

## REPORT TO THE HEARING OFFICER

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DATE ISSUED: April 23, 2026

HEARING DATE: May 5, 2026 AGENDA ITEM: 4

PROJECT NUMBER: PRJ2022-002115-(3)

PERMIT NUMBER(S): Variance No. RPPL2022006560

SUPERVISORIAL DISTRICT: 3

PROJECT LOCATION: 2266 North Topanga Canyon Boulevard, Topanga

OWNER: Shidan Taslimi

APPLICANT: Sean Nguyen

CASE PLANNER: Shawn Skeries, Principal Planner  
sskeries@planning.lacounty.gov

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### RECOMMENDATION

*The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:*

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2022-002115-(3), Variance Number RPPL2022006560, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motions:

### **CEQA:**

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

### **ENTITLEMENT:**

I, THE HEARING OFFICER, APPROVE VARIANCE NO. RPPL2022006560 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

## **PROJECT DESCRIPTION**

### **A. Entitlement Requested**

The Variance is requested to authorize the following development within the protected zone of a significant ridgeline (“Project”) pursuant to County Code Section 22.336.100 (Modification of Development Standards) and County Code Chapter 22.194 (Variances):

- Construction of a new swimming pool with a spa and a retaining wall
- Approval of existing unpermitted structures, including a 315-square-foot addition to an existing single-family residence and a 69-square-foot addition to an accessory structure

The Project will also have a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported.

The Variance is associated with Ministerial Site Plan Review No. RPPL2022006563, which requests the development described above and cannot be approved unless this Variance request is also approved.

The Variance is required because County Code Section 22.336.070.R.1 (Community-Wide Development Standards) states:

- The highest point of a structure that requires any permit shall be located at least 50 vertical feet and 50 horizontal feet from a significant ridgeline, excluding chimneys, rooftop antennas, and amateur radio antennas; and
- Where there are no feasible alternative building sites below the ridgeline or where the only alternative building site would result in unavoidable adverse impacts to sensitive habitat areas, structures shall be limited to 18 feet in height to minimize visual impact and preserve the quality of the scenic area.

County Code Section 22.336.100.A.1 (Modification of Development Standards) states that the Variance can be approved only if the following findings are made:

- Alternative sites within the property or project have been considered and eliminated from consideration, based on physical infeasibility or the potential for substantial habitat damage or destruction if any such alternative site is used; and
- The proposed project maintains the maximum view of the applicable significant ridgeline through the use of design features for the project such as, but not limited to, minimized grading and reduced structural height, clustered structures, shape, materials, and color that allow the structures to blend with the natural setting, and use of locally indigenous vegetation for concealment of the project.

### **B. Project**

The site plan depicts the Project Site with an existing approximately 1,498-square-foot single-family residence and an existing 432-square-foot art studio.

The original single-family residence was established in 1941 according to County Assessor Records. An area of approximately 275 square feet on the western edge of the residence, which no longer exists, was assessed in 1951. Currently there is a 315-square-foot addition on the eastern edge of the residence that has not been documented in any County building records. The residence's overall height is shown to be 15 feet and four inches and the undocumented addition's overall height is shown to be 11 feet and eight inches.

The 363-square-foot art studio, which is located approximately 50 feet to the east of the residence, was assessed in 1951. Currently there is a 69-square-foot addition to the art studio that has not been documented in any County building records.

The site plan also depicts the proposed 50-foot by 20-foot swimming pool with a spa, decking, and a new retaining wall. Grading amounts total 246 cubic yards (86 cubic yards of cut, 160 cubic yards of fill) with 74 cubic yards to be imported.

The Project Site includes native and non-native species and has S2, S3, and S4 Habitat Zones. The Project work is located in the disturbed S4 Habitat Zone, outside of areas that contain undisturbed native vegetation. The unpermitted additions to both the single-family residence and the art studio will slightly increase the required fuel modification for these structures but will not impact biological resources.

The Project is located in an area of the Project Site that is relatively flat, was previously disturbed during the construction of the residence and is within the existing fuel modification zone. The Project is also outside the scenic road buffer of Topanga Canyon Boulevard and located on the far side of the existing residence.

To develop the swimming pool, a retaining wall is proposed on the south side of the pool, between the pool and the home, because the home sits approximately six feet below the flat, previously graded pad. The swimming pool is closer to, and just south of, the significant ridgeline. To permit additional construction within 50 feet of the ridgeline, the applicant is requesting a Variance pursuant to County Code Section 22.336.100.

