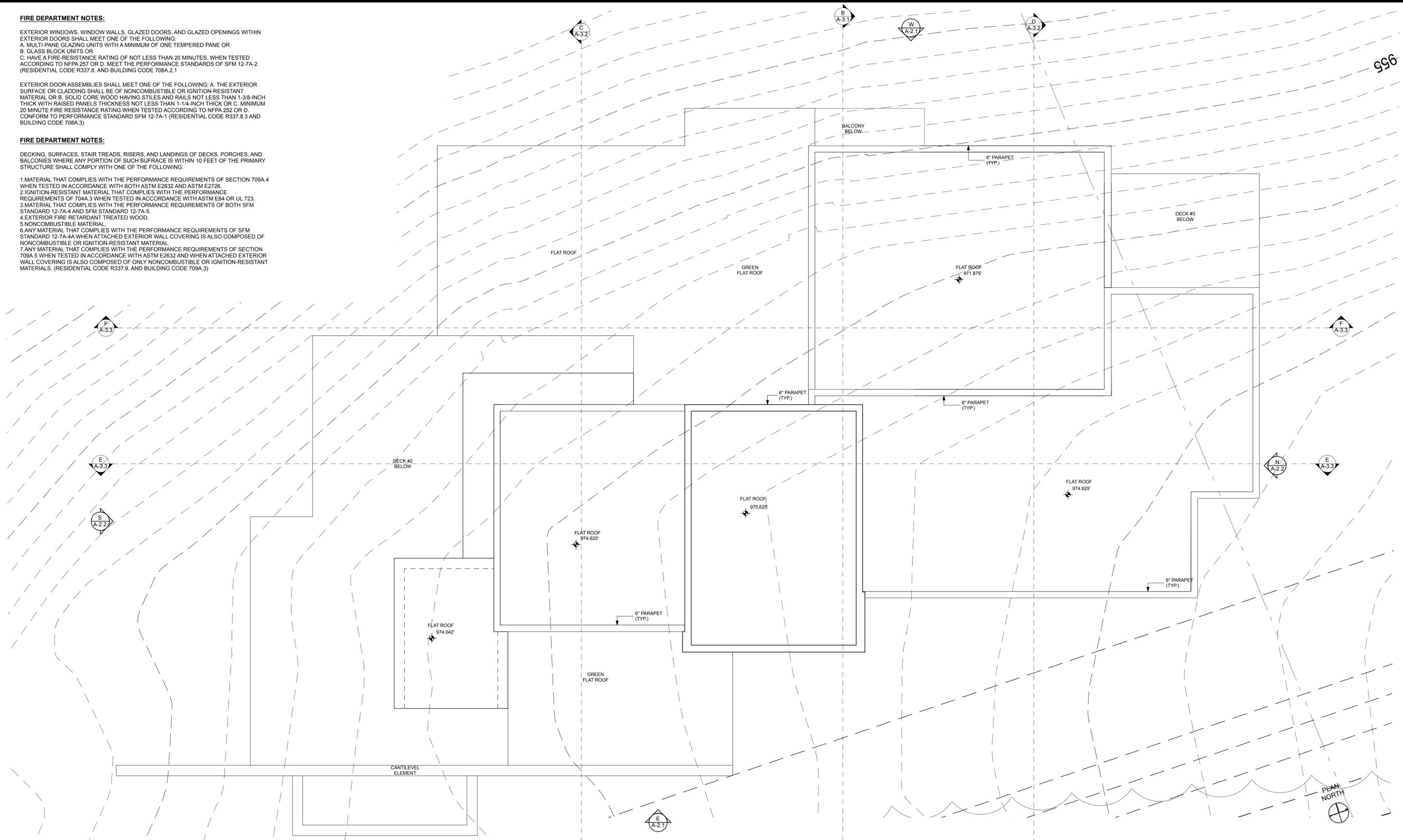
- A. MULTI-PANE GLAZING UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR
- B. GLASS BLOCK UNITS OR
- C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257 OR D. MEET THE PERFORMANCE STANDARDS OF SFM 12-7A-2 (RESIDENTIAL CODE R337.8, AND BUILDING CODE 708A.2.1)

EXTERIOR DOOR ASSEMBLIES SHALL MEET ONE OF THE FOLLOWING: A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR B. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-INCH THICK WITH RAISED PANELS THICKNESS NOT LESS THAN 1-1/4-INCH THICK OR C. MINIMUM 20 MINUTE FIRE RESISTANCE RATING WHEN TESTED ACCORDING TO NFPA 252 OR D. CONFORM TO PERFORMANCE STANDARD SFM 12-7A-1 (RESIDENTIAL CODE R337.8.3 AND BUILDING CODE 708A.3)

**FIRE DEPARTMENT NOTES:**

DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL COMPLY WITH ONE OF THE FOLLOWING:

- 1. MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION 709A.4 WHEN TESTED IN ACCORDANCE WITH BOTH ASTM E2632 AND ASTM E2726.
- 2. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF 704A.3 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.
- 3. MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.
- 4. EXTERIOR FIRE RETARDANT TREATED WOOD.
- 5. NONCOMBUSTIBLE MATERIAL.
- 6. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
- 7. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION 709A.5 WHEN TESTED IN ACCORDANCE WITH ASTM E2632 AND WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF ONLY NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS. (RESIDENTIAL CODE R337.9, AND BUILDING CODE 709A.3)



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MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
2643 Corral Canyon  
Malibu, CA

**BURDGE & Associates**  
ARCHITECTS  
MALIBU SUN VALLEY WWW.BUAIA.COM  
24911 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-5905

DESCRIPTION:  
**ROOF PLAN**

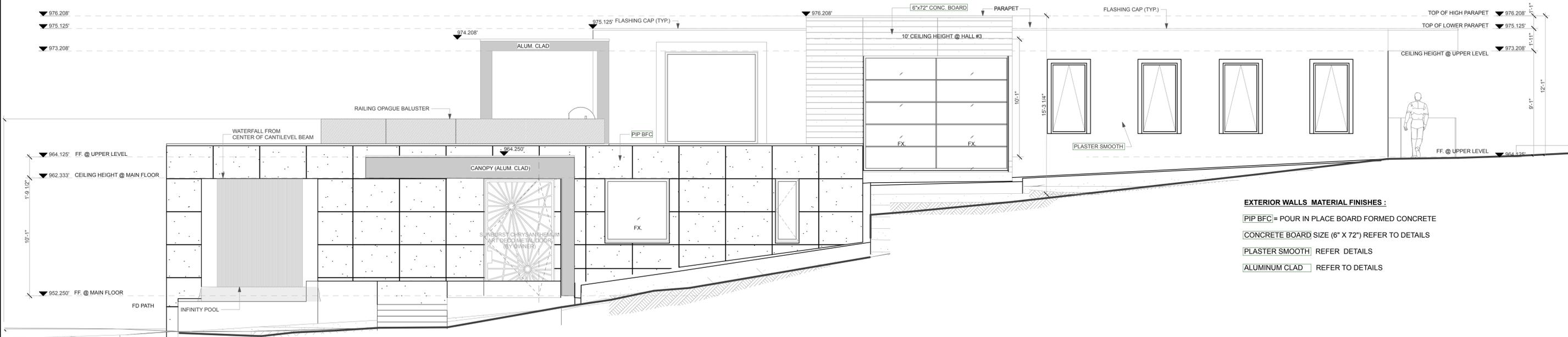
DRAWING NO.  
**A-1.3**

PROJECT: LEKSON RESIDENCE  
DATE: 1/9/23 SCALE:  
DRAWN BY: D.W.B.

1/4" = 1'-0"

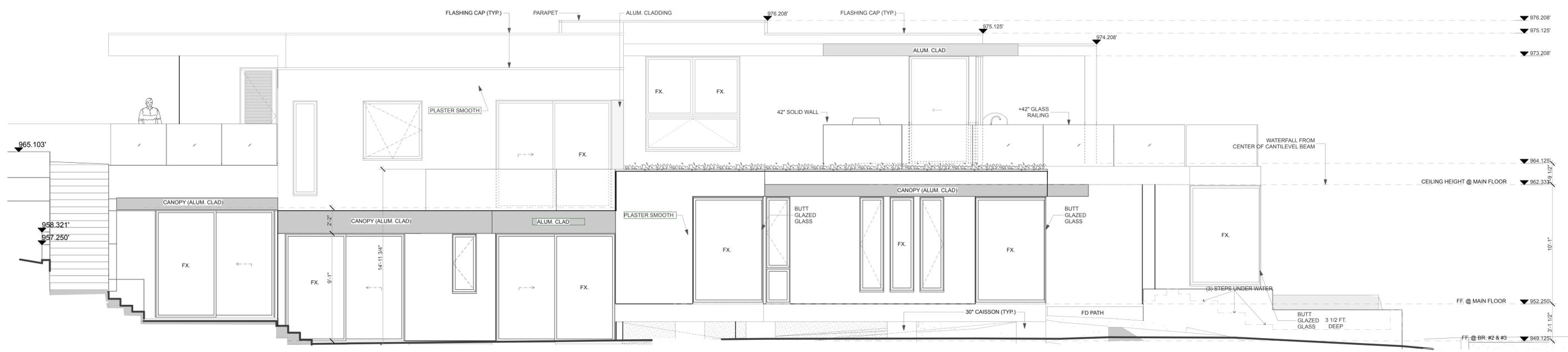






**EXTERIOR WALLS MATERIAL FINISHES :**  
 PIP BFC = POUR IN PLACE BOARD FORMED CONCRETE  
 CONCRETE BOARD SIZE (6" X 72") REFER TO DETAILS  
 PLASTER SMOOTH REFER DETAILS  
 ALUMINUM CLAD REFER TO DETAILS

**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

**FIRE DEPARTMENT NOTES:**

DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION 709A.4 WHEN TESTED IN ACCORDANCE WITH BOTH ASTM E2632 AND ASTM E2726.
2. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF 704A.3 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.
3. MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.
4. EXTERIOR FIRE RETARDANT TREATED WOOD.
5. NONCOMBUSTIBLE MATERIAL.
6. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
7. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION 709A.5 WHEN TESTED IN ACCORDANCE WITH ASTM E2632 AND WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF ONLY NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS. (RESIDENTIAL CODE R337.9, AND BUILDING CODE 709A.3)

**FIRE DEPARTMENT NOTES:**

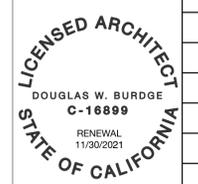
EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING:

- A. MULTI-PANE GLAZING UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR
- B. GLASS BLOCK UNITS OR
- C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257 OR D. MEET THE PERFORMANCE STANDARDS OF SFM 12-7A-2 (RESIDENTIAL CODE R337.8, AND BUILDING CODE 708A.2.1

EXTERIOR DOOR ASSEMBLIES SHALL MEET ONE OF THE FOLLOWING: A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR B. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-INCH THICK WITH RAISED PANELS THICKNESS NOT LESS THAN 1-1/4-INCH THICK OR C. MINIMUM 20 MINUTE FIRE RESISTANCE RATING WHEN TESTED ACCORDING TO NFPA 252 OR D. CONFORM TO PERFORMANCE STANDARD SFM 12-7A-1 (RESIDENTIAL CODE R337.8.3 AND BUILDING CODE 708A.3)

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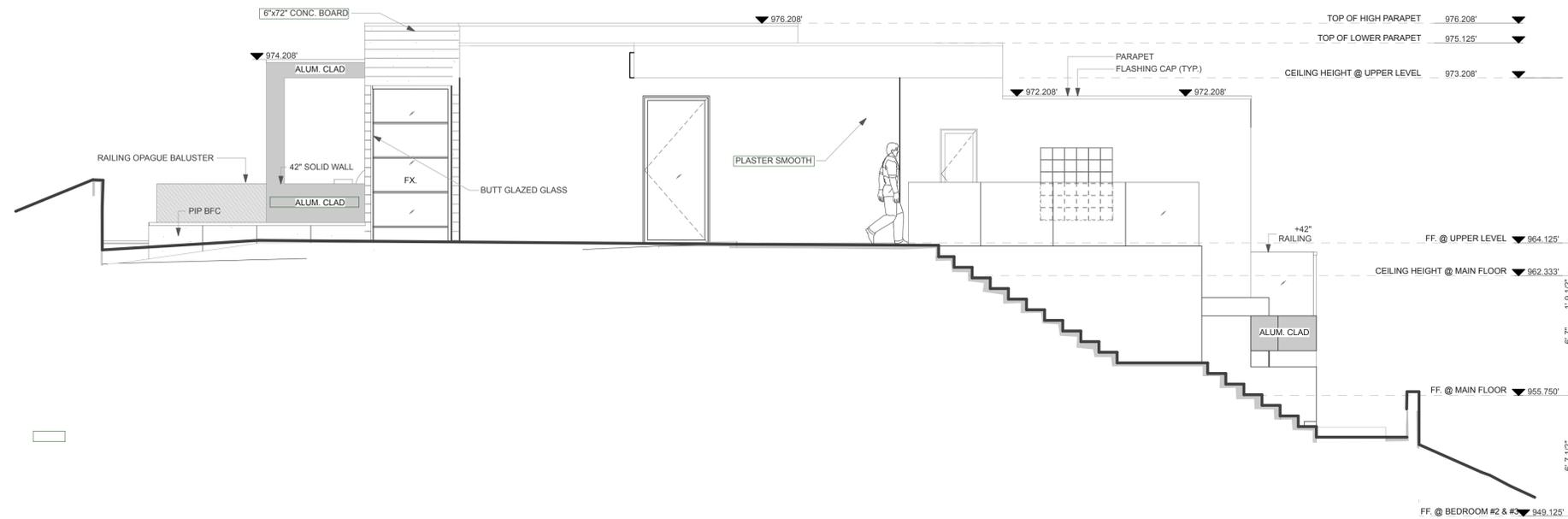


**LEKSON RESIDENCE**  
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**BURDGE & Associates ARCHITECTS**  
 MALIBU SUN VALLEY WWW.BUAIA.COM  
 24911 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-5905

<b>DESCRIPTION:</b> PROPOSED ELEVATIONS	
<b>DRAWING NO.</b> <b>A-2.1</b>	
<b>PROJECT:</b> LEKSON RESIDENCE	<b>SCALE:</b> 1/4"=1'-0"
<b>DATE:</b> 1/9/23	<b>DRAWN BY:</b> D.W.B.

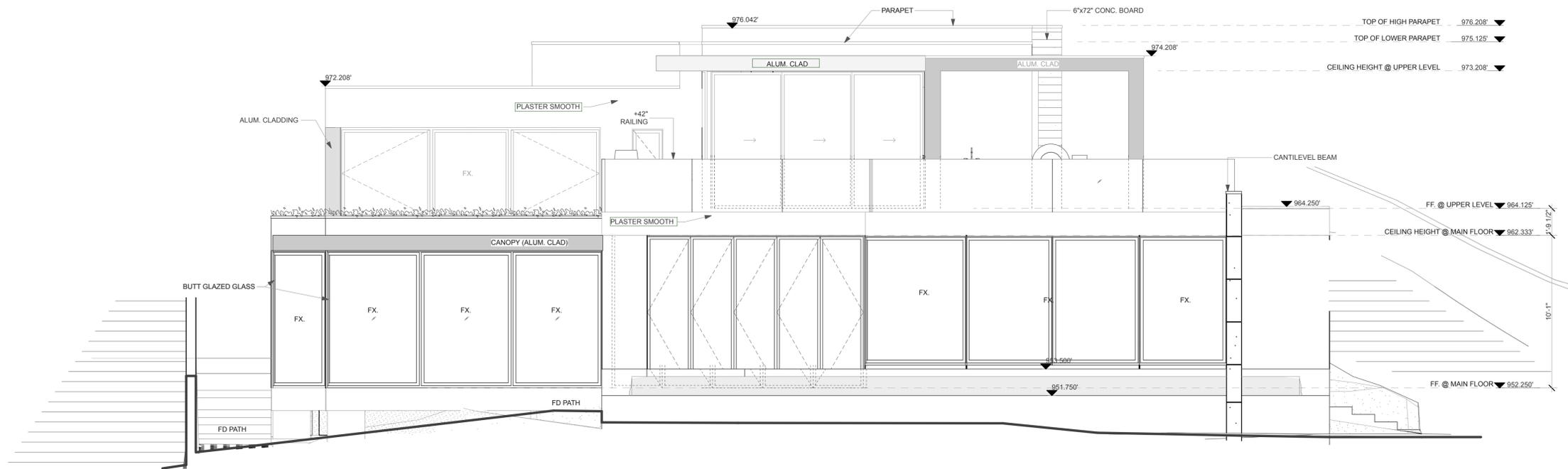
MARK	DATE	DESCRIPTION



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

- EXTERIOR WALLS MATERIAL FINISHES :**
- PIP BFC = POUR IN PLACE BOARD FORMED CONCRETE
  - CONCRETE BOARD SIZE (6" X 72") REFER TO DETAILS
  - PLASTER SMOOTH REFER DETAILS
  - ALUMINUM CLAD REFER TO DETAILS



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**FIRE DEPARTMENT NOTES:**

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3. MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.
4. EXTERIOR FIRE RETARDANT TREATED WOOD.
5. NONCOMBUSTIBLE MATERIAL.
6. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
7. ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SECTION 709A.5 WHEN TESTED IN ACCORDANCE WITH ASTM E2632 AND WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO COMPOSED OF ONLY NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIALS. (RESIDENTIAL CODE R337.9, AND BUILDING CODE 709A.3)

**FIRE DEPARTMENT NOTES:**

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING:  
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 B. GLASS BLOCK UNITS OR  
 C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257 OR D. MEET THE PERFORMANCE STANDARDS OF SFM 12-7A-2 (RESIDENTIAL CODE R337.8, AND BUILDING CODE 708A.2.1

EXTERIOR DOOR ASSEMBLIES SHALL MEET ONE OF THE FOLLOWING: A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR B. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-INCH THICK WITH RAISED PANELS THICKNESS NOT LESS THAN 1-1/4-INCH THICK OR C. MINIMUM 20 MINUTE FIRE RESISTANCE RATING WHEN TESTED ACCORDING TO NFPA 252 OR D. CONFORM TO PERFORMANCE STANDARD SFM 12-7A-1 (RESIDENTIAL CODE R337.8.3 AND BUILDING CODE 708A.3)

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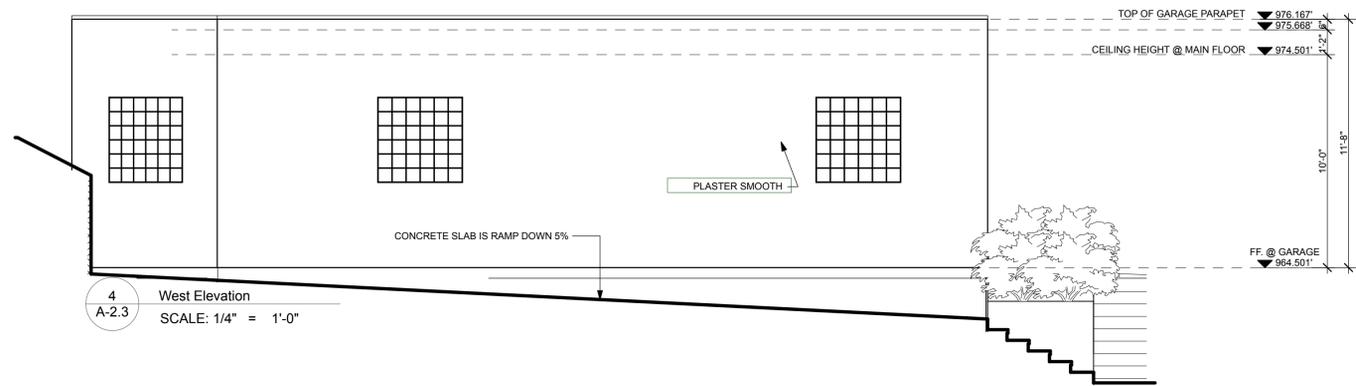
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**DRAWING NO.**  
**A-2.2**

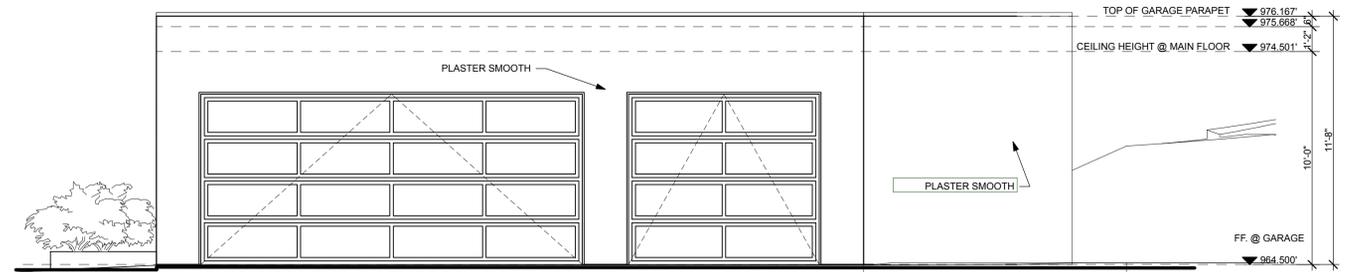
**PROJECT:** LEKSON RESIDENCE  
**DATE:** Plot Date: 1/9/23 **SCALE:**  
**DRAWN BY:** D.W.B.

