

SUPPLEMENTAL REPORT TO THE HEARING OFFICER

DATE ISSUED: April 24, 2025

HEARING DATE: May 6, 2025 AGENDA ITEM: 5

PROJECT NUMBER: RPPL2021-004689

PERMIT NUMBER(S): Oak Tree Permit No. RPPL2021011244

Environmental Assessment No. RPPL2024003297

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 849 Madre Street, East Pasadena-East San Gabriel

OWNER/APPLICANT: Sushil and Kamatchi Anand/Larry Lachner

INCLUSIONARY HOUSING

ORDINANCE ("IHO"):

The Project is not subject to the IHO.

CASE PLANNER: Marie Pavlovic, Senior Planner

mpavlovic@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Project Number RPPL2021-004689, Oak Tree Permit No. 202100112244 based on the revised Draft Findings and subject to the revised Draft Conditions of Approval.

Staff recommends the following motion:

CEOA:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND ADOPT THE NEGATIVE DECLARATION FOR THE PROJECT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

ENTITLEMENT(S):

I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NO. 20210011244 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

A. Entitlement(s) Requested

Oak Tree Permit ("OTP") to authorize encroachments into the protected zone of 18 non-heritage oak trees (tree nos. 1, 3, 4, 5, 6, 8, 9, 10, 11, 16, 17, 22, 27, 29, 30, 31, 33, and 34 associated); removal of five oak trees (tree nos. 2, 7, 12, 28, and 32), including two heritage oaks (tree nos. 7 and 12), and limb removal from one non-heritage tree no. 11 to

facilitate construction of a single-family residence ("SFR"), accessory dwelling unit ("ADU"), swimming pool, tennis court, and appurtenant features ("Project") in the R-1-40,000 (Single-Family Residence – 40,000 Square Feet Minimum Required Lot Area) Zone pursuant to County Code Section 22.174.040 (Application and Review Procedures). The other three non-heritage oak trees (tree nos. 2, 28, and 32) are dead and recommended for removal by Board Certified Master Arborist, Chris Falco, in an oak tree report dated September 27, 2024. Review of the SFR and accessory structures will be completed under a separate Site Plan Review (RPPL2021013302) ("related SPR").

B. Project Updates

During the March 18, 2025 public hearing, the Hearing Officer recommended relocation of the tennis court, removal of the southern driveway approach, and for all utilities to be located within one utility trench instead of two. The applicant agreed to modify the Project accordingly and confirmed that the Project will utilize one utility trench. The applicant requested a reduction in the number of replacement plantings. The Hearing Officer expressed being open to a reduced number of replacement plantings if the County's technical experts, the County Forester and Fire Warden ("Forester") and LA County Planning's staff biologist ("County Biologist"), agreed on a suitable alternative. The Hearing Officer also requested to review the revised site plans reflecting one utility trench, the removal of the southern driveway approach, and relocation of the tennis court before continuing the hearing to May 6, 2025.

After the March 18, 2025 public hearing, both the Forester and County Biologist have reviewed and agreed that 10 of the 20 15-gallon replacement trees could be planted off-site. All 20 replacement plantings continue to be subject to the two-year monitoring period by the Forester, whether off- or on-site.

Also attached is a revised Site Plan and revised Findings and Conditions for the Hearing Officer's consideration.

Report Reviewed By:

signed for Michele Bush

nichele Bush, Supervising Regional Planner

Report Approved By:

Susan Tae, AICP, Assistant Deputy Director

Attachments:

- 1. Revised Site Plan
- 2. Revised Draft Findings and Revised Draft Conditions of Approval

New SFR With Attached ADU 849 Madre Street Pasadena CA 91107

Site Data:

Lot Size 60,

Legal Description PM 372-3-4 THAT POR IN TRA 7698 OF LOT 3

Proposed SFR

First Floor 3314 S/F
Garage 792 S/F
2nd Level 3623 S/F

otal 6937 S/F+792 Garage

Non Habitable Covered Areas:

Front Porch 99 S/F
Rear Patio 277 S/F
Breezeway 1166 S/F
Covered Balcony 1 253 S/F
Covered Balcony 2 224 S/F

Accessory Structures

ADU 464 S/F
ADU Garage 485 S/F
ADU 2nd Level 721 S/F
Total ADU 1185 S/F

Proposed Site Data:

Building Height 29'-8"
Bedrooms 8

Fire Sprinklers Yes
Zoning EAST PASADENA - EAST SAN GABRIEL

Covered Parking 6
APN 5377-019-019
Occupancy: R3 / U

Elevator, Pool, Spa, Waterfall, Fire Sprinklers, & Solar Shall be Defered Submittals under Separate Permit Electrical, Mechanical and pluming under Separate permit

Code in Effect:

Construction Type

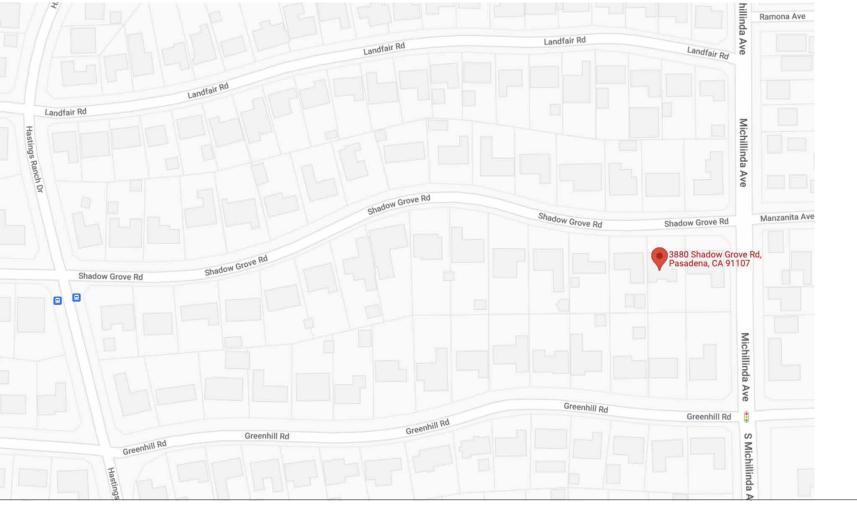
Building Code: 2022 CBC, CPC, CEC, CRC, CMC, CGBC, and 2022 CAl Green Code & 2023 La County Building Code Amendments!

Work Description:

Construct 6937 S/F home with 792 S/F attached Garage Construct 1200 S/F ADU with 485 S/F Garage Construct 40 x 35 Tennis court

<u>Plan Notes</u>

- 1. CALGreen requirements shall be inspected by a licensed third party inspector.
- 2. All Mechanical installers shall be certified
- 3. All NON-COMPLIANT plumbing fixtures within this residence shall be replaced with water-conserving plumbing fixtures." Buildings finale on or after 01/01/94 are exempt from this requirement.
- 4. Stormwater shall be retained on site during construction. See A 1.3 Site Plan for Sandbag location
- 5. Duct leakage testing is required to verify a total leakage rate of less than 6% of the total fan flow.
- 6. Operations and Maintenance Manual is required to be provided to the owner at time of final inspection."
- 7. Fire Sprinklers are required increase to structure by more than 1000 sq.ft.
- 8. Automatic Fire Sprinklers system shall be designed and installed per NFPA 13D, 2022 Edition
- 9. A separate permit is required to be obtained for the fire sprinkler system from Pasadena fire department.
- 10. Sprinkler drawings shall be submitted within 30 days of the issuance of building permit.
- 11. Obtain fire flow test report from the Pasadena Water Department (626) 744-7064 and enclose a copy with building plans resubmit package.
- 12. PROTECTED TREES SHALL NOT BE REMOVED AND/OR IMPACTED
- 13. Approved Address Numbers Placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers hall contrast with background and shall be Arabic number or alphabetical letters and be a minimum of 4" high with a mimum stroke of 1/2" (CRC R319.1)
- 14. All new paved parking areas, circulation aisles, and access are paved with Portland concrete cement
- 15. All New Exterior Mechanical Equipment Shall be Screened or Located out of View from Public Right-of Way (17.40.150.A)
- 16. Curb drains will be per APWA 151 and require a separate permit from the Department of Public Works.



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T24 - 3	Title 24 Specs
T24 - 4	Title 24 Specs

DYNAMO CONSTRUCTORS,INC.

Project Consultants:

Designer:

Dynamo Constructors Inc. 20455 Covina Hills Road, Covina, CA. dynamobuild@yahoo.com (626) 391-1259

Contractor:

Dynamo Constructors Inc. 20455 Covina Hills Road, Covina, CA. dynamobuild@yahoo.com (626) 391-1259

Title 24:

Perfect Design & Engineering 2416 W. Valley Blvd, Alhambra, CA. 91803 (626) 289-8808

Structural Engineer:

PolyTech Consulting, Inc. Recardo R. Garcia, P.E. (C66957) 11520 Jefferson Blvd., STE 226 Culver City, CA 90230

Sushil Anand 504.338.6596

849 Madre Street, Pasadena CA 91107

Cover Page

Project number

Date

Drawn by

Checked by

Project Number

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A 1.1

Scale

1/4" = 1'-0"





COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS **BUILDING AND SAFETY DIVISION**

IVEOIDE
<u>GENI</u>

i. Sliding glass doors and sliding glass windows shall

be capable of withstanding the tests set forth in

Section 6706 and 6707 of the Los Angeles County

Building Code and shall bear a label indicating

compliance with these tests. (BC 6710, 6715)

2. Notching of exterior and bearing/nonbearing walls shall

40% / 60% of its width, respectively.

not exceed 25% / 40% of its width, respectively. Bored

holes in bearing/nonbearing walls shall not exceed

Interior finishes in Group R-3 shall have a flame

spread index of not greater than 200, and a smoke-

developed index not greater than 450. (R302.9)

Provide fire blocking in concealed spaces of stud

walls, partitions, including furred spaces, at the ceiling

and floor level, and at 10-foot intervals both vertical

Ducts installed under a floor in a crawl space shall not

prevent access to an area of the crawl space. Where it

is required to move under ducts for access to areas of

the crawl space, a vertical clearance of 18" minimum

Where flashing is of metal, the metal shall be corrosion

resistant with a thickness of not less than .019 inch

Note on the plans: "Roof diaphragm nailing to be

inspected before covering. Face grain of plywood shall

Subfloors shall have end-matched lumber, have

blocked panel edges, or occur over supports. Floor

interconnected hard-wired with battery backup and

shall be installed in accordance with NFPA 72." (R314)

be interconnected hard-wired with battery backup."

9. Provide a note: "SMOKE ALARM shall be

10. Provide a note: "CARBON MONOXIDE ALARM shall

sheathing shall comply with Section R503.

CONSTRUCTION REQUIREMENTS

and horizontal

shall be provided.

(No. 26 galvanized sheet).

be perpendicular to supports."

GENERAL PROJECT INFORMATION				
PLAN CHECK NO.	DISTRICT NO			
JOB ADDRESS	CITY	ZIP		
	fer to sections of the 2023 edition of the Cou ode (PC), Mechanical Code (MC), Electrica			
INSTRUCTIONS				
The following notes must be included of	on the plans.			

SECURITY REQUIREMENTS

- Exterior doors, doors between house and garage. windows and their hardware shall conform to the Security Provisions of Chapter 67 of the Los Angeles County Building Code (LACBC):
- a. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt key operated from the outside. Deadbolts shall have a hardened insert with 1" minimum throw and 5/8" minimum embedment into the jamb. If a latch has a key locking feature, it shall be dead latch type.
- (BC6709.2) b. Inactive leaf of a pair of doors and the upper leaf of Dutch doors shall have a deadbolt as per paragraph "a", unless it is not key operated from the exterior, or has a hardened deadbolt at top and bottom with 1/2" embedment. (BC6709.3)
- c. Swinging wood door(s) shall be solid core not less than 1-3/8" thick. (BC6709.1.1)
- d. Panels of wood doors shall be 9/16" thick and not more than 300 sq. inches. Stiles and rails to be 1-3/8" thick and 3" minimum width. (BC6709.1.2)
- e. Door hinge pins accessible from the outside shall be non-removable f. Door stops of wood jambs of in-swinging doors shall be one piece construction or joined by a
- g. Windows and door lights within 40" of the locking device of the door shall be fully tempered/approved burglary resistant/protected by
- bars, screens or grills. (BC6714) h. Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamb locks shall be on both jambs for doors exceeding 9 feet in width

- RESIDENTIAL PLAN IERAL NOTES
- 12. In newly constructed dwelling units, electrical receptacle outlets, switches and controls shall be located no more than 48-in. measured from the top of the outlet box and not less than 15-in. from the bottom

Finish materials including adhesives, sealants, caulk,

(VOC) emission limits per LACGBSC Chapter 4.

paints & coatings, carpet systems, etc. shall meet the

- of the outlet box above the finish floor. (R327.1.2) 13. In newly constructed dwelling units, doorbell button or controls, shall not exceed 48-in. above exterior floor or landing, measured from the top of the doorbell button
- 14. Provide a note on the plans "Fasteners for preservative-treated or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153."

