

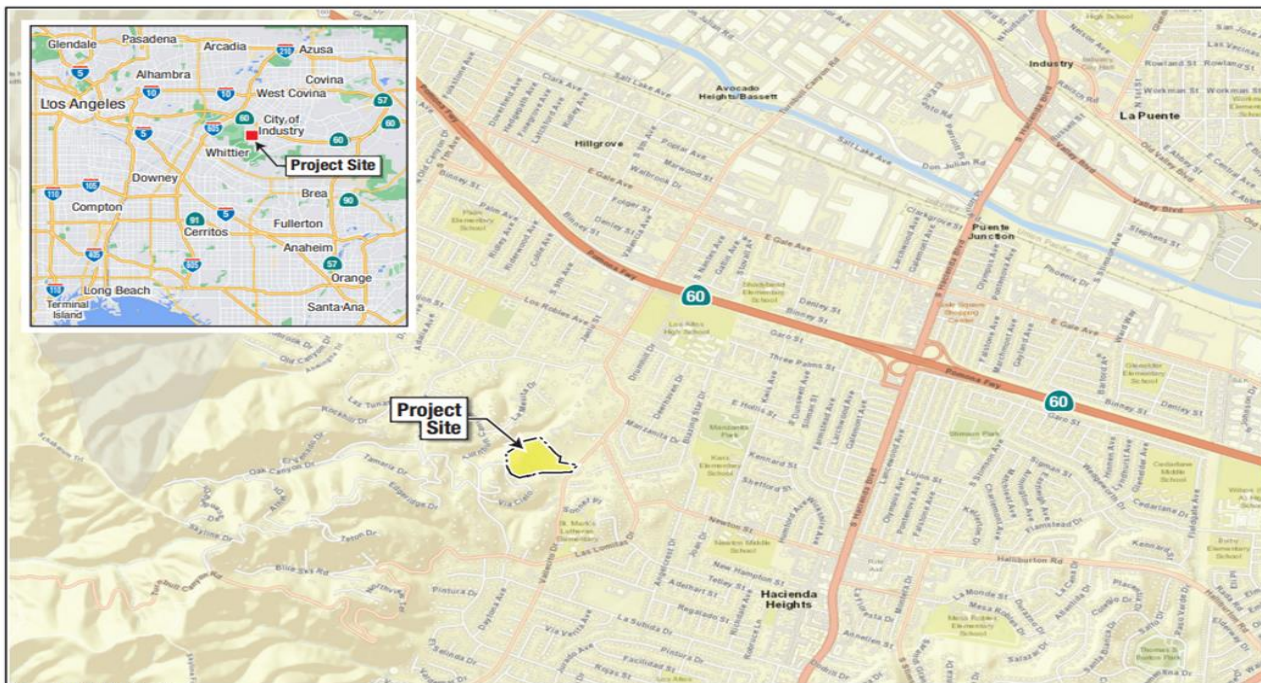
NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION
FOR BARRERA HACIENDA HEIGHTS
PROJECT NO. 04-035-(1)
TENTATIVE TRACT MAP NO. 060973
CONDITIONAL USE PERMIT NO. RCUP-200800169
OAK TREE PERMIT NO. RPPL2021002541
ENVIRONMENTAL PLAN NO. RPPL2021002622

In accordance with Section 15072 of the California Code of Regulation, Title 14, this notice serves to inform the public, responsible agencies, and trustee agencies as well as the County Clerk office within which the proposed project is located, that the Los Angeles County Department of Regional Planning (“LA County Planning”), acting in the capacity of “Lead Agency” under the California Environmental Quality Act (CEQA) Statue and Guidelines, has prepared an Initial Study (IS) and intends to adopt a Mitigated Negative Declaration (MND) for the following proposed Project:

Project Title: Barrera Hacienda Heights

Public Review Period: The public review period for the proposed Initial Study/Mitigated Negative Declaration (IS/MND) will begin on **Friday, September 6, 2024, and end on Tuesday October 8, 2024, at 12 p.m.**