MARK	DATE	DESCRIPTION

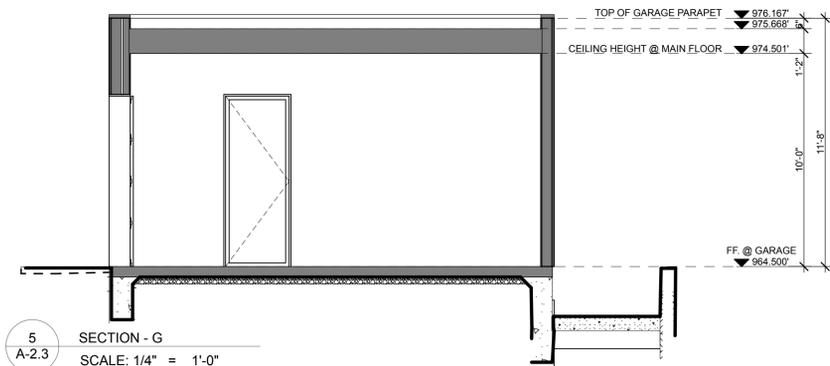
2023/01/09 10:58 AM 2643 Corral Canyon 2023 1/9/23 10:58 AM 2643 Corral Canyon 2023 1/9/23 10:58 AM



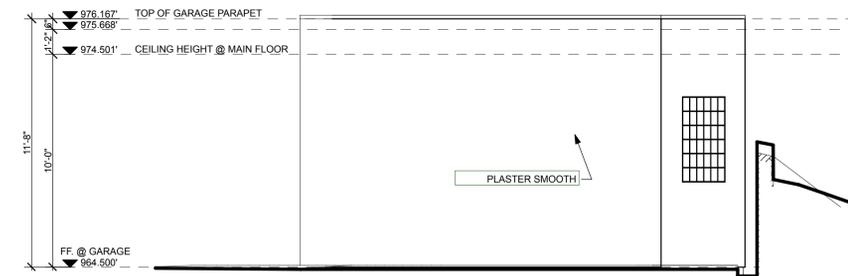
4 West Elevation  
SCALE: 1/4" = 1'-0"



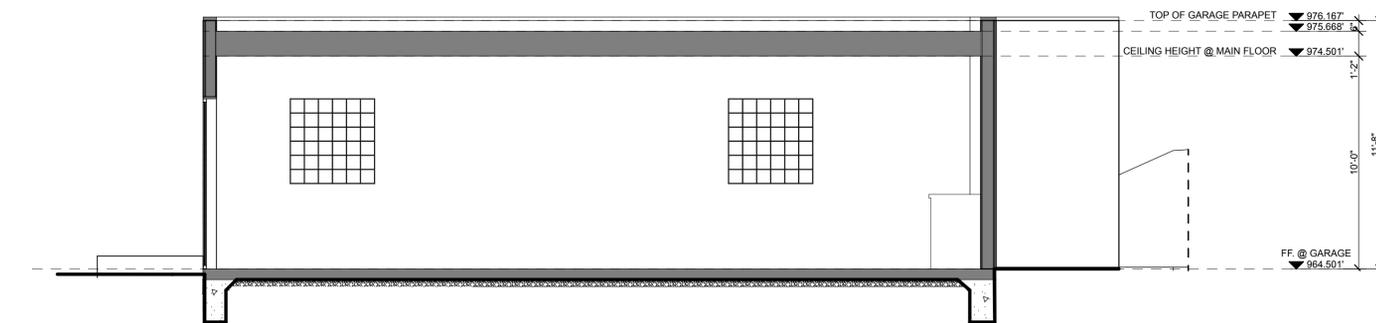
1 East Elevation  
SCALE: 1/4" = 1'-0"



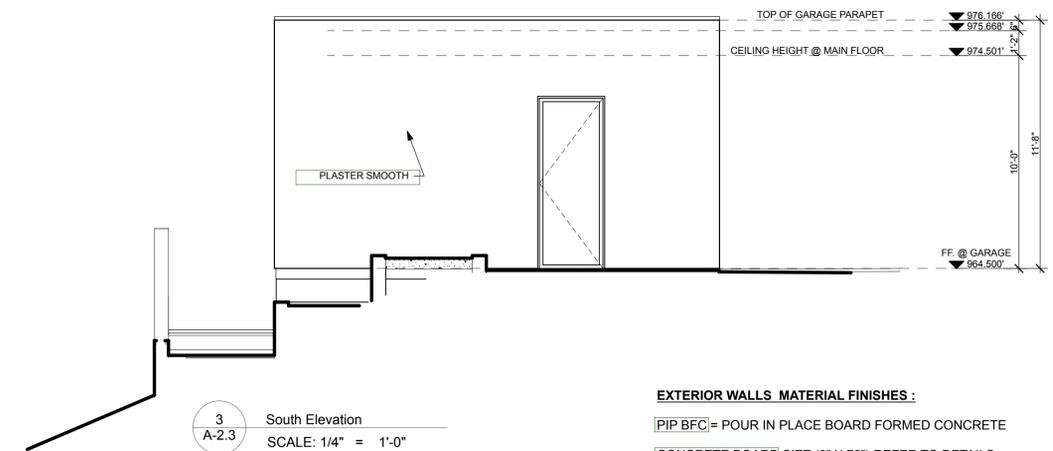
5 SECTION - G  
SCALE: 1/4" = 1'-0"



2 North Elevation  
SCALE: 1/4" = 1'-0"



6 SECTION - H  
SCALE: 1/4" = 1'-0"



3 South Elevation  
SCALE: 1/4" = 1'-0"

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MALIBU SUN VALLEY WWW.BUAIA.COM

24911 PACIFIC COAST HWY.  
MALIBU, CA 90265  
TEL. 310-456-5905

**DESCRIPTION:**  
PROPOSED ELEVATIONS

**DRAWING NO.**  
**A-2.3**

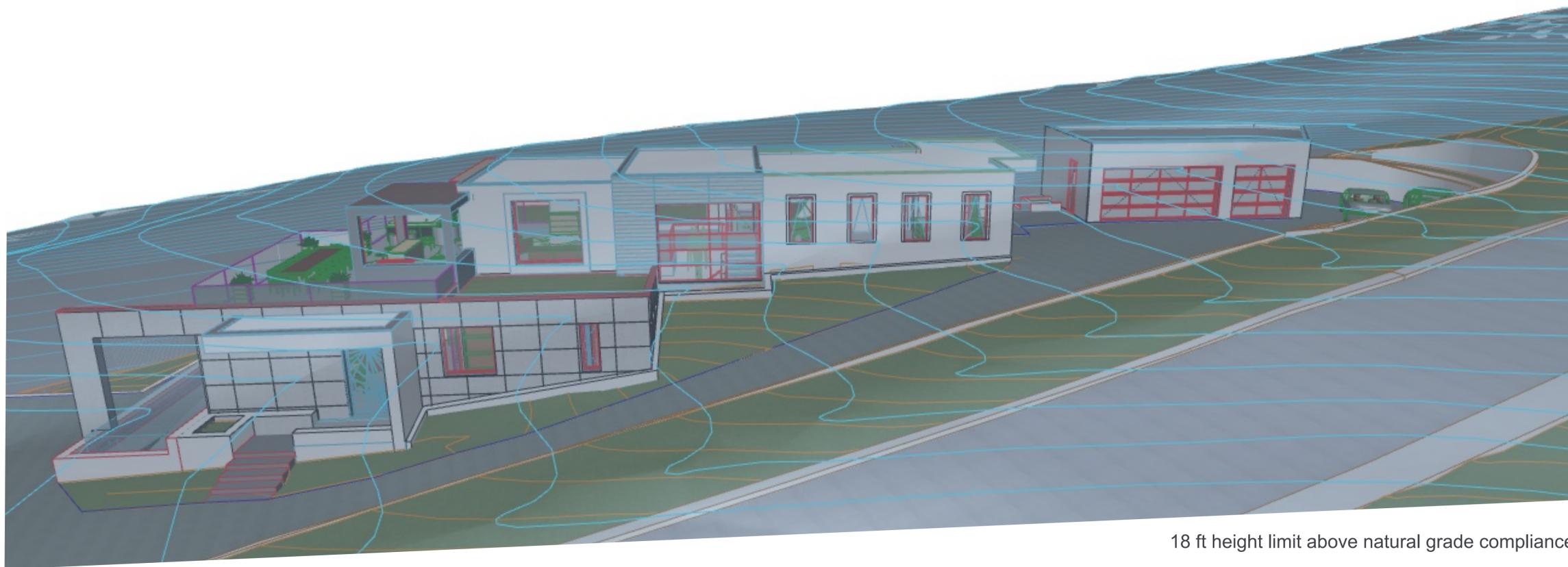
**PROJECT:** LEKSON RESIDENCE  
**DATE:** 1/9/23 **SCALE:**  
**DRAWN BY:** D.W.B.

MARK	DATE	DESCRIPTION









18 ft height limit above natural grade compliance



3d Dimensioning above finished grade

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 MALIBU, CA 90265  
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**BURDGE & ASSOCIATES**  
 ARCHITECTS  
 MALIBU SUN VALLEY  
 WWW.BUAA.COM

MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
 2643 Corral Canyon  
 Malibu, CA

LICENSED ARCHITECT  
 DOUGLAS W. BURDGE  
 C-16899  
 RENEWAL  
 11/30/2023  
 STATE OF CALIFORNIA

SHEET TITLE  
 18 ft height limit compliance

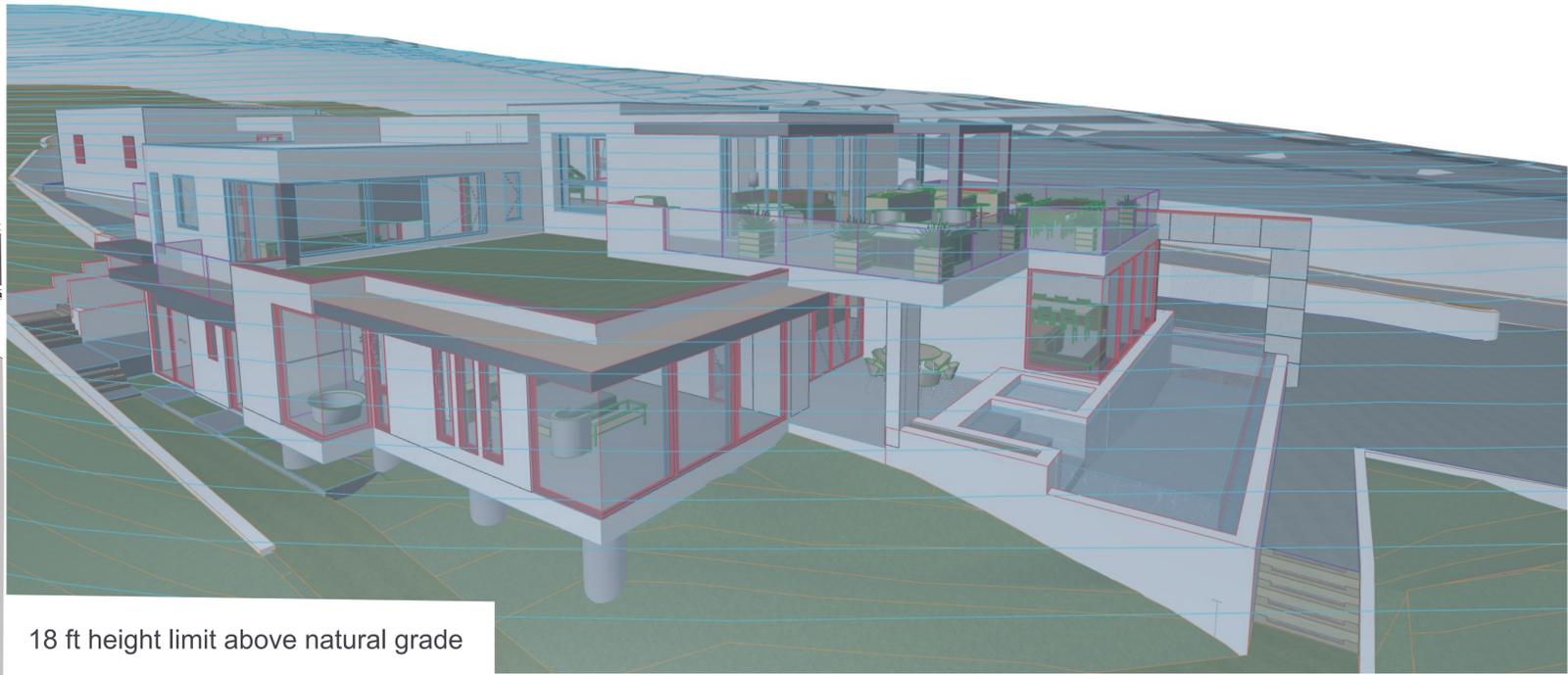
DRAWING NO.  
**A-4.0**

PLOT DATE 2/16/23  
 SCALE  
 DRAWN BY D.W.B.,M.A.,J.T.

2023/02/16 10:00 AM - 2023/02/16 10:00 AM - 2023/02/16 10:00 AM



3d Dimensioning



18 ft height limit above natural grade



3d dimensioning above finished grade

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ARCHITECTS  
MALIBU  
SUN VALLEY  
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MARK	DATE	DESCRIPTION

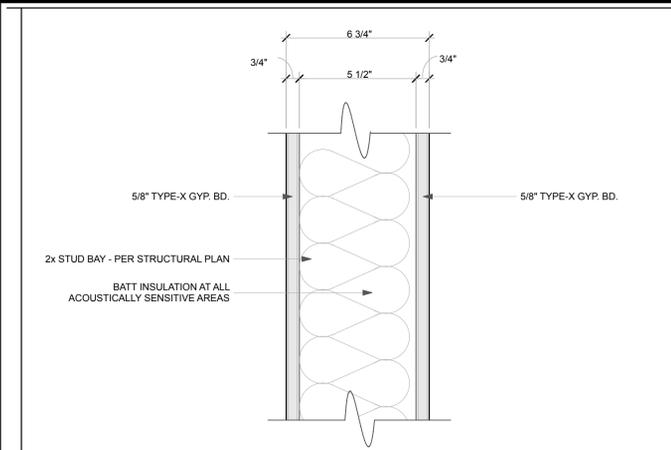
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Malibu, CA

LICENSED ARCHITECT  
DOUGLAS W. BURDGE  
C-16899  
RENEWAL  
11/30/2023  
STATE OF CALIFORNIA

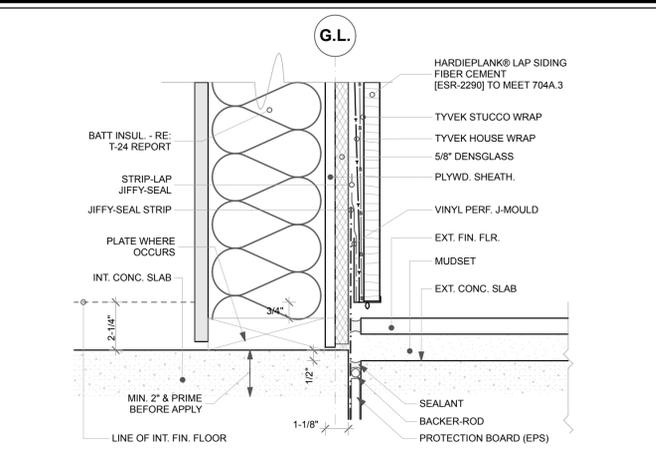
SHEET TITLE  
18 ft height limit compliance

DRAWING NO.  
**A-4.1**

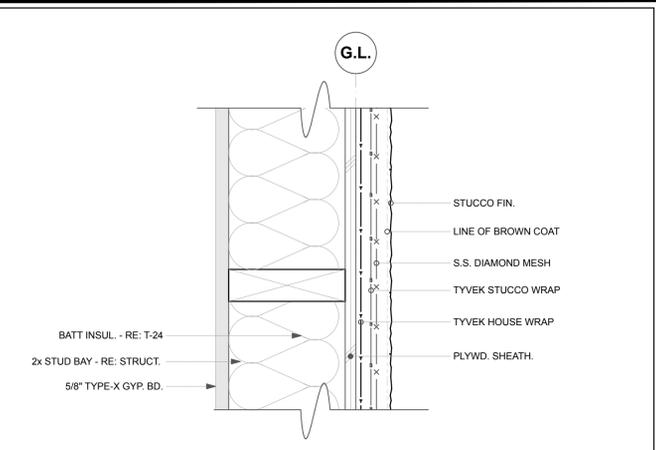
PLOT DATE 2/16/23  
SCALE  
DRAWN BY D.W.B., M.A., J.T.



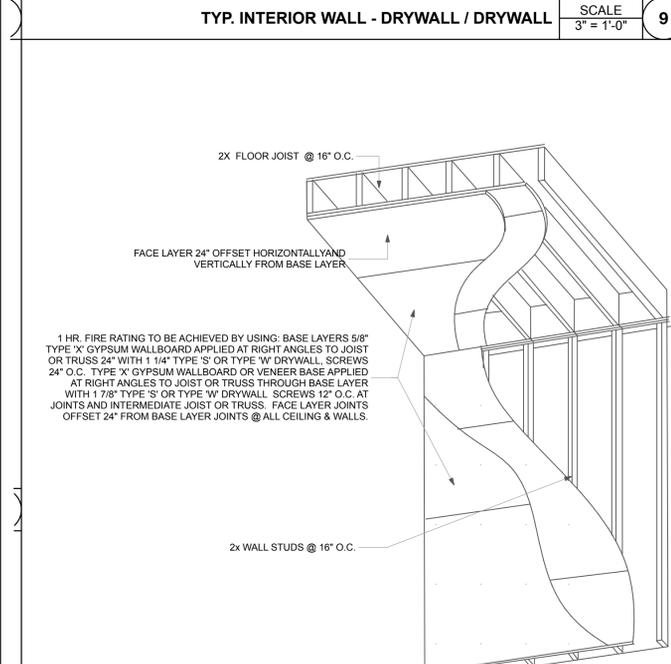
**TYP. INTERIOR WALL - DRYWALL / DRYWALL** SCALE 3" = 1'-0" 9



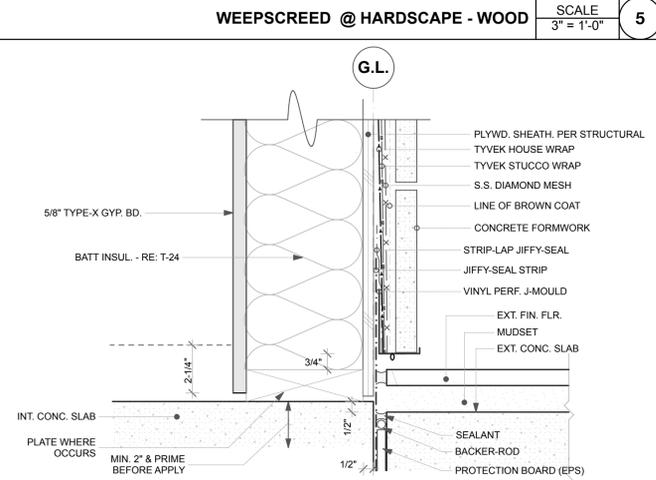
**WEEPSCREED @ HARDSCAPE - WOOD** SCALE 3" = 1'-0" 5



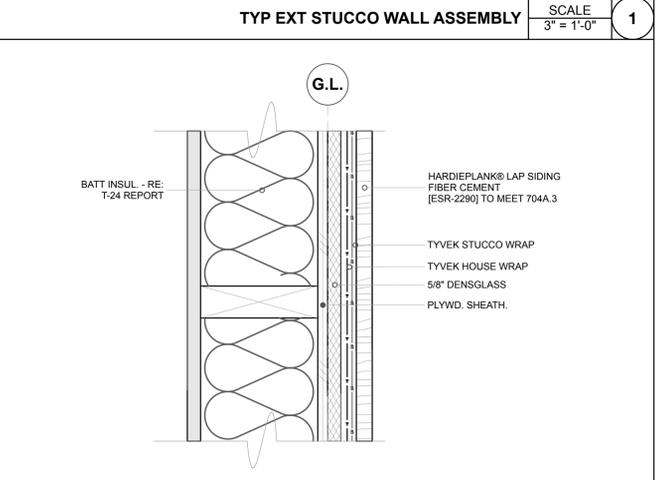
**TYP EXT STUCCO WALL ASSEMBLY** SCALE 3" = 1'-0" 1



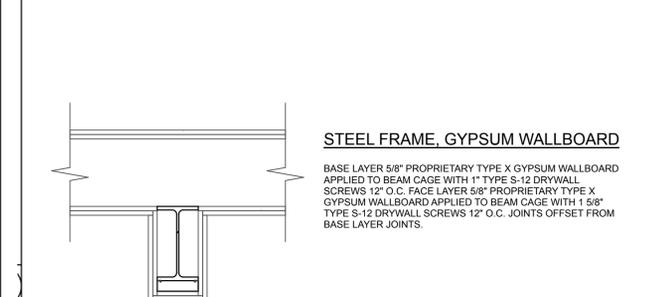
**TYPICAL WALL FLOOR/CEILING ASSEMBLY TYPE X GYPSUM BOARD ESR-1388**



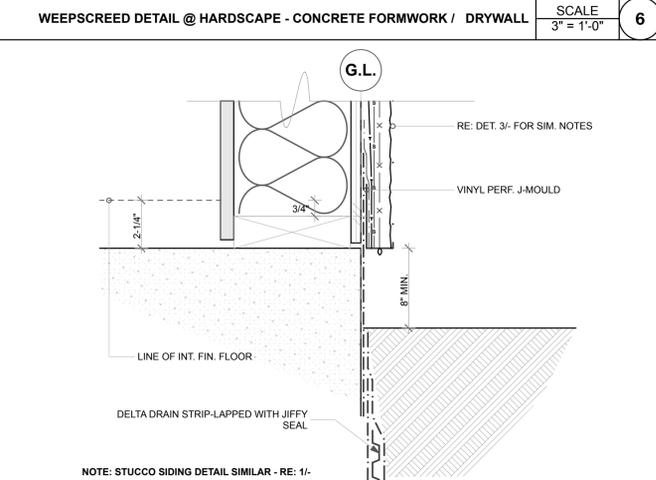
**WEEPSCREED DETAIL @ HARDSCAPE - CONCRETE FORMWORK / DRYWALL** SCALE 3" = 1'-0" 6



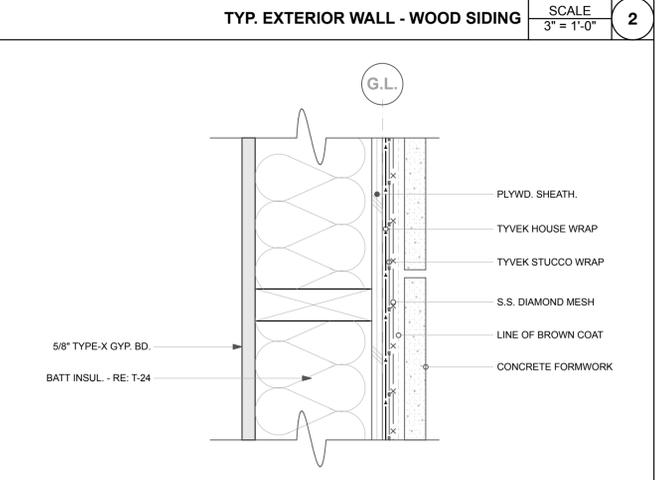
**TYP. EXTERIOR WALL - WOOD SIDING** SCALE 3" = 1'-0" 2



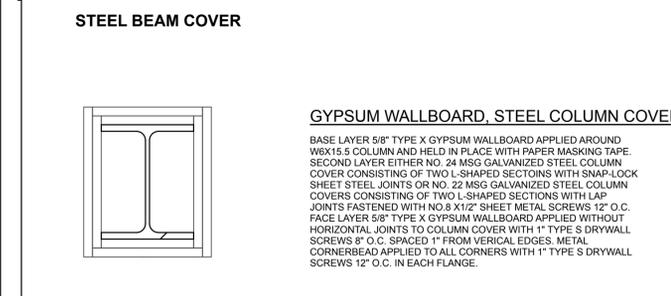
**STEEL FRAME, GYPSUM WALLBOARD**  
BASE LAYER 5/8" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED TO BEAM CAGE WITH 1" TYPE S-12 DRYWALL SCREWS 12" O.C. FACE LAYER 5/8" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED TO BEAM CAGE WITH 1 5/8" TYPE S-12 DRYWALL SCREWS 12" O.C. JOINTS OFFSET FROM BASE LAYER JOINTS.