GLAZING REQUIREMENTS

- 15. The following shall be considered specific hazardous locations requiring safety glazing per Section R308:
- Glazing in fixed and operable panels of swinging, sliding, and bifold doors.
- b. Glazing in fixed or operable panels adjacent to a door where the nearest vertical edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the walking surface. c. Window glazing in an individual fixed or operable
- panel, that meets all of the following conditions: 1. The exposed area of an individual pane is larger than 9 square feet.
- 2. The bottom edge is less than 18 inches above the floor.
- 3. The top edge is more than 36 inches above the 4. One or more walking surfaces are within 36 inches, measured horizontally and in a straight
- line, of the glazing d. Glazing in guards, railings, structural baluster panels, and nonstructural in-fill panels, regardless of area or height above a walking
- e. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools, where all of the
- following conditions are present: The bottom edge of the glazing is less than 60
- inches above any standing or walking surface. 2. The glazing is within 60 inches, measured horizontally and in a straight line, from a hot tub, spa, whirlpool, bathtub, or swimming pool.

- Glazing adjacent to stairs and ramps where the bottom exposed edge is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs, and ramps, unless the glazing is more than 36 inches measured horizontally from the walking surface, or a rail is designed per Section R308.4.6.
- g. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread, unless the glazing is more than 18 inches from a protective guard per Section R312.

MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS

- 16. Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68 degrees F at 3 feet above the floor and 2 feet from exterior walls.
- The following are required for central heating furnaces and low-pressure boilers in a compartment:
- a. Listed appliances shall be installed with clearances in accordance with the terms of their listings and the manufacturer's installation instructions. (MC 904.2(1)) b. Unlisted appliances shall meet both the clearances
- in Table 904.2, and the clearances allowed by the manufacturer's installation instructions.
- c. When combustion air is taken from inside, the area of combustion air openings shall be 1 sq. inch per 1,000 BTU (100 sq. inch minimum) per opening. One Opening shall be within 12 inches of the ceiling and the second shall be within 12 inches of the bottom of the enclosure. The dimension shall not be less than 3 inches. (MC 701.5(1))
- d. 1/4-inch screens are required at openings where combustion air is taken from the outside. (MC 701.10(2))
- e. Separate ducts shall be used for upper and lower combustion air openings and maintained to the source of combustion air. (MC 701.11(4))
- 18. The following are required for appliances installed in an attic: a. An opening and passageway shall not be less than
- 22 inches by 30 inches, or less than the size of the largest piece of equipment. (MC 904.10) b. Where the passageway height is less than 6 feet. the distance from access to the appliance shall not
- exceed 20 feet, as measured along the centerline. c. Passageway shall be unobstructed and shall have solid flooring not less than 24 inches wide from entrance to appliance. (MC 904.10.2)
- d. A level working platform not less than 30 inches by 30 inches is required in front of the service side of the appliance. (MC 904.10.3)

01-01-2023

e. A permanent 120V receptacle outlet and a lighting fixture shall be installed near the appliance. Light switch shall be located at the entrance to the (MC 904.10.4) passageway.

(MC 303.2)

(MC 308.1)

- f. A type B or L gas vent shall terminate not less than 5 feet above the highest connected appliance flue collar or draft hood. (MC 802.6.2.1) g. Appliance installation shall meet all listed
- 19. Clothes dryer moisture exhaust duct shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be used, and the exhaust duct may not extend into or through ducts and

clearances.

- Clothes dryer moisture exhaust duct shall be 4 inches in diameter and length is limited to 14 feet with two elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for every elbow in excess of two. (MC 504.3.1 & 504.3.1.2)
- 21. Heating appliances (water heater, furnace, etc.) located in the garage, which create a glow, spark or flame, shall be installed at least 18 inches above the
- 22. Ducts shall be sized per Chapter 6 of the Mechanical
- 23. The effective flush volume of all water closets shall not exceed 1.28gpf. Urinals shall be 0.5gpf maximum. (GC 4.303.1.1)
- 24. Single shower heads shall have a maximum flow rate or 2.0gpm at 80psi. Multiple shower heads serving one shower shall have a combined flow rate of 2.0gpm at 80psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. (GC 4.303.1.3)
- Lavatory faucets shall not exceed 1.5gpm at 60psi. The minimum flow rate shall not be less than 0.8gpm Kitchen faucets shall not exceed 1.8gpm at 60psi. The
 - faucet may temporarily increase to above this rate, but not to exceed 2.2gpm at 60psi, and must default to the maximum flow rate of 1.8gpm at 60psi. (GC 4.303.1.4)
- 27. ABS and PVC DWV piping installations are limited to not more than two stories of areas. (PC 701.1(2))

- 28. All showers and tub-showers shall have a pressure balance, thermostatic mixing valve, or a combination pressure balance/thermostatic mixing type valve.
- 29. All new, replacement and existing water heaters shall be strapped to the wall in two places. One on the upper 1/3 of the tank, and one on the lower 1/3 of the tank. The lower point shall be a minimum of 4 inches above the controls.
- Plumbing plan check and approval are required for 2 inch or larger gas lines and/or water lines.
- . Ground-fault circuit-interruption (GFCI) for personnel shall be provided per EC section 210.8(A) and installed in a readily accessible location.
- 32. Arc-fault circuit-interruption shall be installed to provide protection of the branch circuit. 33. Tamper-resistant receptacles shall be installed in all
- areas specified in 210.52, all nonlocking-type 12-volt, 15- and 20-ampere receptacles shall be listed tamperresistant receptacles. /FC 406 12
- Where NM Cable (Romex) is run across the top of ceiling joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6 feet of the nearest edge of the scuttle or attic entrance shall (EC 334.23, 320.23(A)) be provided.
- Sewer. ADU/JADU sewage can be connected to the existing sewer system at a minimum of 24-inches outside the existing building foundation. It must be approximately 12-inches below grade with no less than 2% to the final connection point. Cleanouts must be installed at intervals as required by the Plumbing Code with locations and size specified on the site plan. Cleanouts shall be installed for each pipe size and within 1/2" inch of the diameter pipe which the cleanout serves. Other items include vent location and size (combination venting must be calculated based on the pipe size and fixtures); proper use of materials and fittings; under floor or under slab-ABS 12" below grade; underfloor strap with proper straps with rodent protection; or rodent protected straps with adequate pipe protection for dissimilar straps. Fasteners must be approved galvanized, zinc, hot dip, and no "Drywall Screws'. A minimum 10-foot head water test is required during underground drain waste inspection.



ICC-ES Evaluation Report ESR-2785

Reissued March 2024 This report also contains - CBC Supplement - LABC Supplement Subject to renewal March 2026

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pyright © 2024 ICC Evaluation Service, DIVISION: 07 00 00— THERMAL AND MOISTURE PROTECTION	REPORT HOLDER: POLYCOAT PRODUCTS ADDITIONAL LISTEE: POLY-TUFF SYSTEMS INTERNATIONAL BESSERN BUILDING PRODUCTS, LLC	EVALUATION SUBJECT: POLYCOAT PRODUCTS WALKING DECK SYSTEM, POLYCOAT- AQUATIGHT® UNDERLAYMENT WATERPROOFING SYSTEM, POLYTUFF SYSTEMS INTERNATIONAL					
DIVISION: 09 00 00— FINISHES Section: 09 30 00—Tiling		WALKING DECK SYSTEM, POLYTUFF SYSTEMS INTERNATIONAL FLEXIDECK® P-TW UNDERLAYMENT WATERPROOFING SYSTEM, BESSERN BUILDING PRODUCTS ENDURIT DECK PRO WALKING DECK SYSTEM AND BESSERN BUILDING PRODUCTS ENDURIT DECK PRO- UTM UNDERLAYMENT WATERPROOFING					

SYSTEM

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012 and 2009 <u>International Building Code[®] (IBC)</u>
- 2021, 2018, 2015, 2012 and 2009 International Residential Code® (IRC)
- 2021, 2018, 2015, 2012 and 2009 <u>International Plumbing Code[®] (IPC)</u>
- 2021, 2018, 2015, 2012, 2009 and 2006 IAPMO *Uniform Plumbing Code™* (IAPMO UPC)
- For evaluation for compliance with codes adopted by Los Angeles Department of Building and Safety (LADBS), see ESR-2785 LABC and LARC Supplement.
- Properties evaluated:
- Waterproofing
- Durability



Description

Sushil Anand

504.338.6596

849 Madre Street,

Pasadena CA 91107

Green Notes

Project number

Drawn by

Checked by



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS **BUILDING AND SAFETY DIVISION**

(R315)

GREEN BUILDING STANDARDS CODE **GENERAL NOTES**

(MC 603.1)

DISTRICT NO	
CITY	ZIP
	100 mm

The following notes must be included on the plans.

GENERAL REQUIREMENTS

- 1. Plumbing fixtures and fixture fittings on the plans shall comply with the following flow rates:
- a. Water Closets 1.28 GPF
- b. Urinals 0.5 GPF
- c. Wall-mounted urinal 0.125 GPF
- d. Single showerhead 1.8 GPM at 80psi Multiple showerheads – 1.8 GPM at 80psi for all
- combined showerheads
- f. Lavatory faucets 1.2 GPM at 60psi
- at 60psi h. Metering faucets - .20 gallons per cycle

g. Lavatory faucets in public use areas – 0.5 GPM

- i. Kitchen faucets 1.8 GPM at 60psi (4.303.1) Annular spaces around pipes, electrical cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement
- acceptable to the enforcing agency. Fireplaces shall be direct vent sealed combustion type. Indicate on the plans the manufacturer name and model number. (4.503.1)

mortar, concrete masonry, or a similar method

- 4. At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust and debris which may enter the system.
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.

Residential 2023 Green Building Standard Notes

- All mechanical exhaust fans in rooms with a bathtub or shower shall comply with the following:
 - a. Fans shall be ENERGY STAR compliant and
 - be ducted to terminate outside the building. b. Fans must be controlled by a readily accessible humidistat unless functioning as a component of a whole house ventilation system. Humidity control shall be capable of adjustment between a relative humidity range of 50% and 80%.
- Adhesives, sealants and caulks shall meet or exceed the standards outlined in Section 4.504.2.1 and comply with the VOC limits in Tables 4.504.1 and 4.504.2 as applicable.
- Paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.2 and comply with the VOC limits in Table 4.504.3. (4.504.2.2)
- Aerosol paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.3. (4.504.2.3)
- 10. All carpet installed in the building interior shall meet all the testing and product requirements of one of the following:
 - Carpet and Rug Institute's Green Label Plus Program OR b. California Department of Public Health
 - Standard Method for the testing of VOC Emissions (Specification 01350) OR
- d. Scientific Certifications Systems Indoor Advantage Gold 11. All carpet cushion installed in the building interior

shall not exceed a VOC limit of 50 g/L.

NSF/ANSI 140 at the Gold Level QR

shall meet the requirements of the Carpet and Rug Institute Green Label Program. Carpet adhesives

(4.504.3.1, 4.504.3.2)

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12. A minimum of 80% of floor area receiving resilient flooring shall comply with one of the following:

a. Products certified as a Low-Emitting Material in the CHPS High Performance Products Database, OR

01-01-2023

- b. Products certified under UL GREENGUARD Gold (Formerly the Greenguard Children & Schools program), OR
- c. RFCI FloorScore program, OR
- d. Meet the California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350)

TABLE 4.504.3/TABLE 5.504.4.3

13. Composite wood products (hardwood plywood, particle board, and MDF) installed on the interior or exterior of the building shall meet or exceed the standards outlined in Table 4.504.5. Verification of compliance with these sections must be provided at the time of inspection.

