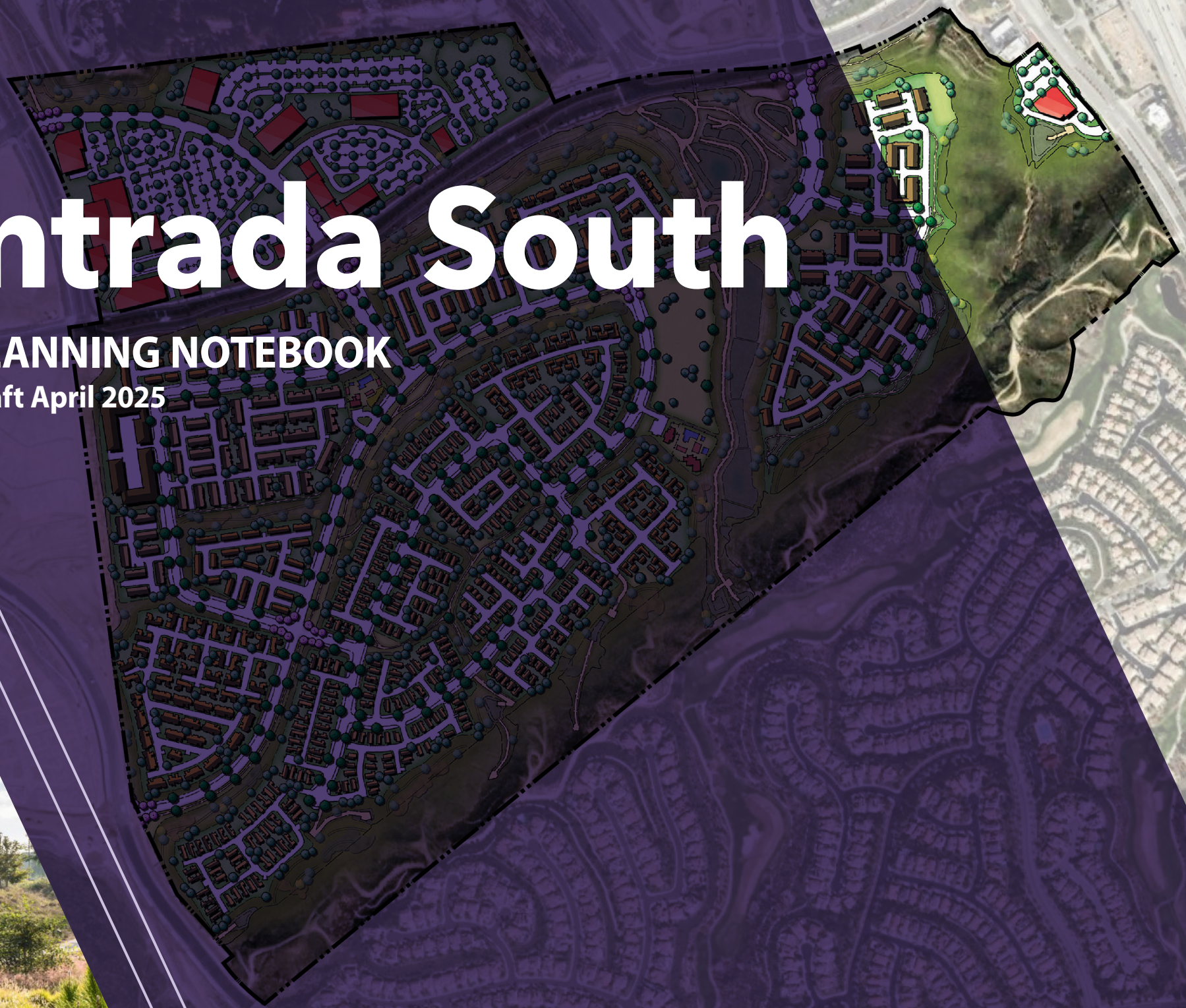


Entrada South

PLANNING NOTEBOOK

Draft April 2025



Entrada South Planning Notebook

April 2025

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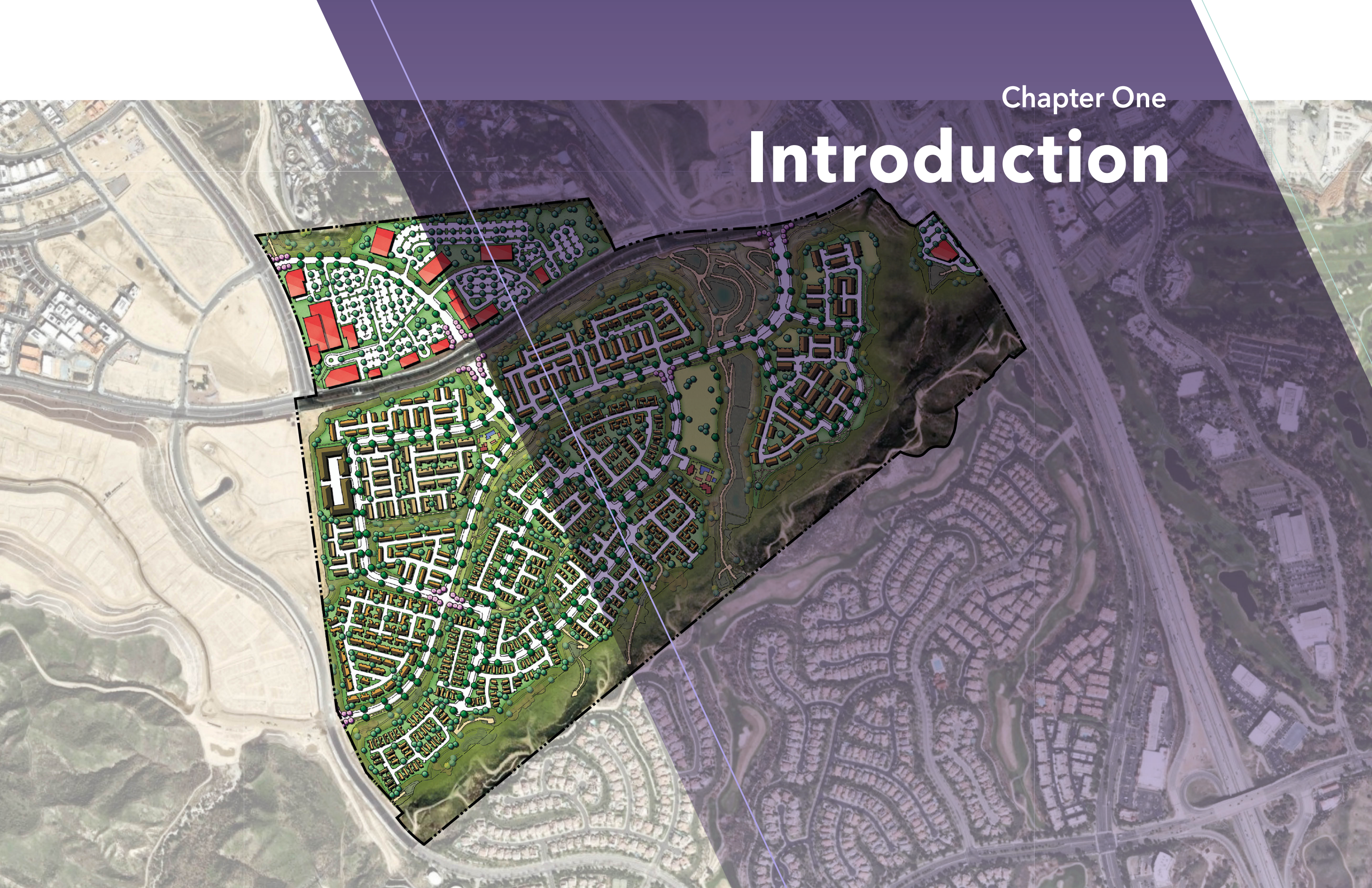
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Chapter One

Introduction



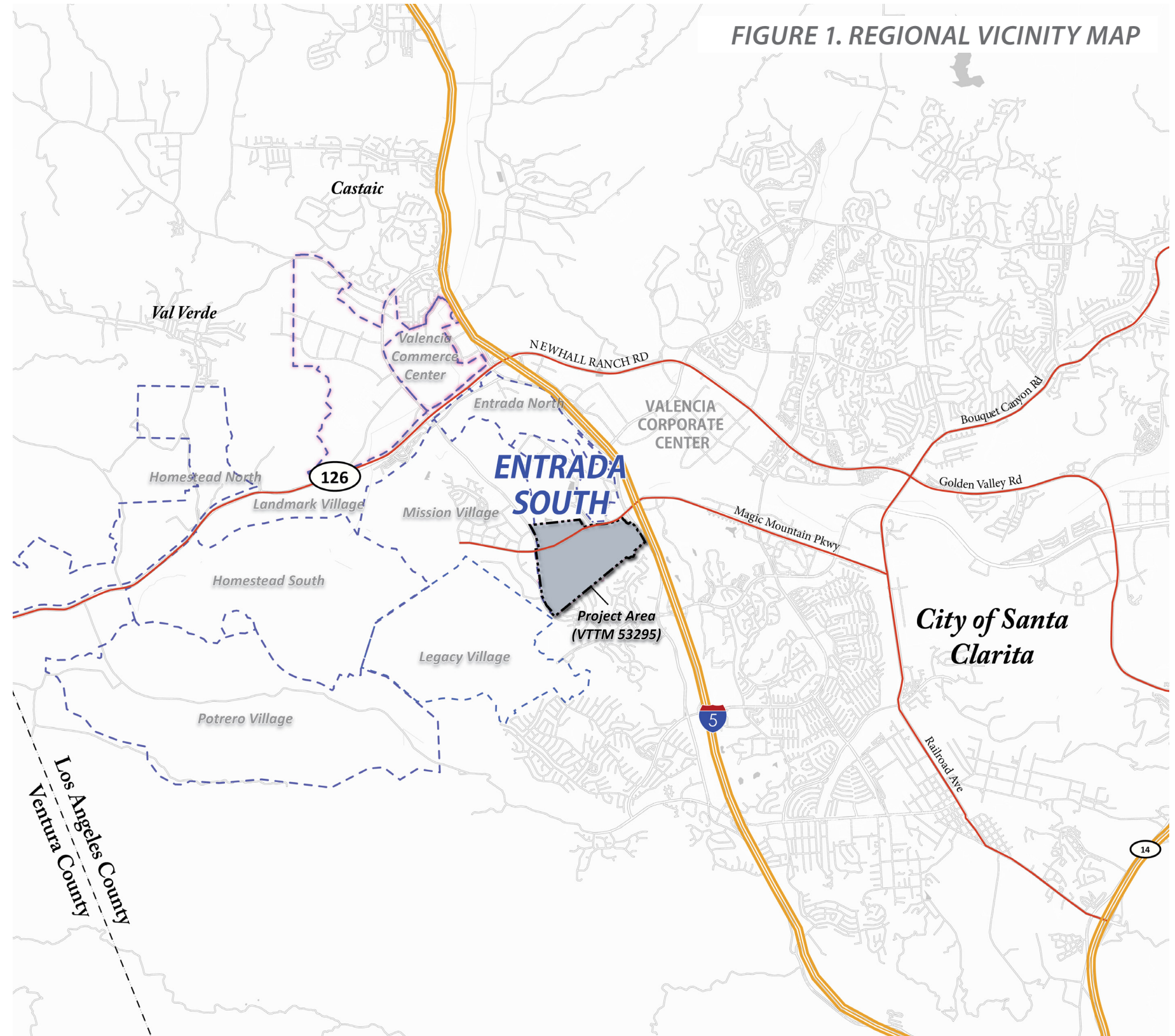
1.1 Introduction

A vibrant mixed-use community at the center of the historic Newhall Ranch, Entrada South embraces the surrounding beauty of north Los Angeles County, featuring expansive common open space integrated with diverse, compact neighborhoods. An intricate network of pedestrian and bicycle trails segregated from vehicular traffic winds throughout the community, linking every neighborhood to on-site amenities and the Westridge community to the south.

Entrada South is located in an unincorporated area of north western Los Angeles County, adjacent to the City of Santa Clarita (See Figure 1, Regional Vicinity Map). It is situated west of the Interstate 5 (I-5) and south of the Six Flags Magic Mountain theme park. Figure 2, Local Vicinity Map shows the site location and adjacent areas.

Entrada South is composed of approximately 384.6 acres, consisting of 382.3 acres within the Vesting Tentative Tract Map (VTTM) 53295 and 2.3 acres outside the VTTM boundary for infrastructure Improvements. A substantial demand for housing and commercial uses to serve those households have been projected by the Southern California Association of Governments (SCAG) for the western Santa Clarita Valley. Entrada South is planned and designed to help the County meet those project demands.

This Planning Notebook describes the community vision, proposed land use concepts and intended general character of the Entrada South community. Conceptual studies of the various community components are also included, along with a summary of pertinent ordinances and development standards.





1.2 Community Vision

Entrada South is envisioned to be a pedestrian-oriented “village” with an ambiance distinctive from that of surrounding neighborhoods. The pattern of development and level of design quality will be consistent with the standard set forth within other portions of Newhall Ranch. Ultimately the site will represent a positive contribution to the mosaic of villages woven throughout the Santa Clarita Valley.

Although Entrada South is not part of a specific plan, it is part of the original Newhall Ranch area and will be developed by Newhall Land with the same care and quality as all of the other communities built within Valencia on the ranch property. Accordingly, Entrada South reflects Newhall Land’s commitment to the establishment of a net zero greenhouse gas community, which will serve to reduce the community’s greenhouse gas emissions to net zero through a combination of on- and off-site measures, which are discussed further below in Section 2.11, Net Zero GHG Community and 2.12, Site Specific Sustainability of this Planning Notebook. The benefits are not limited to the reduction of greenhouse gas emissions; instead, the measures will also serve to lower the community’s generation of criteria air pollutants, quantity of vehicle miles traveled, and demand for energy-related resources.

Residential Design Principles



Homes are to be environmentally friendly, solar powered, and designed to meet zero net energy standards.



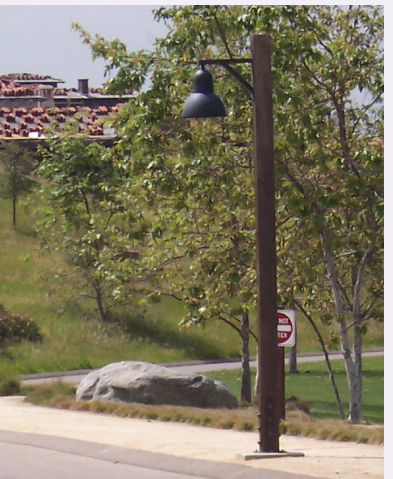
Street scenes are enhanced by varying the articulation of front elevations, using a variety of configurations on the same street, and providing a mix of compatible styles to avoid monotony.



Residential landscape design will encourage the use drought-tolerant plant materials and drip irrigation systems to promote long-term water conservation.



Ancillary structures, walls, and fences will be compatible with the design theme of each neighborhood and the community as a whole.



Energy efficient outdoor lightings are to be designed appropriately to avoid unnecessary glare and light spill on adjacent areas.



Within multifamily neighborhoods, access to open space areas is vital for pedestrians and bicyclists.



Carports, freestanding garages, and open parking will be screened or integrated with landscaping within multi-family neighborhoods.

Commercial Design Principles



Eco-friendly and sustainable building features will be incorporated in all commercial area to achieve a vibrant neighborhood that is both socially and environmentally sustainable.



Zero Net Energy buildings will produce as much energy as they use over the course of a year.



Architectural styles shall provide variety and a high degree of unification within commercial areas. Articulated facades shall be used on all sides of structures visible to pedestrians and motorists.



Convenient and safe pedestrian and bicycle connections are to be provided throughout commercial areas, while potential conflicts with vehicles are to be avoided.



Shade structures are encouraged and should incorporate pedestrian-scaled architectural elements and utilize varied materials and colors.



Shady, tree lined streetscapes provide a pleasant pedestrian experience.



Public spaces such as plazas and courtyards present an opportunity to incorporate placemaking elements, bringing a unique ambiance.



Landscaping is to be used appropriately to provide shade and reduce the visual impact of parking areas, loading docks, and trash areas.

1.3 Design Principles

Entrada South relies on many of the same design concepts used within other Newhall Ranch and Valencia projects such as preserving open space and natural features through clustering of development, grading in terraces to preserve existing landforms, increasing residential density within a limited distance from village centers, and providing pedestrian-friendly streets. Construction of the community will be consistent with the County of Los Angeles' Low Impact Development Standards Manual, which includes a discussion of many of these concepts as integral components of sustainable development.