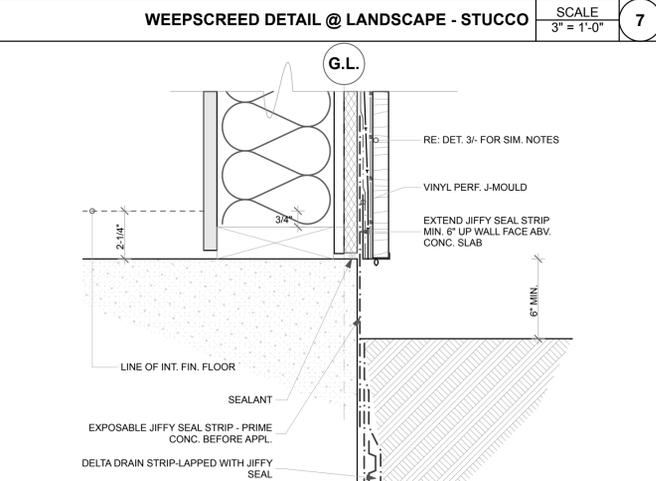
**WEEPSCREED DETAIL @ LANDSCAPE - STUCCO** SCALE 3" = 1'-0" 7



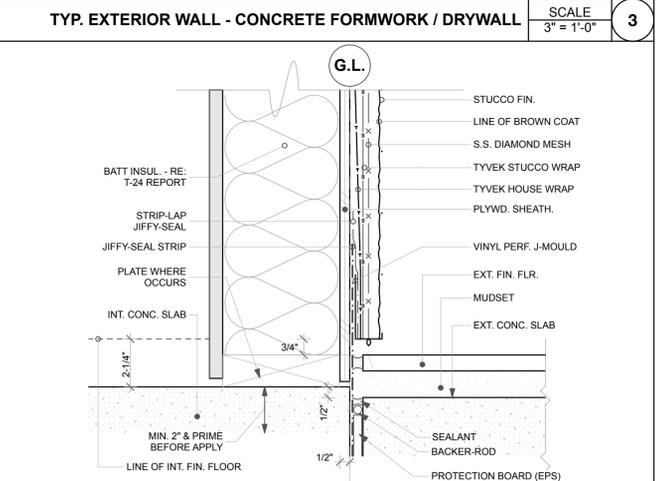
**TYP. EXTERIOR WALL - CONCRETE FORMWORK / DRYWALL** SCALE 3" = 1'-0" 3



**GYPSUM WALLBOARD, STEEL COLUMN COVER**  
BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AROUND Wx15.5 COLUMN AND HELD IN PLACE WITH PAPER MASKING TAPE. SECOND LAYER EITHER NO. 24 MSG GALVANIZED STEEL COLUMN COVER CONSISTING OF TWO L-SHAPED SECTIONS WITH SNAP-LOCK SHEET STEEL JOINTS OR NO. 22 MSG GALVANIZED STEEL COLUMN COVERS CONSISTING OF TWO L-SHAPED SECTIONS WITH LAP JOINTS FASTENED WITH NO. 8 X 1/2" SHEET METAL SCREWS 12" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED WITHOUT HORIZONTAL JOINTS TO COLUMN COVER WITH 1" TYPE S DRYWALL SCREWS 8" O.C. SPACED 1" FROM VERTICAL EDGES. METAL CORNERBEAD APPLIED TO ALL CORNERS WITH 1" TYPE S DRYWALL SCREWS 12" O.C. IN EACH FLANGE.



**WEEPSCREED @ LANDSCAPE - WOOD** SCALE 3" = 1'-0" 8



**WEEPSCREED DETAIL @ HARDSCAPE - STUCCO** SCALE 3" = 1'-0" 4



**STEEL COLUMN COVER**

**1HR RATED CONSTRUCTION** SCALE 1" = 1'-0" 12

**FIRE DEPARTMENT NOTES:**  
 EXTERIOR WALLS SHALL MEET ONE OF THE FOLLOWING:  
 A. APPROVED NONCOMBUSTIBLE CONSTRUCTION OR  
 B. IGNITION RESISTANT MATERIAL OR  
 C. SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES (102 MM), SAWN OR GLUE-LAMINATED PLANKS SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.  
 D. LOG WALL CONSTRUCTION OR  
 E. WALL ASSEMBLIES THAT HAVE BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN ASTM E2707 WITH THE CONDITIONS OF ACCEPTANCE SHOWN IN SECTION 707A.3.1.  
 F. WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1 RESIDENTIAL CODE R337.7 AND BUILDING CODE 707A.3

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24911 PACIFIC COAST HWY  
 MALIBU, CA 90265  
 TEL. 310-456-8905

**BURDGE & Associates ARCHITECTS**  
 WWW.BUAA.COM  
 MALIBU SUN VALLEY

MARK	DATE	DESCRIPTION

**LEKSON RESIDENCE**  
 2643 Corral Canyon Malibu, CA

**ARCHITECTURAL DETAILS**  
 DOUGLAS W. BURDGE  
 C-16899  
 RENEWAL 11/30/2023  
 STATE OF CALIFORNIA

**ARCHITECTURAL DETAILS**  
 SHEET TITLE

**DRAWING NO. A-5.1**  
 PLOT DATE 1/9/23  
 SCALE  
 DRAWN BY D.W.B., M.A., J.T.

Window Types																	
Element ID	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	CSMT	FX.	FX.	FX.	XOX	XOX
Unit Dimensions	12'-0"×10'-0"	2'-0"×5'-0"	2'-0"×8'-0"	2'-0"×9'-0"	3'-0"×9'-0"	4'-0"×10'-0"	4'-0"×4'-0"	5'-0"×5'-0"	5'-11 1/8"×9'-0"	5'-6"×9'-0"	5'-8 1/8"×9'-0"	6'-5/8"×9'-0"	5'-0"×8'-6"	5'-8 1/2"×8'-6"	5'-9"×8'-6"	17'-2 1/2"×6'-0"	2'-0"×5'-6"
VIEW																	
NOTES																X-O-X	

WINDOW SCHEDULE				
ID	SIZE		TYPE	MATERIAL
	WIDTH	HEIGHT		
CSMT	2'-0"	5'-0"	---	Metal - Finish - Aluminum
CSMT	2'-0"	8'-0"	---	Metal - Finish - Aluminum
CSMT	2'-0"	8'-0"	---	Metal - Aluminum*
CSMT	2'-0"	9'-0"	---	Metal - Finish - Aluminum
CSMT	3'-0"	9'-0"	---	Metal - Aluminum*
CSMT	4'-0"	4'-0"	---	Wood - Pine Horizontal
CSMT	4'-0"	10'-0"	---	Metal - Finish - Aluminum
CSMT	5'-0"	5'-0"	---	Metal - Finish - Aluminum
CSMT	5'-6"	9'-0"	---	Metal - Finish - Aluminum
CSMT	5'-6"	9'-0"	---	Metal - Aluminum*
CSMT	5'-8 1/8"	9'-0"	---	Metal - Finish - Aluminum
CSMT	5'-11 1/8"	9'-0"	---	Metal - Finish - Aluminum
CSMT	6'-5/8"	9'-0"	---	Metal - Finish - Aluminum
CSMT	12'-0"	10'-0"	---	Metal - Finish - Aluminum
FX.	5'-0"	8'-6"	---	Metal - Finish - Aluminum
FX.	5'-8 1/2"	8'-6"	---	Metal - Finish - Aluminum
FX.	5'-9"	8'-6"	---	Metal - Finish - Aluminum
XOX	2'-0"	5'-6"	---	Metal - Finish - Aluminum
XOX	3'-0"	6'-0"	---	Metal - Trim - Nickel
XOX	5'-6"	5'-6"	---	Metal - Finish - Aluminum
XOX	8'-0"	8'-0"	---	Metal - Finish - Aluminum
XOX	8'-0"	8'-0"	---	Metal - Finish - Aluminum
XOX	8'-0"	8'-0"	---	Wood - Pine Vertical
XOX	8'-1"	9'-0"	---	Metal - Finish - Aluminum
XOX	17'-2 1/2"	6'-0"	---	Metal - Finish - Aluminum

Window Types						
Element ID	XOX	XOX	XOX	XOX	XOX	XOX
Unit Dimensions	3'-0"×6'-0"	5'-6"×5'-6"	8'-0"×8'-0"	8'-0"×8'-0"	8'-0"×8'-0"	8'-1"×9'-0"
VIEW						
NOTES					X-O-X	

ID	DOOR					
	TYPE	W	HT	THK	MATL	GLZ
04	---	2'-8"	7'-0"	1 3/4"		
05	---	2'-8"	7'-0"	1 3/4"		
05	---	2'-8"	8'-0"	1 3/4"		
05	---	2'-8"	9'-0"	1 3/4"		
05	---	3'-0"	8'-0"	1 3/4"		
05	---	3'-0"	9'-0"	1 3/4"		
05	---	3'-6"	8'-0"	1 3/4"		
05	---	9'-0"	8'-0"	1 3/4"		
05	---	14'-4"	10'-0"	1 3/4"		
05	---	18'-0"	8'-0"	1 3/4"		
07	---	3'-0"	8'-0"	1 3/4"		
07	---	3'-0"	8'-0"	1 3/4"		
07	---	3'-0"	9'-0"	1 3/4"		
08	---	2'-8"	9'-0"	1 3/4"		
10	---	9'-8 1/4"	9'-0"	1 3/4"		
10	---	10'-0"	9'-0"	1 3/4"		
11	---	10'-0"	9'-0"	1 3/4"		
12	---	2'-10"	8'-0"	1"		
12	---	3'-6"	8'-0"	1"		
12	---	10'-0"	9'-0"	1 3/4"		
103	---	14'-0"	9'-0"	2.25"	---	
104	---	5'-0"	9'-0"	2.25"	---	
Door-036	---	2'-6"	8'-0"	1"		
Door-036	---	3'-0"	8'-0"	1"		
Door-037	---	8'-8"	9'-4"	1 5/8"	---	---
Door-037	---	9'-1/2"	5'-10"	1 5/8"	---	---
Door-037	---	12'-6"	9'-4"	1 5/8"	---	---
Door-038	---	8'-11"	5'-10"	1 5/8"	---	---
OC	---	2'-8"	8'-0"	1 5/8"	---	---
OC	---	3'-0"	8'-0"	1 5/8"	---	---
OC	---	3'-2"	8'-0"	1 5/8"	---	---
OC	---	3'-2"	9'-1"	1 5/8"	---	---
OC	---	4'-0"	8'-0"	1 5/8"	---	---
OC	---	5'-7"	8'-0"	1 5/8"	---	---
OC	---	6'-0"	8'-0"	1 5/8"	---	---
OC	---	7'-5 1/8"	8'-0"	1 5/8"	---	---
OC	---	8'-4 3/4"	8'-0"	1 5/8"	---	---
PIVOT	---	3'-6"	9'-0"	1 3/4"		
PIVOT	---	6'-0"	10'-0"	1 5/8"		

DOOR TYPES									
TYPE	---	---	---	---	---	---	---	---	---
VIEW									
DIMS	---	10'-0"×9'-0"	14'-4"×10'-0"	18'-0"×8'-0"	2'-10"×8'-0"	2'-6"×8'-0"	2'-8"×7'-0"	2'-8"×8'-0"	2'-8"×9'-0"
NOTES	---								

3'-0"×9'-0"	3'-6"×8'-0"	3'-6"×9'-0"	4'-8 5/8"×9'-0"	5'-0"×9'-0"	9'-0"×8'-0"	9'-8 1/4"×9'-0"

**FIRE DEPARTMENT NOTES :**

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING:  
 A. MULTI-PANE GLAZING UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR  
 B. GLASS BLOCK UNITS OR  
 C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257 OR D. MEET THE PERFORMANCE STANDARDS OF SFM 12-7A-2 (RESIDENTIAL CODE R337.8, AND BUILDING CODE 708A.2.1)

EXTERIOR DOOR ASSEMBLIES SHALL MEET ONE OF THE FOLLOWING:  
 A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR  
 B. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCH THICK WITH RAISED PANELS THICKNESS NOT LESS THAN 1-1/4 INCH THICK OR  
 C. MINIMUM 20 MINUTE FIRE RESISTANCE RATING WHEN TESTED ACCORDING TO NFPA 252 OR D. CONFORM TO PERFORMANCE STANDARD SFM 12-7A-1 (RESIDENTIAL CODE R337.8.3 AND BUILDING CODE 708A.3)

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**LEKSON RESIDENCE**  
 2643 Corral Canyon  
 Malibu, CA

**BURDGE & Associates**  
 ARCHITECTS  
 MALIBU SUN VALLEY WWW.BUAIA.COM

DESCRIPTION:  
**DOOR AND WINDOW SCHEDULE**

DRAWING NO.  
**A-6.1**

PROJECT: LEKSON RESIDENCE  
 DATE: 1/9/23 SCALE:  
 DRAWN BY: D.W.B.

MARK DATE DESCRIPTION

24911 PACIFIC COAST HWY.  
 MALIBU, CA 90265  
 TEL. 310-456-5905



Site Development Area  
14,825 sq ft

PARCEL 1  
APN: 4457-013-064

PARCEL 2  
APN: 4457-013-063

10' RETAINING WALL  
10' RETAINING WALL  
RIGHT OF 2.5'

UTILITY POLE  
TO BE RELOCATED  
(BY OTHERS)

CANYON ROAD



- ⑦ DESCRIPTION
- 6" TRENCH DRAIN
  - SLOT DRAIN
  - 6" AREA DRAIN
  - DOWNSPOUT OUTLETS TO 6" AREA DRAIN
  - CONCRETE CATCH BASIN
  - APPROXIMATE LOCATION OF EXISTING WATER MAIN PER EXHIBIT AND DATA FROM LAS VIRGENES MUNICIPAL WATER DISTRICT PROVIDED BY SCHMITZ AND ASSOCIATES, INC. ON 12-06-2022
  - WASTEWATER APPURTENANCE (BY OTHERS PER SEPARATE PERMIT)
  - PROPOSED RESIDENTIAL WATER LINE CONNECTION

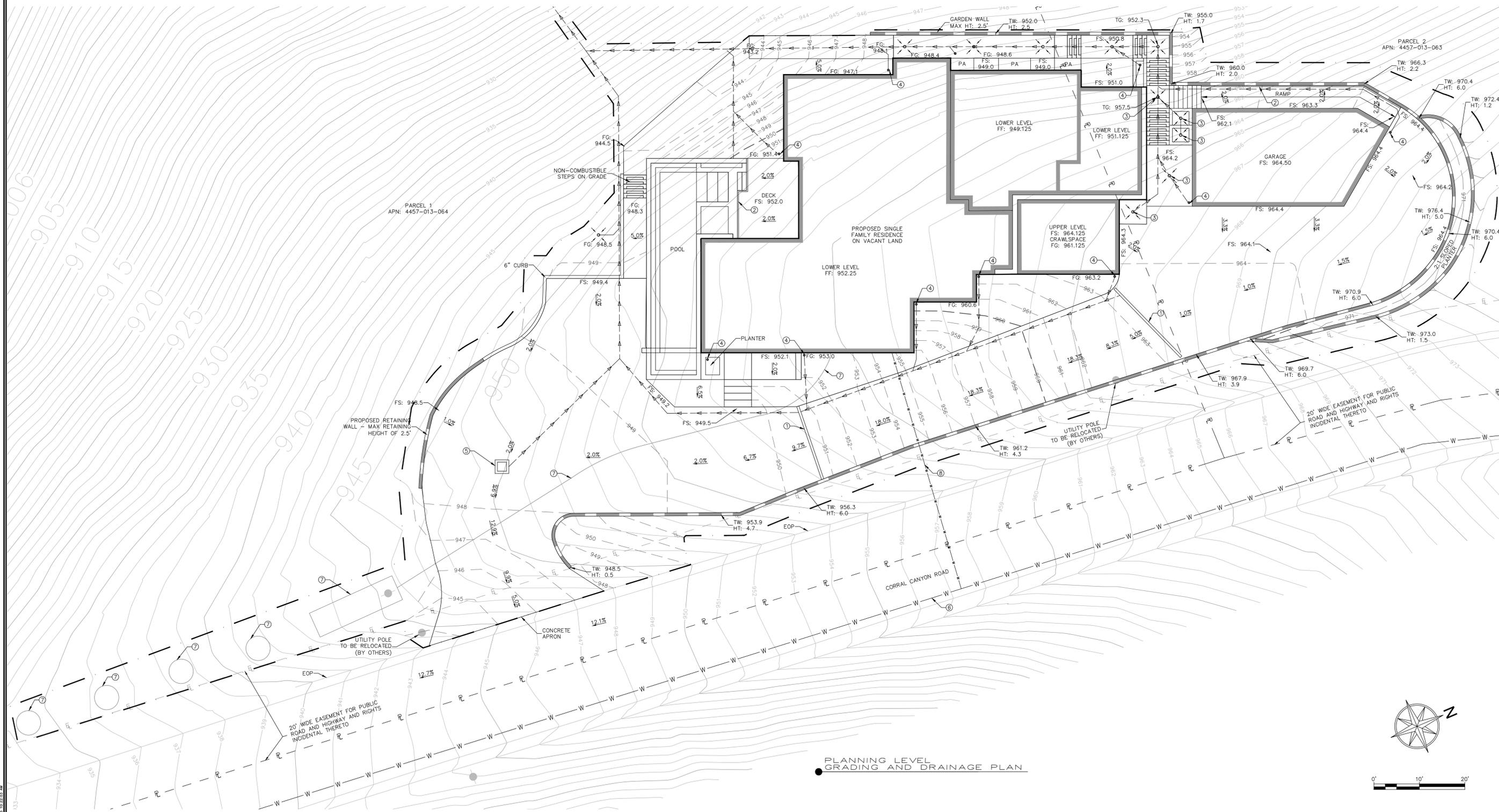
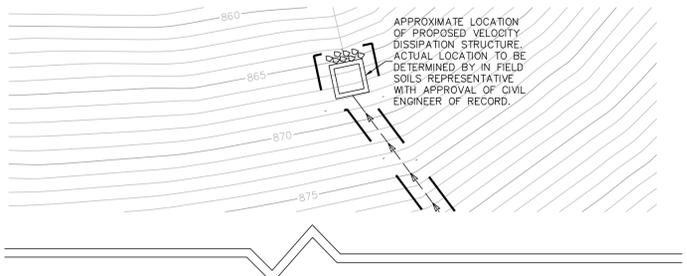
LINE TYPE	DESCRIPTION
---	PROPERTY LINE
---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS
---	PROPOSED MINOR CONTOURS
---	LIMITS OF DISTURBED SITE AREA
---	FLOW LINES
---	PIPES
---	ROAD CENTERLINE
---	EASEMENT LINE
---	PROPOSED RETAINING WALL (BY OTHERS PER SEPARATE PERMIT)
---	RESIDENCE WATER LINE
---	WATER MAIN

ABBREVIATION	DESCRIPTION
BOF	BOTTOM OF FOUNDATION ELEVATION
EG	EXISTING GRADE ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
FS	FINISHED SURFACE ELEVATION
HP	HIGH POINT ELEVATION
HT	HEIGHT OF WALL FROM FS (DOES NOT INCLUDE HEIGHT OF FOOTING)
INV	INVERT ELEVATION
OC	ON CENTER
PA	PLANTING AREA
R&R	REMOVAL AND RECOMPACTION
SPPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
TW/TOW	TOP OF WALL ELEVATION
TG	TO BE DETERMINED BY CONTRACTOR IN FIELD
TBD	TO BE DETERMINED BY CONTRACTOR IN FIELD
WW	WASTEWATER

REVISIONS:

REV	BY	DATE
1	TJM	2022-01-14

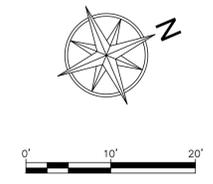
UPDATE LIMITS OF DISTURBED AREA TO INCLUDE BEST PRACTICE RECOMMENDED QUANTITIES TO INCLUDE BAR LOCATIONS TO BE REBARABLE AFTER MOVING DISTURBED AREA LINE.