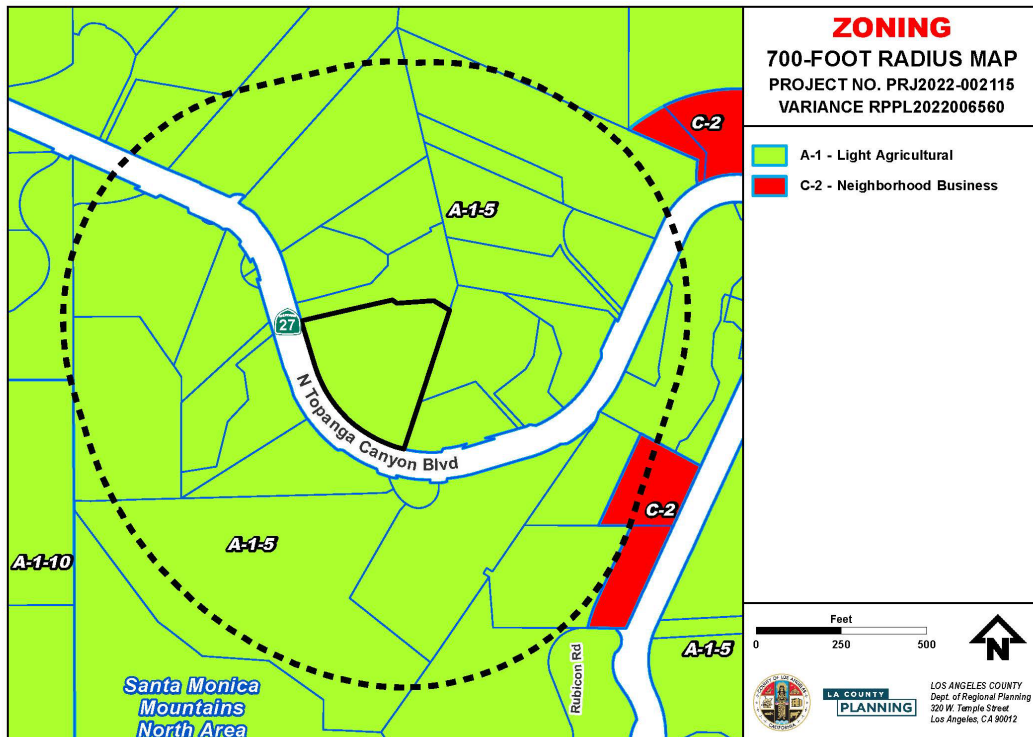
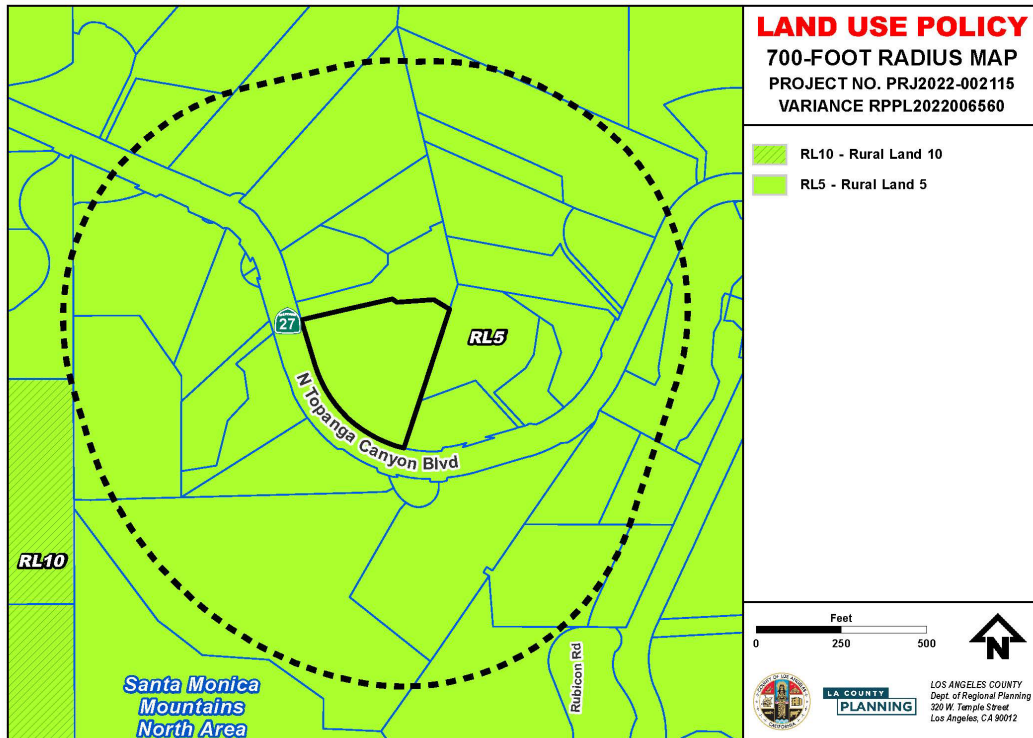
### **C. Project Background**

The single-family residence was constructed in 1941, according to County Assessor Records.