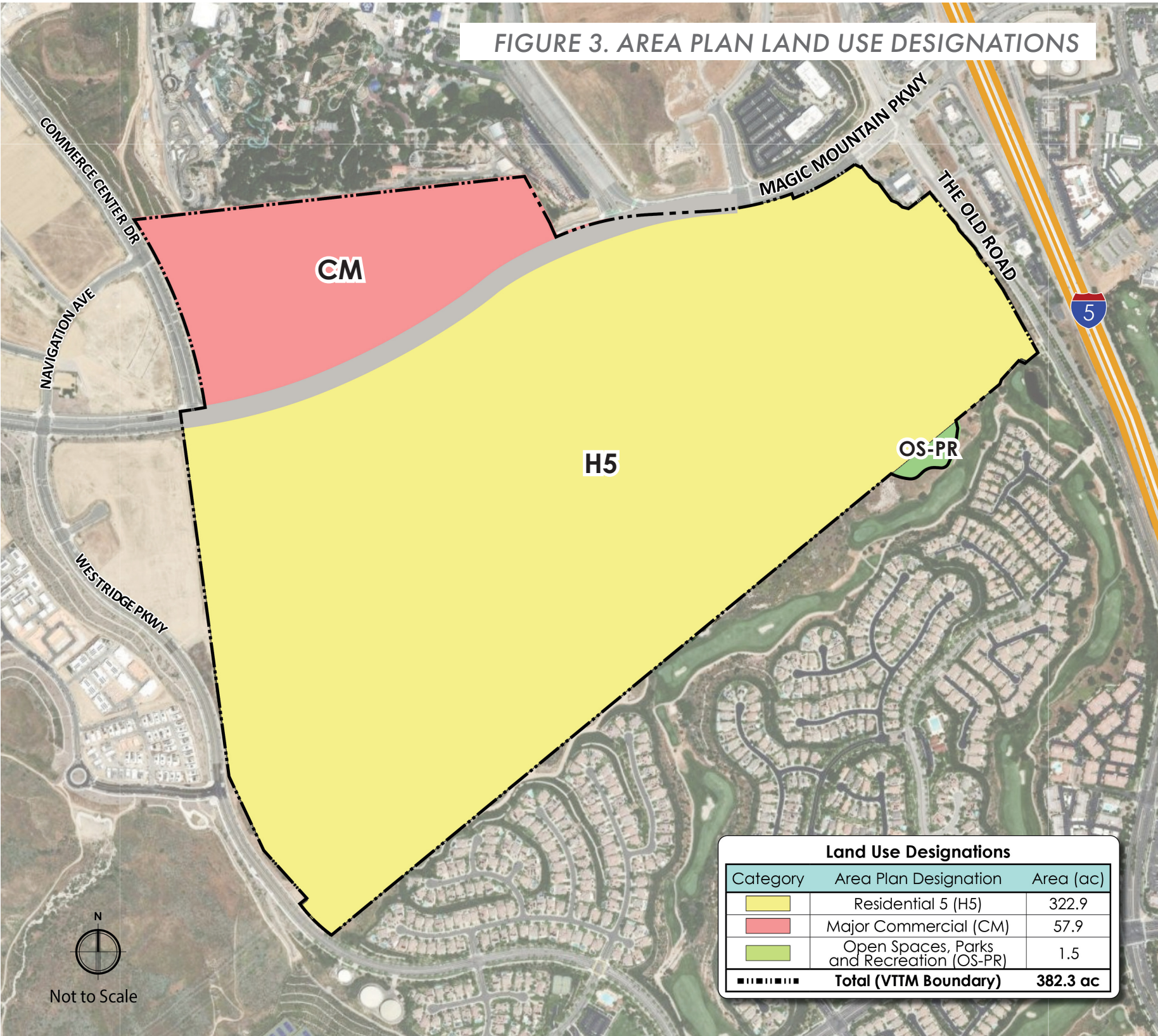
While the Entrada South land use concept has been established through the submittal of a Vesting Tentative Tract Map (VTTM), no specific design theme has been planned at this time. However, architectural styles, thematic elements, and detailed design guidelines will be developed in the future to establish the character of the community following the basic design principles presented in this section. The project-specific design guidelines developed from these principles will be part of the development review process detailed in Chapter 3, Implementation. Photos accompanying the design principles are conceptual in nature and are meant to generally illustrate application to the community.

1.4 Santa Clarita Valley Area Plan (One Valley, One Vision)

Entrada South has been identified as an area slated for future growth by the 2012 Santa Clarita Area Plan “One Valley, One Vision” (OVOV), the comprehensive long range planning document adopted by the Los Angeles County Board of Supervisors. The plan for Entrada South meets the dual goals identified within the Area Plan of creating a unique, readily identifiable community, while simultaneously providing a coordinated approach to orderly development.

Three Area Plan land use designations are contained within the VTTM portion of Entrada South as shown in Figure 3, Area Plan Land Use Designations. The area south of Magic Mountain Parkway is designated H5, Residential 5, which allows single family and multi-family homes at a maximum gross density of five dwelling units per acre. Clustering of density is encouraged to preserve significant open space and to provide recreational amenities. Supportive commercial and institutional uses serving local residents are also allowed without a plan amendment. The area north of Magic Mountain Parkway is CM, Major Commercial which allows for neighborhood commercial uses intended to serve the short term needs of the immediate area. A maximum Floor Area Ratio (FAR) of 2.0 is allowed, and specific uses will be determined by the underlying zoning designation.

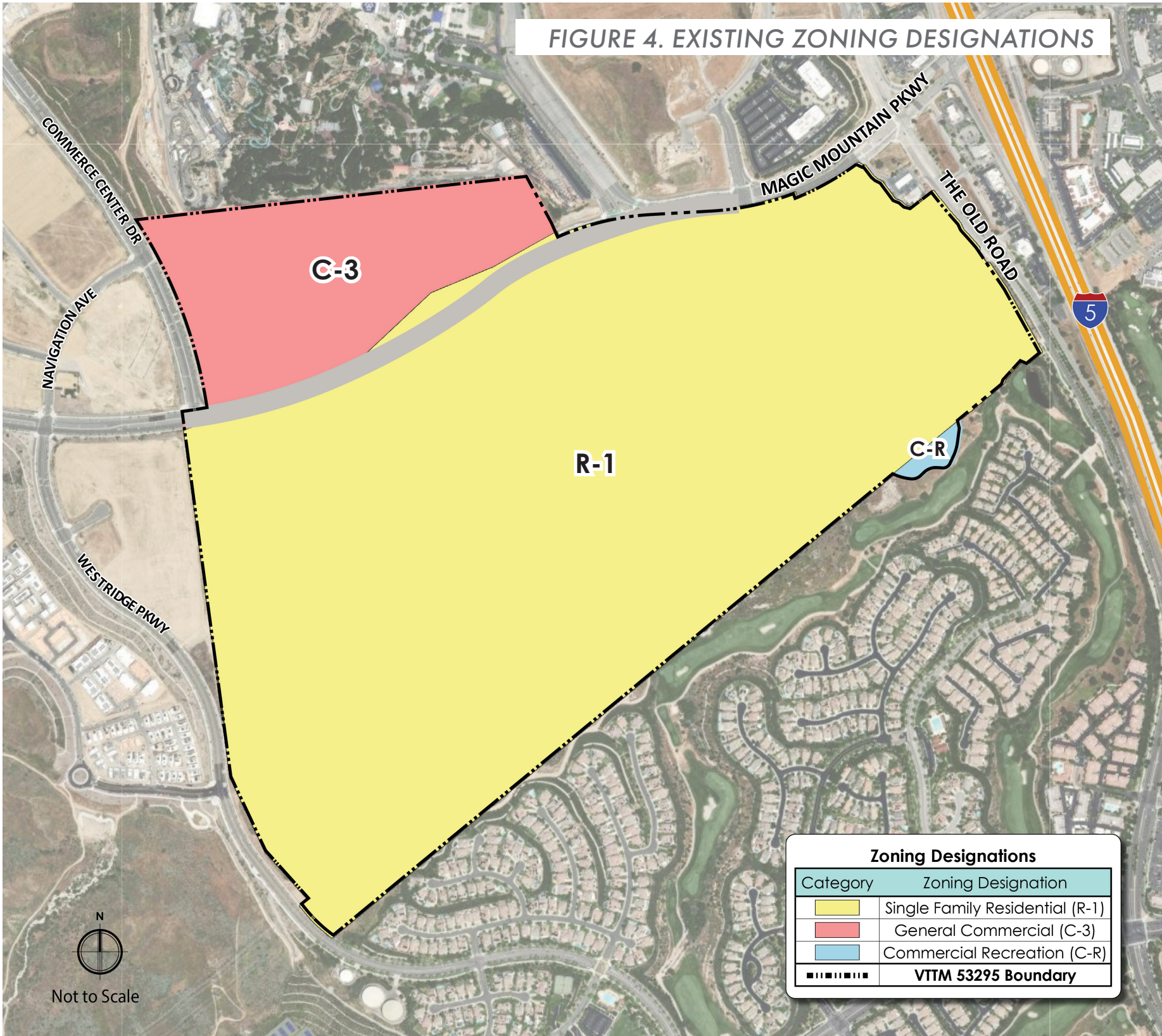
Entrada South implements the vision of the Santa Clarita Valley Area Plan by incorporating land uses and environmental development consistent with the Area Plan’s goals and by promoting development concurrent with the provision of adequate infrastructure, economic vitality, and an improved quality of life.

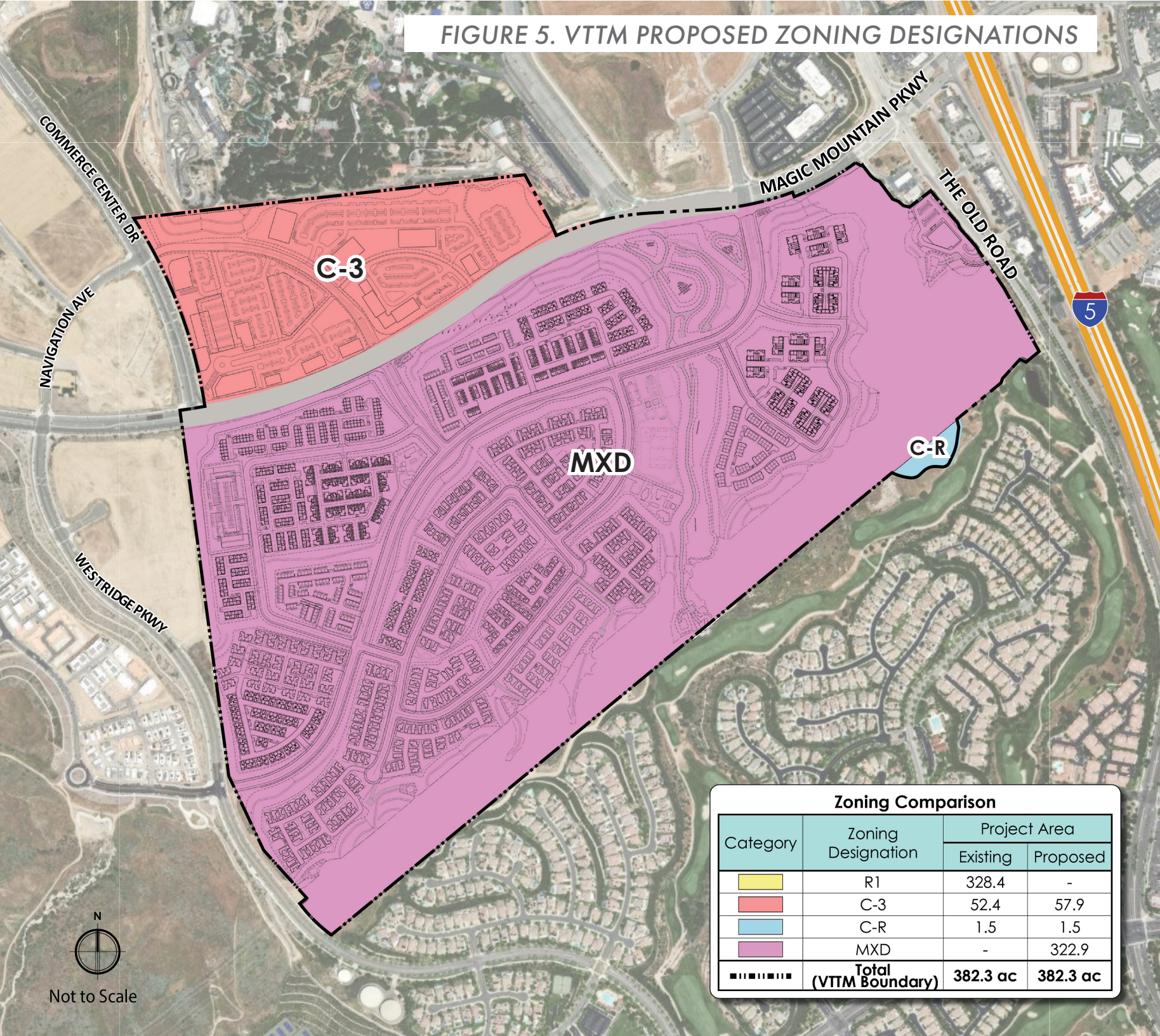


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1.5 Zoning

The Los Angeles County Planning and Zoning Code, also known as the Zoning Ordinance designates land use and development standards for unincorporated areas within the County. As shown in Figure 4, Existing Zoning Designations, the Entrada South site includes three land use categories within the area: R-1; Single Family Residential, C-3; General Commercial, and C-R; Commercial Recreation.





1.6 Proposed Zoning

The project proposes revisions to the current zoning of the VTTM portion of Entrada South; specifically, 322.9 acres south of Magic Mountain Parkway will change from R-1 to a designation of MXD, allowing 5.8 dwelling units per net acre, as shown in Figure 5, VTTM Proposed Zoning Designations.

The area north of Magic Mountain Parkway measuring 57.9 acres will consist of the General Commercial (C-3) zone, allowing a wide range of neighborhood and regional commercial uses. The existing 1.5-acre Commercial Recreation zone will remain unchanged and the zoning designations of areas outside the VTTM boundary will also remain unchanged.

Magic Mountain Parkway accounts for 12.8 acres of the total plan area and is included in the C-3 and MXD zone acreages.

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Chapter Two

Development Plan



2.1 Proposed Land Use Plan

Entrada South is planned to feature a mixture of uses including single family detached condos (SFDC) and multi-family residential, office and retail space, a public park, recreation facilities, and open space. The compact design and size of the community bring most uses within a mile of each other, resulting in a viably walkable village. The pedestrian experience has been crafted with care; all streets include parkway-separated sidewalks and link the commercial and residential components. As shown in Figure 6, Proposed Land Use Plan, the highest residential densities are generally located close to the circulation routes along Magic Mountain Parkway. Residential densities decrease toward the southern boundary of the property where open space serves as a buffer and separates this community from Westridge to the south. The residential neighborhoods are to be graded in terraces to mimic the natural terrain, create open space, and preserve important natural resources.

Commercial uses have been placed along The Old Road and on the north side of Magic Mountain Parkway, consistent with the existing or planned commercial development along those streets, including Six Flags Magic Mountain. This location allows commercial uses to buffer the residential areas from the Magic Mountain amusement park. The Newhall Ranch Specific Plan anticipates a commercial node on Magic Mountain Parkway just to the west of Commerce Center Drive as part of the Mission Village community. In addition to the on-site commercial areas, other retail and employment-generating uses exist nearby, creating the opportunity for residents to shop and work close to home, and thereby encouraging alternative means of transportation such as walking or bicycling and reducing the average length of vehicle trips.