**PLANNING LEVEL GRADING AND DRAINAGE PLAN**  
 FOR APPROVAL ONLY - NOT FOR CONSTRUCTION  
 2643 CORRAL CANYON  
 MALIBU, CA

JOB #: 105-17  
 DATE: DECEMBER 2022  
 DRAWN BY: TJM  
 CHECKED BY: TAC  
 SHEET NUMBER: G2 OF 2

DRAWING NAME: C:\USERS\ADMINISTRATOR\PROJECTS\105-17 2643 CORRAL CANYON (LEXIKON)\ENGINEERING\2022\105-17 2643 CORRAL CANYON.dwg  
 DATE: 12/14/2022 10:41:30 AM  
 USER: TJM



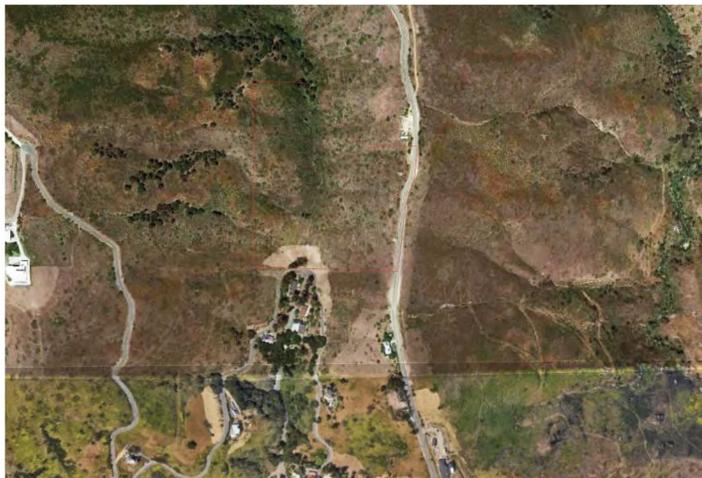
● PLANNING LEVEL GRADING AND DRAINAGE PLAN

# 2643 CORRAL CANYON ROAD

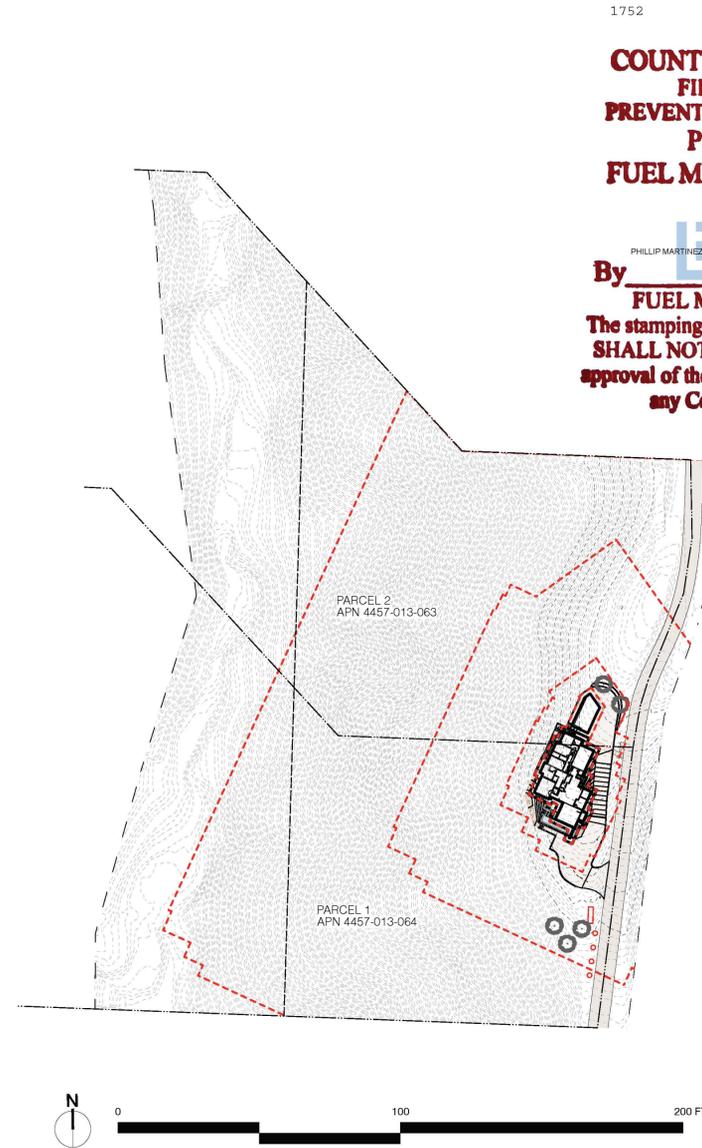
Malibu, CA 90265



vicinity map



project site



1752

**COUNTY OF LOS ANGELES  
FIRE DEPARTMENT  
PREVENTION SERVICES BUREAU  
PRELIMINARY  
FUEL MODIFICATION PLAN**

By  Date \_\_\_\_\_  
**FUEL MODIFICATION UNIT**  
**The stamping of this plan and specifications  
SHALL NOT be held to permit or to be an  
approval of the violation of any provisions of  
any County/City or State law**

### Project Description

The proposed project is located at 2643 Corral Canyon Road in Malibu. The scope of work includes a new 2-story single family residence (SFR) 5,897 square foot, 810 square foot detached garage, new Onsite Wastewater Treatment System (OWTS), pool, partially covered deck, 282 foot long FD walk-around, Fire Department hammerhead turnaround, all under 18 feet in height from existing natural grade. Landscaping, including Fuel Modification. The development area is 14,588 square feet (sq. ft.)

1535 cubic yards (cu yds.) of site cut and 10 cu yds. of fill are proposed, along with 1525 cu yds. of export.

### Project Details

**owner:** Jeffrey & Suzanne Lekson  
**site address:** 2643 Corral Canyon Road  
Malibu, CA 90265  
**assessors numbers:** 4457-013-063  
4457-013-064  
**zoning:** R-C-40  
**total proposed landscape area:** 4,183 SF  
low water use -  
med water use -  
high water use -  
**total irrigated landscape:**  
**water supply type:** potable  
**water municipality:** Las Virgenes Municipal Water District

### Consultants

**architect:** Burdge & Associates Architects, Inc.  
21235 Pacific Coast Highway  
Malibu, CA 90265  
p. 310.456.5905 f. 310.456.2467  
**landscape:** Barefoot Design  
1187 Coast Village Road, #287  
Santa Barbara, CA 93108  
p. 805.697.7466  
**planning:** Schmitz and Associates, Inc.  
28230 Agoura Road, Suite #200  
Agoura Hills, CA 91301  
p. 818-338-3636

### Sheet Index

sheet #	Title
L0.0	Cover Sheet
L0.1	Site Photos
L0.2	Preliminary Fuel Modification Plan

SUBMITTALS

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PROJECT: **LEKSON RESIDENCE**  
2643 CORRAL CANYON ROAD, MALIBU, CA 90265

SHEET CONTENTS  
**Cover Sheet**

DATE 10/6/22  
SCALE 1" = 100'-0"  
DRAWN JH  
JOB 21-06

SHEET  
**L0.0**

1 OF 3 SHEETS



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8

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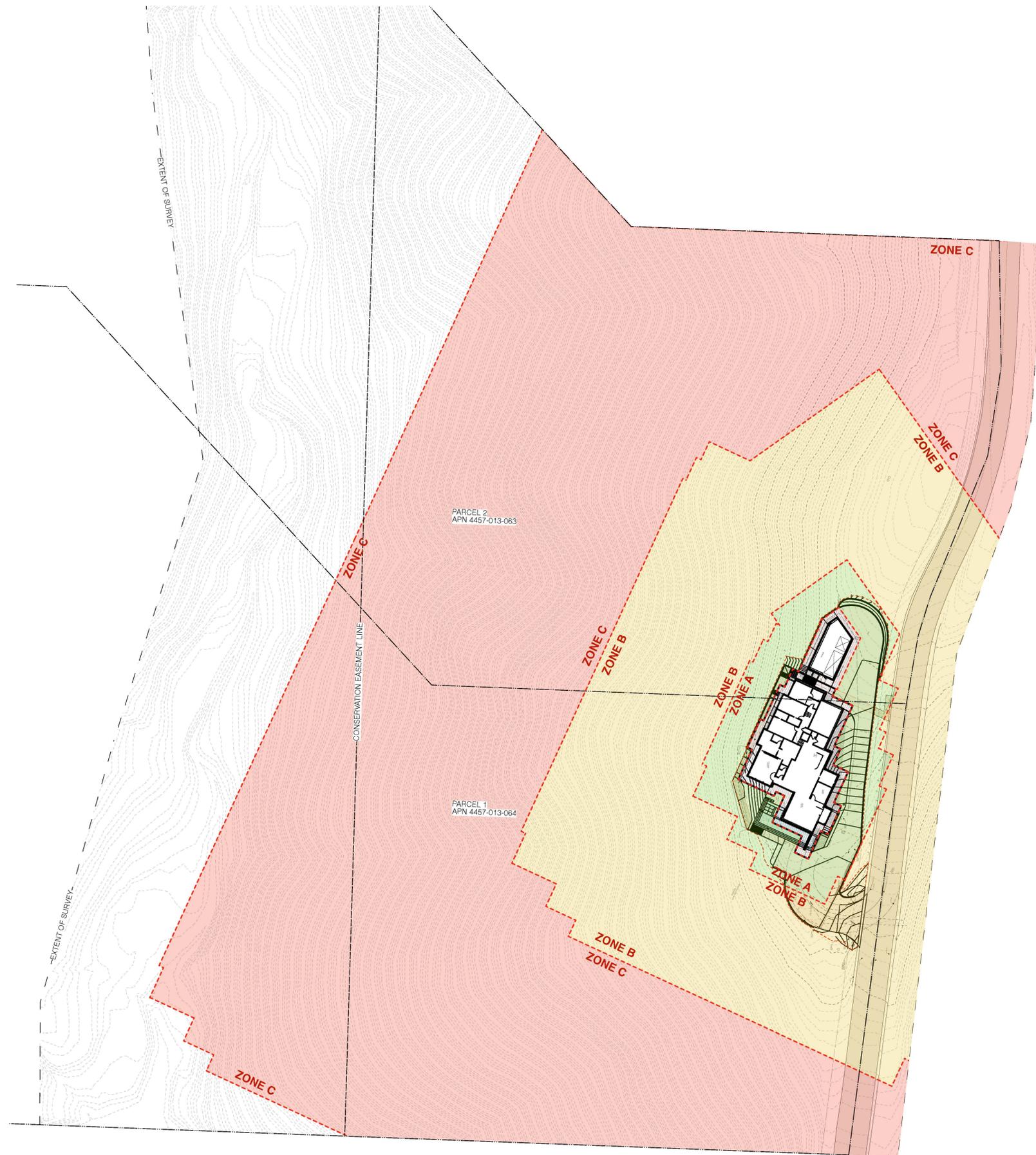


PROJECT: **LEKSON RESIDENCE**  
2643 CORRAL CANYON ROAD, MALIBU, CA 90265

SHEET CONTENTS  
**Site Photos**

DATE: 10/6/22  
SCALE: 1" = 40'-0"  
DRAWN: JH  
JOB: 21-06

SHEET  
**L0.1**



### Description of Fire Zones

- Fire Zone A: 0'-5' from Residence**
  - area shall be free of materials known to be receptive to flying embers
- Fire Zone A: 5-30' from Residence**
  - Vegetation in this zone is composed of high moisture containing tree's, shrubs, groundcovers (especially succulent species) and lawn and lawn substitutes.
  - All plants will be irrigated by automatic systems to maintain healthy vegetation with a high live fuel moisture and greater fire resistance.
  - Landscaping and vegetation in this zone will consist of primarily green lawns, groundcovers, mulch, adequately spaced small shrubs and hardscape.
  - Plants in Zone A shall be highly fire resistant and selected from the approved plant list.
  - Existing Native vegetation shall be modified by thinning and removal of high risk species.
  - Trees shall be limbed up to at least 6 feet above bare earth and a minimum of 3 times the height of underlying plants.
- Fire Zone B: 30'-100' from Residence**
  - Landscaping and vegetation in this zone will consist of primarily green lawns, groundcovers, mulch, adequately spaced small shrubs and hardscape.
  - All plants will be irrigated by automatic systems to maintain healthy vegetation with a high live fuel moisture and greater fire resistance.
  - Plants in Zone B shall be fire resistant and selected from the approved plant list.
  - Existing Native vegetation shall be modified by thinning and removal of high risk species.
  - Trees shall be limbed up to at least 6 feet above bare earth and a minimum of 3 times the height of underlying plants.
- Fire Zone C: 100'-200' from Residence**
  - Multicut and remove all dead wood in areas with existing native shrub cover.
  - Remove up to 20% of native vegetation.
  - Remove exotic species.

### Fuel Modification Plan Notes

- Ember Resistant Zone**
- Extends 5 feet beyond the edge of any combustible structure, accessory structure, appendage, or projection. The areas beneath eaves, overhangs or parts of structures including attached decks and pergolas shall be included in the ember resistant zone.
  - This area shall be free of materials or landscaping known to be receptive to flying embers.
- Zone A**
- Extends 30 feet beyond the edge of any combustible structure, accessory structure, appendage, or projection. Projections such as eaves, covered entryways, attached pergolas, decks etc. shall be the point at which this distance is measured.
  - Irrigation shall be provided to maintain healthy vegetation and fire resistance.
  - Vegetation in this zone shall consist primarily of mowed grasses, low growing ground covers and adequately spaced shrubs. The overall density and arrangement shall provide adequate defensible space and significantly reduce fire intensity.
  - Plant species selected for Zone A shall possess characteristics which increase fire resistance. Such characteristics are high moisture content, plants producing little leaf litter, slow growing plants and plants that do not require pruning to reduce their size at maturity. Species selection should reference the Fuel Modification Plant List. The list is not a pre-approved plant list. Other species may be used subject to approval after review.
  - Trees are generally **not recommended** except for dwarf varieties or mature trees less than 25' tall and wide at maturity. Trees shall be positioned so their canopies do not extend over the roof of any structure.
  - Vines and climbing plants are not allowed on any combustible structure requiring review.
- Zone B**
- Extends from the outer edge of Zone A an additional 70 feet for a total of 100 feet from the structure.
  - Irrigation shall be provided to maintain healthy vegetation and fire resistance.
  - Vegetation in this zone shall be arranged in a manner that does not create vertical or horizontal fuel ladders. Vegetation in this zone can be planted at a slightly higher density than Zone A, but the overall density and arrangement shall provide adequate defensible space and significantly reduce fire intensity.
  - Existing California native plants may be approved to remain if determined to be acceptable upon review and are properly spaced and maintained.
  - Plant species selected for Zone B shall possess characteristics which increase fire resistance. Such characteristics are high moisture content, plants producing little leaf litter, slow growing plants and plants that do not require pruning to reduce their size at maturity. Species selection should reference the Fuel Modification Plant List. The list is not a pre-approved plant list. Other species may be used subject to approval after review.
  - Trees in Zone B may be medium to large at maturity provided they are properly positioned and do not create any vertical or horizontal fuel ladders. Tree selections are subject to denial upon review.
- Zone C**
- Extends from the outer edge of Zone B an additional 100 feet for a total of 200 feet from the structure.
  - Maintenance/modification of vegetation exceeding 100 feet but not to exceed 200 feet from structures may be determined necessary. Any required maintenance/modification is to be determined upon on-site inspection (Fire Code 325.2.2).
- Fire Access Road Zone**
- Extends a minimum of 10 feet from the edge of any public or private road, driveways and turnarounds used by firefighting resources.
  - Clear and remove flammable vegetation on each side of access roads (Fire Code 325.10).
  - Fire access roads shall have an unobstructed vertical clearance a minimum width of 20' and vertically clear to the sky (Fire Code 503.2.1).
  - Additional clearance beyond 10 feet may be required upon an on-site inspection.
  - All proposed plantings, unless otherwise approved, shall be positioned so they do not obstruct access at maturity. Pruning will not be considered as an alternative to plant selection.
- Maintenance**
- Routine maintenance shall be regularly performed in all zones. Above all else, regular maintenance is paramount to the fire resistance of a well-planned fire-resistant landscape. Critical items are outlined below. Additional information may be found on our website listed in the header of this document.
- Start with the structure. Remove leaf litter and other combustible debris from roofs, eaves, rain gutters etc.
  - Ensure the ember resistant zone is maintained free of any material known to be receptive to flying embers.
  - Remove any plant or portion of a plant that is dead or dying throughout all zones.
  - Remove downed, accumulated plant litter and dead wood throughout all zones.
  - Prune to reduce the overall amount and continuity of fuels. Eliminate horizontal and vertical fuel ladders throughout all zones.
  - All invasive species and their parts should be removed from the site.
  - Ensure irrigation systems are functioning properly.
  - Compliance with the fire code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of fine fuels between the months of April and June depending on the geographic region each dwelling exists.
  - Inspection for compliance with an approved fuel modification plan may occur at any time.
  - All future planting shall be in accordance with the County of Los Angeles Fire Department Fuel

Modification Guidelines and approved prior to installation. Approval of this Fuel Modification Plan constitutes approval for only those Codes reviewed as part of the Fuel Modification process and does not replace the needed approval of any other office or agency with jurisdiction and review responsibility for those items which may or may not be illustrated on the plan.

SUBMITTALS

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**LEKSON RESIDENCE**  
 2643 CORRAL CANYON ROAD, MALIBU, CA 90265

PROJECT:

SHEET CONTENTS  
**Preliminary Fuel Modification Plan**

DATE: 10/6/22  
 SCALE: 1" = 40'-0"  
 DRAWN: JH  
 JOB: 21-06  
 SHEET: **L0.2**  
 3 OF 3 SHEETS





**PROJECT NUMBER** PRJ2023-001003  
**HEARING DATE** March 18, 2026

**REQUESTED ENTITLEMENT(S)**  
Minor Coastal Development Permit (“Minor CDP”) No. RPPL2023001410  
Variance No. RPPL2023001417  
Lot Line Adjustment No. RPPL2023001914

## PROJECT SUMMARY

**OWNER / APPLICANT** Suzanne and Jeffrey Lekson / Arfakhashad Munaim  
**MAP/EXHIBIT DATE** November 8, 2024

### PROJECT OVERVIEW

The applicant requests a Minor CDP for the proposed construction of a 5,897-square-foot, two-story single-family residence with a maximum height of 18 feet. Other proposed improvements include an 810-square-foot detached garage, a swimming pool, a partially covered deck, a 282-foot-long driveway with a hammerhead turnaround, and a new onsite wastewater treatment system. The applicant also requests a Variance for development within 50 feet (vertical or horizontal) of a mapped significant ridgeline, and a Lot Line Adjustment to merge two lots to allow an increase in the allowed building site area from 10,000 square feet to 20,000 square feet. Two Southern California black walnut trees are proposed to be removed.

**LOCATION** 2643 Corral Canyon Road  
**ACCESS** Corral Canyon Road

**ASSESSORS PARCEL NUMBER(S)** 4457-013-063 and 4457-013-064  
**SITE AREA** 34.9 acres

**GENERAL PLAN / LOCAL PLAN** Santa Monica Mountains Local Coastal Program  
**PLANNING AREA** Santa Monica Mountains

**LAND USE DESIGNATION** RL 40 (Rural Land 40 – One dwelling unit per 40 acres maximum density)  
**ZONE** R-C-40 (Rural Coastal – 40 Acre Minimum Required Lot Area)

**PROPOSED UNITS** One  
**MAX DENSITY/UNITS** One dwelling unit per 40 acres  
**COMMUNITY STANDARDS DISTRICT** Santa Monica Mountains Coastal Zone

### ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption - New Construction or Conversion of Small Structures  
Class 4 Categorical Exemption – Minor Alterations to Land

### KEY ISSUES

- Consistency with the Los Angeles County General Plan and Santa Monica Mountains Coastal Zone
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
  - Chapter 22.44.810 (Permit Required – Minor CDP)
  - Chapter 22.44.1150 (Variances)
  - Chapter 22.44.2040.B (Development Standards – Significant Ridgelines and Other Ridgelines)
  - Chapter 22.44.680 (Lot Line Adjustments)
  - Chapter 22.44.640 A and B. (Land Divisions)
  - Chapter 22.44.1910.I (Land Planning and Development Standards)

**CASE PLANNER:** Tyler Montgomery  
**PHONE NUMBER:** (213) 974-1516  
**E-MAIL ADDRESS:** [tmontgomery@planning.lacounty.gov](mailto:tmontgomery@planning.lacounty.gov)

**LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING  
DRAFT FINDINGS OF THE REGIONAL PLANNING COMMISSION  
AND ORDER  
PROJECT NO. PRJ2023-001003-(3)  
MINOR COASTAL DEVELOPMENT PERMIT NO. RPPL2023001410  
VARIANCE NO. RPPL2023001417  
LOT LINE ADJUSTMENT NO. RPPL2023001914**

**RECITALS**

1. **HEARING DATE.** The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly noticed public hearing on March 17, 2026, in the matter of Project No. PRJ2023-001003-(3), Minor Coastal Development Permit No. RPPL2023001410 (“Minor CDP”), Variance No. RPPL2023001417 (“Variance”), and Lot Line Adjustment No. RPPL2023001914 (“Lot Line Adjustment”).
2. **HEARING PROCEEDINGS.** [RESERVED]
3. **ENTITLEMENTS REQUESTED.** The permittee, Arfakhashad Munaim (“Permittee”), requests the Minor CDP for the proposed construction of a 5,897-square-foot, two-story single-family residence with a new onsite wastewater treatment system (“OWTS”) (“Project”). The single-family residence would have a maximum height of 18 feet. Other proposed improvements include an 810-square-foot detached garage, a swimming pool, a partially covered deck, and a 282-foot-long driveway with a hammerhead turnaround. The Project includes the removal of two Southern California black walnut trees. The Project would be located on a 34.9-acre property located at 2643 Corral Canyon Road (Assessor’s Parcel Numbers (“APNs”) 4457-013-063 [14.79-acres] and 4457-013-064 [20.12-acres]) in the unincorporated community of the Santa Monica Mountains Coastal Zone (“Project Site”).

The Permittee requests the Variance for development within 50 feet (vertical or horizontal) of a significant ridgeline pursuant to County Code Section 22.44.2040.B (Development Standards).

The Permittee requests the Lot Line Adjustment to merge two lots pursuant to County Code Section 22.44.680 (Lot Line Adjustments) and 22.44.640 (Land Divisions). The merging of the two parcels would increase the allowed building site area (“BSA”) to a maximum of 20,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards).