**SUBJECT PROPERTY AND SURROUNDINGS**

The following chart provides property data within a 700-foot radius:

<b>LOCATION</b>	<b>SANTA MONICA MOUNTAINS NORTH AREA PLAN</b>	<b>ZONING</b>	<b>EXISTING USES</b>
SUBJECT PROPERTY	RL5 (Rural Land-One Dwelling Unit Per Five Acres Maximum Density)	A-1-5 (Light Agricultural – Five-Acre Minimum Lot Area)	Single-family residence
NORTH	RL5	A-1-5	Single-family residences and vacant land
EAST	RL5	A-1-5, C-2 (Neighborhood Business)	Single-family residences and vacant land
SOUTH	RL5	A-1-5	Single-family residences and vacant land
WEST	RL5	A-1-5	Single-family residences and vacant land



**PROPERTY HISTORY**

**A. Zoning History**

ORDINANCE NO.	ZONING	DATE OF ADOPTION
1494	Unlimited	August 1929
7076	M-3 (Unclassified)	December 26, 1956
10754	A-1-2 (Light Agricultural – Two Acre Minimum Required Lot Area)	June 28, 1973
2002-0062z	A-1-5 (Light Agricultural – Five Acre Minimum Required Lot Area)	August 20, 2002

**B. Previous Cases**

CASE NO.	REQUEST	DATE OF ACTION
n/a		

**C. Violations**

CASE NO.	VIOLATION	CLOSED/OPEN
n/a		

**ANALYSIS**

**A. Land Use Compatibility**

The Project Site is located in the Santa Monica Mountains North Area Plan’s RL 5 (Rural Land - One Dwelling Unit Per Five Acres Maximum Density) land use designation. The Project is consistent with the goals and policies of the RL 5 land use designation because it will continue to be a single-family residence and associated accessory uses and is consistent with residential uses in the area. The Project does not alter the residential character of the Project Site.

The home was constructed before adoption of the Santa Monica Mountains North Area Plan and adoption of the regulations related to significant ridgelines, which were established by Ordinance Number 2004-0072 adopted on January 6, 2005. The Project involves the construction of an accessory use swimming pool with a spa, decking, and a retaining wall, and the approval of existing unpermitted additions to the principal residential use and an accessory structure, that do not change or affect the significant ridgeline because they are located approximately 20 feet lower than the ridgetop and behind the residence as viewed from North Topanga Canyon Boulevard.

For the applicant to be granted a Variance to develop a swimming pool with a spa, decking, and a retaining wall adjacent to a significant ridgeline, the applicant must demonstrate that there are special physical circumstances or characteristics of the subject property that are not generally applicable to other properties in the vicinity that are similarly classified. The

applicant must also demonstrate that the Variance is necessary to preserve a property right enjoyed by other properties in the same vicinity and zone.

In this case, as shown on the Site Plan (Exhibit A) and in the Biological Report (Exhibit K), the Project is within the level, previously graded fuel modification zone for the residence. The swimming pool has been designed to meet the contours of the property, will be sited behind the home to reduce its visibility, and will be sited so that it avoids native and sensitive habitat areas. The Project remains more than 20 feet below the top of the ridge and is outside the scenic buffer zone for Topanga Canyon Boulevard. Based on the habitat analysis, the Project Site is in S4 Habitat Zone and is previously disturbed, therefore avoiding the S2 and S3 Habitat Zones on the remainder of the property.

Other properties in this area are developed with single-family residences and associated accessory structures, such as swimming pools. If a swimming pool and unpermitted additions to the home and accessory structure are allowed, the owner will experience the use and enjoyment of the existing property with land uses authorized in the RL5 land use designation. Additionally, other sites for the swimming pool would have habitat impacts, and prohibiting a pool would eliminate the owner's right for use and enjoyment of the property within the previously graded and disturbed area.

**B. Neighborhood Impact (Need/Convenience Assessment)**

The neighborhood impact of the Project is likely to be minimal, as it would legalize existing unpermitted additions to the home and an accessory structure that were constructed within the existing footprint of the Project Site prior to the current owner's purchase of the property. The Project would also allow construction of a swimming pool behind the house that is not visible from Topanga Canyon Boulevard due to the topography. The Project is within the existing fuel modification zone approved by the County Fire Department and a swimming pool does not require expansion of the zone. The minor additions to the residence and accessory structure do not expand the fuel modification into sensitive habitat areas. The pool itself provides a water source for fire suppression in the area.

The Project would be similar in character to the other single-family residences in the vicinity in terms of size and would be less impactful in terms of building area and visibility because the development will be located in the rear of the residence. Other nearby property owners already enjoy similar use of their properties, as there are several other single-family residences developed on parcels on all sides.

**C. Design Compatibility**

As indicated above, the location of the swimming pool behind the home minimizes its impact on habitat areas and topography. While it will be constructed approximately six feet above the home, it will sit within the disturbed site and still be blocked from view of Topanga Canyon Boulevard, with the ridge still more than 20 feet above it.