COATING CATEGORY	VOC	COATING CATEGORY	VOC
Flat coatings	50	Magnesite cement coatings	450
Norflat coatings	100	Mastic texture coatings	100
Norflat high-gloss coatings	150	Metallic pigmented coatings	500
SPECIALTY COATINGS		Multi-color coatings	250
Aluminum roof coating	400	Pretreatment wash primers	420
Basement specialty coatings	400	Primers, sealers, and undercoaters	100
Bituminous roof coatings	50	Reactive penetrating sealers	350
Bituminous roof primers	350	Recycled coatings	250
Bond breakers	350	Roof coatings	50
Concrete curing compounds	350	Rust preventative coatings	250
Concrete/masonry sealers	100	Shellacs; Clear Opaque	730 550
Driveway sealers	50	Specialty primers, sealers and undercoaters	100
Dry fog coatings	150	Stains	250
Faux finishing coatings	350	Stone consolidants	450
Fire resistive coatings	350	Swimming pool coatings	340
Floor coatings	100	Traffic marking coatings	100
Form-release compounds	250	Tub and tile refinish coatings	420
Graphic arts coatings (sign paints)	500	Waterproofing membranes	250
High-temperature coatings	420	Wood coatings	275
Industrial maintenance coatings	250	Wood preservatives	350
Low solids coatings*	120	Zinc-rich primer	340
 Onems of VOC per liter of coeffing, in 	coluding water	and including exempt compounds.	1111111111

Residential 2023 Green Building Standard Notes

TABLE 4.504.5/TABLE 5.504.4.5 FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million		
PRODUCT	CURRENT LIMIT	
Hardwood plywood veneer core	0.05	
Hardwood pływood composite core	0.05	
Particleboard	0.09	
Medium density fiberboard	0.11	
Thin medium density fiberboard ²	0.13	
Walker in this lattle are derived from those of Based, Air Tecker Control Measure for Com. AGTM C 1932 For additional information, in 17. Section 19120 fresign 19120 11. This medium density Residuent lists a main.	posite Wood as tested in accordance w se Celfornia Code of Regulations, Title	

Page 2 of 3

Less Water and Less Exempt Compounds in Grams Per Liter		
SEALANTS	VOC LIMIT	
Architectural	250	
Marine deck	760	
Vonmembrane roof	300	
Roadway	250	
Single-ply roof membrane	450	
Other	420	
SEALANT PRIMERS	3 2000	
Architectural	1000	
Nonporous	250	
Porous	775	
Modifited bitumingus	500	
Marine deck	760	
Other	750	

TABLE 4.504.1/TABLE 5.	504.4.1
ADHESIVE VOC LIMI	T1.2
Grams of VOC per Liter of Co Less Water and Less Exempt Co	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
ndoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet pad adhesives	150
Wood flooring adhesives	100
Rubber floor adhesives	80
Subfloor adhesives	50
Deramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Dove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives	50
SPECIALITY APPLICATIONS	907.040
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and frim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	220
Metal to metal	30
Plastic feams	50
Porous material (except wood)	50
Vood	30
berglass	80
If an adhesive is used to bond dissimilar substrates togethe YGC content shall be allowed.	, the adhesive with the
For actitional information regarding therhods to measure the table, see South Coast Air Quality Management District Rul	

Page 2 of 2

Other: _____

Attachment A BMP Notes.doc

01-01-2023

ATTACHMENT A

BEST MANAGEMENT PRACTICES

Page 3 of 3

FOR CONSTRUCTION ACTIVITIES* Storm Water Pollution Control Requirements for Construction Activities

Projects/Certification Statement The following is intended as minimum notes or as an attachment for building and grading plans and

Minimum Water Quality Protection Requirements for All Development Construction

sites regardless of size. (Applies to all permits) • Eroded sediments and other pollutants must be retained on site and may not be transported from the site

represent the minimum standards of good housekeeping that must be implemented on all construction

- via sheetflow, swales, area drains, natural drainage courses or wind. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent
- contamination of rainwater and dispersal by wind. · Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

As the project owner or authorized agent of the owner, I have read and understand the requirements listed

above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I

certify that I will comply with these requirements. Print Name Larry Lachner

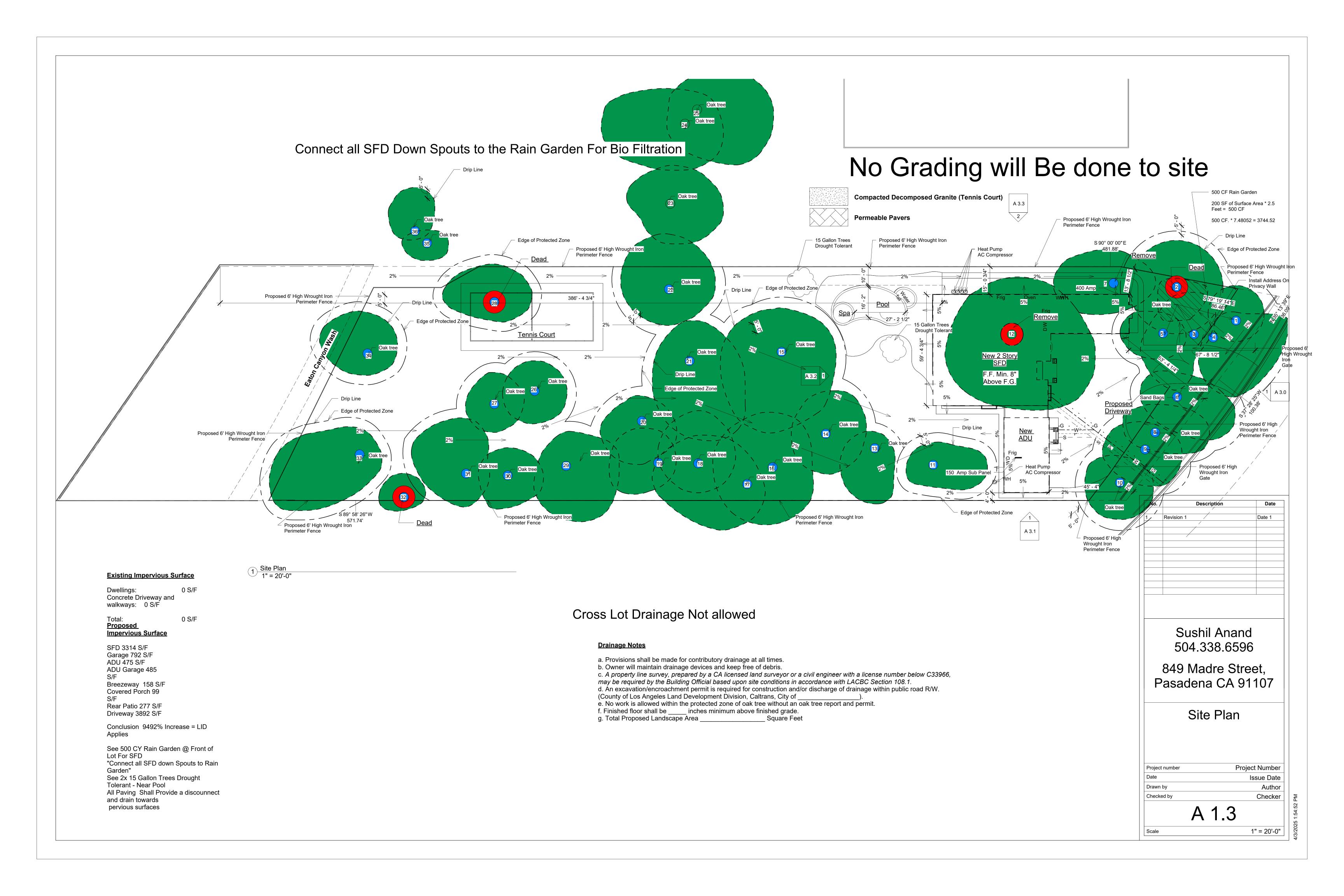
(Owner or authorized agent of the owner)

*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.cabmphandbooks.com

Scale

Project Number Issue Date Author Checker

Date



Fire Department Plan Notes

1. The required fire flow is based on the following calculation: Type of construction per the Building Code V-B VHFHSZ: NO Fire-flow calculation area 10,425 sq.ft. Fire flow based on the fire-flow calculation area 2,750 gpm Reduction for fire sprinklers (maximum 50%) 1,375 gpm Total fire flow required 1,375 gpm - Fire flow 1588 GPM

2. Fire Department vehicular access roads must be installed and maintained in a serviceable manner prior to and during the time of construction. Fire Code 501.4

3. All fire hydrants shall measure 6"" x 4"" x 2-1/2"", brass or bronze, conforming to American Water Works Association Standard C503, or approved equal.

4. Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall be in accordance with Sections R302.5.1 through 302.5.3.

5. Openings from a private garage directly into a room used for sleeping purposes shall not be

6. Approved building address numbers, building numbers or approved building identificatin shall be provided and maintained so as to be plainly visible and legible from the street fronting the property, the numbers shall contrast with their background, be Arabic Numerals or alphabet letters, and be minimum of 4 inch heigh with a minimum strokewidth of 0.5 inch Fire Code 505.1

7. Habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3.

8. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2.

9. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

10. All emergency escape and rescue openings shall have minimum net clear opening of 5.7 square feet. The minimum net clear opening height shall be 24 inches. The minimum net clear opening width shall be 20 inches. Emergency escape and rescue openings shall be maintained free of any obstructions other than those allowed by this section and shall be operational from the inside of the room without the use of keys, tools or special knowledge. Residential Code R310.2. and Building Code



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION Fire Prevention Engineering 5823 Rickenbacker Road

Telephone (323) 890-4125 Fax (323) 890-4129

Information on Fire Flow Availability for Building Permit

For One and Two Family Dwellings, Townhomes, and Accessory Dwelling Unit's INSTRUCTIONS:

Complete parts I, II (A), & II (B) Verifying fire flow, fire hydrant location and fire hydrant size.

PROJECT INFORMATION (To be Completed by Applicant)

Building Address: 849 Madre Street City or Area: Pasadena 5377-019-019 Nearest Cross Street: Huntington Drive Distance of Nearest Cross Street: 300 feet Property Owner: Sushil Anand Telephone: (54) 335-6596 Address: 1354 Michillinda Avenue

city: Arcadia Zip Code 91006 Occupancy (Use of Building): R3 _Fire Sprinklered: Yes 🔳 No 🗌 Type of Construction VB

Number of Stories: <a>

02/20/2024

INFORMATION ON FIRE FLOW AVAILABILITY (Part II A and II B to be completed by Water Purveyor) The distance from the fire hydrant to the property line is approximately 230

inch diameter water main. The hydrant is located on East Curb of Madre Street

feet via vehicular access. The fire flow services will be rendered from a 8

Static PSI 70 Residual PSI 53 Orifice size 2.5" Pitot 28 Fire Flow at 20 PSI 1588 GPM for one-hour duration ☑ Flow Test Date / Time4-1-24/2:30PM Domestic Meter Size N/A

Pasadena Water & Power (626)744-4495 Principal Enginee

PART III Conditions for Approval by the Building Department

The building permit may be issued for new or additions to detached one and two family dwellings, townhomes, and accessory dwelling units when the above information is completed and shows that the following minimum requirements are met and the property is <u>not located</u> in a Fire Hazard Severity

• The water system is capable of delivering at least 1000 GPM at 20 PSI for one-hour if non-

• The water system is capable of delivering at least 500 GPM at 20 PSI for one-half hour if

The total area of the entire structure is less than 3,600 square feet.

No portion of the lot frontage to the public fire hydrant shall exceed 450 feet via vehicular access.

 All portions of the proposed construction must be within 150 feet of a vehicular access roadway that is a minimum of 20 feet wide, paved with concrete or asphalt and does not exceed 15% grade.

DATE OFFICE This Information is Considered Valid for Twenty Four Months

When the project does not meet all of the above requirements for approval by the Building Department, the project must be sent to the Fire Prevention Division for approval before a Building Permit can be issued by the Building Department.

PASADENA WATER AND POWER

April 2, 2024

Larry Lachner Dynamo Constructors, Inc. 20455 E Covina Hills Road Covina, CA 91724

> Subject: Will Serve Letter for 849 Madre Street. APN: 5377-019-019

Dear Larry Lachner:

Pasadena Water and Power ("PWP") can serve water to the above-mentioned property, APN number 5377-019-019. The parcel will be served from an 8-inch cast iron water main installed under work order 2918 in 1933. This 8-inch water main is located 16 feet east of the west property line of Madre St.