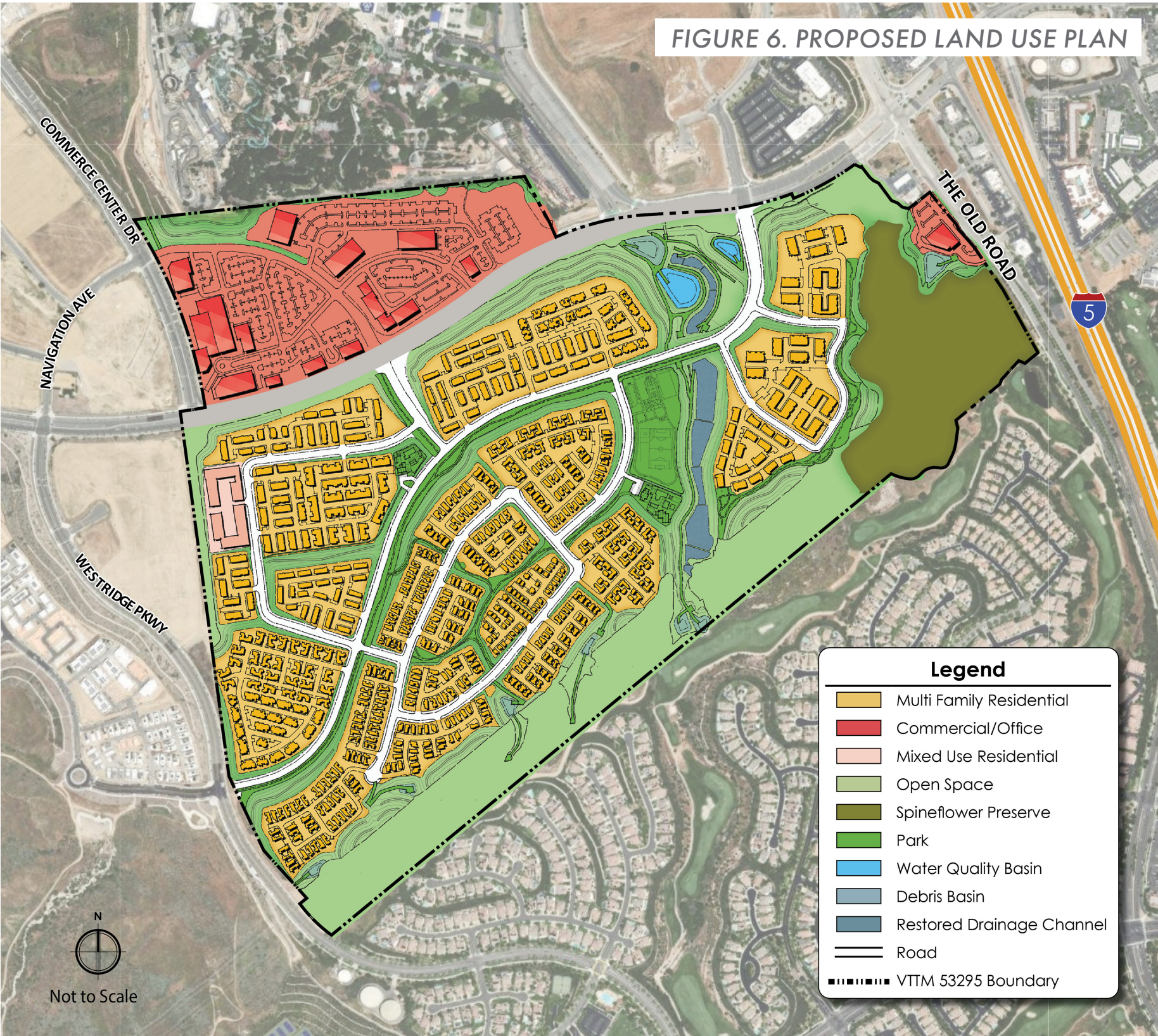
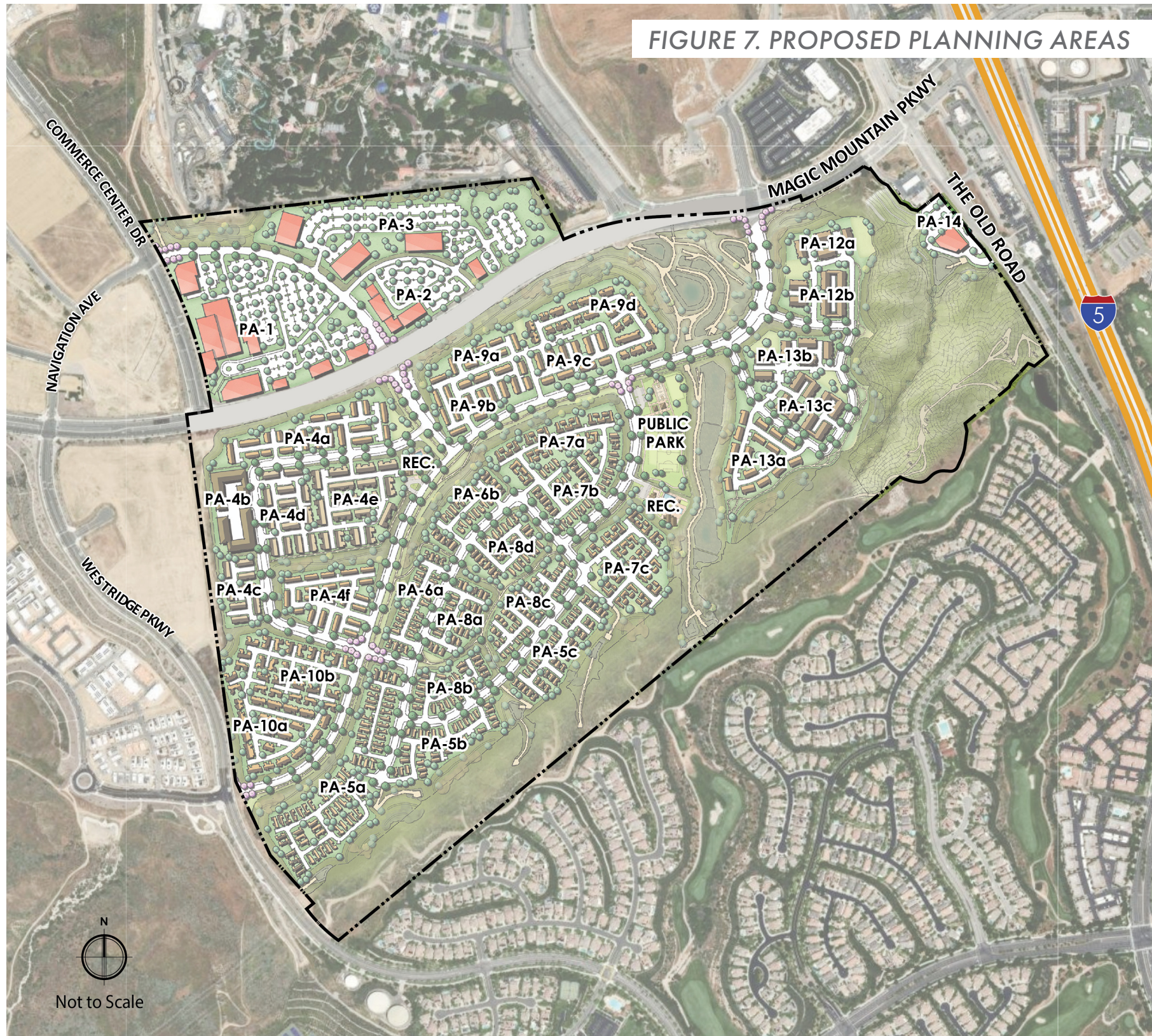


FIGURE 7. PROPOSED PLANNING AREAS

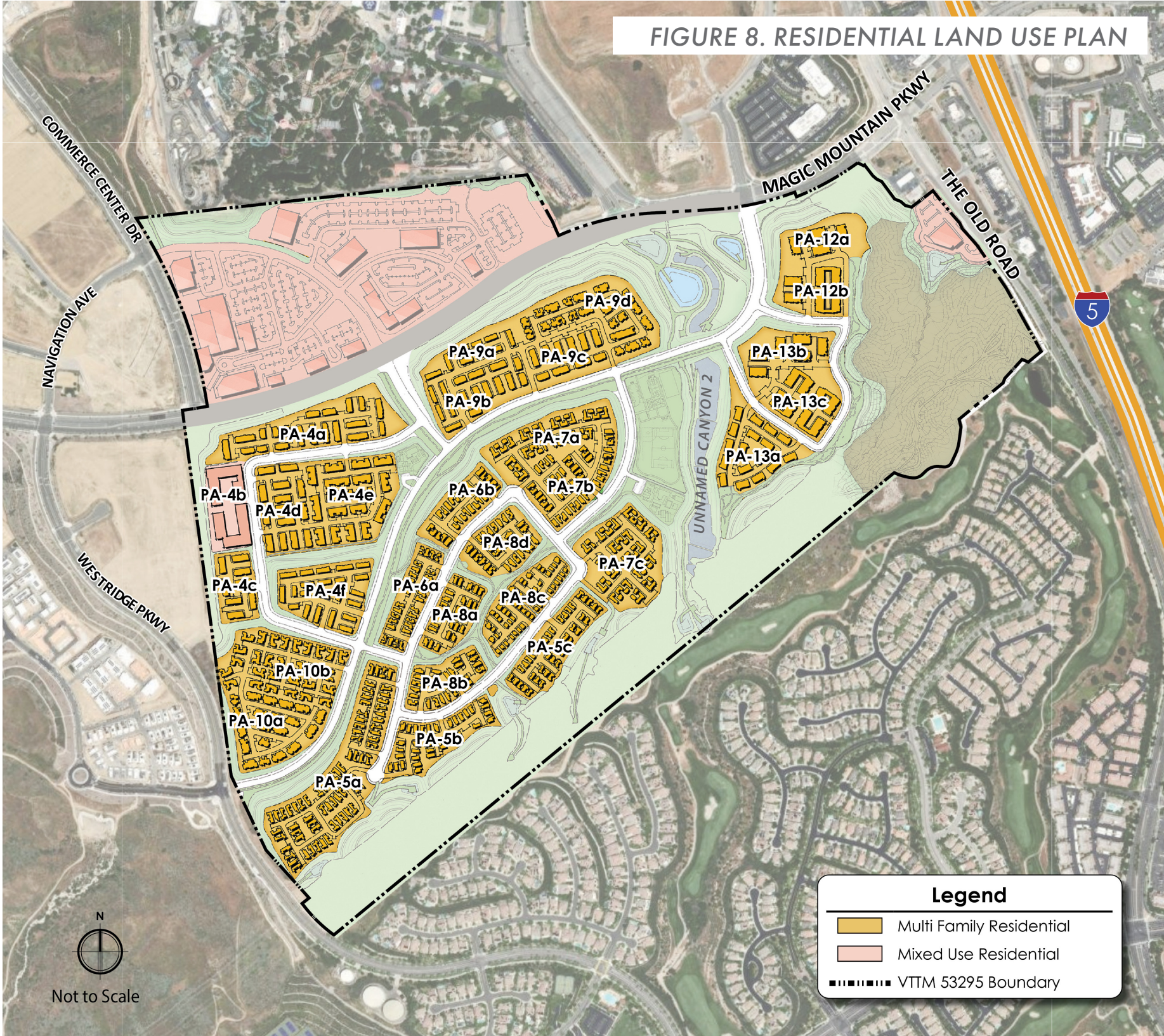


2.2 Proposed Planning Areas

Entrada South has been divided into fourteen planning areas as shown in Figure 7, Proposed Planning Areas. Planning Areas (PA) 1 through 3 and PA 14 have been designated for commercial land uses and PA 4 through PA 13 are designated for residential uses. PA 8 contains a park and recreation area. There is an alternative concept plan proposed for PAs 9c and 9d, which includes a school site. Refer to Figure 10, School Site Concept Plan for additional detail.

2.3 Residential Land Use

The residential portions of Entrada South are composed of a variety of homes appealing to buyers within a range of income levels. The types of housing will vary from SFDC homes on condominium maps to four story multifamily structures. Each planning area included in Figure 8, Residential Land Use Plan, generally represents a different type of housing and a total of 1,574 homes are planned.



SINGLE FAMILY DETACHED CONDOS AND SINGLE FAMILY ATTACHED EXAMPLES



MULTI FAMILY EXAMPLES



MULTIFAMILY

Within the multifamily designated areas (i.e., PAs 4, 9, 10, 12, and 13), several housing types are envisioned which may include single family detached condominiums, single family attached (SFA), or multifamily homes as shown in Figure 8, Residential Land Use Plan. These have condominium ownership that will be governed by one or more HOAs. It is anticipated that each of these neighborhoods will have a distinctive type of architectural character. All footprints shown in this Planning Notebook are prototypical and conceptually arranged. No particular style or configuration has been selected and changes may occur depending on market conditions at the final map stage.

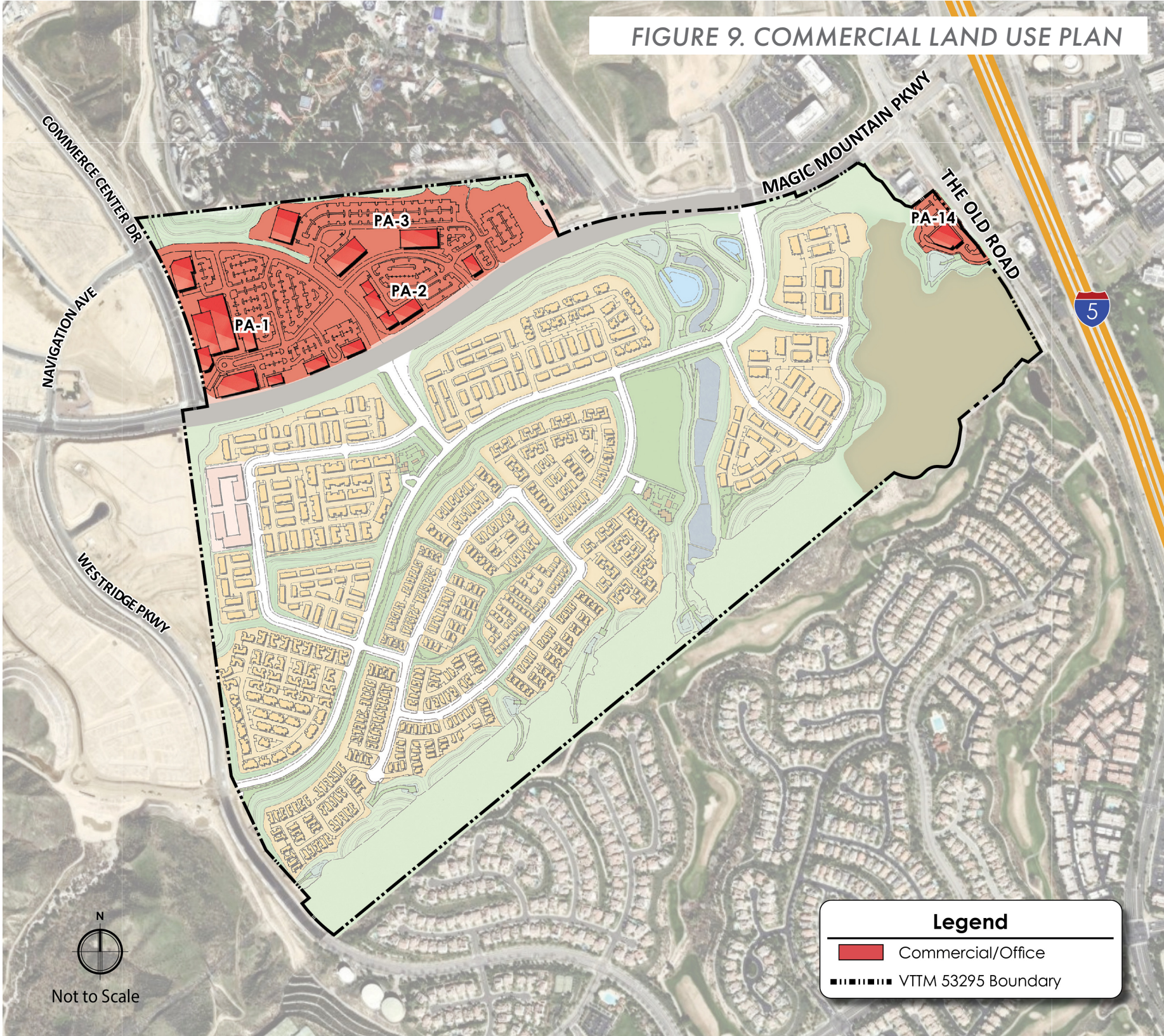
To provide a degree of development flexibility over the course of Entrada South buildout, the density of development and location of buildings within individual planning areas may be adjusted so long as the overall average density in VTTM 53295 is not increased. The number of units within the multifamily designation may shift from one planning area to another but the total number of units may not exceed 1,574 homes, and variation in style and density between planning areas will be maintained.

2.4 Commercial Land Use

Two commercial areas are located within Entrada South: on the north side of Magic Mountain Parkway a 53.1 acre area including approximately 675,000 square feet of commercial retail, hotel, and office space within PA 1-3 with 15,000 square feet of mixed use commercial within PA 4b and a smaller area within PA 14 along The Old Road accommodating approximately 40,000 square feet of commercial uses on 2.7 acres.