4. **ENTITLEMENT(S) REQUIRED.**
  - A. The Minor CDP is required for the proposed construction of a 5,897-square-foot, two-story single-family residence with a maximum height of 18 feet above grade. Other proposed improvements include an 810-square-foot garage, a new OWTS, a swimming pool, a partially covered deck, and a 282-foot-long driveway with a hammerhead turnaround, pursuant to County Code Section 22.44.810 (Permit

Required). Per the requirements of the Santa Monica Mountains Local Implementation Program (“LIP”), a Minor CDP is required for any project that results in grading of more than 50 cubic yards and less than 5,000 cubic yards of earth (County Code Section 22.44.1260 (Grading)). A Minor CDP is required because the Project proposes 3,015 cubic yards of cut, 20 cubic yards of fill, 1,280 cubic yards of overexcavation and recompaction, and 2,995 cubic yards of export, for a total of 4,315 cubic yards.

B. The Variance is required for the single-family residence and related improvements that are located within 50 feet of a designated significant ridgeline pursuant to County Code Section 22.44.2040.B (Development Standards).

C. A Lot Line Adjustment is required to merge the two parcels—APNs 4457-013-063 (14.79-acres) and 4457-013-064 (20.12-acres)—into a single 34.91-acre parcel. The proposed lot merger would allow an increased BSA up to 20,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards), as the proposed BSA is 14,588 square feet.

5. **LAND USE DESIGNATION.** The Project Site is located within the Rural Lands 40 (RL40 – one dwelling unit per 40 acres maximum density) land use designation of the Santa Monica Mountains Local Coastal Program Land Use Policy Map (“LUP”).

6. **ZONING.** The Project Site is located in the Santa Monica Mountains Planning Area and is zoned R-C-40 (Rural Coastal—40-Acre Minimum Required Lot Area). Pursuant to County Code Section 22.44.1750 (R-C Rural Coastal Zone), a single-family residence is a principal permitted use within the R-C Zone. However, County Code Section 22.44.1260 (Grading) requires a Minor CDP for any development that proposes between 50 and 5,000 cubic yards of grading, which the Project does. In addition, a Minor CDP is requested for a lot line adjustment to combine two lots (County Code Section 22.44.1910.I [Land Planning and Development Standards]) and a Variance is also requested for the construction of a single-family residence and related improvements that are located within 50 feet (vertical or horizontal) of a designated significant ridgeline (County Code Section 22.44.2040.B [Development Standards]).

## 7. **PROJECT AND SITE PLAN DESCRIPTION.**

### A. Existing Site Conditions

The vacant 34.9-acre Project Site located at 2643 Carrol Canyon Road consists of two legal parcels (14.79 acres and 20.12 acres, respectively) that are irregularly shaped and slope down toward Dry Canyon Creek, which bisects both properties in a north/south direction. The southern parcel abuts the El Nido Rural Village to the south. The two parcels are mapped in the LUP as H1, H2, and H3 Habitat areas.

### B. Site Access

The Project Site is accessed by Corral Canyon Road, a 40-foot-wide public road and designated scenic route immediately to the east.

**C. Site Plan**

The site plan depicts the proposed 5,897-square-foot, two-story single-family residence with a maximum height of 18 feet above grade. Other proposed improvements include an 810-square-foot detached garage, a new OWTS, a swimming pool, a partially covered deck, and a 282-foot-long driveway with a Fire Department-approved hammerhead turnaround. The site plan shows that the proposed single-family residence and related improvements are located within 50 feet of a designated significant ridgeline that runs along Corral Canyon Road adjacent to the Project Site, which requires a Variance pursuant to County Code Section 22.44.2040.B (Development Standards).

The site plan also depicts the proposed Lot Line Adjustment that would merge the two parcels – APN 4457-013-063 (14.79-acres) and APN 4457-013-064 (20.12-acres) – into a single 34.9-acre parcel pursuant to County Code Sections 22.44.680 and 22.44.640. The proposed lot merger would allow an increased BSA up to 20,000 square feet pursuant to County Code Section 22.44.1910.I (Land Planning and Development Standards). As noted on the site plan, the Project proposes a 14,588-square-foot BSA.

The site plan shows that grading associated with the Project includes 3,015 cubic yards of cut, 20 cubic yards of fill, 1,280 cubic yards of overexcavation and recompaction, and 2,995 cubic yards of export, for a total of 4,315 cubic yards. The site plan depicts a disturbed area of 14,588 square feet and a total impervious area of 11,024 square feet, which includes the building footprint, the impermeable hardscaping, and the impermeable sloped driveway. The site plan shows that two existing Southern California black walnut trees are proposed to be removed because they are entirely within the proposed construction footprint.

**8. PUBLIC COMMENTS.** No public comments have been received regarding the Project.

**9. AGENCY RECOMMENDATIONS.**

A. Department of Parks and Recreation: Recommended that the Project proceed to a public hearing with no conditions on April 6, 2023. The clearance was given through the County's EPIC-LA permit tracking system. No letter was provided.

B. Fire Department: Recommended clearance to public hearing with no conditions in a letter dated May 4, 2023.

C. Department of Public Health: Recommended that the Project proceed to a public hearing with specific conditions regarding exterior noise, stating that the operation of the subject site must adhere to the County Exterior Noise Standards as well as all other applicable County Noise Control Ordinance Standards, in a letter dated

May 2, 2023. The Department of Public Health conditions have been included within the Project's conditions of approval.

D. Department of Public Works ("Public Works"): Recommended that the Project proceed to a public hearing with specific conditions regarding approval of a Streambed Alteration Agreement (or exemption) from the State of California Department of Fish and Wildlife, and compliance with the approved Geotechnical Report prior issuance of grading or building permits, in a letter dated January 30, 2025. The Public Works conditions have been included within the Project's conditions of approval.

E. County Environmental Review Board ("ERB"): Recommended clearance to public hearing with conditions at a meeting held on November 18, 2024. The ERB conditions have been included within the Project's conditions of approval.

10. **CEQA DETERMINATION.** The Project qualifies for a Categorical Exemption (Class 3 – New Construction or Conversion of Small Structures and Class 4 – Minor Alterations to Land) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. Pursuant to Section 15303 of the State CEQA Guidelines, the Class 3 Categorical Exemption includes accessory structures for a single-family residence and associated infrastructure. The Project qualifies for a Class 3 Categorical Exemption because it includes the construction of a single-family residence and accessory structures.

Pursuant to Section 15304(i) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes alterations in the condition of land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees except for fuel management purposes. Pursuant to the County Environmental Document Reporting Procedures and Guidelines, the Class 4 Categorical Exemption also allows for proposed grading and fuel modification associated with the single-family residence and driveway. The proposed Project would not result in the taking of endangered, rare, or threatened plant or animal species, or significant erosion and sedimentation to surface waters, and therefore qualifies for the Class 4 Categorical Exemption.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 Categorical Exemption mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA

exemptions because a biological inventory of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by implementation and operation of the Project, as described in detail below.

The applicant completed a biological inventory that was reviewed and confirmed by the LA County Planning Staff Biologist. The biological inventory determined that the portions of the Project Site proposed for development do not contain any environmental resources of hazardous or critical concern, do not contain any plants or animals listed as federal, state, or locally sensitive designations, and are not considered particularly sensitive environments. The Project is not expected to significantly impact scenic resources, such as the designated ridgeline along Corral Canyon Road, as the improvements will be located mostly below the roadway with portions of the rooftops visible from the roadway. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development and infrastructure, and no hazardous waste sites or historic resources would be affected.

- 11. LEGAL NOTIFICATION.** The Commission finds that pursuant to County Code Section 22.44.990 (Notice Requirements), the community was properly notified of the public hearing by mail, newspaper (*Malibu Times*), and property posting. Additionally, the Project was properly noticed and case materials were available on LA County Planning's website. On February 6, 2026, a total of 21 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as 22 notices to those on the courtesy mailing list for The Malibu Zoned District and additional interested parties.

### **GENERAL PLAN CONSISTENCY FINDINGS**

- 12. LAND USE POLICY.** The Commission finds that the Project is consistent with the goals and policies of the LUP because the RL40 land use designation is intended for single-family residential uses on relatively large lots. The proposed single-family residence, as well as the driveway and the proposed accessory uses, are permitted under this designation.
- 13. GOALS AND POLICIES.** The Commission finds that the Project is consistent with the following policies of the LUP:

#### *Conservation and Open Space Element*

##### *Policy CO-108:*

*Site and design new development to minimize the amount of grading and the alteration of natural landforms.*

*Policy CO-109:*

*Site and design new development to protect natural features and minimize removal of natural vegetation.*

The Project would be located mainly on a previously disturbed portion of the Project Site adjacent to Corral Canyon Road. This location will avoid the need to remove native vegetation and grade large amounts of earth further down the slope. The Project's development footprint would maximize the use of H3 Habitat, proposing direct development that would only affect 0.06 acres of H2 Habitat and 0.17 acres of H3 Habitat. In addition, the total on-site fuel modification would affect 2.98 acres of H2 Habitat and 1.74 acres of H3 Habitat, and off-site brush thinning would affect 1.66 acres east of Corral Canyon Road. All H3 Habitat is less than 200 feet from mapped H2 Habitat, so some fuel modification and brush clearance of H2 Habitat is inevitable.

*Conservation and Open Space Element*

*Policy CO-110:*

*The height of structures shall be limited to minimize impacts to scenic resources.*

*Policy CO-131:*

*Site and design new development to minimize adverse impacts on scenic resources to the maximum extent feasible. If there is no feasible building site location on the proposed project site where development would not be visible, then the development shall be sited and designed to minimize impacts on scenic areas through measures that may include, but not be limited to, siting development in the least visible portion of the site, breaking up the mass of new structures, designing structures to blend into the natural hillside setting, restricting the building maximum size, reducing maximum height, clustering development, minimizing grading, incorporating landscape and building material screening elements, and where appropriate, berming.*

*Land Use Element*

*Policy LU-33:*

*Require that new development be compatible with the rural character of the area and the surrounding natural environment.*

*Policy LU-38:*

*Limit structure heights to ensure protection of scenic resources and compatibility with surrounding settings.*

The Project Site is visible from Corral Canyon Road, a designated scenic route and ridgeline adjacent to and east of the property. As a result, the Project Site is located within a Scenic Resource Area per County Code Section 22.44.2000. Therefore, the Project has a height limit of 18 feet above grade. The home is designed to step down the slope and conform to the natural contours of the property. The design of the new single-family residence would also be in conformance with all requirements of the LIP and would be compatible with the surrounding community. This compatibility is indicated by the Permittee's submitted architectural elevations and grading plans.

### **ZONING CODE CONSISTENCY FINDINGS**

**14. PERMITTED USE IN ZONE.** The Commission finds that the Project is consistent with the R-C-40 zoning classification because the proposed new single-family residence is permitted in such zone with an Administrative CDP pursuant to County Code Section 22.44.1750 (R-C Rural Coastal Zone). However, County Code Section 22.44.1620 requires a Minor CDP for projects proposing between 50 and 5,000 cubic yards of grading, and County Code Section 22.44.860 (Application—Types of Coastal Development Permits and Review Procedures) requires a Minor CDP for the proposed Lot Line Adjustment to merge two existing lots pursuant to County Code Section 22.44.680 (Lot Line Adjustments). Since the Project proposes 4,315 cubic yards of grading, a Minor CDP is required.

The Commission finds that a Variance is required for the proposed development, which is within 50 feet of a significant ridgeline, pursuant to County Code Section 22.44.2040.B (Development Standards). In addition, a Minor CDP is required for the proposed Lot Line Adjustment to merge two existing lots pursuant to County Code Section 22.44.680 (Lot Line Adjustments). Thus, a Minor CDP and Variance are required for the activities involved with this request.

**15. REQUIRED YARDS.** The Commission finds that the Project is consistent with the standards identified in County Code Sections 22.44.1750 (R-C Rural Coastal Zone) and 22.44.1375 (Yards), as the Project would meet all required setback standards.

**16. HEIGHT.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.44.2040.B (Development Standards), which limits the maximum height of a single-family residence that is within 50 vertical and horizontal feet of a significant ridgeline to 18 feet above grade. The maximum height of the proposed single-family residence is 18 feet.

**17. COLORS/MATERIALS.** The Commission finds that the Project would utilize construction materials that are appropriate for the surrounding area. Roofing materials are not glossy or reflective, and siding materials include concrete board aluminum cladding and smooth plaster that would utilize earth tones and no bright or white colors

pursuant to County Code Section 22.44.1320 (Construction Colors, Materials, and Design).

18. **BIOLOGICAL RESOURCES.** The Commission finds that the Project is consistent with the biological resource requirements of County Code Section 22.44.1800. et. seq. The Permittee's biological assessment was reviewed by the ERB, who made recommendations per County Code Section 22.44.1840 (Development Consistency Review). The Project's development footprint would affect 0.06 acres of H2 Habitat and 0.17 acres of H3 Habitat. In addition, the total on-site fuel modification would affect 2.98 acres of H2 Habitat and 1.74 acres of H3 Habitat, and off-site brush thinning would affect 1.66 acres of the open space parcel east of Corral Canyon Road. Two existing Southern California black walnut trees are proposed to be removed as they are entirely within the proposed construction footprint. The applicant has volunteered mitigation at a 5:1 replacement planting with a five-year monitoring period.

The ERB found the Project, with modifications, to be consistent with local biological resources. These modifications included retaining a biological monitor, a best management practices plan, protective fencing for oak trees, screening the Project Site and staking the grading limits, preparing surveys and restoration plans for nesting birds, bats, and native trees, and runoff control measures. At its meeting on November 18, 2024, the ERB found that the Project, as modified, would not have an impact on biological resources. This mitigation plan was agreed to by the ERB, which also recommended the use of native plant palettes in fuel modification zones A, B, and C. All of the ERB's recommended modifications have been included within the Project's conditions of approval.

19. **GRADING REQUIREMENTS.** The Commission finds that the Project is consistent with the applicable grading requirements identified in County Code Section 22.44.1260. Grading associated with the Project includes 3,015 cubic yards of cut, 20 cubic yards of fill, 1,280 cubic yards of overexcavation and recompaction, and 2,995 cubic yards of export, for a total of 4,315 cubic yards. The Project is consistent with the applicable grading requirements because grading would occur mainly within previously disturbed areas, and the Project is appropriately conditioned to prohibit grading during the rainy season, defined as October 15 of any year through April 15 of the subsequent year.
20. **EXTERIOR LIGHTING.** The Commission finds that the Project, with revisions, is consistent with the applicable exterior lighting requirements identified in County Code Section 22.44.1270. The Project is proposing outdoor lighting that would be appropriately shielded per LIP standards. The Project is appropriately conditioned so that all exterior lighting remains consistent with County Code Section 22.44.1270.
21. **PARKING.** The Commission finds that the Project is consistent with the standard identified for development in the R-C-40 Zone (County Code Section 22.44.1750), as two covered parking spaces are required. The Project would provide two covered parking spaces in a detached garage.

- 22. FENCES AND WALLS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.44.1310. Fences in the Santa Monica Mountains Coastal Zone must be wildlife-permeable unless they are within Fuel Modification Zone “A,” which typically extends 20 feet from habitable structures. No fencing is proposed on the Project Site.
- 23. BUILDING SITE AREA.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.44.1910.I. The proposed lot merger would allow an increased BSA up to 20,000 square feet pursuant to County Code Section 22.44.1910.I, which allows the BSA for projects that comprise two adjoining legal lots to be increased if the existing lots are merged into one lot and one consolidated building site is provided with one access road or driveway. The Project’s BSA is 14,588 square feet.
- 24. HABITAT CATEGORIES.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.44.1920. As described above in the biological resources section, the Permittee’s biological assessment was reviewed by the ERB, who made recommendations per County Code Section 22.44.1840. The Project’s development footprint would affect 0.06 acres of H2 Habitat and 0.17 acres of H3 Habitat. In addition, the total on-site fuel modification would affect 2.98 acres of H2 Habitat and 1.74 acres of H3 Habitat, and off-site brush thinning would affect 1.66 acres of the open space parcel east of Corral Canyon Road. All impacts to H2 Habitat must be mitigated through a habitat impact in-lieu fee or a separate on-site or off-site mitigation plan (County Code Section 22.44.1950). Therefore, a condition of Project approval requires the impact to be mitigated through an in-lieu fee or, alternatively, by proposing a mitigation plan to be approved by the Director of LA County Planning at a later date, but before grading and construction can occur.
- 25. OWTS STANDARDS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.44.1340, which prohibits OWTS leach fields or seepage pits within 50 feet of the dripline of any oak or other native tree or within 150 feet of a stream. The Project’s proposed seepage pits would meet these standards, and the design concept was approved by the County Department of Public Health on January 25, 2023.
- 26. SIGNIFICANT RIDGELINE.** The Commission finds that the Project requires a Variance for development within 50 feet (vertical or horizontal) of a designated significant ridgeline pursuant to County Code Section 22.44.2040.B. The Variance is requested to allow development to occur closer to the ridgeline, which would protect sensitive biological resources, including a stream and related riparian H1 and H2 Habitat areas, downslope from the proposed residence. This approach balances the protection of biological resources and scenic resource protection measures. Grading quantities would also be reduced by allowing the residence and related driveway access closer to the ridgeline and public road. In addition, the proposed residence would be less than 18 feet in height and conform to the natural contours of the slope to further reduce grading impacts.

**27. LOT LINE ADJUSTMENT.**

The Commission finds that the Project is in accordance with County Code Section 22.170.030 (Development Standards), which states that lot line adjustments must conform to the following specific development standards regarding lot design, frontage, access, and the legality of existing structures to be effectuated, after the Minor CDP is approved.

*a. The lot design, frontage, access, and similar standards shall be consistent with applicable provisions contained in Title 21 (Subdivisions) of the County Code.*

The proposed lot line adjustment would comply with all lot design, frontage, access, and other similar standards of the Subdivisions Ordinance (Title 21).

*b. Any change in access, lot configuration, or orientation of structures, easements, or utilities to lot lines will not, in the opinion of the Director, result in any burden on public services or materially affect the property rights of any adjacent owners.*

The proposed lot merger will not result in a change of access to the properties from Corral Canyon Road.

*c. The lots to be adjusted are eligible for unconditional certificates of compliance under the provisions of the Subdivision Map Act and this Title 22.*

Both parcels are considered to be legal lots under the provisions of the California Subdivision Map Act, as confirmed by an approval in concept issued by the LA County Planning Subdivisions Section.

*d. The adjusted lot configurations will be in accord with established neighborhood lot design patterns and will not violate any statute, ordinance, regulation, or good planning practice. Lot Line Adjustment and Certificate of Compliance Number 102,045 legalized both existing lots and was recorded on July 18, 2003.*

The proposed size of the merged lots would be in accord with other lots to the north, south, and west within the R-C-40 Zone, which vary significantly in size and configuration compared to the Project Site. The proposed merged lot would also be consistent in size with existing lots to the east within the O-S-P (Open Space – Parks) Zone.

*e. If any of the lots to be adjusted are improved with a structure requiring a building permit, the applicant shall provide an inspection report from the Building and Safety Division of Public Works certifying that changes in lot lines will not violate any ordinances or regulations administered by such department. Public Works shall collect any fees required for this service.*

There are currently no structures or improvements on either parcel within the Project Site.

28. **GRANT TERM.** The Commission finds that it is not necessary to require a grant term given the nature of the residential use and the surrounding area.

### **COASTAL DEVELOPMENT PERMIT FINDINGS**

29. **The Commission finds that the proposed development is in conformity with the certified local coastal program.** As proposed, the Project would comply with all applicable development standards for residences in the Santa Monica Mountains Local Coastal Program, which includes the LUP and LIP, including those standards related to permitted uses, BSA, habitat categories, and height restrictions, except for those standards regarding development within 50 feet of a designated significant ridgeline, which is why the Project requires a Variance.
30. **The Commission finds that any development located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code.** The Project Site is not located between the ocean and the nearest public road, so coastal access requirements are not applicable.

### **VARIANCE FINDINGS**

31. **The Commission finds that there are special circumstances or exceptional characteristics applicable to the property involved, such as size, shape, topography, location, or surroundings, which are not generally applicable to other properties in the same vicinity and under identical zoning classification.** The Project would require a Variance because it is proposed to be located within 50 feet of a significant ridgeline. This Variance is needed to protect biological resources, including stream and riparian H1 habitats downslope, by allowing development closer to the ridgeline, as permitted by County Code Section 22.44.1350(B)(15). This approach prioritizes biological resource protection over scenic resource protection, while ensuring the proposed development does not obstruct views of the significant ridgeline from a scenic route. Grading quantities would also be reduced by allowing the residence and related driveway access closer to the ridgeline and public road.
32. **The Commission finds that such a variance is necessary for the preservation of a substantial property right of the applicant such as that possessed by owners of other property in the same vicinity and zone.** The property owner directly to the north of the Project Site along Corral Canyon Road already enjoys similar use of their property, as they have recently completed construction of a new single-family residence within 50 feet of the significant ridgeline along this road.

33. **The Commission finds that the granting of the variance will not be materially detrimental to the public welfare or be injurious to other property or improvements in the same vicinity and zone.** The requested Variance is the minimum needed for relief and reasonable property use. It will not harm public health, safety, or welfare, nor negatively affect nearby properties or the General Plan.
34. **The Commission finds that the granting of the variance will not be materially detrimental to coastal resources.** The Project has been designed to avoid any impact to sensitive coastal biological resources, such as Dry Creek and surrounding H1 Habitat in the central portion of the Project Site west of the proposed single-family residence. The Project has also been found to be in conformity with the certified Santa Monica Mountains Local Coastal Program.

### **ENVIRONMENTAL FINDINGS**

35. The Commission finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines sections 15303 (Class 3, New Construction or Conversion of Small Structures Categorical Exemption) and 15304 (Class 4, Minor Alterations to Land Categorical Exemption). The Class 3 Categorical Exemption specifically pertains to a single-family residence and its appurtenant structures, while the Class 4 Categorical Exemption specifically refers to the grading and fuel modification proposed as part of the Project.

### **ADMINISTRATIVE FINDINGS**

36. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Coastal Development Services Section, LA County Planning.

### **BASED ON THE FOREGOING, THE COMMISSION CONCLUDES THAT:**

Regarding the Minor CDPs:

- A. The Commission finds that the proposed development is in conformity with the certified Santa Monica Mountains Local Coastal Program.
- B. The Commission finds that the proposed development is not located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone and therefore is not subject to public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code.