The parcel has no water services. Pursuant to the PWP Water Regulation Section XI, a water service and meter may be evaluated for its continuing integrity. If the existing water service is substandard and no longer suitable for continued use, the property owner is responsible for any replacement costs. All service pipes shall be of suitable capacity as determined by applicable plumbing and fire codes. The minimum size of service installed by PWP is 1-inch.

The closest fire hydrant in the vicinity of this parcel is fire hydrant 1219-14 located on the east curb of Madre Street approximately 230 feet south of the south property line of 849 Madre Street. A fire flow test was conducted on the fire hydrant on April 1, 2024, and the results were as follows:

Fire Hydrant number 1219-14:

Static Pressure: 70 psi (pounds per square inch)

150 S. Los Robles Avenue · Suite 200 · Pasadena, CA 91101

Flow Pressure: 53 psi 28 psi

Larry Lachner Will Serve Letter 849 Madre Street April 2, 2024 Page 2 of 2

Services Section at 626-744-4495.

Total Observed Flow: 886 gpm (gallons per minute)

If you have any questions or need additional information, please call the Water Utility

Flow at 20-psi residual:

Sincerely, Jan Yan Qu, P.E.

Principal Engineer Pasadena Water and Power

https://waterserviceslip.cityofpasadena.net/Print/Service/%5B13786%5D

	112 - 6" Signature Signat
Fire Department Site Plan 1" = 20'-0"	

2nd Level **Non Habitable Covered Areas:**

Site Data: Lot Size

Legal Description

Proposed SFR

First Floor

Garage

Front Porch 99 S/F Rear Patio 277 S/F 1166 S/F Breezeway 253 S/F Covered Balcony 1 Covered Balcony 2 224 S/F

Accessory Structures

464 S/F 485 S/F ADU Garage ADU 2nd Level 721 S/F Total ADU 1185 S/F

Proposed Site Data:

Building Height 29'-8" Bedrooms

Fire Sprinklers EAST PASADENA - EAST SAN GABRIEL Zoning

Covered Parking 5377-019-019 APN R3 / U VB Occupancy: Construction Type

Elevator, Pool, Spa, Waterfall, Fire Sprinklers, & Solar Shall be Defered Submittals under Separate Permit. Electrical, Mechanical and pluming under Separate permit

60,560

6937 S/F+792 Garage

3314 S/F

792 S/F

3623 S/F

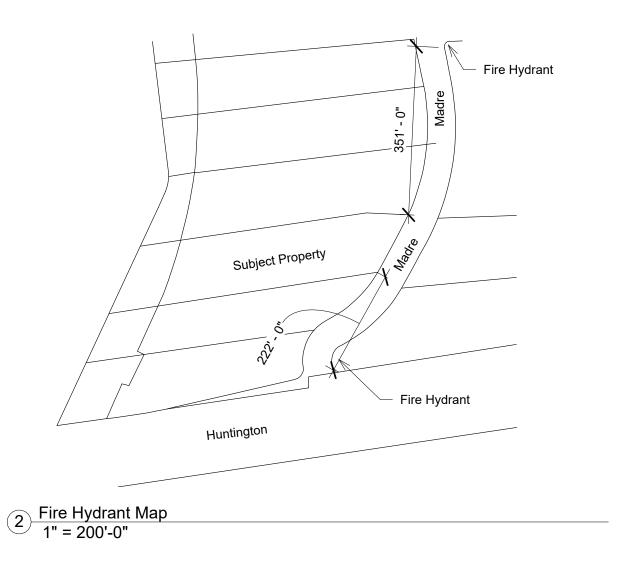
PM 372-3-4 THAT POR IN TRA 7698 OF LOT 3

Code in Effect:

Building Code: 2022 CBC, CPC, CEC, CRC, CMC, CGBC, and 2022 CAI Green Code & 2023 La County Building Code Amendments!

Work Description:

Construct 6937 S/F home with 792 S/F attached Garage Construct 1200 S/F ADU with 485 S/F Garage



Drivway, & Road way Profile Able to Support 50,000 Pounds Existing A/C Paving Street, Curb & Gutter 6" Concrete Driveway 6" Concrete Standard Driveway Sidewalk Apron Road Way Profile 1/4" = 1'-0"

Plan Notes

1. CALGreen requirements shall be inspected by a licensed third party inspector.

2. All Mechanical installers shall be certified

3. All NON-COMPLIANT plumbing fixtures within this residence shall be replaced with water-conserving plumbing fixtures." Buildings finale on or after 01/01/94 are exempt from this requirement.

4. Stormwater shall be retained on site during construction. See A 1.0 Site Plan for Sandbag location

5. Duct leakage testing is required to verify a total leakage rate of less than 6% of the total fan flow.

6. Operations and Maintenance Manual is required to be provided to the owner at time of final inspection."

7. Fire Sprinklers are required increase to structure by more than 1000 sq.ft.

8. Automatic Fire Sprinklers system shall be designed and installed per NFPA 13D, 2013 Edition

9. A separate permit is required to be obtained for the fire sprinkler system from Pasadena fire department.

10. Sprinkler drawings shall be submitted within 30 days of the issuance of building permit.

11. Obtain fire flow test report from the Pasadena Water Department (626) 744-7064 and enclose a copy with building plans resubmit package.

12. PROTECTED TREES SHALL NOT BE REMOVED AND/OR IMPACTED

13. Approved Address Numbers Placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers hall contrast with background and shall be Arabic number or alphabetical letters and be a minimum of 4" high with a mimum stroke of 1/2" (CRC R319.1)

14. All new paved parking areas, circulation aisles, and access are paved with Portland concrete cement

15. All New Exterior Mechanical Equipment Shall be Screened or Located out of View from Public Right-of Way (17.40.150.A)

16. Curb drains will be per APWA 151 and require a separate permit from the Department of Public Works.

No.	Description	Date

Sushil Anand 504.338.6596

849 Madre Street, Pasadena CA 91107

Fire Department Site Plan

Proj	Project number	Project Numbe
	Date	Issue Date
	Drawn by	Autho
	Checked by	Checke

A 1.4



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

BUILDING OPERATION AND MAINTENANCE MANUAL - 2023 LAGBSC

BUILDING AND SAFETY DIVISION

PLAN CHECK NO. DISTRIC	T NO		
JOB ADDRESS	CITY ZIP		
This manual shall remain with the building	g throughout the life cycle of the structure.		
This structure contains various elements designed for the purp Please note the following elements that are applicable to this s	ose of improving public health, safety, and general welfare, tructure, and provide or attach the appropriate information.		
1. HVAC System Installed? YES INO I	5. Irrigation System Installed? YES O NO D		
Manufacturer SEER	Irrigation Controller Type and Manufacturer		
Efficiency	Attach operation and maintenance instructions to thi		
Air Filter MERV	manual. *		
Attach operation and maintenance instructions to this manual.	6. Water Reuse System Installed? YES INO D		
2. Water Heating System Installed? YES INO I	Water Reuse Type_		
Manufacturer	Attach operation and maintenance instructions to the manual.		
Efficiency	7. Utilities		
Attach operation and maintenance instructions to this manual.	Electrical Service Provider_ Tel - ()		
3. Other Equipment Installed? YES INO II	Natural Gas Service Provider		
Manufacturer	Water Service Provider_		
Special Instructions	Tel – ()		
	Septic System Installer Tel - ()		
Attach operation and maintenance instructions to this	Recycling Pickup_		
manual.	Tel - ()		
4. Roof and Yard Drainage Installed? YES INO II	8. Public Transportation		
Linear Feet of Gutter	Nearest Bus Stop		
Number of Downspouts	Nearest Subway Stop		
Number of Catch Basins	Nearest Carpool Location_		
	Attach a map to this manual showing the structure' location relative to public transportation.		
Residential 2023 GBSC Plan Review List	01-01-2023 Page 6 of 7		

Hu	mi	dit	v

Provide information about the positive impacts of maintaining a relative humidity between 30%-60% within this structure. Positive impacts include:

- Resistance to the growth of dust mites, mildew, and mold.
- Resistance to possible allergic reactions. Maintains interior wood and paint surfaces.

10. Routine Maintenance

Attach instructions on routine maintenance for critical building elements including, but not limited to the following.

- Equipment and appliances
- Roof and yard drainage
- Space conditioning systems
- j. Landscape irrigation systems Other installed systems

Installed? YES I NO I 11. Solar Energy Manufacturer

Special Instructions

Attach operation and maintenance instructions to this manual. If no solar energy system is installed, attach information on state incentive programs.

Residential 2023 GBSC Plan Review List

12. Verifications

Adhesives Manufacturer and Type

Caulk Manufacturer and Type_

VOC Level_

Aerosol Adhesives Manufacturer and Type_

VOC Level_

VOC Level_

Paint Manufacturer and Type

VOC Level__

Sealer/Stain Manufacturer and Type

VOC Level_

Carpet Manufacturer and Type

Testing Program Certification_

Resilient Flooring Manufacturer and Type

Testing Program Certification_

Composite Wood Manufacturer and Type__

01-01-2023

Attach all product certifications, specifications, and applicable chain of custody certifications to this manual.