PA 14 is likely to be constructed as a single structure, however, the larger commercial area within PAs 1-3 adjacent to Magic Mountain Parkway will feature a well-coordinated development program including carefully arranged buildings and open spaces, parking and access. The conceptual site plan shown in Figure 9, Commercial Land Use Plan depicts a typical building layout; the actual configuration will vary depending on the uses and design of the final site plan.

The commercial areas may accommodate retail, office, hotel, and/or entertainment uses, complimenting the building program for Mission Village to the west and providing buffer from the Magic Mountain amusement park to the north. The residents of Entrada South will have pedestrian friendly access to this commercial area and parkway-separated sidewalks along internal streets and A Street. Traffic signals are planned at both intersections of A Street and B Street with Magic Mountain Parkway to encourage safe pedestrian access to any of the uses as well as to planned transit stops (refer to Figure 17, Transit Stop Locations).



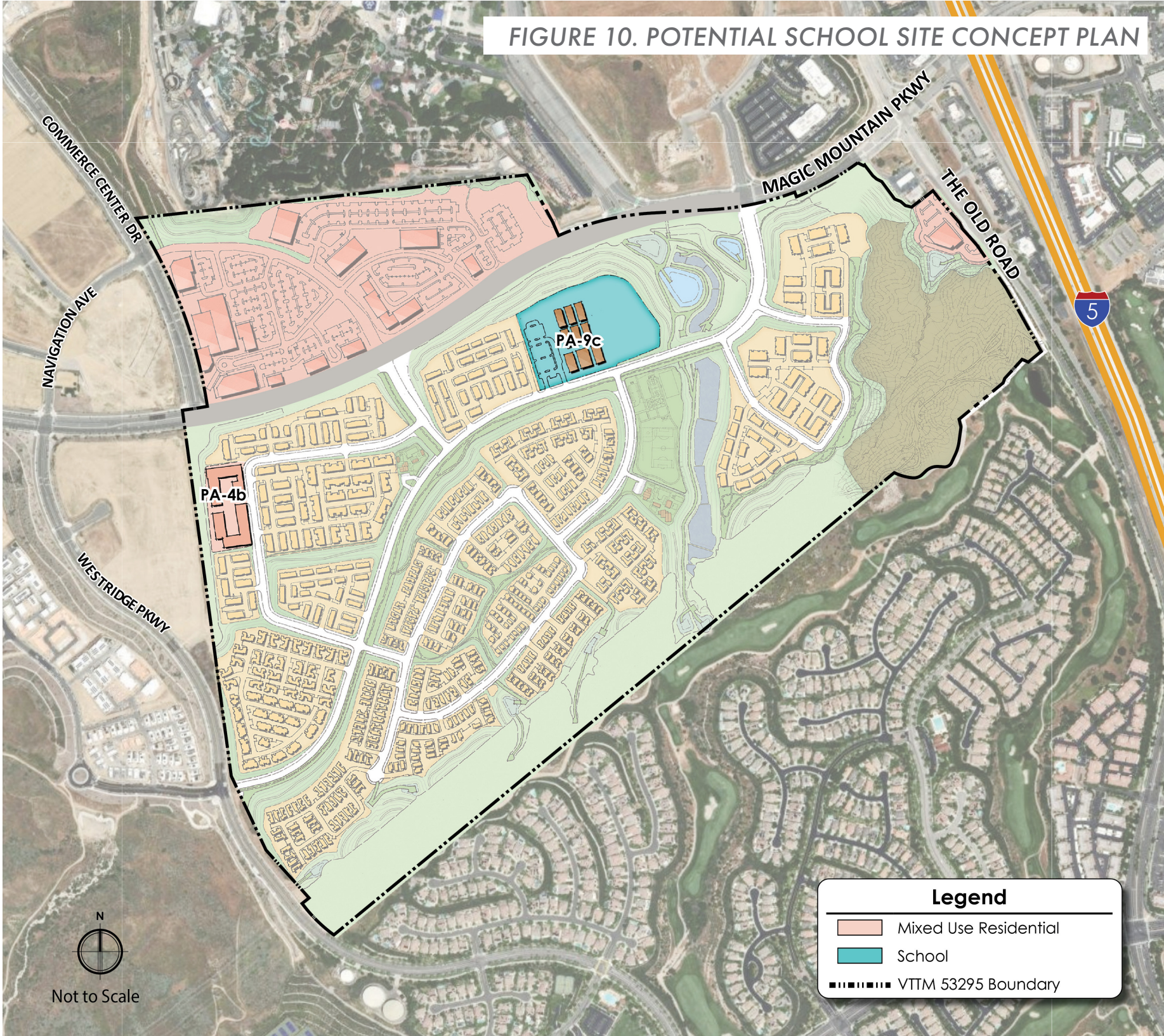
COMMERCIAL EXAMPLES



2.5 Potential School Site

The Entrada South village contains a potential school site as an alternative concept in PA-9c and 9d. The primary planned multifamily development for both planning areas is proposed to be relocated to PA-4b. The need for this potential school site will be determined by the Saugus Elementary School District, based on the potential need for additional schools within the district.

Figure 10, Potential School Site Concept Plan depicts the proposed alternative. The final school site plan will be developed at a later phase.



SANTA CLARITA SCHOOL EXAMPLES



2.6 Community Character

While having a variety of residential styles is important in promoting livability, orchestration of details and amenities are what create a great place to live. Community character conveys the identity and theme of a project and is defined by features such as entry monumentation, streetscapes, parks, open space, plazas, sidewalks and trails, walls fencing, and lighting. The coordinated design of these elements within Entrada South will result in a community that reinforces and capitalizes on the unique qualities of the surrounding environment.

Major amenities within Entrada South are open space and trails, along with two private recreation facilities and a centrally located public community park within an easy walking distance of most residences. Figure 11, Illustrative Site Plan depicts a conceptual exhibit of the community design.

The comprehensive landscape program planned for Entrada South will ensure the selection of plant materials that are not only aesthetically appealing, but also appropriate for Southern California's drought-prone climate. The community landscape plan will provide for thematic streetscapes, entry monumentation and wayfinding mechanisms. Design details will ensure restored slope areas bordering undisturbed open space appear natural and are wildfire resistant. Careful integration of stormwater facilities will contribute to the environmental quality of the community by recharging groundwater. These details and amenities will establish a richness of quality and unique sense of identity for Entrada South.

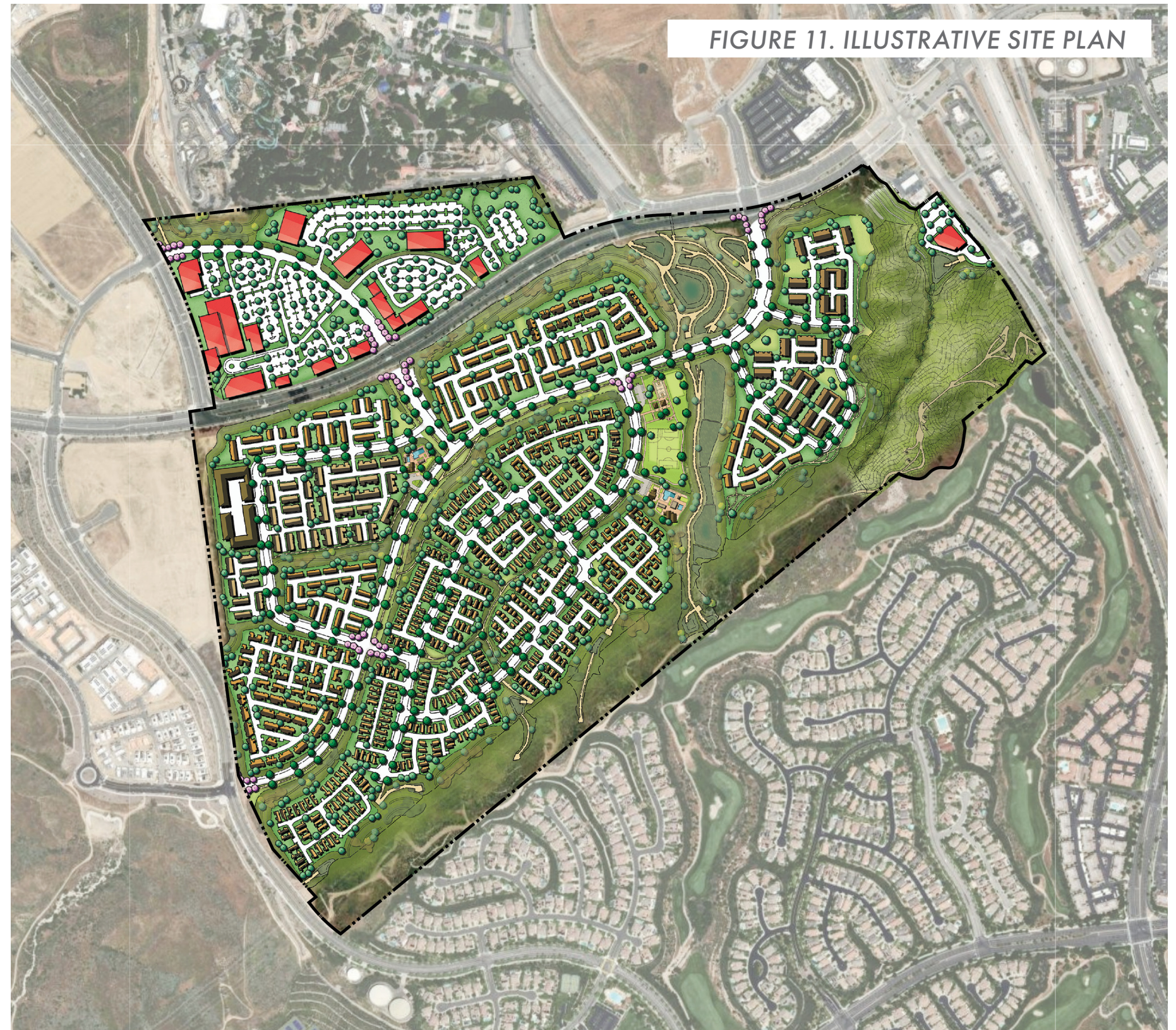
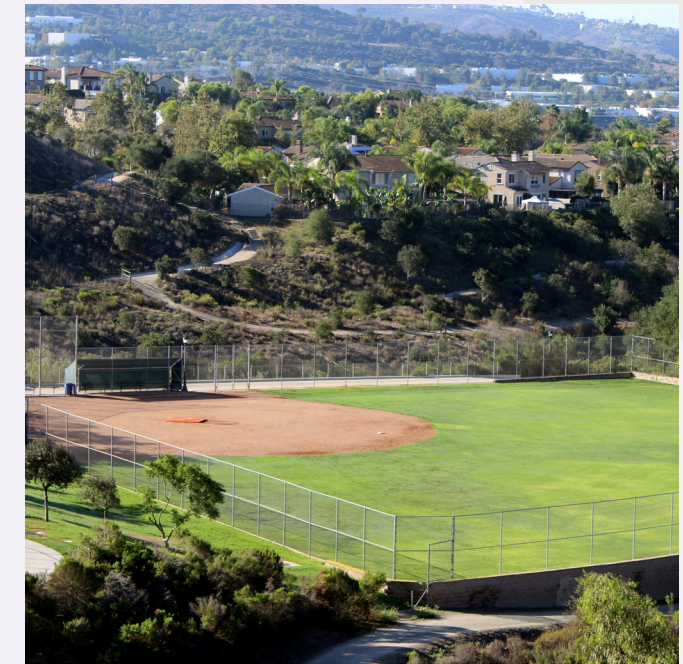


FIGURE 11. ILLUSTRATIVE SITE PLAN

COMMUNITY CHARACTER EXAMPLES



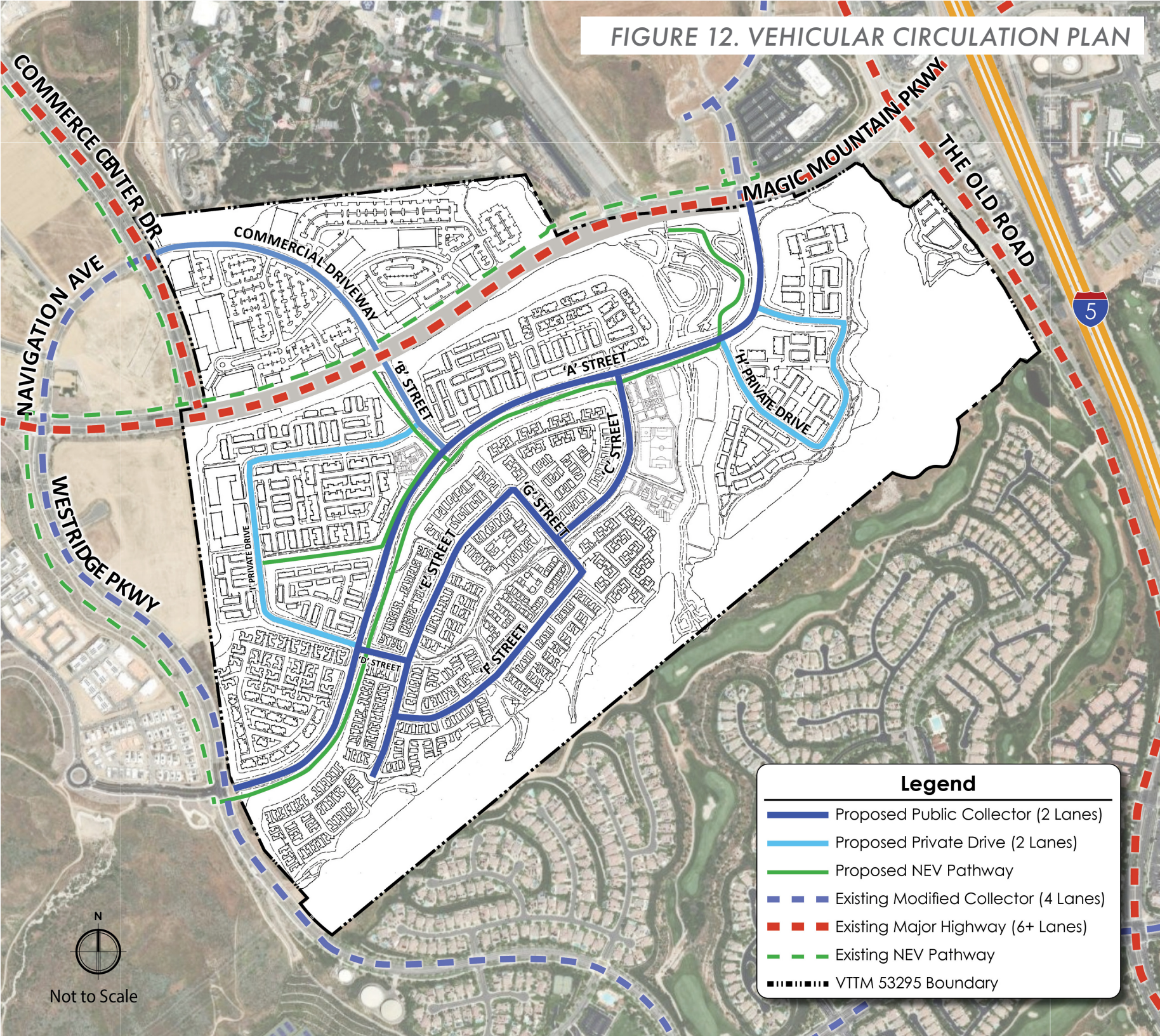
2.7 Mobility and Street Sections

The proposed circulation system for Entrada South would enhance access to adjacent communities and the regional transportation system. The interior roadway system includes a hierarchy of public and private roadways, as well as a network of pathways for neighborhood electric vehicles that provide connectivity within each neighborhood, while also supporting alternative modes of transportation and connection to public bus stops.

Regional access to Entrada South is provided from I-5 to the east and SR-126 to the north. The primary east/west route through the site is Magic Mountain Parkway which is classified as a major highway. The Old Road and Commerce Center Drive run in the north/south direction, roughly following the eastern and western boundaries of the development. Westridge Parkway is a 4-lane collector which connects the existing community of Westridge from Valencia Blvd to Magic Mountain Parkway.

Major infrastructure within Entrada South including Magic Mountain Parkway and A Drive will be publicly owned. One or more homeowner associations (HOA's) will be responsible for maintenance of private streets, common open space, and recreation areas. Approximately 2.3 acres of land would be disturbed outside the VTTM area for community-related improvements to connect to adjacent existing infrastructure. These improvements consist of roadway improvements connecting A Drive to Westridge Parkway. Other improvements include a restored stream channel that crosses through the site within Unnamed Canyon 2 and Magic Mountain Parkway.