Project Location: 2027 Vallecito Drive and 2342 Via Cielo, Hacienda Heights CA (APNs: 8221-015-004, 8221-015-052, & 8221-015-053)



Project Description: The Project Site is comprised of three parcels, two of which are currently developed with a single-family home. The Project would subdivide the Site to create a total of ten single-family residential lots with gross areas that range from 43,889 gross (40,005 net) square feet to 92,959 gross (76,262 net) square feet. The Project Site is 12.35 acres in size based on a land survey (Los Angeles County Assessor's Property Assessment Information System notes the Project Site as 12.25 acres). The Project would grade and construct an internal private drive/fire lane originating at Vallecito Drive and ending in a cul-de-sac with an emergency-use gated passage from the cul-de-sac to Via Cielo. The private drive would have ungated access from Vallecito Drive. Construction of the roadway would require retaining walls along portions of the roadway with heights of approximately 6 feet along a segment in the central portion of the Site, and maximum heights of up to 15 feet along a segment near the southern Site boundary.

The Project would allow for the construction of eight new single-family homes, for a total of 10 homes within the subject property. The County is requiring a Conditional Use Permit for development in a hillside management area and for retaining wall heights within the property exceeding the six feet County Code standard. In compliance with Los Angeles County Code Section 22.104.050, more than 70 percent of each lot created within the Project area (approximately 76 percent of the total Project Site) will be retained as open space. The Project would avoid removal of all 29 existing ordinance-size oak trees on the Site and would submit future Oak Tree Permits for changes in encroachments into the protected zones of twelve oak trees. The Project's Grading Plan, which shows the proposed Tentative Tract Map lot divisions, roadway, and home locations.

Grading, consisting of 8,368 cubic yards of cut and 8,425 cubic yards of fill, and construction of the private drive roadway is anticipated to begin after tentative map and final map approval. Construction of three new single-family residences on the new lots created for this subdivision are anticipated to occur at a rate of approximately one home per year for the first three years following completion of the roadway. The construction of homes on the remaining five lots would not be anticipated to occur until unknown dates farther into the future. However, to avoid underestimating potential Project impacts, this evaluation will conservatively assume that the eight new single-family homes will be constructed concurrently following construction of the proposed roadway.

The single-family home footprints are conceptual based on the allowable buildable area of each lot and avoidance of oak trees, as well as the topography and locations where individual driveways could connect to the proposed roadway. The conceptual footprints of the eight new single-family homes have also been designed to accommodate two-story homes that would average approximately 4,600 square feet. The footprint and design of each of the eight homes to be constructed would be determined at the time that applicable permits are requested for each individual single-family home.

The Project will be served by existing utilities including the San Gabriel Valley Water Company and the Los Angeles County Sanitation District No. 15. Project grading for construction of the roadway

and the conceptual home lot footprints would require approximately 11,086.29 cy cut and 11,086.29 cy fill, which would be balanced onsite.

Document Availability: The proposed IS/MND is available for public review at: <https://bit.ly/PRJ04-035>

Public Comments: Any person who wishes to comment on the proposed IS/MND must submit written comments no later than 12 p.m. Tuesday October 8, 2024.

Written comment may be mailed to:

Alejandrina Baldwin
Los Angeles County Department of Regional Planning
320 W. Temple Street, Room 170, Los Angeles CA 90012

Written comments may also be sent by email to abaldwin@planning.lacounty.gov (**preferred method**).

Public Hearing: A public hearing before the Regional Planning Commission is scheduled on **Wednesday, October 9, 2024, at 9:00 a.m.** Visit <https://bit.ly/RPC-hearings> and select hearing date for more information. The lead agency will make a determination on the project following the scheduled public hearing.

Hazardous Waste and Substances Statement: The proposed project site is not on any lists enumerated under Government Code Section 65962.5 including but not limited to lists of hazardous waste facilities, land designated as hazardous waste property, and hazardous waste disposal sites.

Para asistencia en español, por favor de contactar el Departamento de Planning y comunicarse con Alejandrina Baldwin al abaldwin@planning.lacounty.gov.