The unpermitted addition to the home is located on the northwest side of the residence and the addition to the accessory structure does not alter its bulk and scale. The structure is less than 18 feet tall, as required by County Code Section 22.336.070.R.1.b (Community-Wide Development Standards) for structures near a ridgeline.

The Project Site is not visible from Topanga Canyon Boulevard, a designated scenic route immediately to the west and south of the Project Site. The Project is not visible from the road due to topography, as shown on the submitted site plan. Developments constructed today must be located 50 feet below and 50 feet away from the top of the ridgeline. The home was constructed in 1941 and pre-dates this requirement, but the home is less than 18 feet in height, consistent with current requirements, even with the unpermitted addition.

The Project is within the S4 Habitat Zone, but the Project Site includes S2 and S3 Habitat Zones. As a result, a Biological Report was prepared and reviewed by the LA County Planning Staff Biologist (“Staff Biologist”). The Staff Biologist concurred with the conclusions of the Biological Report that the Project is located within disturbed land, within the existing fuel-modification zone, and is sited to avoid more sensitive trees or habitat areas.

#### **GENERAL PLAN/COMMUNITY PLAN CONSISTENCY**

The Project is consistent with applicable goals and policies of the General Plan and the Santa Monica Mountains North Area Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

#### **ZONING ORDINANCE CONSISTENCY**

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

#### **BURDEN OF PROOF**

The applicant is required to substantiate all facts identified by County Code Sections 22.194.050 (Findings and Decision) and 22.336.100 (Modification of Development Standards). The Burden of Proof with the applicant’s responses is attached (Exhibit E – Applicant’s Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

#### **ENVIRONMENTAL ANALYSIS**

Staff recommends that this Project qualifies for a Categorical Exemption (Class 3 – New Construction or Conversion of Small Structures and Class 4 – Minor Alterations to Land) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The Class 3 Categorical Exemption covers the new construction for the swimming pool and retaining wall and the Class 4 Categorical Exemption covers the required grading for the pool.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because the prepared biological assessment of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by the proposed development of the Project, as described in detail below.

The Permittee completed a biological assessment that was reviewed by the Staff Biologist. The Staff Biologist conducted a site visit and confirmed that the Project Site was appropriately mapped and agreed with the contents of the biological assessment. The biological assessment determined that the portion of the Project Site proposed for development does not contain any environmental resources of hazardous or critical concern, nor does it contain any plants or animals listed as federal, state, or locally sensitive designation, and it is not considered a particularly sensitive environment. The Project, with a maximum height of 11 feet and eight inches above grade, is not expected to impact scenic resources such as the designated scenic highway (Topanga Canyon Boulevard) or state conservation land. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development, and no hazardous waste sites or historic resources would be affected.

Therefore, Staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

### **COMMENTS RECEIVED**

#### **A. County Department Comments and Recommendations**

1. The Department of Public Works, in a letter dated July 11, 2024, recommended that the Project proceed to public hearing.
2. The Fire Department, in a letter dated June 24, 2024, recommended that the Project proceed to public hearing.
3. The Department of Public Health, in letter dated November 12, 2024, recommended that the Project proceed to hearing with required conditions of approval.

#### **B. Other Agency Comments and Recommendations**

Staff has not received any comments at the time of report preparation.

**C. Public Comments**

Staff has not received any comments at the time of report preparation.

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Report  
Reviewed By:                     *Rob Glaser*                      
Robert Glaser, Supervising Regional Planner

Report  
Approved By:                     *M. Glaser*                      
Mitch Glaser, Assistant Administrator

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LIST OF ATTACHED EXHIBITS	
EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Public Correspondence
EXHIBIT K	Biological Report

PROPERTY ADDRESS:  
2266 N. TOPANGA CANYON BLVD  
TOPANGA, CA 90290

ASSESSOR'S PARCEL NO.:  
4434-012-037 (LOS ANGELES COUNTY)

LEGAL DESCRIPTION:  
ALL THAT CERTAIN PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
THAT PORTION OF LOT 23 OF TRACT NO. 3729, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 41, PAGES 17-20 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE COMMON CORNER OF LOTS 22, 23 AND 24 IN SAID TRACT 3729; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 23, 523.10 FT MORE OR LESS TO THE EASTERLY LINE OF TOPANGA CANYON ROAD AS SHOWN ON THE MAP OF SAID TRACT; THENCE SOUTHEASTERLY ALONG SAID TOPANGA CANYON ROAD, BEING THE SOUTHWESTERLY LINE OF SAID LOT 23 A DISTANCE OF 586 FT MORE OR LESS TO THE SOUTHEASTERLY END OF A CURVE CONCAVE SOUTHWESTERLY AND HAVING A LENGTH OF 196.76 FT ON SAID MAP, THENCE NORTHEASTERLY ON A DIRECT LINE TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT 23; THENCE ALONG THE NORTHERLY LINE OF SAID LOT 23, 575°49'12"W 196.62 FT; THENCE S53°20'38"E 16.36 FT; THENCE N85°52'46"E 108.09 FT; THENCE S78°14'46"E 51.65 FT TO A POINT IN THE EASTERLY LINE OF THE LAND DESCRIBED IN DEED TO ANDREW LOO RECORDED APRIL 14, 2000 AS INSTR. NO. 00-564160, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID POINT BEING 57°54'31"W 78 FT FROM THE POINT OF TRUE BEGINNING; THENCE N17°54'31"E 78.00 FT TO THE POINT OF BEGINNING.