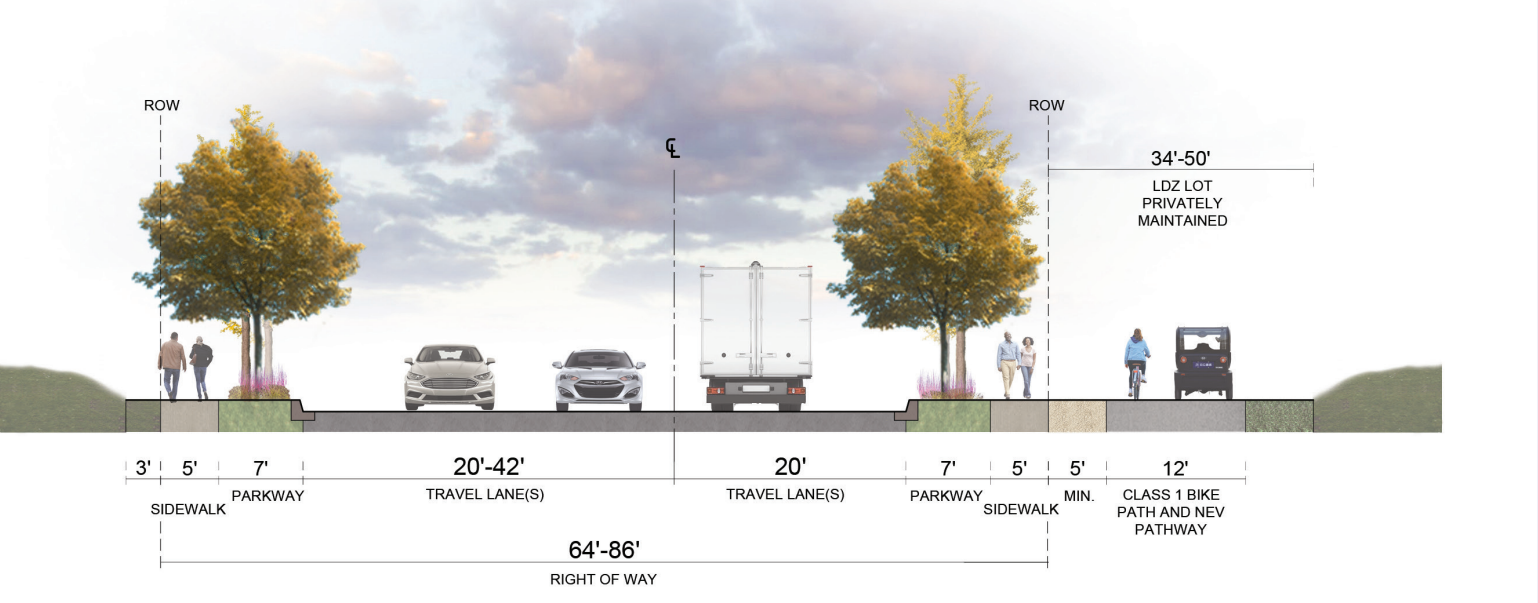
While emphasizing safety and meeting County requirements, street widths have been designed to be as narrow as possible to reduce runoff and maximize groundwater recharge. Refer to Figures 13A-13B, Street Sections for proposed street and sidewalk widths.



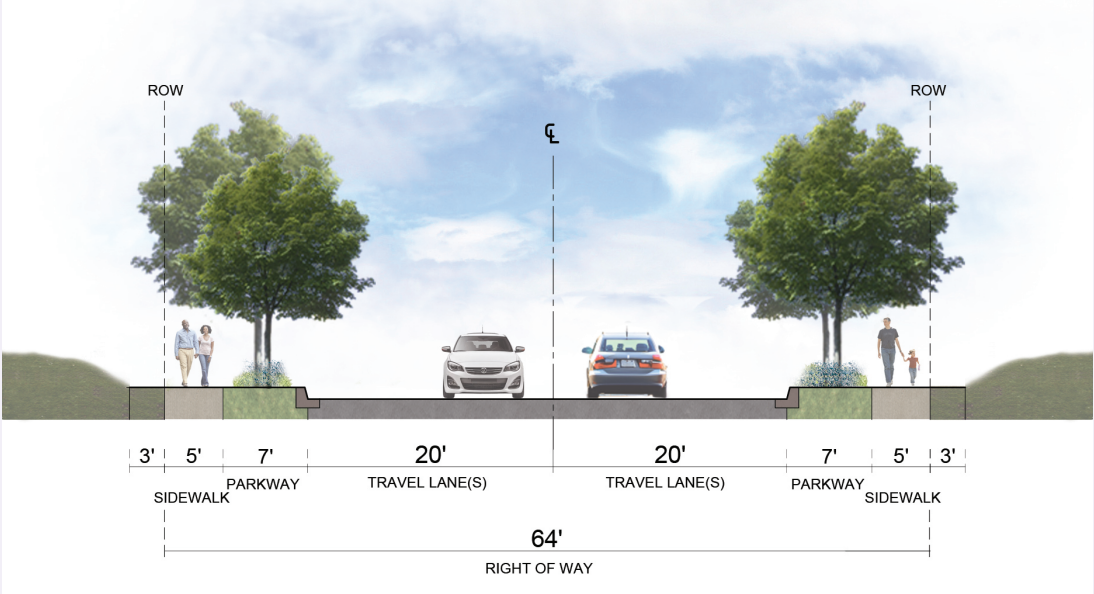
EXAMPLES OF STREETS



FIGURE 13A. STREET SECTIONS

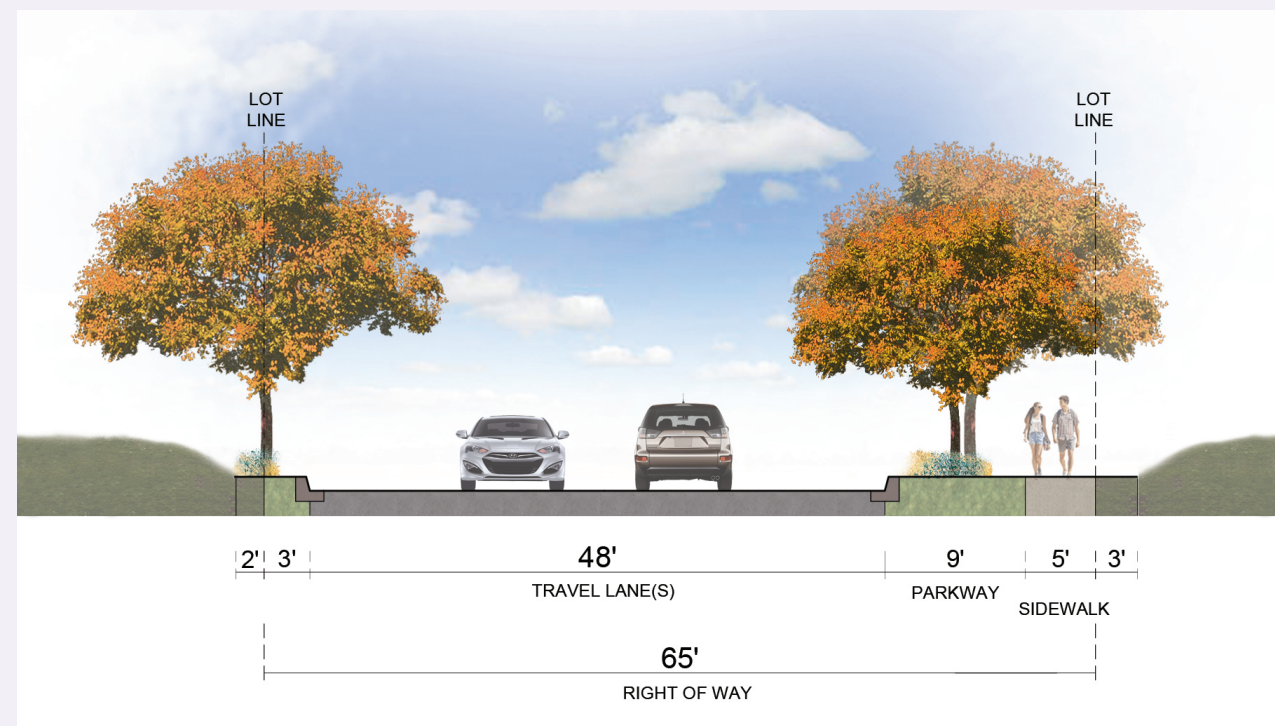


▲ RESIDENTIAL COLLECTOR WITH NEV/BIKE PATH

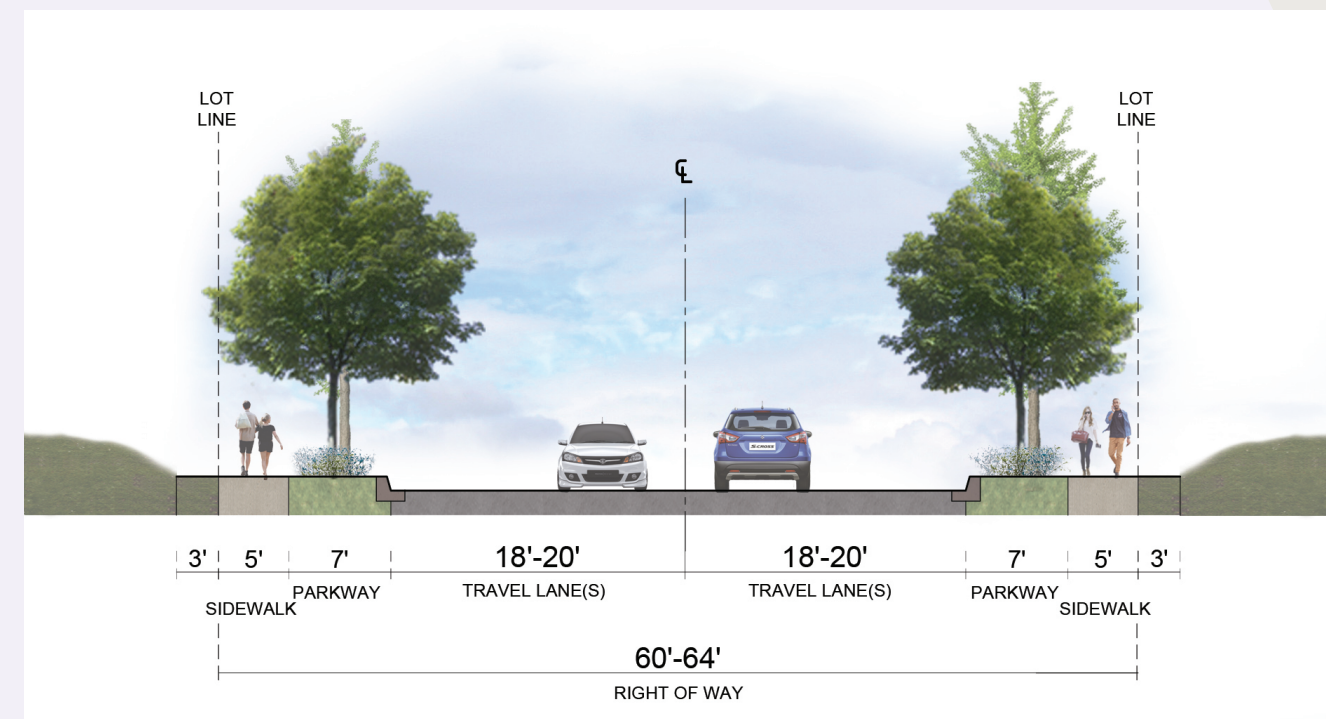


▲ RESIDENTIAL COLLECTOR

FIGURE 13B. STREET SECTIONS



▲ COMMERCIAL DRIVEWAY



▲ PRIVATE DRIVEWAY/FIRE LANE

2.8 Conceptual Entries, Signage, and Monumentation

Project signage would be limited primarily to ground-level and wayfinding pedestrian/vehicular signage and building identification signage. Project signage would be in keeping with the character of other nearby residential communities and commercial districts, and any associated lighting would be kept to the minimum sufficient to provide visibility and interest without creating bright light spots or light spillover.

A major Westside Communities monumentation is proposed along Magic Mountain Parkway at the corner of the proposed commercial development. Five entry monumentations are proposed at various intersections and entry points into the commercial and residential developments, as depicted in Figure 14, Conceptual Monument Locations.

These locations are conceptual, and may change in number and in location during the final design process.



EXAMPLES OF ENTRY MONUMENTS



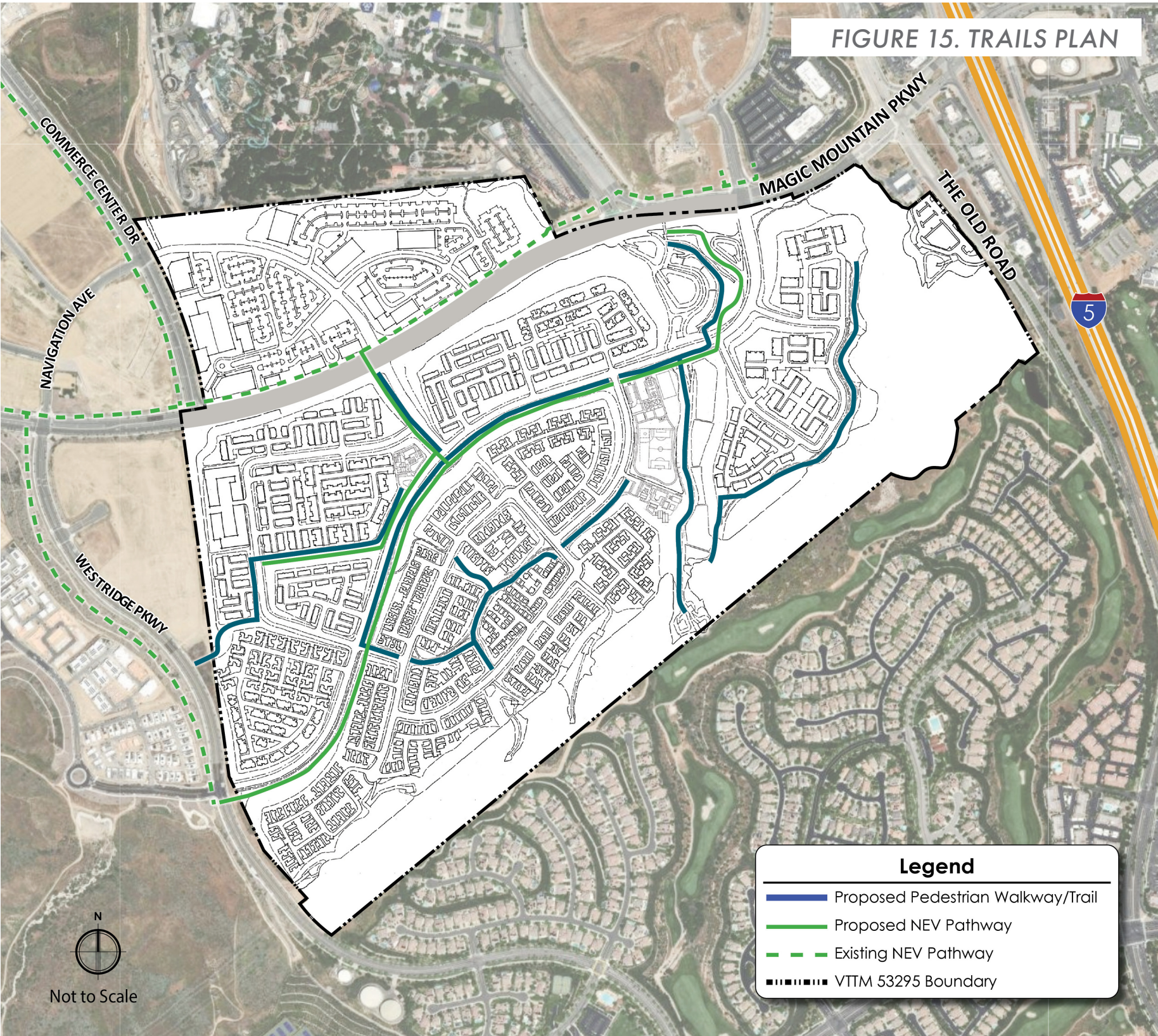
2.9 Trail System

An outstanding amenity of Entrada South is the vast, interconnected trail system which provides access to all major on-site amenities and linkage to the regional trail system. The proposed trail system includes community trails, neighborhood electric vehicle (NEV)/bike paths, and recreational trails.