Regarding the Variance:

- A. The Commission finds that there are special circumstances or exceptional characteristics applicable to the property involved, such as size, shape, topography,

location, or surroundings, which are not generally applicable to other properties in the same vicinity and under identical zoning classification.

- B. The Commission finds that such a variance is necessary for the preservation of a substantial property right of the applicant such as that possessed by owners of other property in the same vicinity and zone.
- C. The Commission finds that the granting of the variance will not be materially detrimental to the public welfare or be injurious to other property or improvements in the same vicinity and zone.
- D. The Commission finds that the granting of the variance will not be materially detrimental to coastal resources.

**THEREFORE, THE COMMISSION:**

- 1. Finds that the Project is exempt from CEQA pursuant to State CEQA Guidelines sections 15303 (Class 3, Construction or Conversion of Small Structures) and 15304 (Class 4, Minor Alterations to Land) Categorical Exemptions; and
- 2. Approves **MINOR COASTAL DEVELOPMENT PERMIT NO. RPPL2023001410, VARIANCE NO. RPPL2023001417, and LOT LINE ADJUSTMENT NO. RPPL2023001914**, subject to the attached conditions.

**ACTION DATE: March 18, 2026**

**VOTE:**

Concurring:

Dissenting:

Abstaining:

Absent:

MG:RG:TM  
03/05/26

c: Zoning Enforcement, Building and Safety

LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL  
PROJECT NO. PRJ2023-001003-(3)  
MINOR COASTAL DEVELOPMENT PERMIT NO. RPPL2023001410  
VARIANCE NO. RPPL2023001417  
LOT LINE ADJUSTMENT NO. RPPL2023001914

**PROJECT DESCRIPTION**

The project is a proposed a single-family residence with a new onsite wastewater treatment system, which includes development within 50 feet (vertical or horizontal) of a significant ridgeline and a proposed Lot Line Adjustment (“Project”), on a 34.9-acre property located at 2643 Corral Canyon Road in the Santa Monica Mountains Coastal Zone (“Project Site”), subject to the following conditions of approval:

**GENERAL CONDITIONS**

1. **Permittee.** Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. **Affidavit of Acceptance.** This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County (“County”) Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 7, and until all required monies have been paid pursuant to Condition No. 9. Notwithstanding the foregoing, this Condition No. 2 and Conditions No. 4, 5, and 8 shall be effective immediately upon the date of final approval of this grant by the County.
3. **Date of Final Approval.** Unless otherwise apparent from the context, the term “date of final approval” shall mean the date the County's action becomes effective pursuant to County Code Section 22.44.1090.
4. **Indemnification.** The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. **Litigation Deposit.** In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within 10 days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from

which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

6. **Invalidation.** If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. **Recordation.** Prior to the use of this grant, the permittee, or the owner of the subject property if other than the permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk ("Recorder"). In addition, upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property, if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
8. **Expiration.** This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
9. **Inspections.** The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement or any other encumbrance on the property shall exempt the permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The permittee shall deposit with the County the sum of **\$470.00**. The deposit shall be placed in a performance fund, which shall be used exclusively to compensate LA County Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of approval. The fund provides for **one inspection three years after the date of final approval of the grant.** Inspections shall be unannounced.

Inspections may be unannounced. Inspections may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS). Use of a UAS requires the consent of the Permittee pursuant to LA County Planning's UAS policy, which may be updated from time to time, and which shall be provided to the Permittee upon request.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$470.00 per inspection, or the current recovery cost at the time any additional inspections are required, whichever is greater.

10. **Revocation.** Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to County Code Chapter 22.238 (Modifications and Revocations). Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions and may result in revocation.
11. **County Fire Code.** All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department ("Fire Department").
12. **County Public Works Requirements.** All development pursuant to this grant shall conform with the requirements of the County Department of Public Works ("Public Works") to the satisfaction of said department.
13. **Exhibit "A."** All development pursuant to this grant shall comply with the requirements of Title 22 (Planning and Zoning) of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
14. **Revisions to the Exhibit "A."** The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **one (1) digital copy** of a modified Exhibit "A" shall be submitted to LA County Planning by **May 20, 2026**.
15. **Subsequent Revisions to the Exhibit "A."** In the event that subsequent revisions to the approved Exhibit "A" are submitted, the permittee shall submit **one (1) digital copy** of the proposed plans to the Director for review and approval. All revised plans

must substantially conform to the originally approved Exhibit "A." All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

**PROJECT SITE-SPECIFIC CONDITIONS**

16. **Conservation Easement.** Prior to issuance of the grading or building permit for the Project, the permittee shall dedicate all areas of the Project Site mapped as H1 Habitat, H2 Habitat, H1 Habitat Buffer Zone, parkland buffer, and/or areas with grades of more than 50% as a permanent Irrevocable Open Space Conservation Easement, held by the County on behalf of the People of the State of California, per the requirements of County Code Section 22.44.1920.J. No development, as defined in County Code Section 22.44.630, grazing, or agricultural activities shall be allowed in the Irrevocable Open Space Easement, with the exception of the following:
- a. Fuel modification required by the Fire Department undertaken in accordance with the final approved fuel modification plan for the permitted development and/or required brush clearance required by the Fire Department for existing development on adjoining properties;
  - b. Drainage and polluted runoff control activities required and approved by the County for permitted development; and
  - c. If approved by the County as an amendment to the CDP or a new CDP:
    - i. Planting of native vegetation and other restoration activities;
    - ii. Construction and maintenance of public hiking trails;
    - iii. Construction and maintenance of roads, trails, and utilities consistent with easements in existence prior to approval of the permit; and
    - iv. Confined animal facilities only where consistent with County Code Section 22.44.1940.

The permittee shall provide evidence of the recordation of a valid dedication to the County (and acceptance by the County) or to another public entity acceptable to the Director, and acceptance by said public entity, of a permanent, Irrevocable Open Space Conservation Easement in favor of the People of the State of California over the Irrevocable Open Space Conservation Easement Area for the purpose of habitat protection, the text of which has been approved by the Director. The recorded easement document shall include a formal legal description of the entire property and a metes-and-bounds legal description and graphic depiction, prepared by a licensed surveyor, of the irrevocable open space conservation easement area, and the easement document shall be recorded free of prior liens, including tax liens, and encumbrances. The recorded document shall reflect that no development shall occur within the Irrevocable Open Space Conservation Easement, except as otherwise set forth in the CDP conditions, consistent with the exceptions detailed in this condition. Recordation of said easement on the Project Site shall be permanent.

17. **Building Site Area.** The building site area, as defined in County Code Section 22.44.630, shall be limited to an area no greater than 14,588 square feet

18. **Exterior Colors.** The exterior colors of all structures shall be earth-toned and shall not include bright or white tones. No glossy or reflective materials shall be permitted for exterior construction, other than glass, which shall be the least reflective variety available.
19. **Grading/Drainage Plan.** Prior to construction, the permittee shall submit a grading/drainage plan to the Public Works' Building and Safety Division for review and approval. The grading plans shall show and call out the construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, retaining walls, water-quality devices, Low-Impact Development ("LID") features, and all existing easements. All structures shall meet the County Building, Residential, and Green Building Standards codes, and the Project shall comply with all LID standards (County Code Section 12.84.440) in accordance with the LID standards manual. This condition shall be met to the satisfaction of Public Works.
20. **Exterior Lighting.** Exterior lighting shall comply with the provisions of County Code Section 22.44.1270 in order to avoid light trespass, including, but not limited to:
  - a. Lighting allowance
    - i. Security lighting attached to the principally permitted structure and other permitted accessory structures shall be controlled by motion detectors and shall have a manufacturer's maximum output rating of no greater than 60 watts (600 lumens), or the equivalent.
    - ii. The minimum lighting necessary shall be used to light walkways used for entry and exit to permitted structures, including parking areas, on the property. This lighting shall be limited to fixtures that do not exceed two feet in height, are directed downward, and have a manufacturer's maximum output rating of no greater than 60 watts (600 lumens), or the equivalent.
    - iii. Outdoor light fixtures installed more than 15 feet above finished grade shall have a manufacturer's maximum output rating of no greater than 40 watts (400 lumens), or the equivalent.
  - b. Light trespass. Outdoor lighting shall be minimized, directed toward the targeted area(s) only, and avoid light trespass onto non-targeted areas, including but not limited to H1 and H2 Habitat areas and the H1 Habitat area buffer. Lighting of equestrian arenas or round pens may only be allowed with a Revised Exhibit "A" after the permittee demonstrates, pursuant to a site-specific evaluation and photometric analysis, that the lighting will cause no light trespass into any adjacent H1 and H2 Habitat areas, including the 100-foot H1 Habitat buffer.
  - c. Shielding. Outdoor lighting shall be fully shielded, directed downward, and use best available dark skies technology.
21. **Construction Runoff Plan.** The permittee shall prepare a Construction Runoff Plan that depicts the locations of any sediment and debris traps, any straw wattles, sandbags, or silt fence that will be used to direct flows to the traps, and flow directions. The permittee's contractor shall inspect the traps and other containment devices to ensure proper function. The plan should be implemented during the rainy season or prior to rain events.

22. **Glass.** Glass used in the Project shall be the least reflective and/or incorporate frit patterns to promote energy conservation and prevent bird strikes, per the requirements of County Code Section 22.44.1320.
23. **CDP Amendment.** Any future development on the subject property or improvements to the approved development shall require a CDP amendment or new CDP. Prior to final approval, the permittee shall provide evidence of the recordation of a deed restriction against the property, free of prior liens, including tax liens and encumbrances which the Director determines may affect the interest being conveyed. The Director shall approve the text of the deed restriction reflecting this future improvement restriction. The deed restriction shall apply to the entirety of the property, and shall insure that any future structures, future improvements, or change of use to the permitted structures authorized by the CDP, including but not limited to, any grading, clearing or other disturbance of vegetation, shall require the approval of an amendment to the CDP or the approval of an additional CDP, and that the exemptions otherwise provided in subsections A.1 or A.2 of County Code Section 22.44.820 shall not apply. The permittee shall provide evidence that the deed restriction appears on a preliminary report issued by a licensed title insurance company for the property.
24. **Rainy Season Restrictions.** Per County Code Section 22.44.1260.F, grading shall be prohibited during the rainy season, defined as October 15 of any year through April 15 of the subsequent year.
25. **Habitat Mitigation.** The Project shall provide mitigation for 0.06 acres of direct development, 0.84 acres of irrigated fuel modification, 2.08 acres of non-irrigated fuel modification, and 1.46 acres of off-site brush clearance within the H2 Habitat through providing mitigation through payment of a Habitat Impact Fee or restoration pursuant to County Code Section 22.44.1950. Pursuant to County Code Section 22.44.1950.A.3.f.i, the Habitat Impact Fee shall be calculated at the current updated in-lieu fee amount in effect at the time of, and shall be paid prior to, grading or construction for the Project. The Project shall provide mitigation pursuant to County Code Section 22.44.1950.C (Mitigation). If mitigation as restoration is required, the permittee shall submit a restoration and/or enhancement plan consistent with the Santa Monica Mountains Local Implementation Program for review and acceptance by the Director. The habitat restoration or enhancement shall be completed prior to grading or construction of the Project, and in any case, the vegetation and irrigation installation for the restoration and/or enhancement shall be completed prior to grading or construction for any portion of the Project. A notification flag shall be placed in the EPIC-LA permitting system alerting Public Works of this condition.
26. **Noise.** The applicant shall abide by the requirements contained in County Code Title 12, Chapter 12.08, also known as the Noise Control Ordinance (reference available at municode.com). The sections in Title 12 that apply to this Project include but are not limited to: 12.08.390 (Exterior Noise Standards), 12.08.440 (Construction Noise) and 12.08.530 (Residential Air-Conditioning).

27. **Dust Control Measures.** During grading or excavation activities, if applicable, application of dust control measures to minimize fugitive dust is recommended. Fugitive dust can result in workers and public exposure to fungal spores such as Coccidioides, which can cause Coccidioidomycosis (Valley Fever). Adhere to all applicable rules and regulations, including the Air Quality Management District regulations.
28. **Grading and Building Permit Requirements.** Prior to issuance of a grading or building permit:
- a. No off-site grading for access will be permitted unless expressly written in a legal easement or per a recorded notarized document from adjacent parcel(s) owner(s).
  - b. No additional drainage flows (i.e., cross-lot drainage) may be directed to adjacent parcels without legal recorded permission or drainage easement. Any applicable easement documents will be required to be submitted to Public Works for review.
  - c. The Project may require a soils report and geotechnical review.
  - d. Any violation(s) on the subject parcel(s) may need to be addressed.
  - e. The Project is subject to grading setback requirements per Section 108.4 of the County Code, Appendix J.
  - f. Agency coordination and approvals are the responsibility of the permittee. All plan sets must match.
29. **Grading Limits.** Grading associated with site improvements shall be limited to 4,400 cubic yards (including cut, fill, and removal/recompaction).
30. **Streambed Alteration Agreement.** Prior to issuance of a grading or building permit, the permittee shall obtain a Streambed Alteration Agreement (or exemption) from the State of California Department of Fish and Wildlife (“CDFW”) to the satisfaction of CDFW.
31. **Native Plants.** In addition to the requirements of County Code Section 22.44.1240.B.3 (emphasize the use of native plant palettes in fuel-modification Zones A and B; use exclusively native plant palettes in Zone C; prohibit invasive non-natives species in all zones), the plant palette shall avoid the use of ornamental cultivars and selections, including those of California native species, that have potential to hybridize with local wild plant populations or escape into adjacent natural habitat areas.
32. **Fuel Modification.** Fuel Modification Requirements:
- a. Retain as many non-sprouting species as possible. These usually have a single trunk. Do not cut off the trunk in pruning, as this kills the plant.
  - b. Choose multiple-trunked, resprouting species for removal over non-sprouters. The remaining multi-trunked shrubs should be pruned in a staggered, clumped pattern on an alternating schedule, allowing 2 – 3 years between prunings for any one clump. Re-sprouting species can be pruned to near ground level.
  - c. It is recommended that locally-indigenous plants thinned for fuel modification be chipped and used as native plant mulch. Santa Monica Mountains native

- plant mulch is not widely available in stores but is an excellent addition to the landscape to retain soil moisture and reduce growth of invasive weeds.
- d. Disking and indiscriminate clearing is not allowed in any Fuel Modification Zone.
  - e. For trees to have fuel ladders removed: prune lower branches up to 1/3 of tree height or up to 6 feet maximum for trees 18 feet and taller, per Fire Department requirements. Consult with LA County Planning or the Fire Department's Forestry Division before pruning protected oaks or native trees.
  - f. Include provisions for irrigation, both permanent for Zones A and B, and temporary for the establishment of native plants in Zone C and outside of Fuel Modification Zones.
33. **Biological Monitor.** Prior to the issuance of a grading permit, a qualified biologist shall be retained by the permittee as the lead biological monitor subject to the approval of LA County Planning. That person shall ensure that impacts to all biological resources are minimized or avoided and shall conduct (or supervise) pre-grading field surveys for species that may be avoided, affected, or eliminated as a result of grading or any other site preparation activities. The lead biological monitor shall ensure that all surveys are conducted by qualified personnel (e.g., avian biologists for bird surveys, herpetologists for reptile surveys, etc.) and that they possess all necessary permits and memoranda of understanding with the appropriate agencies for the handling of potentially-occurring special-status species. The lead biological monitor shall also ensure that daily monitoring reports (e.g., survey results, protective actions, results of protective actions, adaptive measures, etc.) are prepared and shall make these monitoring reports available to LA County Planning and CDFW at their request.
34. **Grading Limits.** The permittee's contractor shall delineate the proposed grading limits of the building site or the extents of the proposed development area, whichever is greater, the driveway, and the extents of the fuel modification zones before any of the measures outlined below are implemented. The contractor shall not remove any native vegetation during staking and shall set the stakes so that they are clearly visible. The locations of the stakes within the fuel modification zones shall be recorded using GPS and provided to the project biologist.
35. **Initial Staging, Grubbing, Grading, and Construction.** Initial staging, grubbing, grading, and construction shall be scheduled to occur outside the nesting season of birds as defined by the CDFW, if feasible. Regardless of timing, breeding bird surveys shall be conducted before any activities are scheduled to occur and before installation of any protective fencing (see below), as follows:
- a. If initial grubbing, grading, and construction activities are scheduled to occur outside CDFW defined nesting season (generally February 1 – August 31), a qualified biologist with experience in conducting breeding bird surveys in the Santa Monica Mountains shall conduct a survey within 7 days prior to and again within 3 days of the date that activities are scheduled to begin. The biologist should focus efforts within the grading area, development area, the fuel modification zones, the driveway area, and areas within 50 feet of them. The biologist should also survey 300 feet beyond these areas, as access allows.

- b. If avoidance of the avian breeding season is not feasible, a qualified biologist with experience in conducting breeding bird surveys in the Santa Monica Mountains shall conduct weekly bird surveys beginning 30 days prior to the initiation of Project activities, to detect protected native birds occurring in suitable nesting habitat that is to be disturbed and (as access to adjacent areas allows) any other such habitat within 500 feet of the disturbance area. The surveys shall continue on a weekly basis with the last survey being conducted no more than 3 days prior to the initiation of Project activities. If a protected native bird is found in suitable nesting habitat, all Project activities within 300 feet of on- and off-site suitable nesting habitat (within 500 feet for suitable raptor nesting habitat) may be delayed until August 31. Alternatively, the qualified biologist may continue the surveys in order to locate any active nests. If the biologist determines that there are active nests within or adjacent these areas, they should establish appropriate buffer zones, as defined in “c” below.
- c. If an active nest is found, regardless of time of year, Project activities within 300 feet of the nest (within 500 feet for raptor nests), or within a distance determined by a qualified biological monitor, must be postponed until the nest is vacated and juveniles have fledged and there is no evidence of a second attempt at nesting. Flagging, stakes, or construction fencing shall be used to demarcate the inside boundary of the buffer of 300 feet (or 500 feet) between the Project activities and the nest. Project personnel, including all contractors working on site, shall be instructed on the sensitivity of the area.
- d. The qualified biologist shall provide LA County Planning with a brief report summarizing the results of the surveys, as well as a description and assessment of implemented protective measures described above to document compliance with applicable State and Federal laws pertaining to the protection of native birds.
- e. If the qualified biologist determines that a narrower buffer between the Project activities and observed active nests is warranted, he/she shall submit a written explanation as to why (e.g., species-specific information; ambient conditions and birds’ habituation to them; and the terrain, vegetation, and birds’ lines of sight between the Project activities and the nest and foraging areas) to LA County Planning and CDFW. Based on the submitted information, LA County Planning (in consultation with CDFW) will determine whether to allow a narrower buffer.
  - i. In circumstances when activities are scheduled to occur between an original buffer and a reduced buffer, a qualified biologist should monitor the nest before, during, and after the activities, to determine if it is being affected.
  - ii. The only activities that shall be allowed between the original buffer and the reduced buffer are those that generate noise levels less than 60 dBA as measured at the resource. The biologist shall record noise levels every hour and must have the authority to stop any activities that exceed 60 dBA if they determine that it is affecting or has the potential to affect the outcome of a nest.
  - iii. The biologist shall send weekly monitoring reports to LA County Planning and, upon request, to CDFW, documenting the status of monitored nests,

and shall notify LA County Planning immediately if Project activities damage active avian nests.

**36. Temporary Wildlife Fencing.** Temporary wildlife fencing shall be utilized to reduce the potential for wildlife being harmed by or moving into the work site. The Project proponent's contractor shall delineate the grading limits/approved development area and shall fence the area in its entirety with green screen before beginning removal of any vegetation, as follows:

- a. To install the screen, laborers will remove a 5-foot strip of vegetation at the limits of the grading limits/development area using hand-held tools to allow wildlife, including special status species, a chance to escape and reduce the potential of them being crushed by heavy machinery.
- b. The green screen shall be partially buried, or fitted with silt fence that is partially buried, in a manner that reduces the potential for wildlife moving back in.
- c. Laborers installing the fence shall remain within the cut areas and any paths leading to it.
- d. A biologist shall monitor fence installation so that they can capture and relocate wildlife as necessary, and to ensure that no protected trees or special status plants are impacted during installation.
- e. The biologist must hold a CDFW Scientific Collectors Permit authorizing handling of invertebrates, reptiles, amphibians, and mammals.
- f. A gated entrance shall allow ingress and egress. The gates shall remain open until after the project biologist conducts a pre-construction survey and shall be closed only after vegetation is cleared from within the fenced area (see below).

**37. Pre-construction Biological Survey.** A pre-construction biological resources survey shall be conducted within the area that is screened and within areas adjacent to the driveway the day after screening.

- a. The Project proponent's contractor shall plan to remove vegetation from within the screened area no more than 1 day after completion of the Pre-Construction Biological Resources Survey.
- b. Laborers shall use hand-held tools to remove the vegetation. Using hand-held tools will allow wildlife, including special-status species, a chance to escape and reduce the potential of them being crushed by heavy machinery.
- c. A biologist shall monitor vegetation removal so that they can capture and relocate wildlife as necessary.
- d. The biologist must hold a CDFW Scientific Collectors Permit authorizing handling of invertebrates, reptiles, amphibians, and mammals.

**38. Initial Grubbing and Grading.** Initial grubbing and grading shall occur 3 to 7 days after vegetation has been cleared from the proposed development area/grading limits. The delay between vegetation clearance and the grubbing and grading activities will allow wildlife, including special-status species, a chance to escape and reduce the potential of them being crushed by heavy machinery.

- a. A biologist shall monitor initial grading and grubbing so that they can capture and relocate wildlife as necessary.

- b. The biologist must hold a CDFW Scientific Collectors Permit authorizing handling of invertebrates, reptiles, amphibians, and mammals.

**39. Fuel Modification.** The site shall only be fuel-modified after the construction phase of the proposed Project has been completed or as otherwise directed by the Fire Department.