Page 7 of 7

Description Date

> Sushil Anand 504.338.6596

849 Madre Street, Pasadena CA 91107

Buidling General Notes

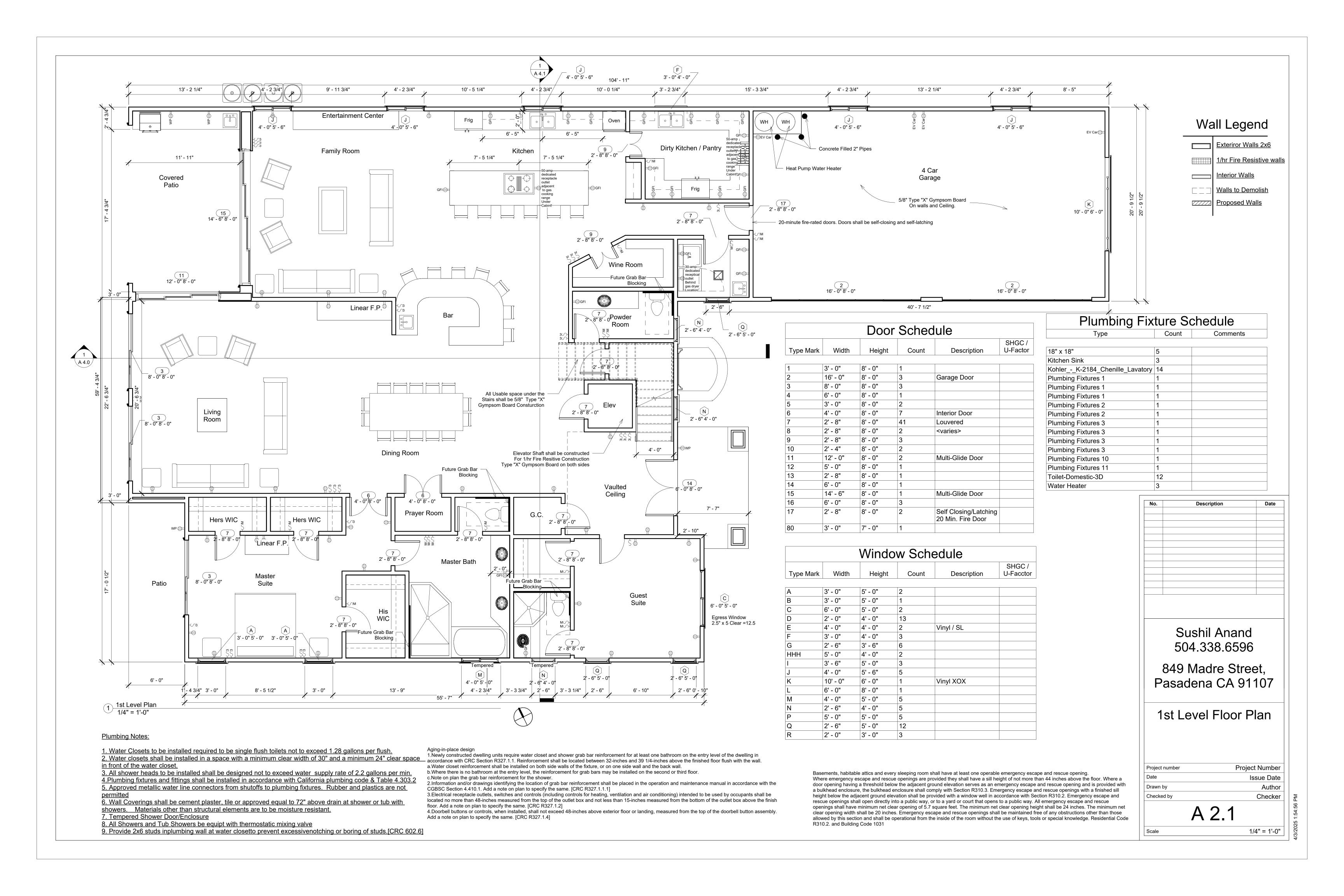
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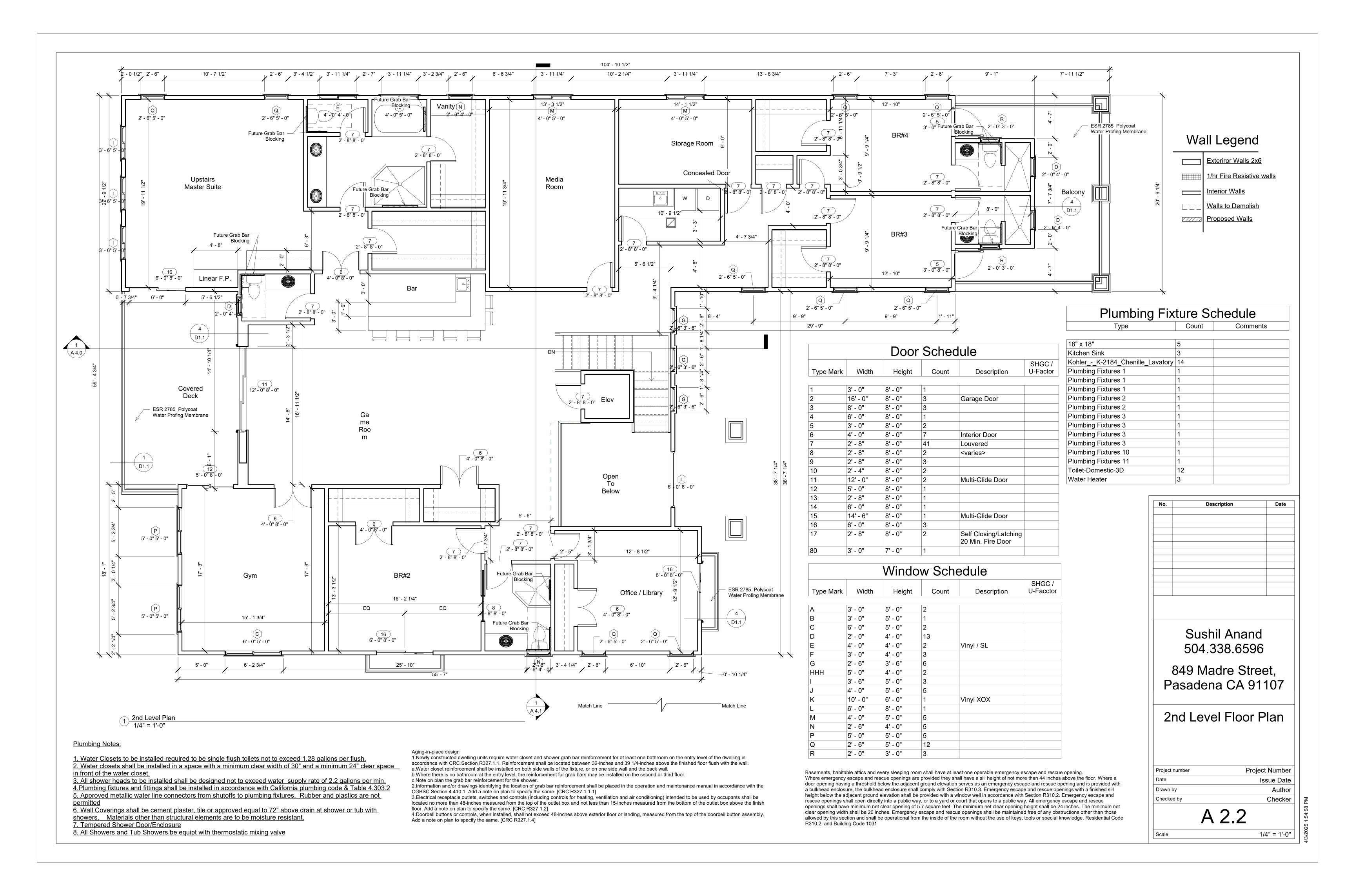
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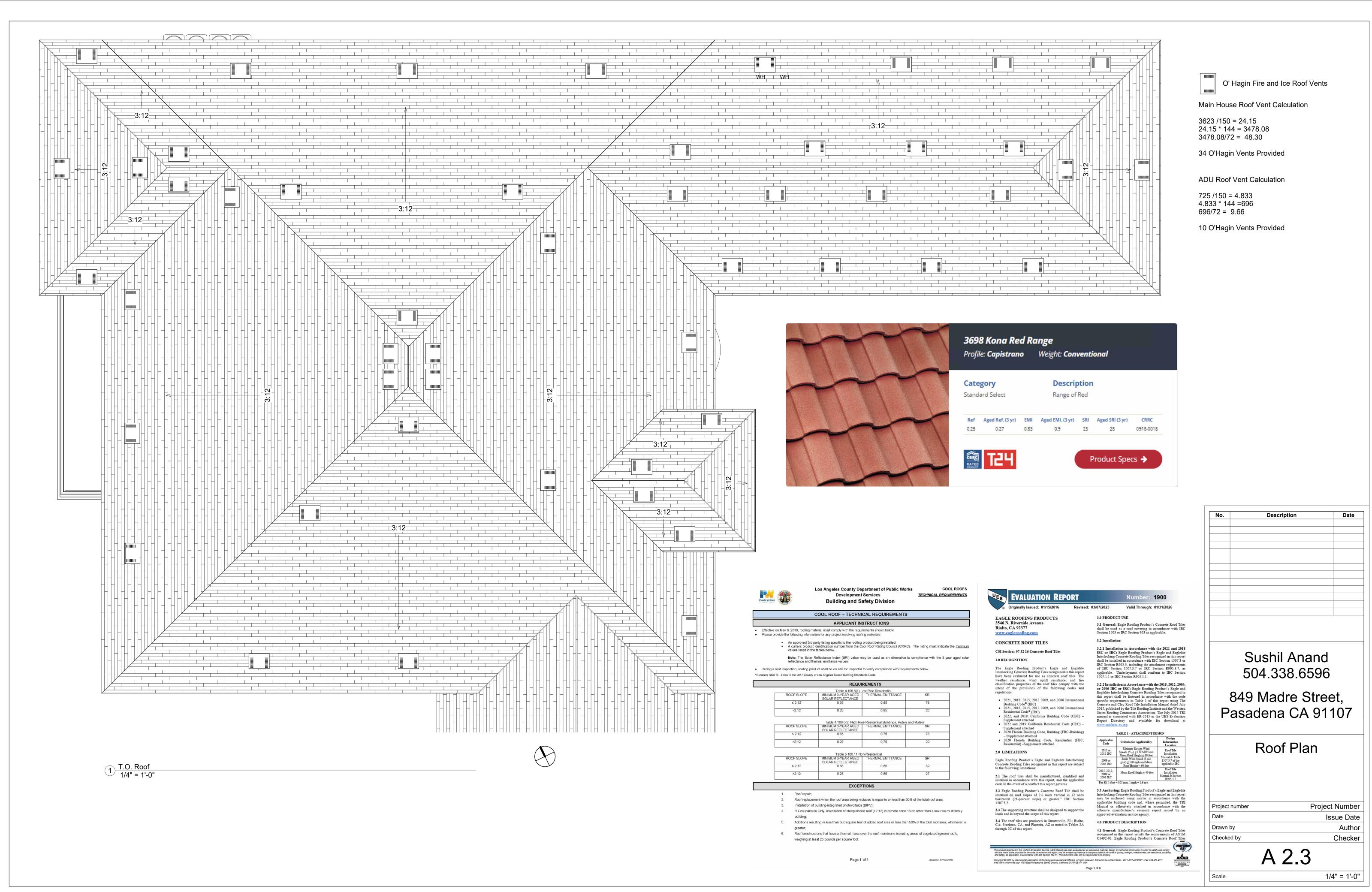
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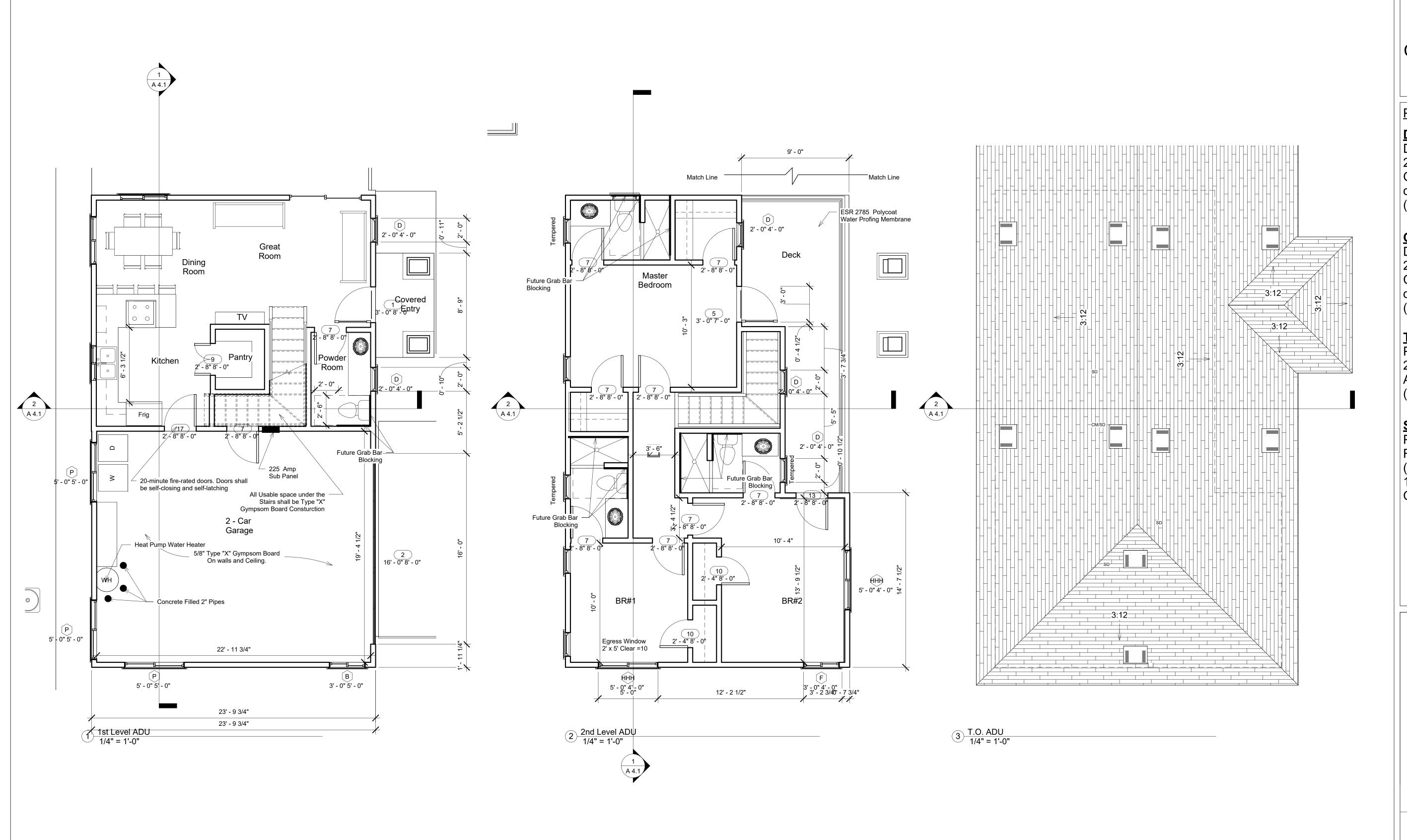
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DYNAMO CONSTRUCTORS,INC.