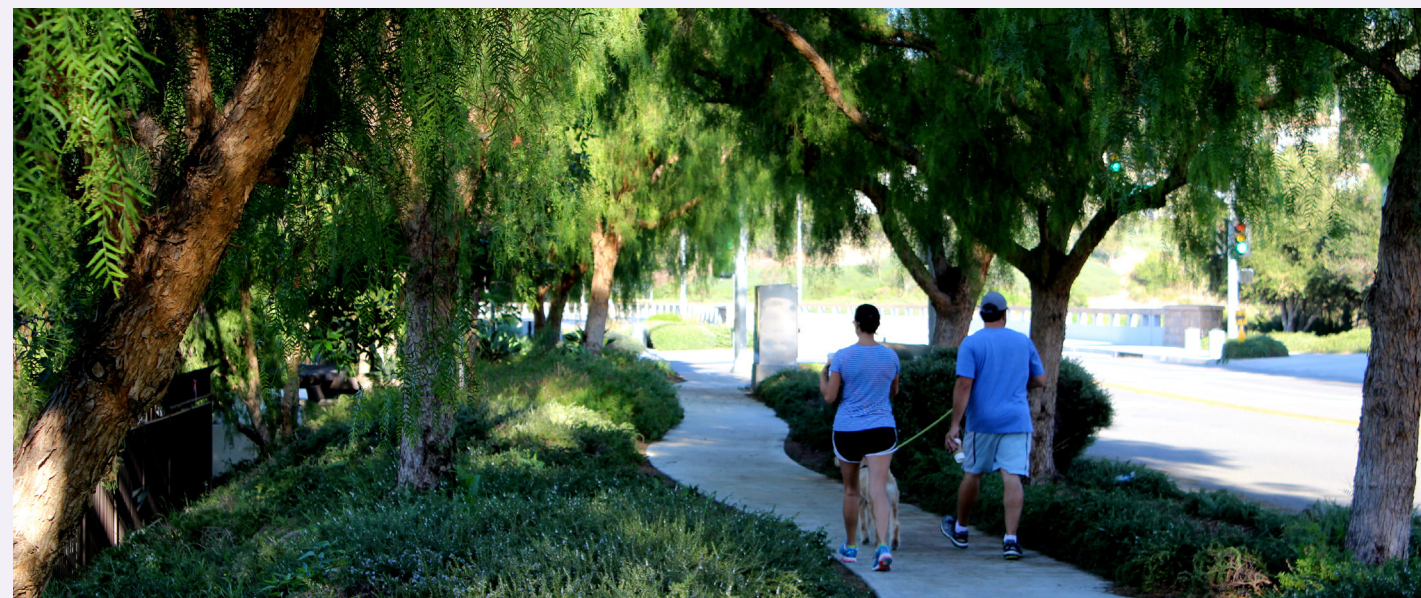
The trails follow the major roadways of Entrada South as a separated route intended to be utilized for bicycles, NEVs, and pedestrians. Connection to the Newhall Ranch Specific Plan trail system to the west and the Westridge community to the south is provided by existing community trails which extend along one side of Magic Mountain Parkway, Westridge Parkway, and Commerce Center Drive.

The trail system in and around the site would connect to an extensive system of continuous trails within Mission Village and other communities to the west, future planned bike lanes along The Old Road consistent with the County's Bicycle Master Plan to the east, and existing trails within the City of Santa Clarita to the east.

Recreation trails provide off-street neighborhood access to open space for bicyclists and pedestrians and may or may not be paved. Located throughout the southern portion of the site, recreational trails connect the commercial center to the north and the single family area to the south and also include the Arroyo Trail which links a major open space area to the restored stream channel.



EXAMPLES OF TRAILS



2.10 Open Space and Recreation

Open space amenities are integrated throughout Entrada South, creating an enhanced experience for residents, visitors and those who are employed within the community. Parks, recreational centers, open space and preserved areas total 156.5 acres, over one third of the area. All major amenity areas are interconnected through the trail system, bringing recreation facilities within easy access of all community residences.

A 5.4-acre neighborhood park will include facilities for active and passive uses including a multi-purpose field, children’s play area, a basketball court, and open turf areas. Additional amenities within the park may include a restroom building, group picnic pavilion, and individual picnic areas with barbecues, hot coal receptacles, trash containers, drinking fountains, and benches.

Two private recreation centers are planned within the single family neighborhoods of Entrada South, totaling 4 acres. Each will include amenities such as a pool and spa, wading pool, shade structure, restrooms, and barbecue areas. Smaller recreation areas will be located within the multifamily neighborhoods and may contain facilities such a pools, tot lots, and play areas.

A 28 acre area in the southeast portion of the Entrada South site has been dedicated as a Spineflower Preserve. The preserve boundaries have been configured to ensure the continued existence of the species in perpetuity. A recreational trail is located at the perimeter of the preserve to enhance observation and appreciation of the open space.

1 NEIGHBORHOOD PARK



FIGURE 16A. OPEN SPACE AND RECREATION CONCEPT

2 WEST RECREATION CENTER (PRIVATE)

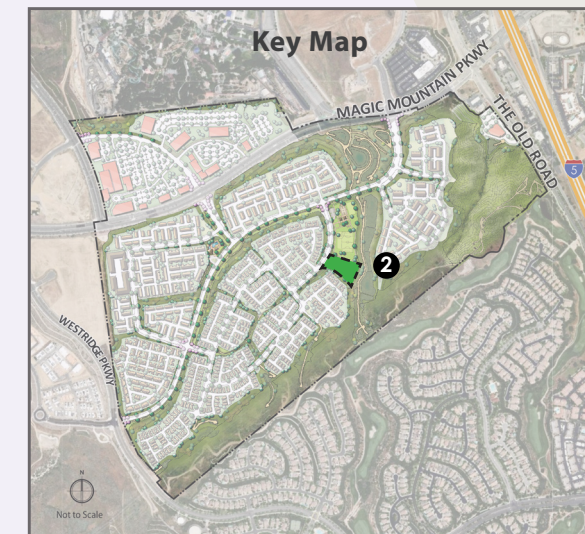


FIGURE 16B. OPEN SPACE AND RECREATION CONCEPT

3 EAST COMMUNITY RECREATION CENTER

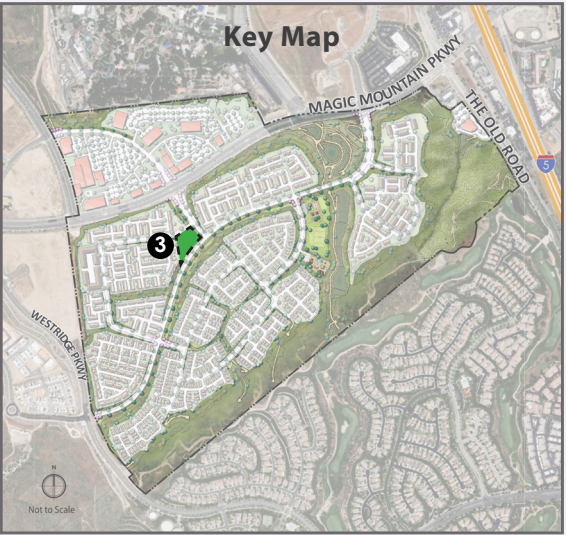
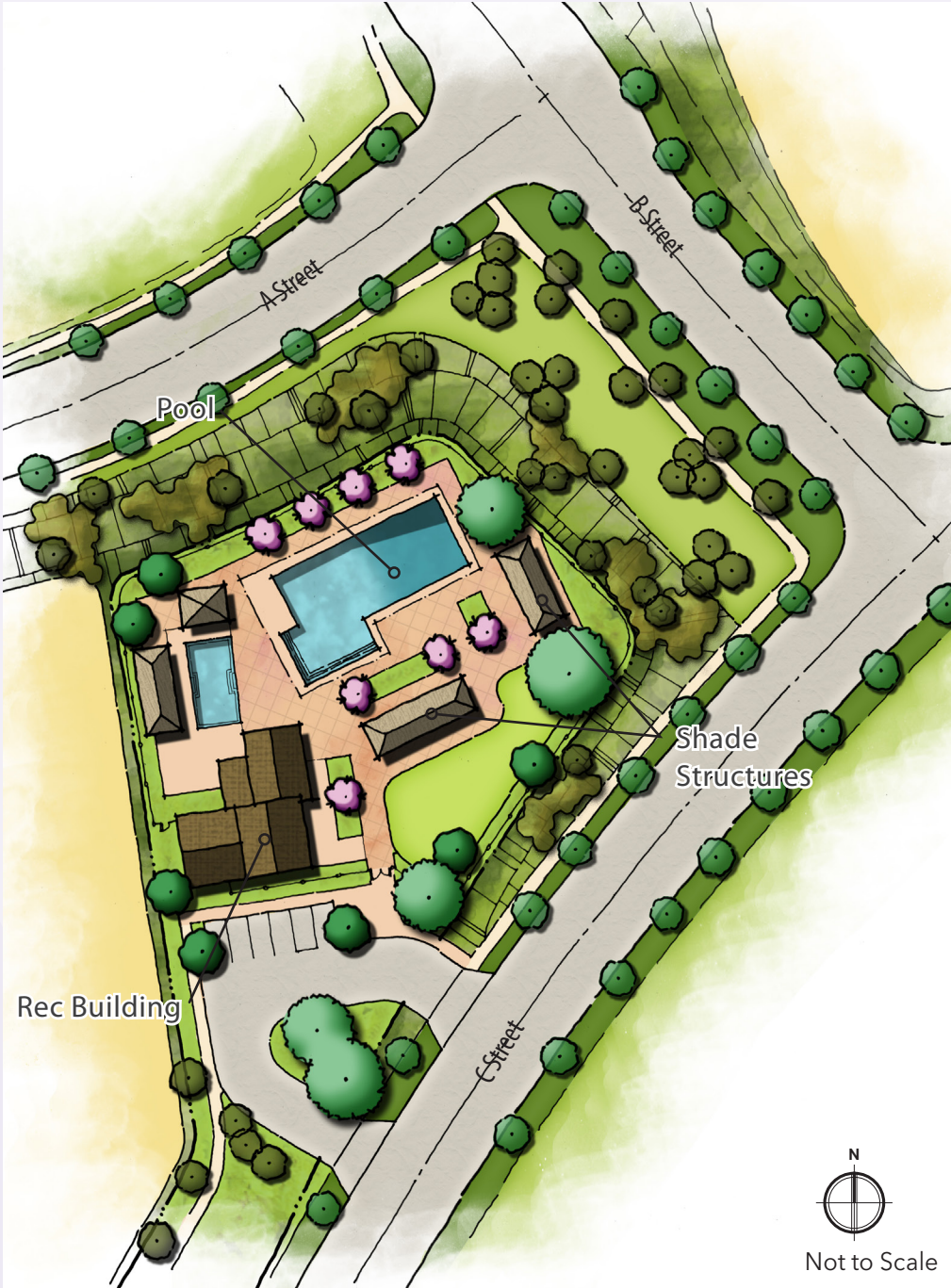
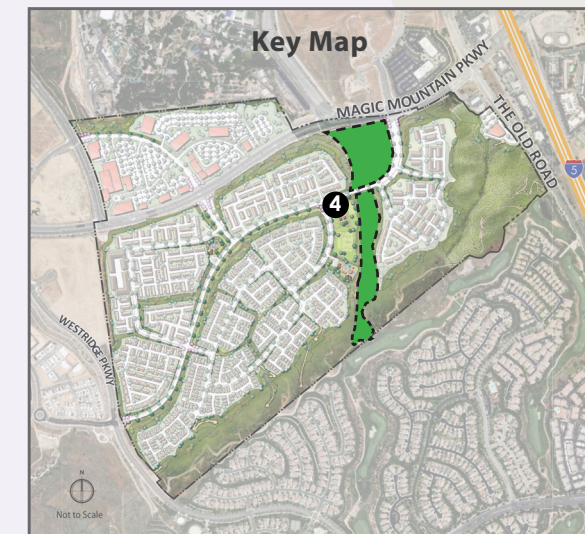


FIGURE 16C. OPEN SPACE AND RECREATION CONCEPT

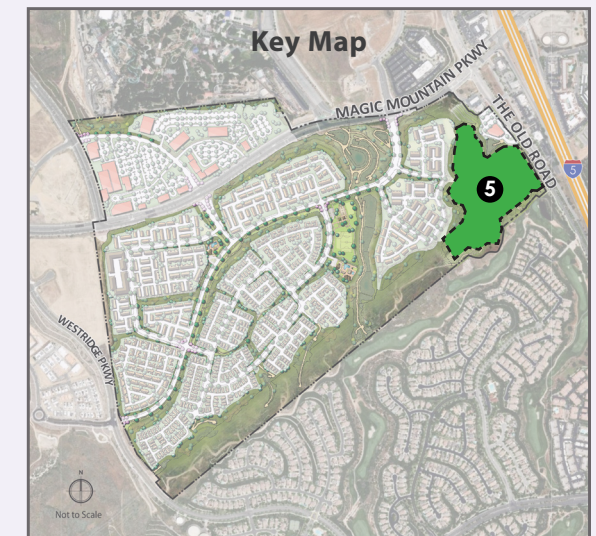
4 ARROYO TRAIL



TYPICAL TRAIL ALONG AN ARROYO

FIGURE 16D. OPEN SPACE AND RECREATION CONCEPT

5 SPINEFLOWER PRESERVE



SPINEFLOWER PRESERVE SITE AREA

FIGURE 16E. OPEN SPACE/SPINEFLOWER PRESERVE



2.11 Net Zero GHG Community

In 2016, Newhall Land proposed to make Newhall Ranch the first community in the United States of its scale to achieve net zero emissions of greenhouse gases from both construction and operation. Subsequently, the State of California (specifically, the California Department of Fish and Wildlife) completed a comprehensive Environmental Impact Report and adopted 13 mitigation measures that apply to Entrada South (as well as Valencia Commerce Center and other nearby Newhall villages) to reduce the community's greenhouse gas emissions to net zero.

The County of Los Angeles imposed the same 13 mitigation measures to reduce greenhouse gas emissions to net zero at Newhall Ranch in connection with its re-approval of the Landmark Village and Mission Village communities within the Newhall Ranch Specific Plan area.

Designed in collaboration with the California Air Resources Board, the State expert agency on climate change, Net Zero GHG Community represents a new standard of environmental sustainability and a lasting investment in the future. The program involves implementation of the measures, including the following:

1. Greenhouse Gas Reduction within Entrada South:

- » Homes, commercial buildings, private recreation centers and public facilities will be designed to achieve zero net energy, and thereby be designed to integrate enhanced energy-efficient design and renewable energy generation technology.
- » The Newhall Ranch Transportation Demand Management Plan will be implemented to reduce vehicle miles traveled and associated tailpipe emissions. Components of the Transportation Demand Management Plan include, but are not limited to, car-share and bike-share programs; transit fare subsidies; and tech-enabled mobility platforms.
- » Electric vehicle charging stations will be installed in on-site commercial and development areas.





2. Greenhouse Gas Reduction within Los Angeles County:

- » In partnership with Climate Resolve, a leading nonprofit group dedicated to combating climate change, a building retrofit program will be implemented to improve the energy efficiency of existing buildings in disadvantaged communities within the County.
- » Electric vehicle charging stations will be installed in publicly accessible locations countywide and within the SCAG region.

3. Greenhouse Gas Reduction outside of Los Angeles County:

- » The Newhall Ranch GHG Reduction Plan will be implemented to fully offset all remaining greenhouse gas emissions to net zero through activities that directly reduce/sequester emissions. Potential examples of such activities include forest preservation for carbon sequestration in California and elsewhere.
- » A methane capture program to reduce emissions at California dairy farms and elsewhere.



2.12 Site Specific Sustainability

In addition to implementing the net zero greenhouse gas emissions program, the project will incorporate many other environmentally sustainable practices, including:

1. Locate Development Near Existing Infrastructure.

The location within a planned urbanized area directly adjacent to regional transportation and transit areas avoids construction of unnecessary infrastructure and utilization of undue natural resources.

2. Provide a Mix of Land Uses.

Single family, multi-family, commercial, institutional, recreational, and open space uses are included within close proximity to each other.