- a. A qualified biologist shall implement the Nesting Bird Survey & Protection Plan before fuel modification occurs.
- b. A qualified biologist shall be present during initial fuel modification activities and shall stake the limits of fuel modification and flag any areas or plants to be excluded from fuel modifications.
- c. The stakes shall remain in place until after fuel modification activities have been completed.
- d. A qualified biologist shall be present during initial fuel modification activities to ensure that no protected trees or special-status species are damaged by the fuel modification activities.

**40. Tree Removal.** The removal of two of the Southern California black walnut trees shall be mitigated at a 5:1 replacement ratio with a monitoring period of five years. The 10 mitigation Southern California black walnut trees shall be shown on the landscape plan, and plantings shall be scattered between fuel-modification Zones B and C on-site, to the satisfaction of the Director.

## LA County DRP

### COASTAL DEVELOPMENT PERMIT FINDINGS

Pursuant to Zoning Code Section 22.56.2320, the applicant shall substantiate the following:

**A. That the proposed development is in conformity with the certified local coastal program**

The proposed CDP is for development of the property with a 5,335 square foot (sq.ft.), 2 story single family residence (SFR), with an attached 801sq.ft garage, new Onsite Wastewater Treatment system (OWTS), pool, partially covered deck, 216-foot-long driveway, hammerhead turnaround, all under 18' in height. Landscaping including fuel modification is also proposed. The development area is 9,972 sq.ft. along Corral Canyon.

The project is proposed 300 ft. south from the northern property line along the Corral Canyon to avoid the variance for a long driveway to an SFR farther north, as it provides the line of sight (LOS) for the property per civil engineer's analysis.

The proposed development would be within the boundaries of H2, with fuel modification encroaching into H1 Quiet Zone. As Corral Canyon is identified as a Scenic Route per the Santa Monica Mountains Local Implementation Plan (SMM LIP), the proposed structure remains below 18 feet in height from natural or finished grade, whichever is lower.

Additionally, since the proposed project is on a significant ridgeline, a variance is requested to build along the ridgeline and avoid further encroachment onto sensitive habitat.

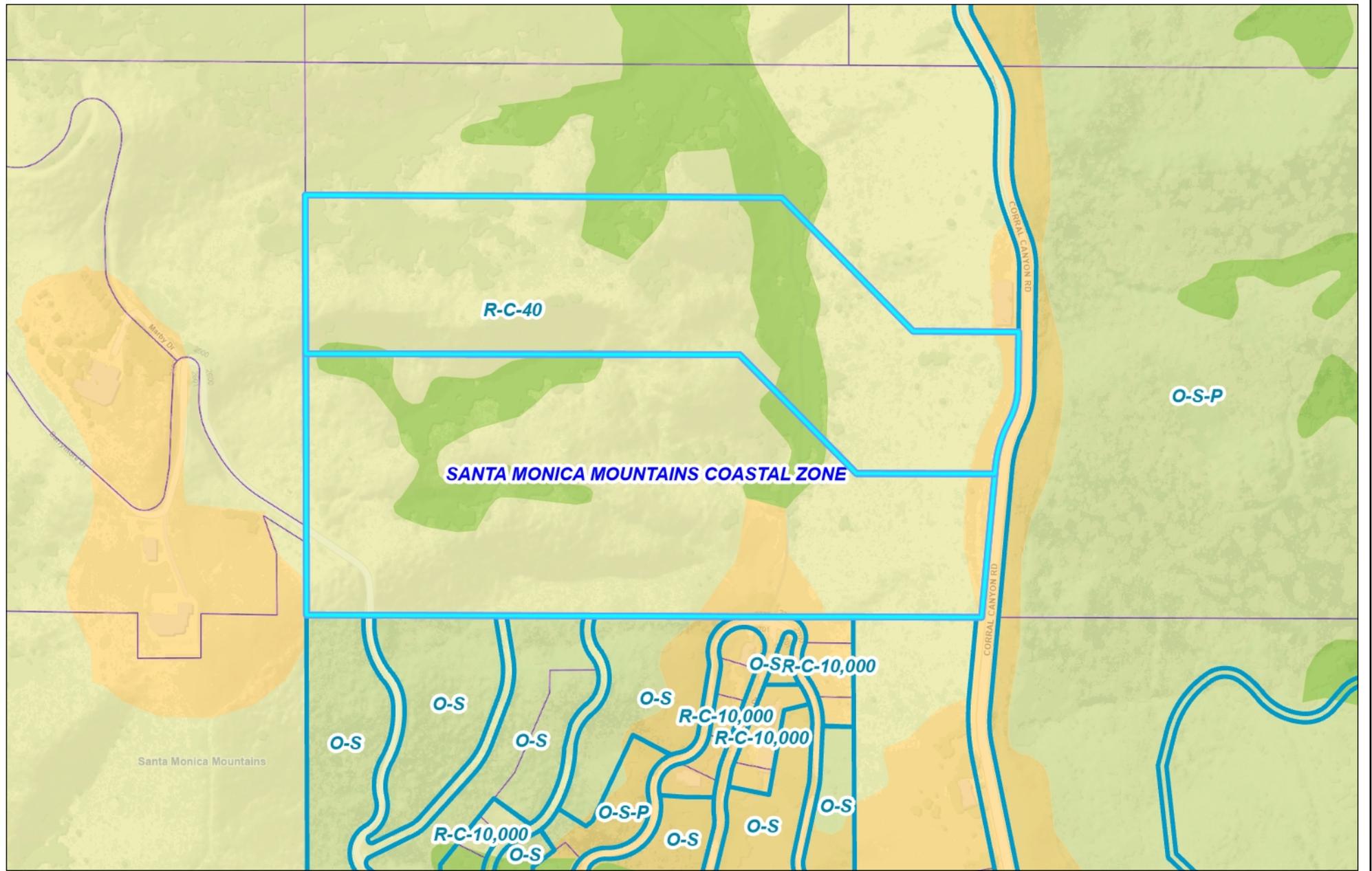
The 34.91-acre vacant parcel is zoned R-C-40 and is within the Los Angeles County's Coastal Zone, the LIP allows for such uses and as such, the project is in conformity with the certified LCP.

**B. That any development, located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, is in conformity with the public access and public recreation policies of Chapter 3 of Division 20 of the Public Resources Code.**

Not Applicable



D. That the granting of the variance will not be materially detrimental to coastal resources.



0 156 312 Feet

### LUP Habitat Map

Printed: 2/24/26

H1=Green, H2=Tan, H3=Orange



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# 20-MILE RADIUS

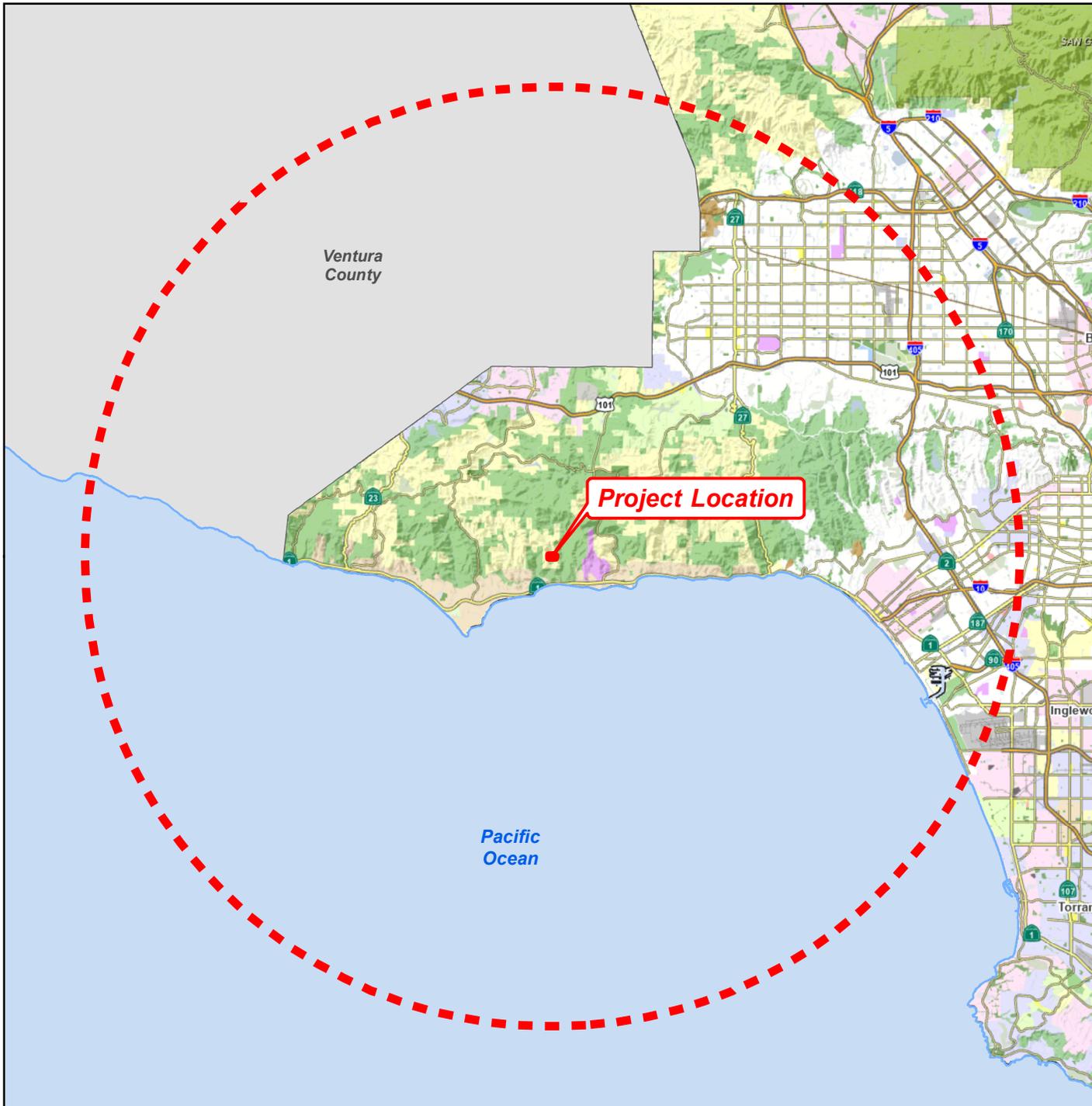
## LOCATOR MAP

PROJECT NO. PRJ2023-001003

MCDP RPPL2023001410

VAR RPPL2023001417

LLA RPPL2023001914



LA COUNTY  
PLANNING

LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012

# 3-MILE RADIUS

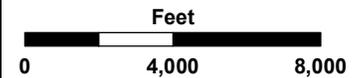
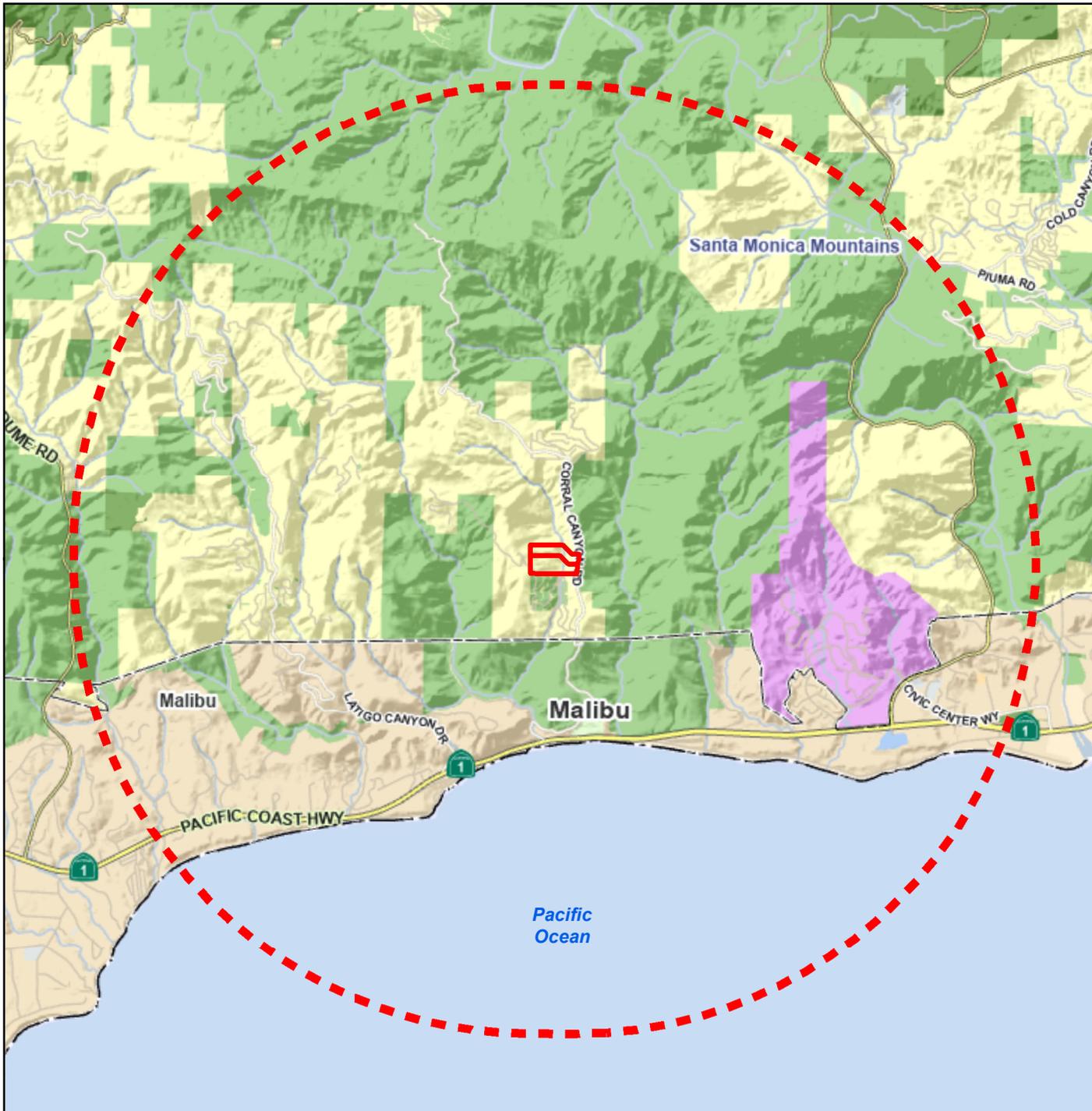
## LOCATOR MAP

PROJECT NO. PRJ2023-001003

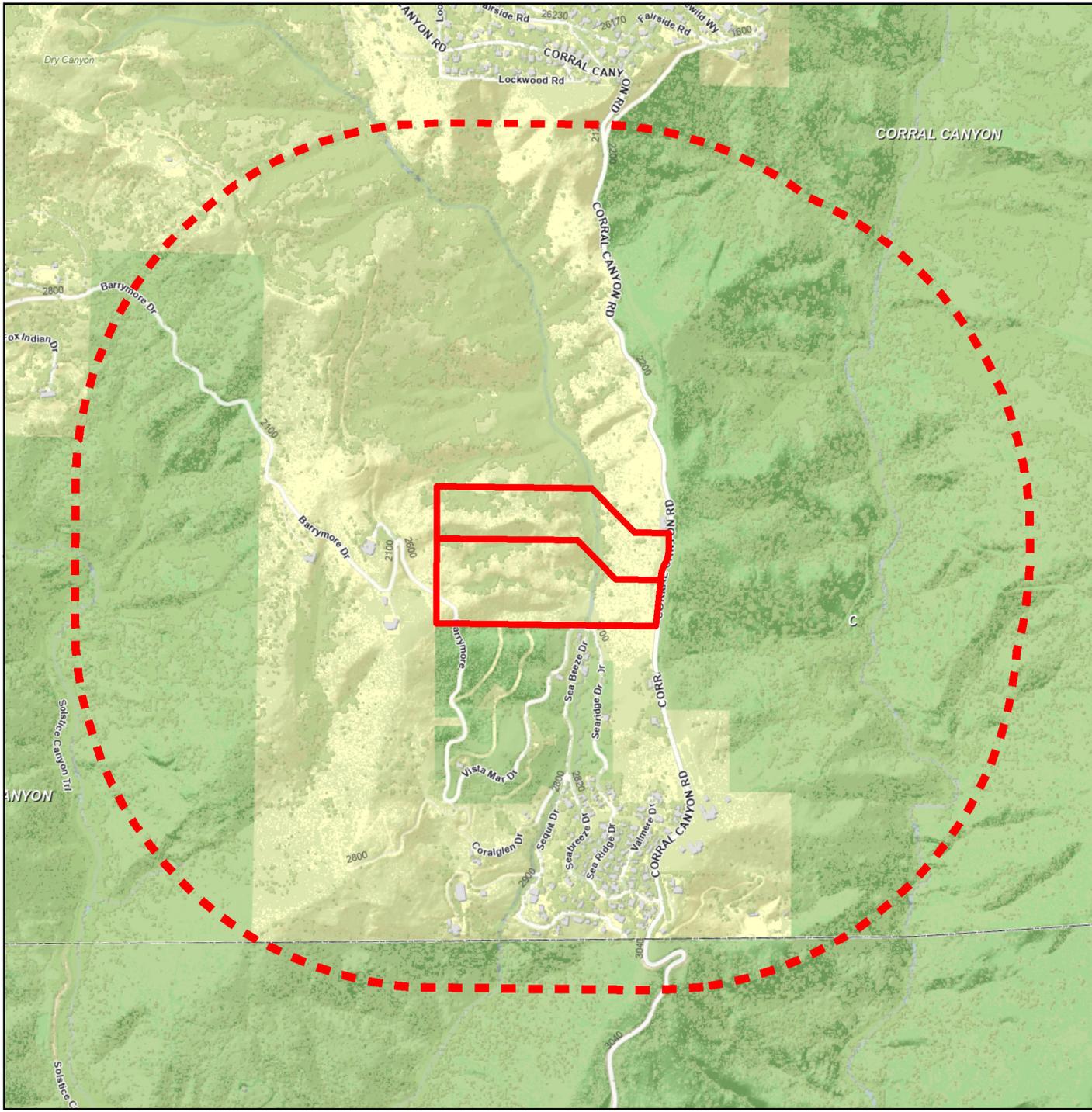
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Los Angeles, CA 90012



# HALF-MILE RADIUS

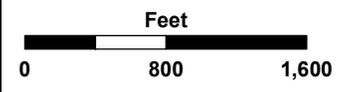
## LOCATOR MAP

PROJECT NO. PRJ2023-001003

MCDP RPPL2023001410

VAR RPPL2023001417

LLA RPPL2023001914



LOS ANGELES COUNTY  
 Dept. of Regional Planning  
 320 W. Temple Street  
 Los Angeles, CA 90012

# LAND USE POLICY

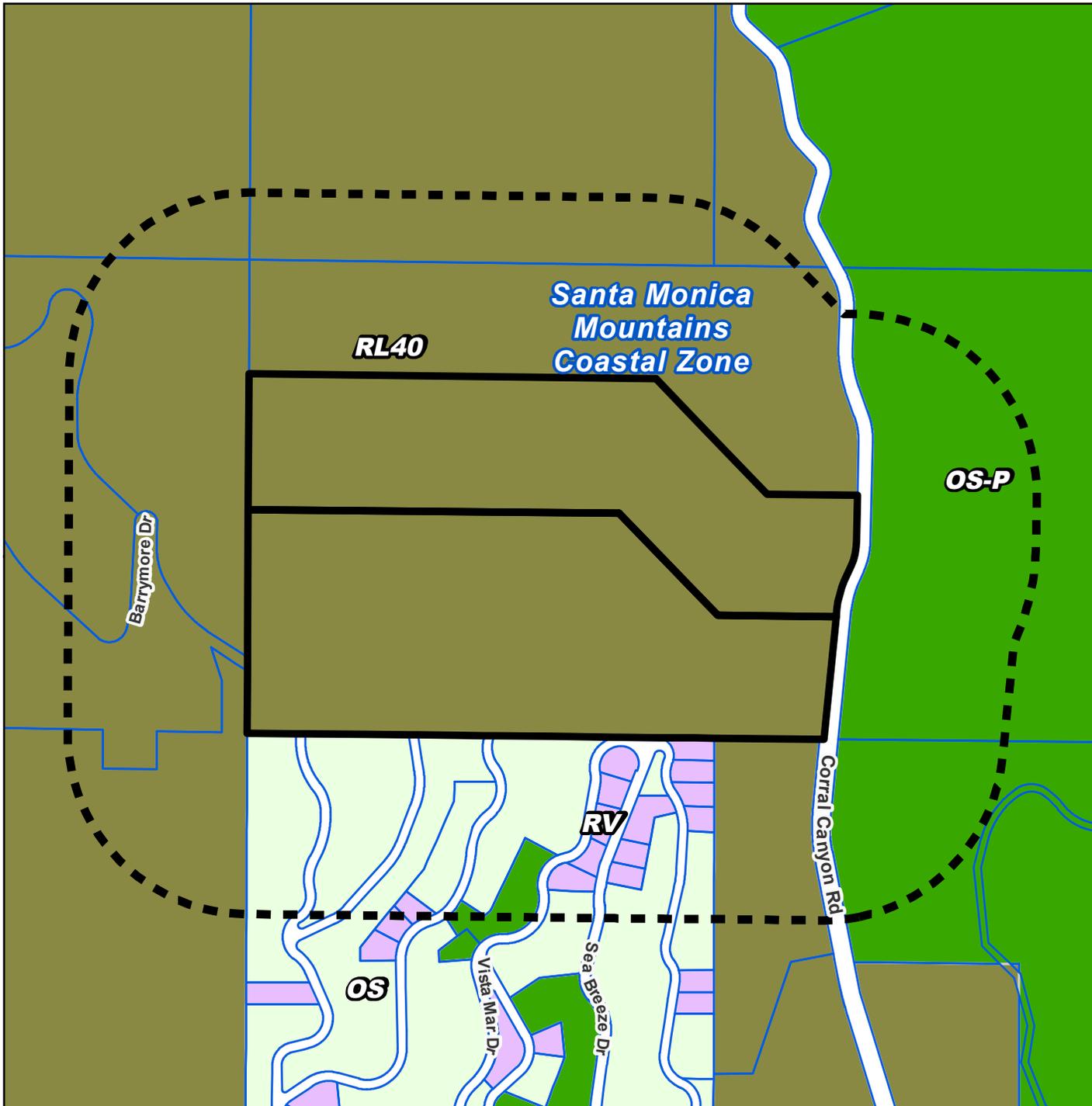
## 500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-001003