Project Consultants:

<u>Designer:</u>

Dynamo Constructors Inc. 20455 Covina Hills Road, Covina, CA. dynamobuild@yahoo.com (626) 391-1259

Contractor:

Dynamo Constructors Inc. 20455 Covina Hills Road, Covina, CA. dynamobuild@yahoo.com (626) 391-1259

Title 24:

Perfect Design & Engineering 2416 W. Valley Blvd, Alhambra, CA. 91803 (626) 289-8808

Structural Engineer:

PolyTech Consulting, Inc. Recardo R. Garcia, P.E. (C66957) 11520 Jefferson Blvd., STE 226 Culver City, CA 90230

> Sushil Anand 504.338.6596

849 Madre Street, Pasadena CA 91107

ADU Plans

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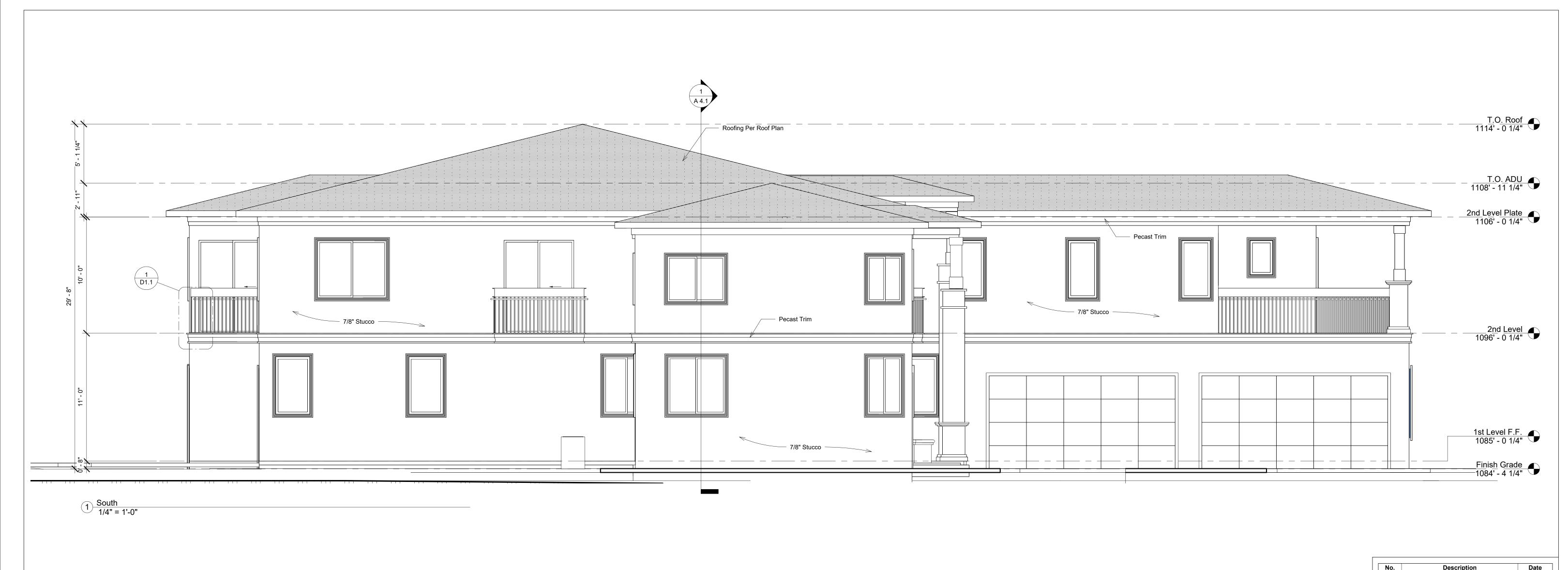
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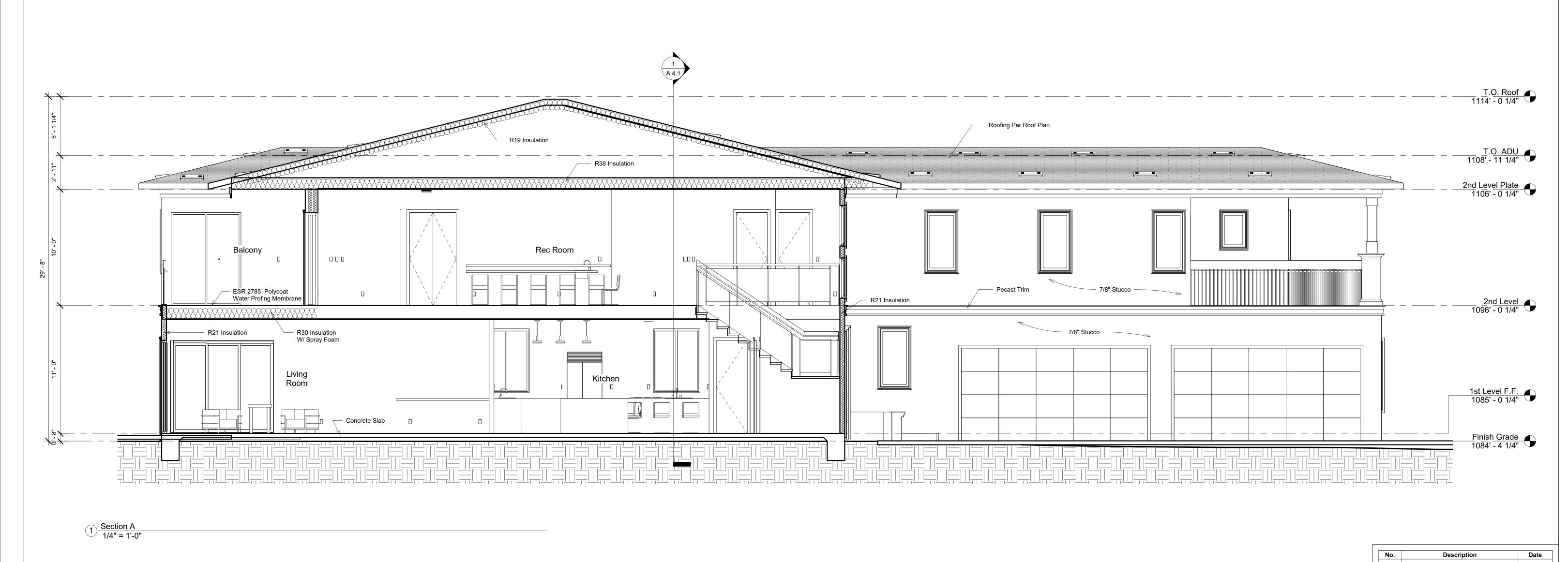


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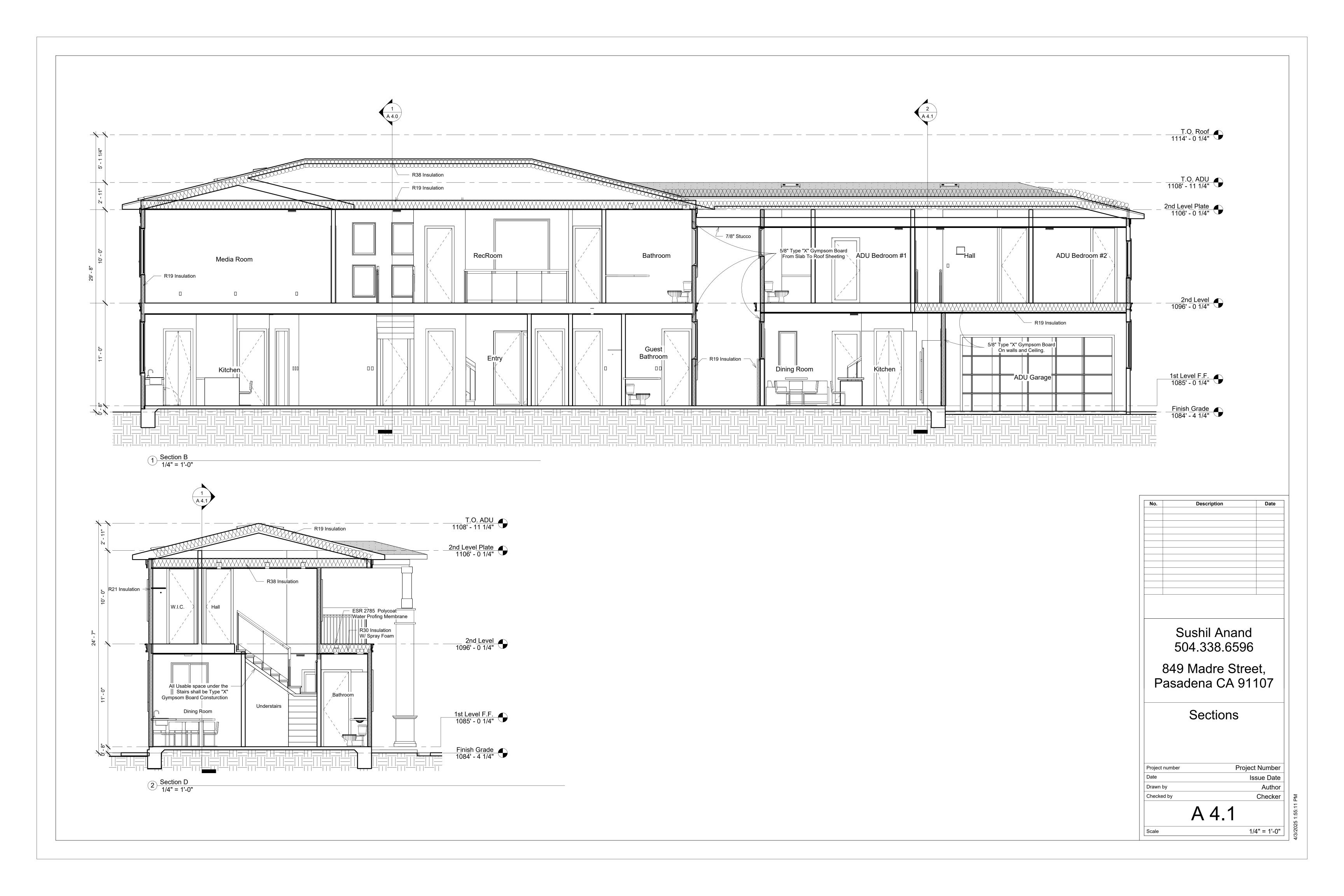




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LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING

UPDATED DRAFT FINDINGS OF THE HEARING OFFICER AND ORDER PROJECT NO. PRJ2021-004689 OAK TREE PERMIT NO. RPPL2021011244

RECITALS

- 1. **HEARING DATE(S).** The Los Angeles County ("County") Hearing Officer conducted a duly noticed public hearing in the matter of Oak Tree Permit No. **RPPL2021011244** ("OTP") on May 6, 2025, continued from March 18, 2025.
- 2. **HEARING PROCEEDINGS.** A duly noticed public hearing was held before the Hearing Officer on March 18, 2025 and continued to May 6, 2025. The Hearing Officer heard a presentation from LA County Planning staff and testimony from the applicant, Sushil Anand, and his representative, Lawrence Lachner. Mr. Lachner confirmed during his testimony that only one utility trench would be dug for the residence. Mr. Lachner reiterated that the goal of the Project is to minimize impacts to the oak trees while delivering a product that meets his client's needs. Mr. Lachner spoke about the challenges of designing the residence due to the large number of oak trees on the property and requested a reduction in the number of replacement plantings.

Mr. Anand spoke about his application processing journey and confirmed that the Project went through several design iterations to minimize impacts to the oak trees.

The Hearing Officer discussed concerns regarding the location of the tennis court, the semi-circular driveway unnecessarily impacting Oak Tree Nos. 9 and 10, and whether the property can accommodate 20 replacement tree plantings, given the coverage of existing oak trees, The Hearing Officer said she would be open to fewer, but larger replacement trees, with an extended monitoring period., but deferred the question to the County's technical experts, the Forester and LA County Planning's staff biologist. The Hearing Officer asked the owner if he would be amenable to removing the southern driveway approach. The applicant/agent agreed to relocate the tennis court and remove the southern driveway access, and again asked for a reduction in replacement plantings. The Hearing Officer continued the hearing to give time for revising site plans reflecting one utility trench, the removal of the southern driveway approach, and relocation of the tennis court.

3. ENTITLEMENT(S) REQUESTED. The Permittee, Sushil and Kamatchi Anand ("Permittee"), requests the OTP to authorize encroachments into the protected zone of 18 non-heritage oak trees, five oak tree removals (including two heritage trees), and removal of a limb greater than two inches in diameter from tree no. 11, a non-heritage tree, to facilitate construction of a single-family residence ("SFR"), an attached accessory dwelling unit ("ADU"), swimming pool, tennis court, and appurtenant features ("Project") on a property located at 849 Madre Street (Assessor's Parcel

Number 5377-019-019 and 5377-019-020) in the unincorporated community of East Pasadena ("Project Site").