3. Provide Jobs in Proximity to Homes.

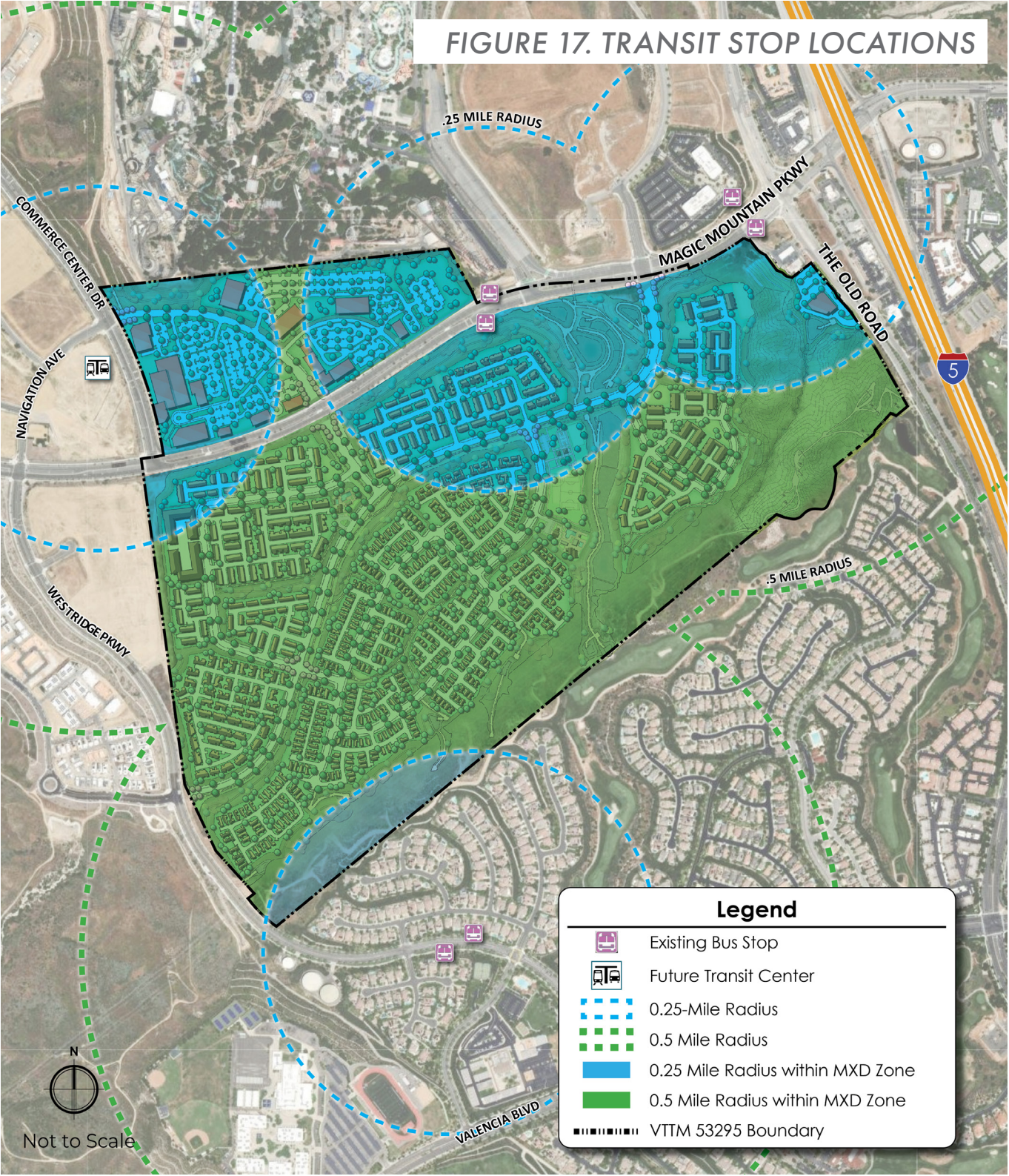
Upon completion, Entrada South will include a jobs/housing balance, providing the opportunity for residents to work close to home and minimize vehicle miles traveled.

4. Create Walkable Neighborhoods.

The extensive trail system brings homes within convenient walking or biking distance of all site features, connecting jobs, shopping, parks, and recreation facilities to residences.

5. Encourage Alternative Transportation Methods.

The Newhall Ranch Transportation Demand Management Plan, as discussed above, provides a comprehensive mechanism to encourage alternative modes of transportation for the community’s residents, employees, students and visitors. Relatedly, an extensive trail system promotes walking and biking within Entrada South, and will reduce reliance on the automobile and vehicular trips. Two existing bus stops along Magic Mountain Parkway, as well as the community’s proximity to the mobility hub within Mission Village, will provide access to the regional public transportation system (refer to Figure 17, Transit Stop Locations).





6. Promote Green Building Practices.

A comprehensive green building design program will be implemented to design commercial buildings to zero net energy buildings. The community will also comply with the Los Angeles County Green Building Standards Code which includes water efficiency and conservation, waste diversion, and tree planting requirements.

7. Preserve Sensitive Resource Areas.

The 27.2-acre Spineflower Preserve area in the southeast corner of the site will be a designated conservation area, incorporating a permanent protection and management system designed to maximize the long-term persistence of the San Fernando Valley Spineflower, a federal candidate and state-listed endangered plant species.

8. Minimize Impermeable Surfaces.

Pavement area will be reduced by utilizing minimized street widths, and incorporating pervious or unpaved surfaces where possible, reducing the effects of urban runoff.

9. Conserve and Re-use Water.

Recycled water from the Valencia Water Reclamation Plant will be used for irrigation of community areas when available. A minimum of 75% of the landscaped area will contain plant materials from the Los Angeles County Drought Tolerant Plant List. Native materials will be used near open space areas to complement existing vegetation.

10. Stormwater Management.

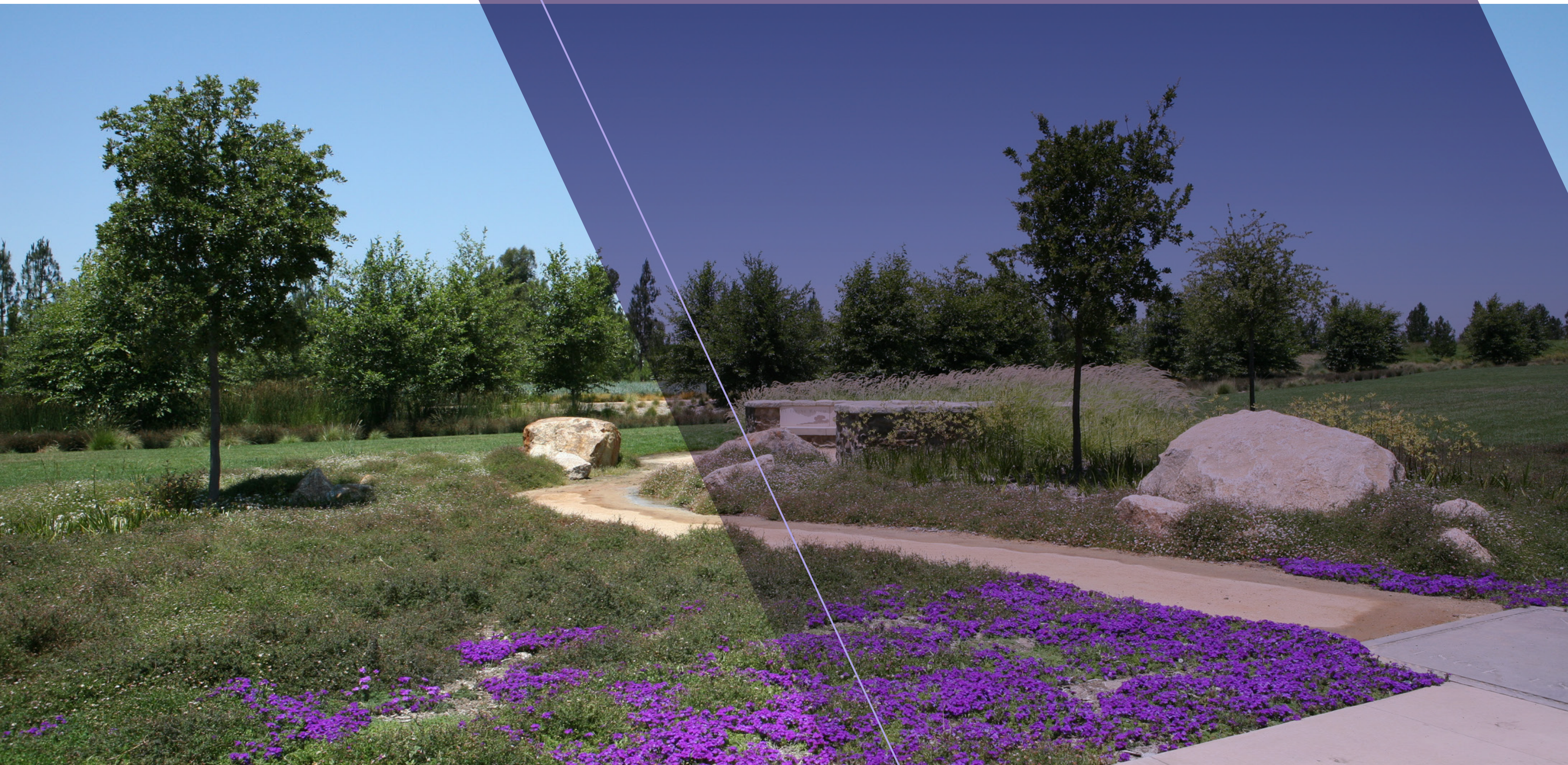
Stormwater management will conform to the current Los Angeles County Low Impact Development Standards Manual. Parking lot and roof runoff in commercial areas will be directed to landscape parkways or porous pavement areas to provide infiltration and stormwater quality treatment.



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Chapter Three

Implementation



3.1 Infrastructure and Utilities

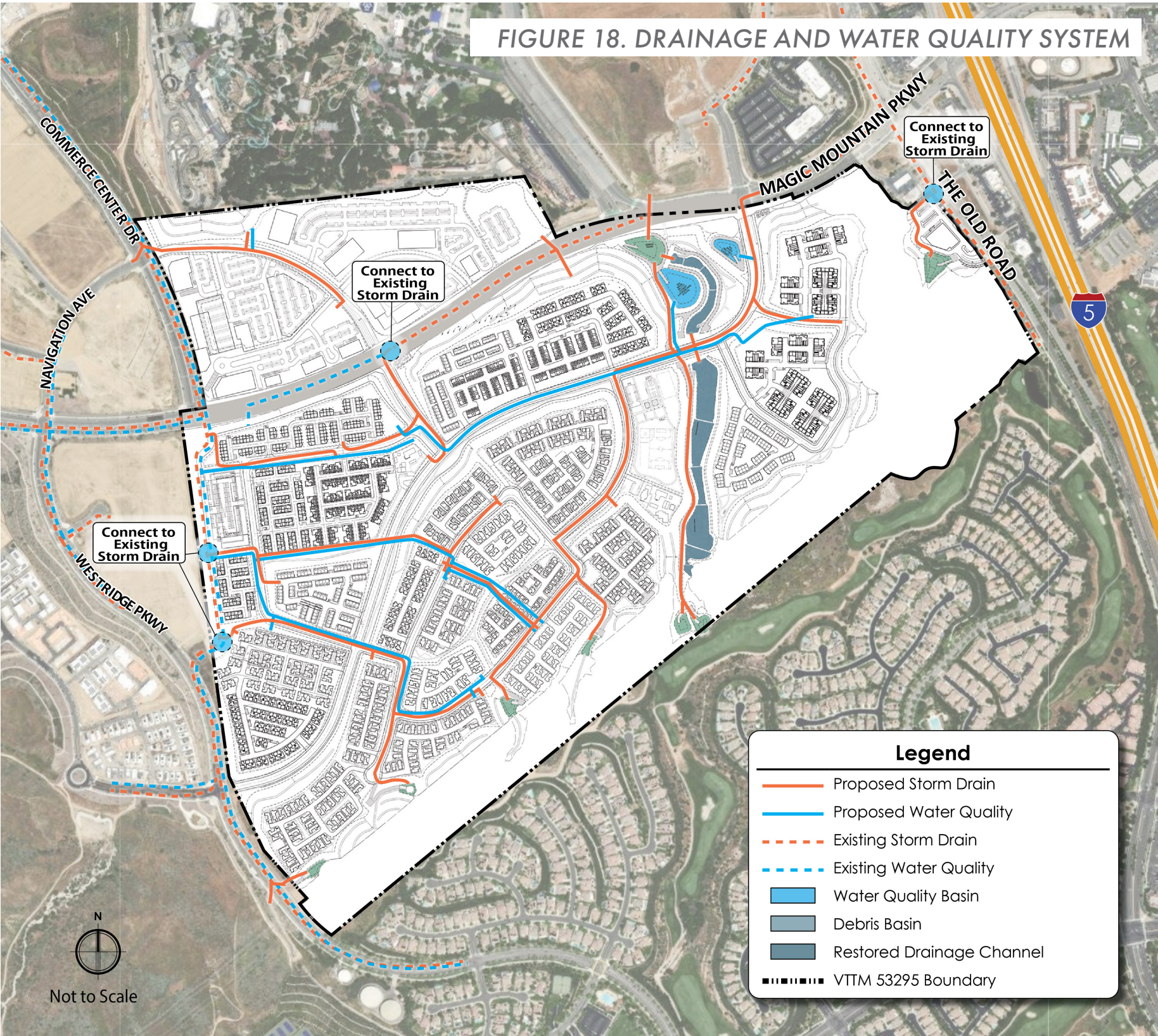
Facilities and infrastructure proposed within VTTM 53295 would include roads and trails, potable and recycled water systems, a sanitary sewer system, dry utilities systems, and drainage and water quality improvements.

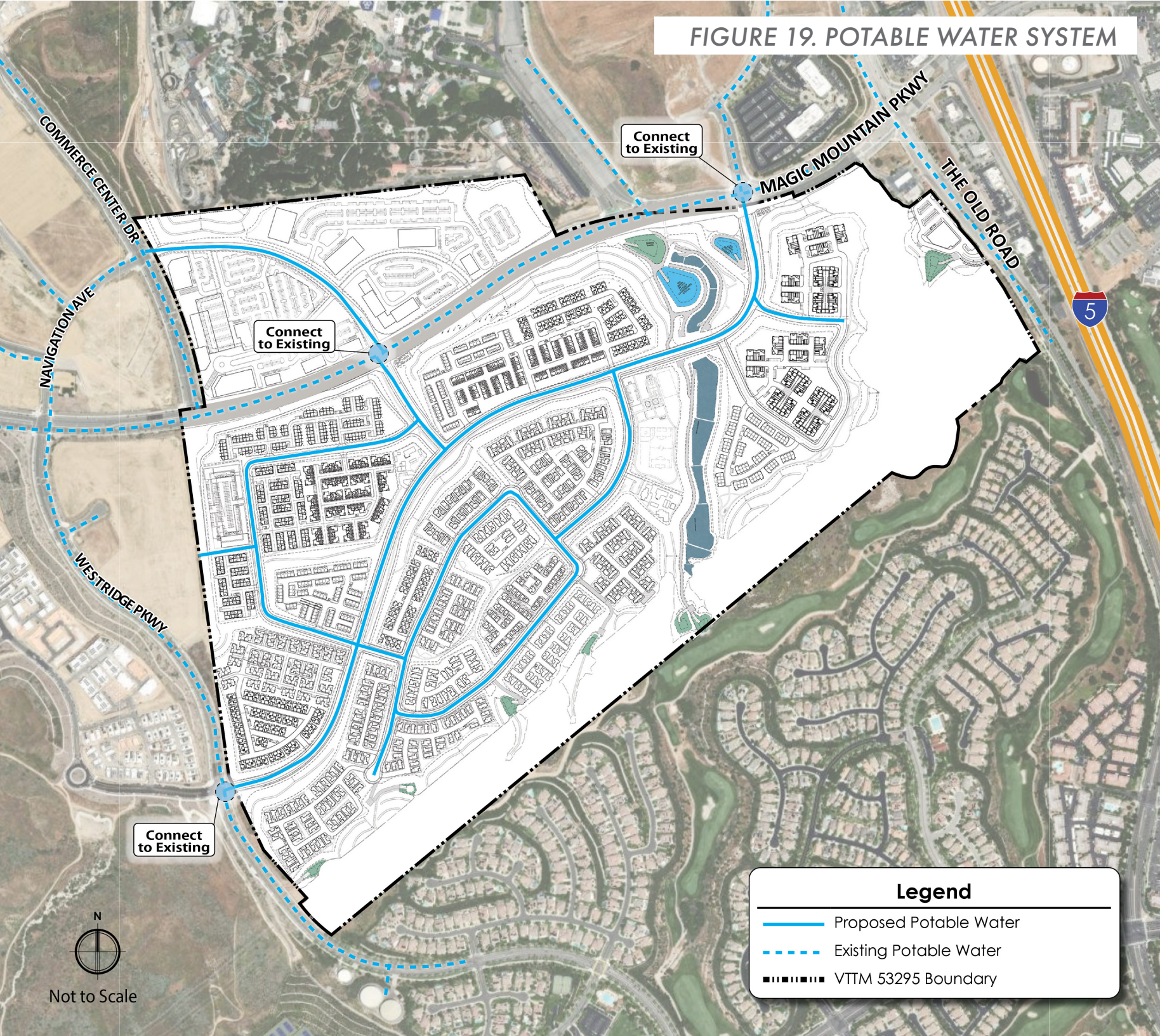
3.1.1 DRAINAGE AND WATER QUALITY

A comprehensive drainage and flood protection system has been designed for Entrada South to maintain storm flows from the community during and after buildout at a level approximately equal to pre-development conditions. The tributary drainage area for the site encompasses 1,300 acres composed of four drainage subareas which drain independently into existing concrete channels or box culverts toward the Santa Clara River.