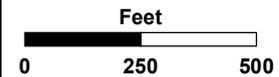
MCDP RPPL2023001410

VAR RPPL2023001417

LLA RPPL2023001914



-  RL40 - Rural Lands (1 du / 40 ac)
-  OS - Open Space
-  OS-P - Open Space-Parks
-  RV - Rural Village



LA COUNTY  
PLANNING

LOS ANGELES COUNTY  
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320 W. Temple Street  
Los Angeles, CA 90012

# ZONING

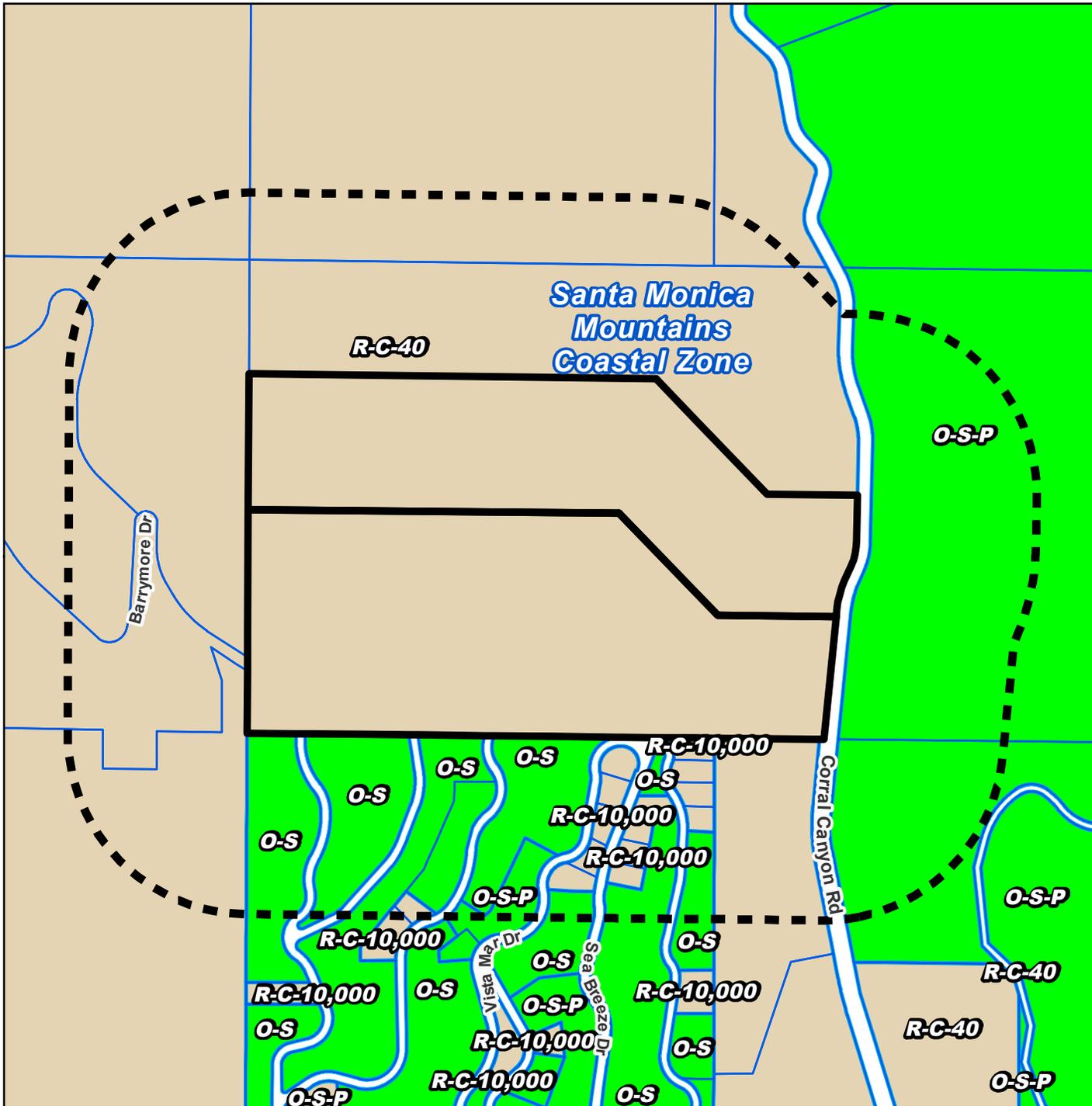
## 500-FOOT RADIUS MAP

PROJECT NO. PRJ2023-001003

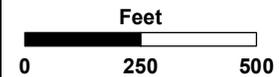
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VAR RPPL2023001417

LLA RPPL2023001914

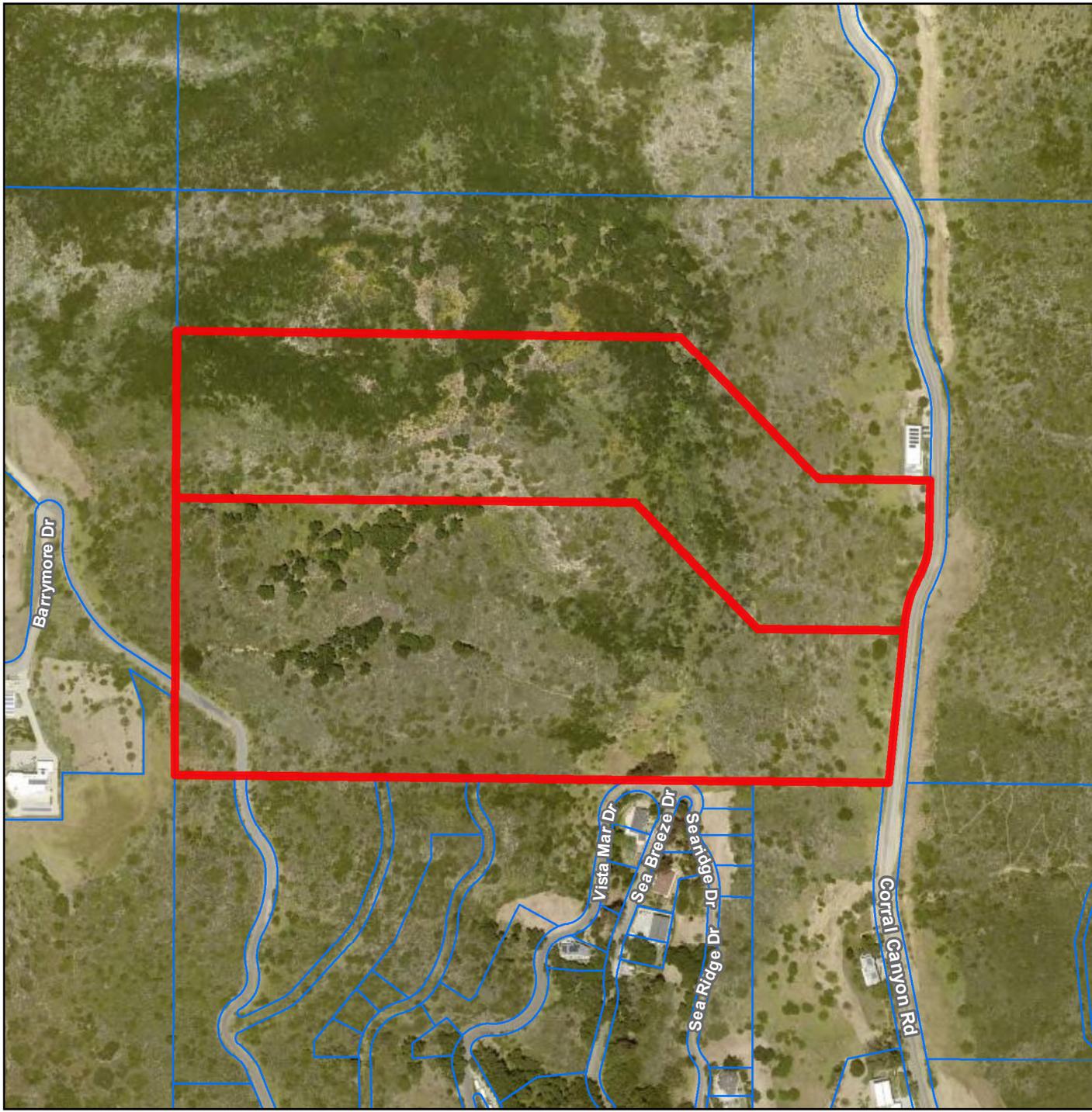


-  R-C - Rural Coastal
-  O-S - Open Space
-  O-S-P - Open Space - Parks



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320 W. Temple Street  
Los Angeles, CA 90012



# AERIAL IMAGERY

## SITE-SPECIFIC MAP

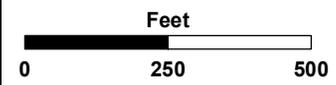
PROJECT NO. PRJ2023-001003

MCDP RPPL2023001410

VAR RPPL2023001417

LLA RPPL2023001914

Digital Ortho Aerial Imagery:  
Los Angeles Region Imagery  
Acquisition Consortium (LARIAC)  
2025



LA COUNTY  
**PLANNING**

LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012

**MINUTES OF THE ENVIRONMENTAL REVIEW BOARD (ERB)**  
**Unincorporated Coastal Zone, Santa Monica Mountains, Los Angeles County**  
**In-Person Meeting of November 18, 2024**

**Present:**

**ERB Members**

Travis Longcore, Ph.D.  
Katherine Pease, Ph.D.  
Dan Cooper, Ph.D.  
Richard Ibarra  
Leana Setian

**Regional Planning Staff**

Joseph Decruyenaere, Senior Biologist  
Karla Moreno, Biologist  
Tyler Montgomery, Principal Planner  
Iris Chi, ERB Coordinator

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**PART I: PRELIMINARY BUSINESS**

1. Roll call.
2. Coordinator's Report – DRP will release 2025 ERB meeting dates.

**PART II: APPROVAL OF MINUTES**

3. July 15, 2024 ERB meeting minute approval. Vote: Unanimous consent to approve the minutes.

**PART III: OLD BUSINESS**

**PART IV: NEW BUSINESS**

4. **Project No.:** 2017-003698-(3)  
**Permit No.:** Minor CDP RPPL2017008419

**ERB Comments:**

- ERB requests correction to one typo on the report regarding the export and import amounts. Recommended correction is to change '596 CY export' to '596 CY import'.
- ERB requests a landscape plan be prepared and submitted by Planning prior to approval. The landscape plan should include all existing vegetation, a plant list and legend for the revegetation of any disturbed areas, and vegetation within fuel modification zones. In terms of fire hazard, ensure fuel ladders are mitigated by keeping the understory at ground level.
- ERB supports the Biologist recommendation to provide a more accurate assessment of habitat impacts, either in the biological report or memo attachment. ERB recommends updating the mitigation based on the updated impacts.

**ERB Motion:**

- Move to accept the Biologist recommendation on the report as presented with the addition of a forth coming landscape plan.

**Motion by Cooper, Vote – Ayes: Unanimous**

5. **Project No.:** 2023-001003-(3)

**Permit No.:** Minor CDP RPPL2023001410, Variance RPPL2023001417, Lot Line Adjustment RPPL2023001914

**ERB Comments:**

- ERB questioned if off-site brush thinning would be exercised beyond the 200 ft. area, as is reported in one of the figures on the applicant's report. The applicant's biologist clarified it was highlighted to show the general area; however, the practice of off-site brush thinning will not exceed 200 ft. ERB recommends removing the green hatched polygon labeled Off-Site Brush Thinning.
- ERB agreed that the proposed development is properly sited.
- ERB recommends the planting locations of the mitigation walnuts be anywhere within fuel modification zone B and C, off the slope, and ideally on flatter areas that could be closer to the road.
- ERB recommends limiting landscaping to within 5-30 ft. from development. In addition, leave the area downslope to the west of the proposed development alone or with limited native plantings and drip irrigation.

**ERB Motion:**

- Move to accept the recommendation of the County to remap according to the post-fire mapping in determining H1, H2, and H3 and all subsequent calculations that come from the update; remove the off-site brush thinning green hatch labeling from the figure [Figure 4 of the Biological Assessment]; concur with staff recommendations that it meets the required findings; and plant walnuts in accessible places within Zone B and C.

**Motion by Longcore, Vote – Ayes: Unanimous**

**PART V: PUBLIC COMMENT**

6. Public comment pursuant to Section 54954.3 of the Government Code. No request for public comments.

**PART VI: ADJOURNMENT:** Adjournment to 1:00 pm, December 16, 2024.



















**BARBARA FERRER, Ph.D., M.P.H., M.Ed.**  
Director

**MUNTU DAVIS, M.D., M.P.H.**  
County Health Officer

**MEGAN McCLAIRE, M.S.P.H.**  
Chief Deputy Director

**LIZA FRIAS, REHS**  
Director of Environmental Health

**BRENDA LOPEZ, REHS**  
Assistant Director of Environmental Health

**SCOTT ABBOTT, REHS, M.P.A.**  
Assistant Director of Environmental Health

5050 Commerce Drive  
Baldwin Park, California 91706  
TEL (626) 430-5374 • FAX (626) 813-3000

[www.publichealth.lacounty.gov/eh/](http://www.publichealth.lacounty.gov/eh/)

May 02, 2023

TO: Robert Glaser  
Supervising Regional Planner  
Department of Regional Planning

Attention: Tyler Montgomery

FROM: Charlene Contreras   
Director, Community Protection Branch  
Department of Public Health

**SUBJECT: MINOR COASTAL DEVELOPMENT PERMIT (CDP) REQUEST  
CASE: RPPL2023001410  
PROJCET: PRJ2023-000906  
2643 CORRAL CANYON ROAD MALIBU CA 90265**

Thank you for the opportunity to review the subject project for a Minor Coastal Development Permit. This project purposes to construct a new Single-Family residence on significant ridgeline. The Coastal Development Permit (CDP) application seeks to propose a 5, 897 square foot dwelling comprised of two-stories at 18-foot height, a partially covered deck, swimming pool and garage.

This approval is conditioned by the proposed use of public water and private Onsite Wastewater Treatment System. The applicant provided a Conditional Statement of Water Service letter dated April 04, 2023, from Las Virgines Municipal Water District. Moreover, the applicant provided a system design approval for the Onsite Wastewater Treatment System from Land Use Program dated January 25, 2023.



BOARD OF SUPERVISORS

Hilda L. Solis  
First District

Holly J. Mitchell  
Second District

Lindsey P. Horvath  
Third District

Janice Hahn  
Fourth District

Kathryn Barger  
Fifth District

- Public Health recommends the approval of the aforementioned project with the following conditions to be fulfilled at the permitting stage before the installation of any interactive water features.
- Public Health requires that the conditions or information requested below are addressed prior to agency approval; therefore, the Department **DOES NOT** recommend clearance of this project until the following conditions are met:

1. Community Protection Branch: Environmental Hygiene

**Please Note:** The following are general requirements for Noise and Air Quality recommendations for the proposed project.

1.1 Noise

1.1.1 The applicant shall abide by the requirements contained in Title 12, Section 12.08. Noise Control Ordinance for the County of Los Angeles (reference available at municode.com). The sections in Title 12 that apply to this project include but are not limited to: 12.08.390 Exterior Noise Standards, 12.08.440 Construction Noise and 12.08.530 Residential Air-Conditioning.

12.08.440 Construction Noise

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sundays or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work of public service utilities or by variance issued by the health officer is prohibited.

A. Mobile Equipment. Maximum noise levels for nonscheduled, intermittent, short-term operation (less than 10 days) of mobile equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 8:00 p.m.	75 dBA	80 dBA	85 dBA
Daily, 8:00 p.m. to 7:00 a.m. and all-day Sunday and legal holidays	60 dBA	64 dBA	70 dBA

B. Stationary Equipment. Maximum noise level for repetitively scheduled and relatively long-term operation (periods of 10 days or more) of stationary equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 8:00 p.m.	60 dBA	65 dBA	70 dBA
Daily, 8:00 p.m. to 7:00 a.m. and all day Sunday and legal holidays	50 dBA	55 dBA	60 dBA

## 1.2 Air Quality Recommendation

1.2.1 During grading or excavation activities, if applicable, application of dust control measures to minimize fugitive dust is recommended. Fugitive dust can result in workers and public exposure to fungal spores such as *Coccidioides*, which can cause Coccidioidomycosis (Valley Fever). Adhere to all applicable rules and regulations, including the Air Quality Management District regulations.

For questions regarding Environmental Hygiene comments, please contact Yonas Taye of Public Health, Environmental Hygiene Program at (626) 430-5201 or [ytaye@ph.lacounty.gov](mailto:ytaye@ph.lacounty.gov)

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Land Use Program at (626) 430-5201 or [varanda@ph.lacounty.gov](mailto:varanda@ph.lacounty.gov).



**COUNTY OF LOS ANGELES FIRE DEPARTMENT  
FIRE PREVENTION DIVISION**

Land Development Unit  
5823 Rickenbacker Road  
Commerce, CA 90040  
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: RPPL2023001410 PROJECT NUMBER: New SFR on  
Significant Ridgeline  
(2643 Corral Cyn Rd.)  
CITY/COMMUNITY: Santa Monica Mountains STATUS: Cleared  
PROJECT ADDRESS: 2643 Corral Canyon Road DATE: 05/04/2023  
Malibu, CA 90265

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**CONDITIONS**

1. Review and approval of the proposed dwelling and garage have been accepted by the Fire Prevention Building Plan Check Unit. Plans were stamped APPROVED by Johnnie McGee on 01-19-23. No additional conditions on behalf of Fire Land Development Unit.

For any questions regarding the report, please contact Joseph Youman at (323) 890-4243 or [joseph.youman@fire.lacounty.gov](mailto:joseph.youman@fire.lacounty.gov).



MARK PESTRELLA, Director

# COUNTY OF LOS ANGELES

## DEPARTMENT OF PUBLIC WORKS

*"To Enrich Lives Through Effective and Caring Service"*

900 SOUTH FREMONT AVENUE  
ALHAMBRA, CALIFORNIA 91803-1331  
Telephone: (626) 458-5100  
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:  
P.O. BOX 1460  
ALHAMBRA, CALIFORNIA 91802-1460

January 30, 2025

IN REPLY PLEASE

REFER TO FILE: **LD-4**

TO: Rob Glaser  
Coastal Development Services  
Department of Regional Planning

Attention Tyler Montgomery

FROM: James Chon   
Land Development Division

**CDP - SMMLCP - MINOR (RPPL2023001410)**  
**2643 CORRAL CANYON ROAD**  
**ASSESSOR'S MAP BOOK 4457, PAGE 13, PARCEL 63**  
**UNINCORPORATED SANTA MONICA MOUNTAINS**

As requested, Public Works reviewed the zoning permit application and site plan for the proposed project. The project proposes a 5,897-square-foot, single-family residence comprised of two stories, an 810-square-foot garage, a new on-site wastewater treatment-system, swimming pool, partially covered deck, a 282-foot-long Fire Department walkaround, and a Fire Department hammerhead.

- Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.
- Public Works has comments on the submitted documents; therefore, a Public Hearing shall NOT be scheduled until the comments have been addressed.

1. Building and Safety

- 1.1. Prior to issuance of a grading or building permit, obtain a Streambed Alteration Agreement (or exemption) from the State of California Department of Fish and Wildlife.

For questions regarding the building and safety condition, please contact Joshua Lugavere of Public Works, Building and Safety Division, at (626) 238-2924 or [jlugavere@pw.lacounty.gov](mailto:jlugavere@pw.lacounty.gov).

Rob Glaser  
January 30, 2025  
Page 2

2. Soils

2.1 Prior to issuance of a grading or building permit, comply with the approved Geotechnical Report.

For questions regarding the soils condition, please contact George Molina of Public Works, Geotechnical and Materials Engineering Division, at (626) 458-7140 or [gmolina@pw.lacounty.gov](mailto:gmolina@pw.lacounty.gov).

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or [egerlits@pw.lacounty.gov](mailto:egerlits@pw.lacounty.gov).

DK:la

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## PROPOSED ENVIRONMENTAL DETERMINATION

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**DETERMINATION DATE:** March 18, 2026  
**PROJECT NUMBER:** PRJ2023-001003-(3)  
**PERMIT NUMBER(S):** Minor Coastal Development Permit No. RPPL2023001410  
Variance No. RPPL2023001417  
Lot Line Adjustment No. RPPL2023001914  
**SUPERVISORIAL DISTRICT:** 3  
**PROJECT LOCATION:** 2643 Corral Canyon Road, Malibu  
**OWNER:** Suzanne and Jeffrey Lekson  
**APPLICANT:** Arfakhashad Munaim  
**CASE PLANNER:** Tyler Montgomery, Principal Planner  
tmontgomery@planning.lacounty.gov

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Los Angeles County (“County”) completed an initial review for the above-mentioned Project. Based on examination of the Project proposal and the supporting information included in the application, the County proposes that a Categorical Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The Project qualifies for Categorical Exemptions (Class 3 Exemption, New Construction or Conversion of Small Structures and Class 4 Exemption, Minor Alterations to Land) pursuant to CEQA and the County Environmental Document Reporting Procedures and Guidelines.

Pursuant to Section 15303 of the State CEQA Guidelines, the Project qualifies for a Class 3 Categorical Exemption because it includes the construction of one single-family residence, accessory structures, and associated infrastructure.

Pursuant to Section 15304(i) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes alterations in the condition of land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees except for fuel management purposes. Pursuant to the County Environmental Document Reporting Procedures and Guidelines, the Class 4 Categorical Exemption also allows for proposed grading and fuel management activities associated with the single-family residence and driveway. The proposed Project would not result in the taking of endangered, rare, or threatened plant or animal species or significant erosion and sedimentation to surface waters and therefore, qualifies for the Class 4 Categorical Exemption.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because a biological inventory of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by implementation and operation of the Project.

The Project is not expected to significantly impact scenic resources, such as the designated ridgeline along Corral Canyon Road, as the improvements will be located partially below the roadway with portions of the rooftops visible from the roadway. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development and infrastructure, and no hazardous waste sites or historic resources would be affected. Therefore, the Project is categorically exempt from CEQA.