- 4. **ENTITLEMENT(S) REQUIRED**. The OTP is a request to authorize encroachments into the protected zone of 18 non-heritage oak trees (tree nos. 1, 3, 4, 5, 6, 8, 9, 10, 11, 16, 17, 22, 27, 29, 30, 31, 33, and 34); removal of five oak trees (tree nos. 2, 7, 12, 28, and 32), including two heritage oaks (Nos. 7 and 12); and removal a limb from Tree No. 11, a non-heritage tree, to facilitate construction of an SFR, ADU, swimming pool, tennis court, and appurtenant features in the R-1-40,000 (Single-Family Residence 40,000 Square Feet Minimum Lot Area) Zone. The other three non-heritage oak trees (tree nos. 2, 28, and 32) are dead and recommended for removal by Board Certified Master Arborist, Chris Falco, in an oak tree report dated September 27, 2024.
- 5. **ENTITLEMENT(S) REQUIRED.** The SFR and accessory structures is being reviewed under Site Plan Review application RPPL2021013302).

All trees are identified as coast live oaks (*Quercus agrifolia*), ranging in size from 6 to 60 inches in diameter at breast height ("DBH"), as reported by Cris Falco, Board Certified Master Arborist, in an Oak Tree Report for the Project dated September 27, 2024.

Oak Tree	DBH (in inches)	Height (in feet)	Health	Impact	Encroach ment ("E") or Removal ("R")
#1	13	22	Fair	Fence footings	E
#2	25 (estimated)	40	Dead	Permeable driveway pavers, fence	R
#3	18	40	Good	Permeable driveway pavers, utility trench	Е
#4	22	35	Good	Permeable pavers, utility trench, fence footings	E
#5	11	25	Fair	Permeable driveway pavers, utility trench, SFR,	E
#6	17	30	Good	Permeable driveway pavers, utility trench, fence footings	E
#7 (Heritage)	44	45	Fair	Permeable driveway pavers, utility trench, SFR, fence	R

#8	17, 9	28	Fair	Permeable driveway pavers, fence footings	E
#9	6, 12	25	Fair	Permeable driveway pavers, utility trench, fence footings	E
#10	10	20	Good	Permeable driveway pavers, utility trench, fence footings	E
#11	(estimated)	38	Good	ADU with limb in place, no encroachment after removal of the lateral limb	E
#12 (Heritage)	60	50	Fair	SFR, Permeable driveway pavers, utility trench	R
#13	19	35	Fair	No	E
#14	24	50	Good	No	E
#15 (Heritage)	38	55	Good	No	E
#16	22	40	Good	Fence footings	E
#17	18	35	Good	Fence footings	E
#18	15	25	Good	No	E
#19	10	16	Fair	No	E
#20	19	40	Good	No	E
#21	27	50	Good	No	E
#22	24	35	Fair	Fence footings	E
#23 (off- site)	16 (estimated)	35	Fair	No	E
#24 (off- site)	20 (estimated)	35	Fair	No	E
#25 (off- site)	22 (estimated)	40	Fair	No	E

#26	16	25	Good	No	E
#27	16 (estimated)	25	Good	fence	E
#28	20	40	Dead	Tennis court, fence	R
#29	31	50	Poor	Fence footings	E
#30	22	50	Good	Fence footings	E
#31	33	50	Fair	Fence footings	E
#32	13	22	Dead	Fence	R
#33	34	30	Fair	Fence footings	E
#34	24	35	Fair	Tennis court, fence	E
#35 (off- site)	13 (estimated)	25	Fair	No	E
#36 (off- site)	21 (estimated)	30	Fair	No	E

- 6. **LOCATION.** The Project is located at 849 Madre Street within the East Pasadena Zoned District and West San Gabriel Valley Planning Area.
- 7. **RELATED ENTITLEMENT**: Site Plan Review No. RPPL2021013302 ("related SPR") is a related request under a separate ministerial review to authorize the construction of the SFR and accessory structures (ADU, tennis court, and swimming pool) ("associated single-family residential development").
- 8. **PREVIOUS ENTITLEMENT(S).** No previous land use entitlements have been issued for the property. The Project Site is currently vacant.
 - LAND USE DESIGNATION. The Project Site is located within the H2 (Residential 2 Up to 2 Dwelling Units Per Net Acre) and W (Water) land use categories of the General Plan Land Use Policy Map. An easement for the flood channel known as Eaton Wash is dedicated over the back portion of the property and fenced off from the portion of the property that will be developed for the described SFR and accessory structures. Further, this portion of the property has a separate Assessor Parcel Number, ending in -020, which is not included in the OTP application.
- 9. **ZONING.** The Project Site is located in the East Pasadena Zoned District and is currently zoned R-1-40,000. Pursuant to County Code Section 22.174.030 (Applicability), an OTP is required for the removal of oak trees, encroachment into the protected zone of oak trees, and the pruning of branches greater than two inches in diameter. Although the Project is located in the Chapman Wood Community Standards District ("CSD"), the Project application was deemed complete prior to the adoption of the CSD.

10. SURROUNDING LAND USES AND ZONING

LOCATION	GENERAL PLAN LAND USE POLICY	ZONING	EXISTING USES
NORTH	H2 and W	R-1-40,000	SFRs
EAST	H2	R-1-40,000	SFRs
SOUTH	H2, H9 (Residential 9 – Up to 9 Dwelling Units Per Net Acre), W, and P (Public and Semi-Public)	R-1-40,000, R-1- 10,000 (Single- Family Residence- 40,000 Square Feet Minimum Lot Area) and R-1 (Single- Family Residence – 5,0000 Minimum Lot Area)	SFRs
WEST	H2, W, P	R-1-40,000 and R- 1-10,000	SFRs

11. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site, or buildable area, is 1.63 gross acres (1.35 net) acres in size and consists of only Parcel -019. The subject property is located in two different tax rate areas resulting in the two Assessor Parcel Numbers ("APNs") because Parcel -020 has a flood control easement (Eaton Wash) over the parcel which renders it unusable for any other purpose. Further, the parcel's land use designation of W is intended for the establishment of uses relating to bodies of water, not residential development. Therefore, Parcel -020 is not a part of the Project and not analyzed as part of the OTP application review, and is physically cordoned off from the buildable parcel (-019). The Project Site has flat topography, contains 31 oak trees on-site and five off-site oak trees, and is vacant.

B. Site Access

The Project Site is accessible via Madre Street, a 60-foot-wide public right-of-way, to the east.

C. Site Plan

The site plan depicts a total of 36 oak trees, 31 on-site and five off-site on the adjacent northerly property, building footprints for a new SFR and attached ADU with a tennis court and swimming pool located in the rear yard, as well as appurtenant features including, but not limited to, the permeable driveway, utility lines, and proposed perimeter fence with front gate. Although oak trees are spread throughout the site, the heaviest concentration of oak trees is along the easterly and southerly property boundaries. These improvements will encroach into the

protected zone of 18 non-heritage oak trees (tree nos. 1, 3, 4, 5, 6, 8, 9, 10, 11, 16, 17, 22, 27, 29, 30, 31, 33, and 34), remove five oak trees including two heritage trees (tree nos. 7 and 12), ranging in size from 6 to 60 inches in diameter at breast height (DBH") and require the removal of one limb from oak tree no. 11, a non-heritage tree, as well as removal of two living oak trees, one of which is an heritage tree, and three dead trees (tree nos. 2, 28, 32) as stated on the site plan and Oak Tree Report. All trees are identified as Oak genus ($Quercus \, agrifolia$), in an oak tree report prepared by Cris Falco, Board Certified Master Arborist dated September 27, 2024.

12. CEQA DETERMINATION.

Prior to the Hearing Officer's public hearing on the Project, an Initial Study was prepared for the Project in compliance with the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County. Based on the Initial Study, staff from LA County Planning determined that a Negative Declaration ("ND") was the appropriate level of environmental document for the Project as the Project will have a less than significant impact in all environmental topic areas, including biological resources. The Project will be conditioned to plant replacement oak trees for each oak tree that is removed, except for the dead trees, identified by the certified arborist and confirmed by the County Forester. The heritage trees that are alive and proposed for removal have large cavities in the base of the trees, which can pose a hazard to people and property. These trees will be replaced at a ratio of 10:1 (10 plantings for each removal). The Initial Study also concluded that the project would have an impact on the oak woodland as the removal of dead trees and trees with compromised structural integrity, dead limbs, and herbaceous ground cover would result in a decrease of any existing or passing wildlife use, including loss of nesting and denning with the removal of old oaks with cavities; however, Project compliance with the standard replacement plantings regulations, as required by Title 22, would provide sufficient protection of oak trees resulting in a less than significant impact on biological resources. Further, Project conditions also require replacement plantings for any trees that fail as a result of encroachment, 2:1 for nonheritage oak trees and 10:1 for heritage trees. Therefore, the Project would not result in a significant impact on the environment.

- 13. **COMMUNITY OUTREACH.** No community outreach was conducted for the Project.
- 14. **PUBLIC COMMENTS.** No correspondence was received from the public regarding the Project.

15. AGENCY RECOMMENDATIONS.

County Fire Department, Forestry Division: Recommended clearance to public hearing with conditions in a letter dated September 27, 2024. The County Forester's letter indicates that the oak tree report submitted by the applicant is accurate and complete as to the location, size, and conditions of approval, which have been incorporated into this OTP.

16. **LEGAL NOTIFICATION.** Pursuant to Section 22.174.040.E (Oak Tree Permits – Application with a Public Hearing) of the County Code, the community was properly notified of the public hearing by mail, and the Daily Journal, and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On January 28, 2025, a total of 194 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as nine notices to those on the courtesy mailing list for the East San Gabriel Zoned District and to any additional interested parties.

GENERAL PLAN CONSISTENCY FINDINGS

- 17. **LAND USE POLICY.** While the Hearing Officer finds that the Project is for an OTP, the associated by-right single-family residential development is consistent with the goals and policies of the General Plan because the H2 land use category is intended for the development of single-family residences and issuance of an OTP will facilitate the development of a SFR and attached ADU, which is a land use that is permitted by right within the R-1 Zone. The Hearing Officer further finds that the Project is necessary to ensure the protection of oak trees which are valued historical, aesthetic, and ecological resources within the County.
- 12. **GOALS AND POLICIES.** The Hearing Officer finds that while the Project is for an OTP, the associated SFR development is consistent with the following goals and policies of the General Plan:
 - Goal LU 7: Compatible land uses that complement neighborhood character and the natural environment.
 - Land Use Element, Policy 4.1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.
 - Land Use Element, Policy 5.1: Encourage a mix of residential land use designations and development regulations that accommodate various densities, building types, and styles.

The encroachment into the protected zone of 18 non-heritage oak trees, removal of five oak trees including two heritage oak trees, and limb removal of one non-heritage oak tree are necessary to facilitate the development of a SFR, ADU, accessory structures, and appurtenant features. The development of a SFR in conjunction with an ADU is allowed and encourages infill development in such a residential community as East Pasadena. Maintaining the healthy oak trees on the premises while developing the vacant property with a single-family residential use that includes an ADU, accessory structures, and appurtenant features that comply with the Zoning Code will ensure complementary development that is consistent with the General Plan.