ALSO EXCEPT THEREFROM THAT PORTION THEREOF TAKEN BY THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FOR ROAD PURPOSES AND DESCRIBED IN BOOK 7156 PAGE 532 OF OFFICIAL RECORDS.

SAID LAND IS PURSUANT TO THAT CERTAIN CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RLLA 2004 00014 RECORDED NOVEMBER 12, 2004 AS INSTR. NO. 04 2938120, OF OFFICIAL RECORDS.

**BASIS OF BEARINGS:**

THE BEARING OF N66°35'46"W ALONG THE CENTERLINE OF TOPANGA CANYON BLVD AS SHOWN ON PARCEL MAP NO. 7560 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 93, PAGES 3-4, IN THE OFFICE OF THE RECORDER OF SAID COUNTY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCH MARK:**

MALIBU 1178.613' CSBM MON IN W WALL HDWL CULV @ N DY11322 (2000)  
END 9M(29.51) E/O C/TOPANGA CYN  
BLVD @ 5.3M(18) N/O DRWY TO #2266  
MKD IBM 56-13C 1968 RE 5869)

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NAVD 1988 DATUM.

**NOTES:**

1) TITLE REPORT USED FOR THIS SURVEY WAS PREPARED BY LAWYERS TITLE COMPANY, ORDER NO. 116072319, DATED JUNE 03, 2016. EASEMENTS, AS SHOWN ON THIS MAP ARE FROM INFORMATION OBTAINED FROM SAID TITLE REPORT.

2) PERTAINING TO SURVEY AND TOPO MAP IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM CONTOURS SHOWN ON THIS MAP, GROUND ELEVATIONS AT CRITICAL POINTS CONTROLLING THE DESIGN SHOULD BE VERIFIED BY DIRECT LOCATION AND LEVELS PRIOR TO FINAL DESIGN ADOPTION.

3) UTILITIES, IF LOCATED, ARE BY SURFACE EVIDENCE ONLY. (MANHOLES, WATER METERS, GAS METERS, POWER POLES, ETC.)

4) GROSS PARCEL AREA = 120,618 SQ. FT. / 2.77 ACRES  
FOOTPRINT OF 1 STORY STUCCO HOUSE: 1505 SQ. FT.  
FOOTPRINT OF 1 STORY STUCCO STUDIO: 435 SQ. FT.

5) PER TITLE ITEM #3 SLOPE EASEMENT FOR ROAD PURPOSES: LOCATION IS PER OPINION OF COUNTY SURVEYOR. (NO KNOWN LOCATION TO PLOT)

6) PER TITLE ITEM #4 PIPELINE EASEMENT TO/FROM NATURAL FLOWING WATER SPRINGS: SPECIFIC LOCATION OF SPRING(S) AND DIRECTION OF SAID PIPELINES, ARE NOT IDENTIFIED: UNABLE TO PLOT EASEMENTS

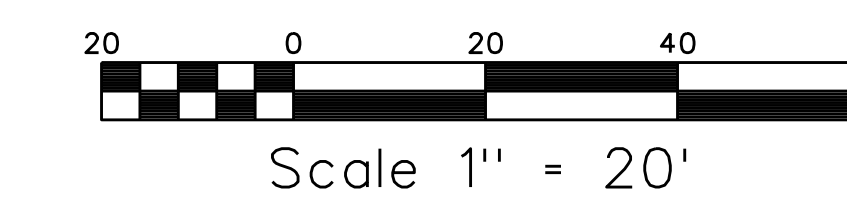
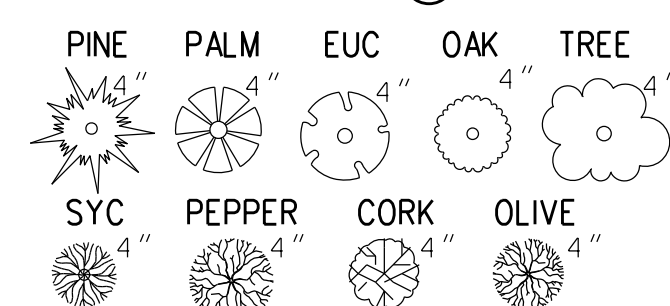
7) CORRECTED BOUNDARY AT N-E CORNER TO REFLECT DISTANCE CALL. DEED HAS TYPO AND WAS NOT CLEAR.