Best Management Practices (BMPs) have been incorporated to address site design, source control, treatment control, and hydromodification control. On-site surface runoff is to be intercepted by curb inlets and debris and/or desilting basins and conveyed to a storm drain network leading to a series of treatment facilities prior to discharge into the existing storm drainage system leading to the Santa Clara River.

Parking lot and roof runoff within commercial areas will be directed to landscaped parkways or porous pavement to provide initial treatment before discharge into the storm drainage system. Other improvements include conveyance of runoff through underground pipes and installation of energy dissipaters which reduce the velocity of runoff to protect downstream areas from erosion.





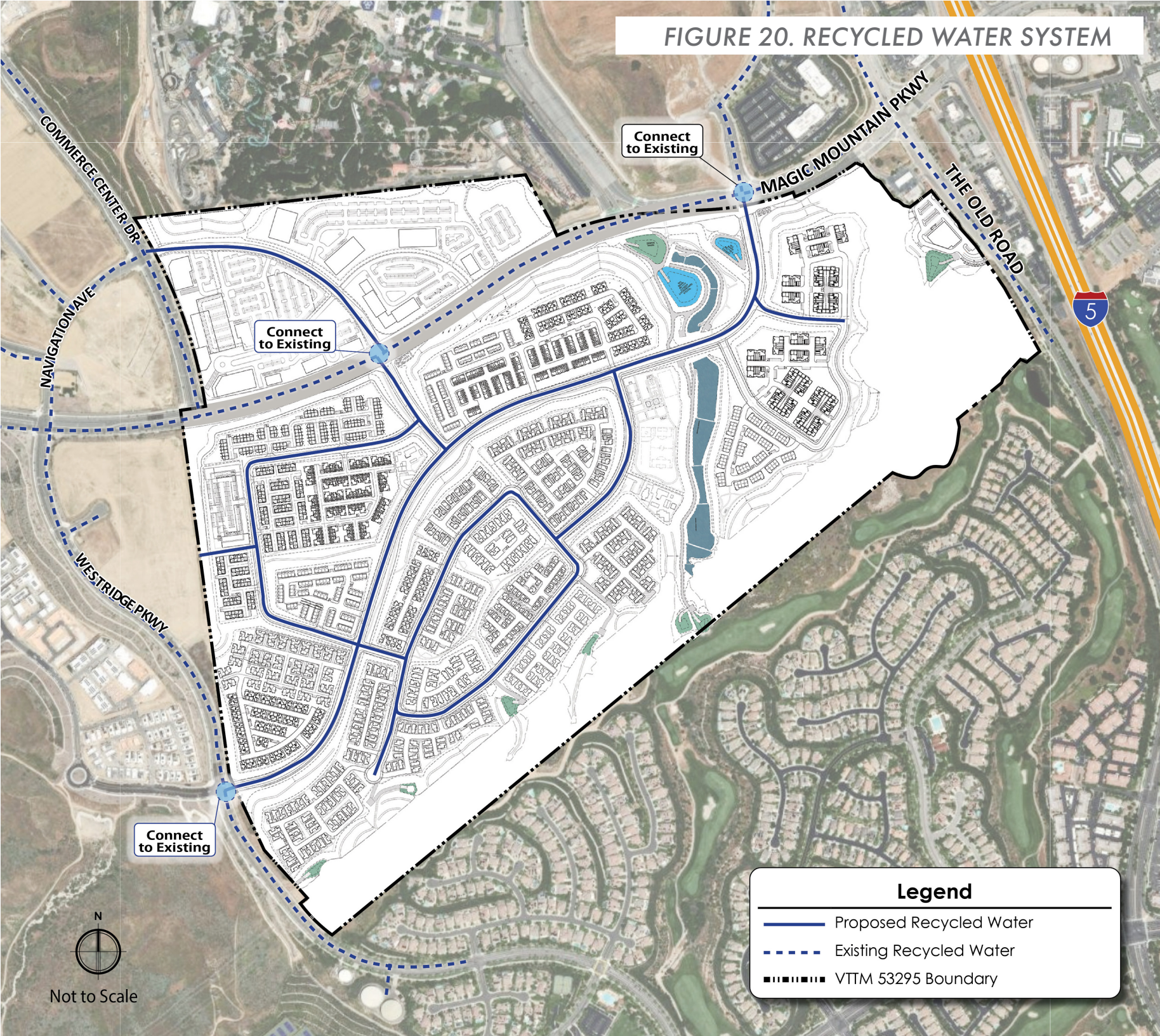
3.1.2 POTABLE WATER

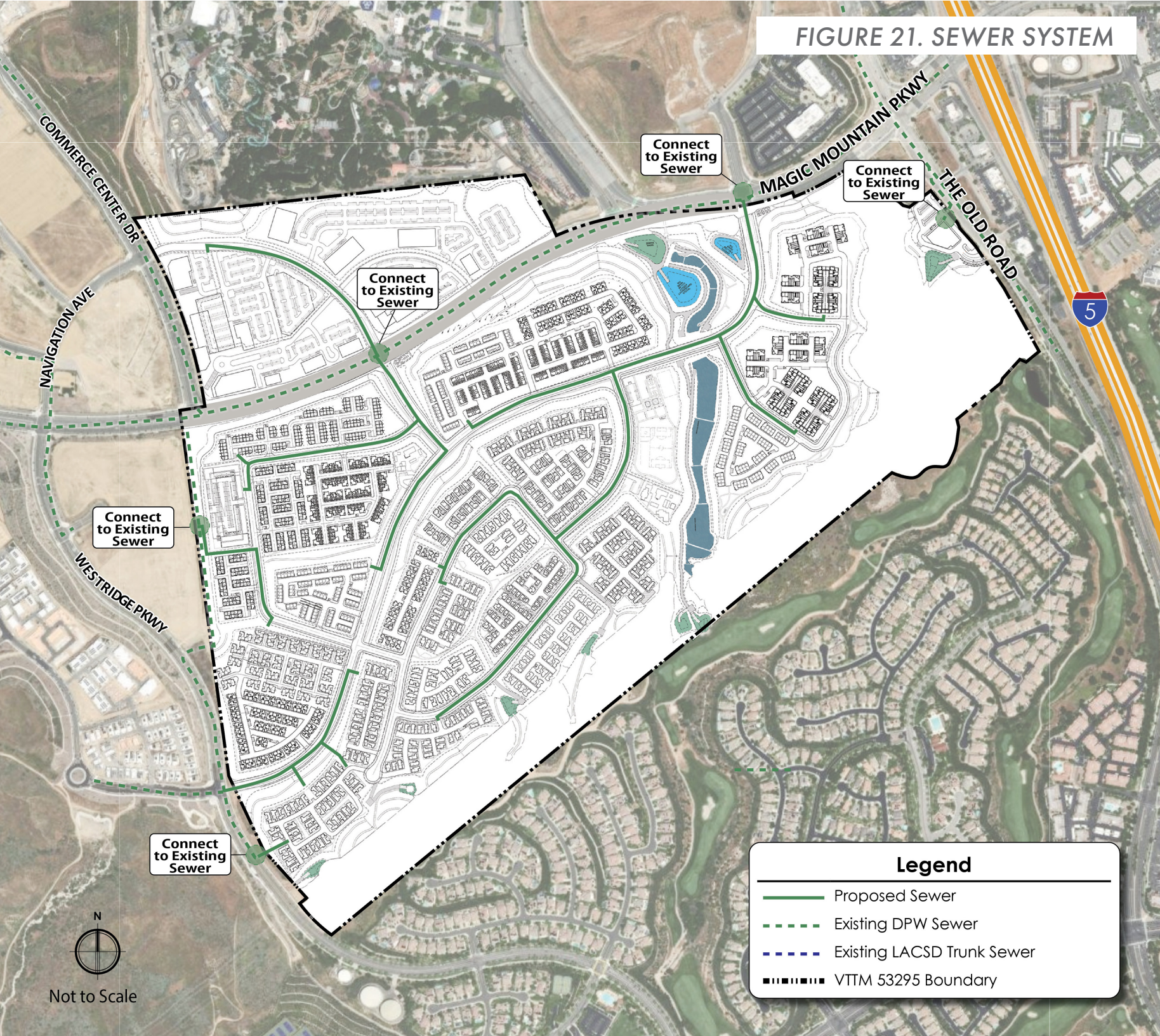
The Santa Clarita Valley Water Agency’s Valencia Water Division will provide potable water to Entrada South. An intricate system of water lines, booster pumps, and pressure-reducing valves will convey water to the community from existing water tanks. The site is located within Zone 2 and Zone 3 water pressure zones which will be served by existing infrastructure.

3.1.3 RECYCLED WATER

Entrada South relies on recycled water from the Valencia Water Reclamation Plant (WRP) for irrigation of community landscape areas. Located along The Old Road, the WRP will supply water to a separate recycled water storage and distribution system. As shown in Figure 20, Recycled Water System, the site is located within Zone 2 and Zone 3 of the existing Valencia Water Division’s recycled water pressure zones.

Existing recycled water lines within Magic Mountain Parkway and Westridge Parkway will be extended to serve the community. Booster pumps and/or pressure-reducing valves will connect the system and provide service within the zones. The existing and proposed infrastructure will have sufficient capacity to deliver the quantity of recycled water required to serve the irrigation needs of the community.





3.1.4 SEWER

The Santa Clarita Valley Sanitation District and the Valencia WRP will serve the treatment of wastewater for Entrada South. The community's wastewater system consists of a series of gravity sewers (maintained by LA County Public Works) connecting to the existing trunk sewer line in Magic Mountain Parkway (maintained by the Santa Clarita Valley Sanitation District). The trunk line will flow into the existing trunk sewer line within The Old Road, which then flows northerly into the Valencia WRP. Planning Area 14 will connect to an existing Los Angeles County Department of Public Works local sewer line within The Old Road which ties into the existing trunk sewer line also within The Old Road.

The proposed sewer system will be designed and constructed in accordance with the standards, criteria, and requirements set forth by the County Sanitation Districts, Valley Sanitation District, and/or County Public Works as applicable, with ongoing maintenance by each public agency as needed.

3.2 Development Standards

The following is a summary of the development standards that builders are required to adhere to. Specific development standards are found in the LA County Municipal Code, Title 22 (Planning and Zoning), Division 3 (Zones), Chapter 22.20 (Commercial Zone) for the C-3 Zone (General Commercial) and Chapter 22.26 (Special Purpose Zones) for the MXD zone (Mixed Use Development), and Division 6 (Development Standards).

C-3		MXD	
Commercial		Residential	Mixed Use
Lot Coverage	Maximum net: 90%	N/A	
FAR	2.0	At least 2/3 of the square footage of the mixed-use development shall be designated for residential use.	3.0
Building or Structure Height	Maximum: 13x buildable area	Maximum: 65' Abutting Zone R-1 or R-2: Maximum 45' at the edge of the building wall facing the common lot line, and shall be recessed back 1' for every 1' increase in building height, up to a maximum height of 65'	
Landscaping	Minimum required: 10% of the lot (Required landscaping shall consist of shrubbery, flowers, or trees and shall be continuously maintained in good condition. Incidental walkways may be developed in the landscaped area)	Minimum required: 5% of the lot (Required landscaping shall consist of shrubbery, flowers, or trees and shall be continuously maintained in good condition. Incidental walkways may be developed in the landscaped area)	
Front Yard	N/A	N/A	
Side Yard	N/A	Abutting Zone R-1 or R-2 lots: Minimum 15' (The requirement does not apply if the side or rear lot line of the property in Zone MXD is separated from Zone R-1 or R-2 by a highway, street, alley, or an easement of at least 20' in width)	
Corner Side Yard	N/A	N/A	

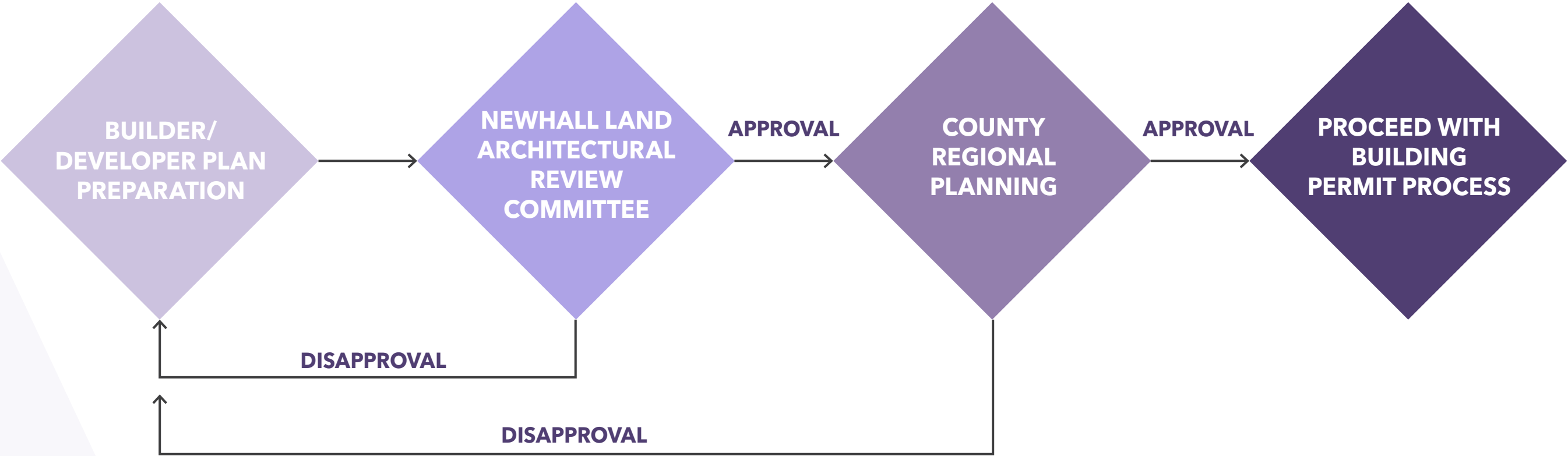
C-3		MXD	
Commercial		Residential	Mixed Use
Corner Side Yard - Reversed Corner Lot	N/A	N/A	
Interior Side Yard	Abutting Residential or Agricultural zones: 5' where no building exceeds two stories in height; or 5' plus 1' for each story that exceeds two stories, except the maximum required side yard depth is 16 feet.	N/A	
Rear Yard	Abutting Residential or Agricultural zones: 15'	Abutting Zone R-1 or R-2 lots: Minimum 15' (The requirement does not apply if the side or rear lot line of the property in Zone MXD is separated from Zone R-1 or R-2 by a highway, street, alley, or an easement of at least 20' in width)	
Ground Floor Retail	N/A	N/A	- Width of the street-facing retail component of the ground floor within a mixed use development: Min. 20' - Floor-to-ceiling height of the ground floor for a street-facing retail component of a mixed use development: Min. 14'
Additional Parking Standards	N/A	Number of required vehicle parking spaces need to comply with Chapter 22.112 (Parking), but may be reduced by up to 25%.	

3.3 Development Plan Review Process

The Los Angeles County Department of Regional Planning will oversee the site development plan review and approval process required for construction of any building within Entrada South. The preliminary process from plan preparation to building permit submittal is outlined in the flow chart below.

Once a preliminary design package for a development area has been prepared, the builder will first submit plans to the Newhall Land Architectural Review Committee. The submittal package will be either approved or sent back to the builder for plan revisions. Once approved by the Architectural Review Committee, the package will be submitted to the Los Angeles County Regional Planning Department for preliminary approval, then the builder will proceed with the final building permit process.

3.3.1 DIAGRAM OF DEVELOPMENT REVIEW PROCESS



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