ZONING CODE CONSISTENCY FINDINGS

- 18. **PERMITTED USE IN ZONE.** The Hearing Officer finds that while the Project is for an OTP, the associated single-family residential development is consistent with the R-1-40,000 zoning classification and oak tree removals, cutting of branches greater than two inches in diameter, and encroachments into the protected zone of oak trees are permitted in such zone with an OTP pursuant to County Code Section 22.174.030 (Applicability).
- 19. **REQUIRED YARDS.** The Hearing Officer finds that while the Project is for an OTP, the associated single-family residential development will be consistent with the County Code Section 22.18.040 (Development Standards for Residential Zones) which requires a minimum front setback of 20 feet, rear setback of 15 feet, and side setback of 5 feet. The proposed residence maintains a 15-foot side yard, parallel to the northerly property line and a four-foot side yard is provided between the attached ADU and southerly property line. State ADU law requires a minimum side setback of 4 feet and overrides any conflicting local setbacks. A 71-foot front setback and 309-foot rear setback are also provided. Compliance with the required yards will be verified during review of the related SPR prior to issuance of a building permit.
- 20. **BUILDING HEIGHT.** The Hearing Officer finds that while the Project is for an OTP, the associated single-family residential development will be consistent with the county Code Section 22.18.040 (Development Standards for Residential Zones) which limits the height of a single-family residence to 35 feet. The residential building height, currently at 21 feet, will be reviewed for conformity under a separate ministerial permit.
- 21. **FENCING.** The Hearing Officer finds that while the Project is for an OTP, the associated single-family residential development, which includes proposed fencing, will be consistent with the standard identified in the County Code Section 22.110.070.B (Fences, Walls, and Landscaping) which limits the height of rear yard fences and walls to 6 feet and 3.5 feet for front yards. The Project proposes a six-foot high wrought perimeter fence which will be setback from the front property line a distance of at least 40 feet from Madre Street. Compliance with the fence/wall standards will be verified during review of the related SPR prior to issuance of a building permit.
- 22. ACCESSORY DWELLING UNIT. The Hearing Officer finds that while the Project is for an OTP, the associated proposed and any future ADUs will be reviewed for consistency with the standards identified under the State ADU law which requires ADUs to be located 20 feet from the front property line and 4 feet from the side and rear property lines, and no taller than 25 feet. The proposed attached ADU is sited four feet from the side property boundary (southerly) and more than 50 feet from the front and rear property boundaries. Compliance with the ADU standards will be verified during review of the related SPR prior to issuance of a building permit.
- 23. ACCESSORY STRUCTURES. The Hearing Officer finds that while the Project is for an OTP, the associated proposed accessory structures, except the ADU, will be reviewed for consistency with the standards identified in County Code Section 22.110.040.B (Accessory Structures and Equipment).

OAK TREE PERMIT FINDINGS

- 24. The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations on the subject property. Of the 36 oak trees on or adjacent to the Project Site, the protected zone of 18 non-heritage oak trees will be encroached upon: one limb of Tree No. 11, a non-heritage tree, will be removed; and five oak trees (tree nos. 2, 7, 12, 28, and 32), including two heritage oaks (oak tree no. 7 and 12) will be removed with the related construction of the SFR, attached ADU, swimming pool, tennis court, and other appurtenant features. No adverse impact to any remaining oak tree is anticipated. All but five (three of which are either dead or have a large cavity in the base of the tree) of the 31 on-site oak trees will remain in place with measures imposed to protect the trees from construction impacts through the County Forester recommended conditions of approval. The five off-site oak trees (tree nos. 23, 24, 25, 35, 36) will not be impacted by the development as the proposed perimeter fence is designed to avoid the protected zones of these oaks and no encroachment would result to these neighboring oak trees. The Project conditions of approval require the Permittee to provide mitigation trees should any protected tree fail as a result of the approved encroachments, and to plant mitigation trees within one (1) year of the permitted oak tree removal, and to require the use of hand tools to minimize and prevent damage to any of the on-site trees to be encroached upon.
- 25. The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated. The Project Site is undeveloped. Removal of five oak trees will not result in soil erosion as 31 oak trees will remain in place. Further, construction of a SFR and accessory structures will be subject to the Low Impact Development Ordinance and reviewed by the Department of Public Works prior to issuance of a building permit. Therefore, erosion requirements to control drainage and minimize site runoff will apply to the Project Site.
- 26. The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that (i) Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or (ii) Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized. A total of 36 oak trees form the sphere of influence of the oak woodland. Due to the sheer number of oak trees that cover the property, it is difficult for construction of the primary SFR, accessory structures, and appurtenant features to avoid all oak trees. The majority of the oak trees are clustered along the southerly and easterly property lines. The proposed removal of five oak trees, three of which are dead, allow for reasonable development of the property, consistent with the prescribed land use category and zoning. An alternative site plan with a different primary building footprint and detached ADU indicated more impacts to oak trees.

27. The Hearing Officer finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure. To balance development and the environment, the Zoning Code permits oak trees to be removed, so long as a development's design preserves the greatest practicable number of trees and ensures their replacement and propagation. The Project is subject to the County's Oak Tree Ordinance, which requires the planting of replacement trees at a ratio of 2:1 for non-heritage oak tree removals. The Forester is recommending a replacement ratio of 10:1 for the removal of healthy heritage oak trees, which means a total of 20 replacement trees will need to be planted. The arborist has identified three oak trees that are either dead or have large cavities in their base (No. 7, 28, 32) necessitating removal and confirmed by the Forester; therefore, replacement trees are not required for the removal of the dead oak trees.

ENVIRONMENTAL FINDINGS

- 28. After consideration of the ND, together with the public comments received during the public review process for the environmental document, the Hearing Officer finds on the basis of the whole record before it that there is no substantial evidence that the Project as conditioned will not have a significant effect on the environment, and further finds that the ND reflects the independent judgment and analysis of the Hearing Officer. The Project includes conditions requiring replacement trees to be planted at a ratio of 10 new trees for each living heritage tree that is removed. Additionally, Project conditions also require replacement plantings for any trees that fail as a result of encroachment, 2:1 for non-heritage oak trees and 10:1 for heritage trees.
- 29. The Hearing Officer finds that the Permittee is subject to payment of the California Department of Fish and Wildlife fees related to the Project's effect on wildlife resources pursuant to section 711.4 of the California Fish and Game Code, which is required for an ND determination.

ADMINISTRATIVE FINDINGS

30. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Foothills Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to County Title 22 (Planning and Zoning) regulations on the subject property.

- B. The removal of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.
- C. The removal of the oak trees proposed is necessary as continued existence at the present location frustrates the planned improvement or proposed use of the subject property to such an extent that alternate development plans cannot achieve the same permitted density and that placement of such tree precludes the reasonable and efficient use of such property or a use otherwise authorized.
- D. The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the oak tree permit procedure.

THEREFORE, THE HEARING OFFICER:

- Certifies that the Negative Declaration for the Project was completed in compliance with CEQA and the State and County Guidelines related thereto; certifies that it independently reviewed and considered the Negative Declaration and that the Negative Declaration reflects the independent judgment and analysis of the Hearing Officer as to the environmental consequences of the Project; determined that on the basis of the whole record before the Hearing Officer that there is no substantial evidence that the Project will not have a significant effect on the environment; and adopts the Negative Declaration; and
- 2. Approves **OAK TREE PERMIT NO. RPPL2021011244**, subject to the attached conditions.

ACTION DATE: May 6, 2025

MRB:MP

March April 24, 2025

LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING

UPDATED DRAFT CONDITIONS OF APPROVAL PROJECT NO. PRJ2021-004689 OAK TREE PERMIT NO. RPPL2021011244

PROJECT DESCRIPTION

The project is a request to remove five oak trees identified as tree nos. 2, 7, 12, 28, and 32, including two heritage oak trees (tree nos. 7 and 12); remove the limb from oak tree no. 11, a non-heritage tree, and encroach into the protected zone of 18 non-heritage oak trees identified as tree nos. 1, 3, 4, 5, 6, 8, 9, 10, 11, 16, 17, 22, 27, 29, 30, 31, 33, and 34 associated with the construction of a primary single-family residence, attached accessory dwelling unit ("ADU"), and other accessory structures, equipment, and features.

GENERAL CONDITIONS

- 1. Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
- 2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid pursuant to attached County Forester and Fire Warden ("Forester") letter dated June 20, 2024. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, 7, and 9 shall be effective pursuant to Section 22.222.230 (Effective Date of Decision and Appeals) of the County Code.
- 3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
- 4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

EXHIBIT D DRAFT CONDITIONS OF APPROVAL PAGE 2 OF 5

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010 (Fees For Providing County Records).

- 5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
- 6. Upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
- 7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
- 8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. If inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$441.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).
- 9. Within five (5) working days from the day after your appeal period ends **May 13**, **2025**, the Permittee shall remit processing fees at the County Registrar-Recorder/County Clerk Office (i.e. County Clerk's Office), payable to the County of Los Angeles, in connection with the filing and posting of a Notice of Determination ("NOD") for this project and its entitlements in compliance with section 21152 of the Public Resources Code. Unless a Certificate of Exemption is issued by the California Department of Fish and Wildlife pursuant to section 711.4 of the California Fish and

Game Code, the Permittee shall pay the fees in effect at the time of the filing of the NOD, as provided for in section 711.4 of the Fish and Game Code, currently \$2,968.75 (\$3,043.75 for a Negative Declaration or Mitigated Negative Declaration plus \$75.00 processing fee), or \$4,243.25 (\$4,168.25 for an Environmental Impact Report plus \$75.00 processing fee.) No land use project subject to this requirement is final, vested or operative until the fee is paid.

- 10. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
- 11. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
- 12. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
- 13. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Site Plan, or a subsequent Site Plan approved by the Director of LA County Planning ("Director").

PROJECT SITE-SPECIFIC CONDITIONS

- 14. This grant shall authorize the removal of five oak trees identified as 2, 7, 12, 28, 32, including two heritage oak trees (7 and 12), removal of a limb from oak tree no. 11, a non-heritage tree, and encroachment into the protected zone of 18 non-heritage trees identified as tree nos. 1, 3, 4, 5, 6, 8, 9, 10, 11, 16, 17, 22, 27, 29, 30, 31, 33, and 34 associated with the construction of a primary single-family residence, accessory dwelling unit, permeable driveway, patio, pool, proposed fencing, and related trenching.
- 15. This grant shall not be effective until a site plan review is approved for the construction of the single-family residence, attached accessory dwelling unit, pool, tennis court, and all other project features.
- 16. Only one utility trench shall encroach into the protected zone of oak tree nos. 9 and 10.
- 17. Only one driveway access point and related curb cut shall encroach into the protected zone of oak tree nos. 3 through 6.

- 18. The permittee shall comply with all conditions and requirements contained in the County Forester ("Forester") letter dated October 22, 2024 (attached hereto), to the satisfaction of said Forester, except as otherwise required by the Forester and by these conditions
- 19. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director and Forester stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director and the Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates. Oak tree removals shall be performed in a manner consistent with state law. Refer to the Nesting Birds: Guide to Bird-Friendly Tree and Shrub Trimming and Removal, attached as Exhibit D-3.
- 20. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1), and ten to one (10:1) for each healthy heritage tree removed, for a total of 20 trees two (2) trees or ten (10) trees. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified, and (10:1) for Heritage oaks, above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
- 21. In lieu of planting 20 replacement trees on-site, the applicant may plant 10 trees at 15 gallons on-site and 10 trees at 15 gallons off-site. A total of 20 replacement trees shall be planted and are subject to a 2-year monitoring period by the Fire Department's Forestry Unit.
- 22. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
- 23. Mitigation trees shall consist of indigenous varieties of *Quercus agrifolia*, grown from a local seed source.
- 24. Prior to the planting of replacement oak trees, the Permittee shall submit a Replacement Planting Plan to the Forester and LA County Planning for approval. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on-site or within the same community if approved by the Forester. If mitigation trees are deemed impossible by the Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."

- 25. In the event of the death of any oak tree as a result of the Project encroachments and related to the planting of mitigation trees for the one oak tree removal, the permittee shall:
 - a. Plant one healthy acorn of the same species of oak (Quercus sp.) as the tree removed for each mitigation tree planted. The acorns shall be planted at the same time as and within the watering zone of each mitigation tree.
 - b. All replacement trees shall be planted on native undisturbed soil and shall be the same species of oak (Quercus sp.) as the removed tree. The location of the replacement tree shall be in the vicinity of other oak trees of the same species. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
 - c. When replacement trees are planted on disturbed soil or are not in the vicinity of the same species of oak (Quercus sp.) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
 - d. Where grading or any other similar activity is specifically approved within the protected zone, the permittee shall provide an individual with special expertise acceptable to the Director to supervise all excavation or grading proposed within the protected zones and to further supervise, monitor and certify to the Forester the implementation of all conditions imposed in connection with the permittee's oak tree permit.
 - e. Any excavation or grading allowed within the protected zone or within 15 feet of the trunk of a tree, whichever distance is greater, shall be limited to hand tools or small hand-power equipment.

Attachments:

Exhibit D-1 Fire Department Letter dated October 22, 2024

Exhibit D-2 Oak Trees: Care and Maintenance Guide

Exhibit D-3 Nesting Birds: Guide to Bird-Friendly Tree and Shrub Trimming and Removal