**LIST OF ABBREVIATIONS:**

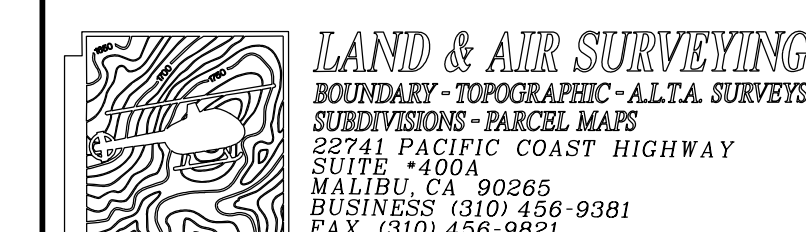
IX2	1"x2" WOOD
AC UNIT	AIR CONDITIONING UNIT
A/C	ASPHALT
BBO	BARBEQUE
BLK	BLOCK
B.O.B.	BASIS OF BEARING
BRK	BRICK
CLR	CLEAR
CN	CONCRETE NAIL
CONC	CONCRETE
DI	DRAIN INLET
DO	DRAIN OUTLET
DN	DOWN
ENCR	ENCROACHMENT
ETCH "X"	ETCHED OR SCRIBED "X"
FD	FOUND
FH	FIRE HYDRANT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GM	GAS METER
GV	GAS VALVE
H&T	HUB & TACK
ICV	IRRIGATION CONTROL VALVE
IP	IRON PIPE
L&T	LEAD & TACK
MH	MANHOLE
MHTL	MEAN HIGH TIDE LINE
O/H	OVER HANG
PILE	CONC PILE / CAISSON
PP	POWER POLE
PMX	PAINT MARK "X"
RRT	RAIL ROAD TIE
SP	SIGN POST
SPK	SPIKE
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP CURB
TW	TOP WALL
W	WASHER
WM	WATER METER
WV	WATER VALVE

**LEGEND:**

PROPERTY LINE:	---
STREET CENTERLINE:	---
EASEMENT:	---
MONUMENT:	---
STREET LIGHT (ST.LT.):	---
ASPHALT (A/C):	---
BUILDING:	---
CHAIN LINK FENCE (C.L.F.):	---
WOOD FENCE:	---
WIRE FENCE:	---
WROUGHT IRON-FENCE:	---
CONCRETE (CONC.):	---
TILE:	---
SLATE/FLAGSTONE:	---
DIRT/GRAVEL:	---
BRICK (BRK):	---
MANHOLE (M.H.):	---
TREES:	---





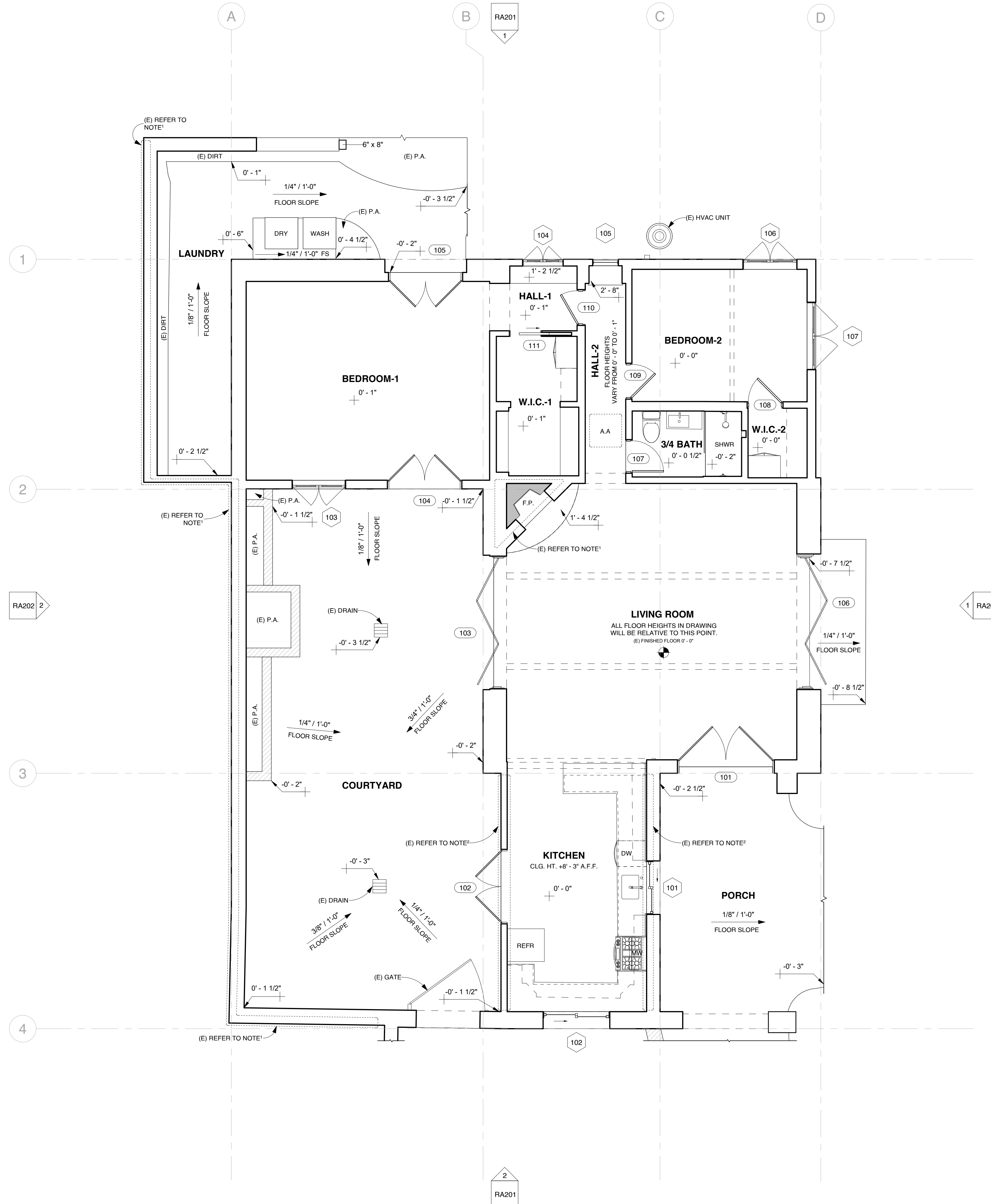
REVISIONS:		SURVEYED FOR:		SURVEYED BY:	
2/28/17	REVISION 1	SHIDAN TASLIMI		SHIDAN TASLIMI	
12/14/16	REVISION 2	1805 COLORADO AVENUE		TASLIMI	
	NOTE 1)	SANTA MONICA CA 90404			
SURVEYED BY: J.W.JR.		SCALE: 1" = 20'		CALC'D BY: MDS	
DRAWN BY: CT.HF		JOB NO: TASL1-116		CHECK'D BY: MDS	
		SURVEY DATE: 12/14-16/16		ERSE BY: N/A	
		SHEET: 1 OF 1		ASSEMBLED BY: N/A	



SY:\JOBS\_1-Y\TASLIMI,SHIDAN\_MEHRAN\TOPANGA\_BLDG\TASL1\_116.DGN



WALL LEGEND	
	(E) WALL
	(E) LOW WALL



- NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
  2. THE INDICATED WALL HAS AN INCLINATION. THE TOLERANCE WAS INCREASED HERE TO MAKE THE WALL STRAIGHT WHICH IS NOT THE TRUE CONDITION OF THE EXISTING WALL. PLEASE VERIFY ON-SITE.

REVISIONS		
No.	Description	Date

**DIMENSIONS®**

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REPRESENT THE TRUE CONDITION OF THE EXISTING WALLS. MEASUREMENTS NEED TO BE OBTAINED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

RESIDENTIAL AS-BUILT

2266 NORTH TOPANGA CANYON BOULEVARD  
TOPANGA, CA 90290

DATE: AUGUST 31, 2023

TIME STAMP:

(E) LEVEL 1 FLOOR PLAN

Project # 923-12044

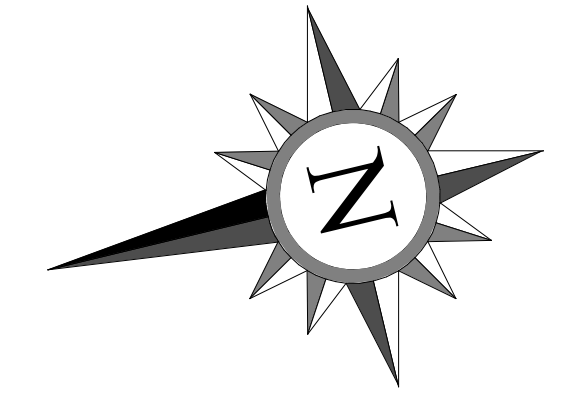
Date 08-31-2023

PAPER SIZE ARCH E1 30X42

Scale 1/4" = 1'-0"

**RA101**

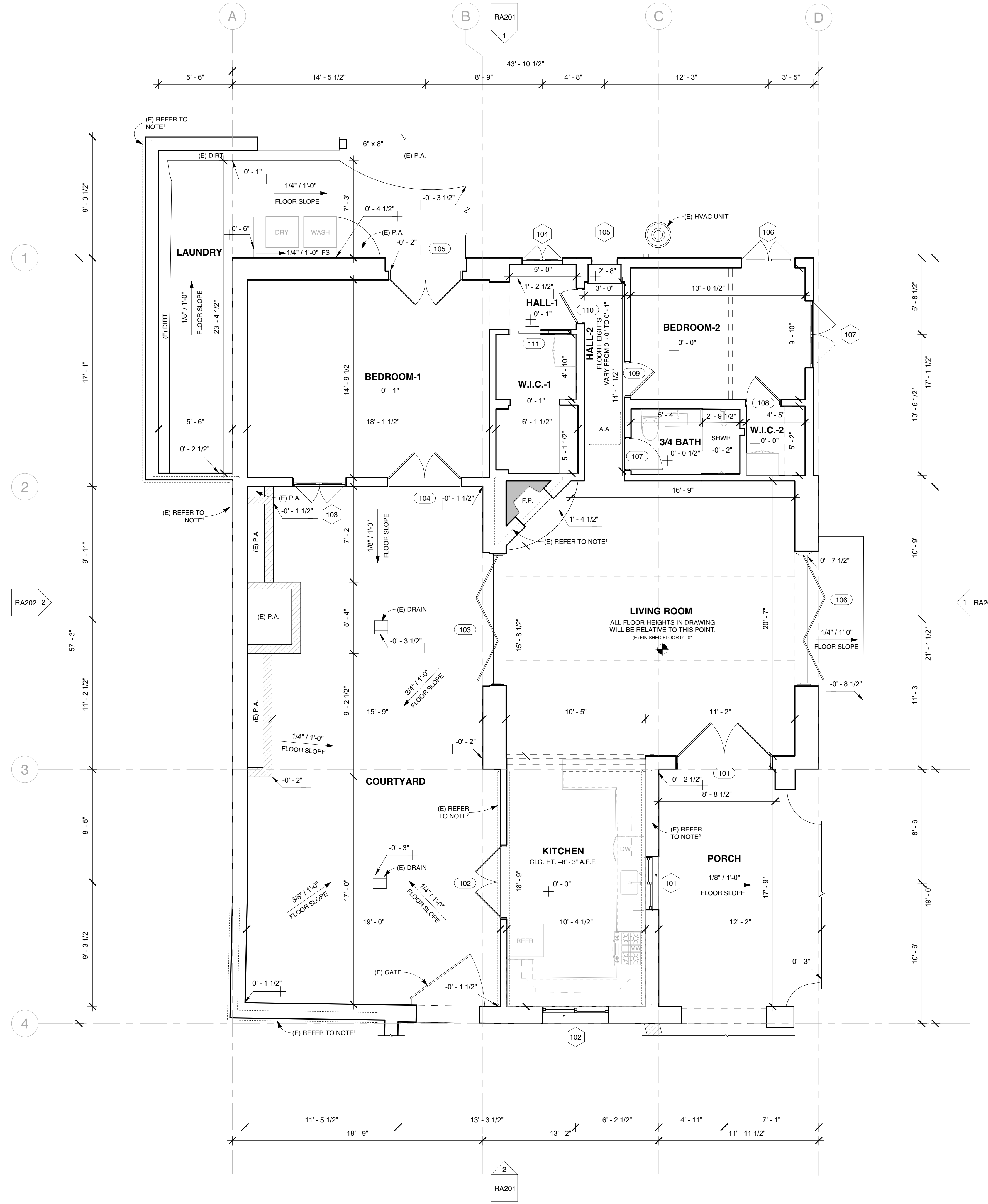
**1 (E) LEVEL 1 FLOOR PLAN**  
1/4" = 1'-0"



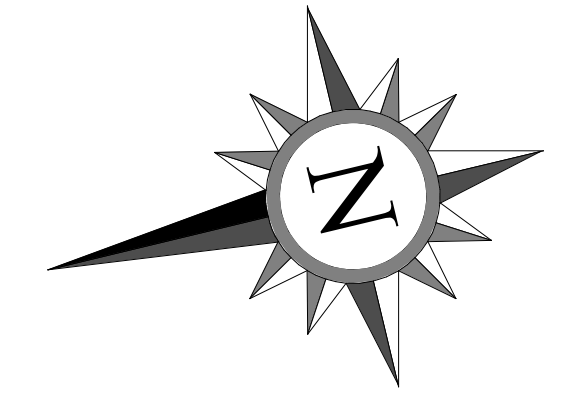
WALL LEGEND	
	(E) WALL
	(E) LOW WALL

- NOTES:
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  - THE INDICATED WALL HAS AN INCLINATION. THE TOLERANCE WAS INCREASED HERE TO MAKE THE WALL STRAIGHT WHICH IS NOT THE TRUE CONDITION OF THE EXISTING WALL. PLEASE VERIFY ON-SITE.

REVISIONS		
No.	Description	Date



**1** (E) DIMENSIONED LEVEL 1 FLOOR PLAN  
1/4" = 1'-0"



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**RESIDENTIAL AS-BUILT**

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

AUGUST 31, 2023

(E) DIMENSIONED  
LEVEL 1 FLOOR  
PLAN

Project # 923-12044

Date 08-31-2023

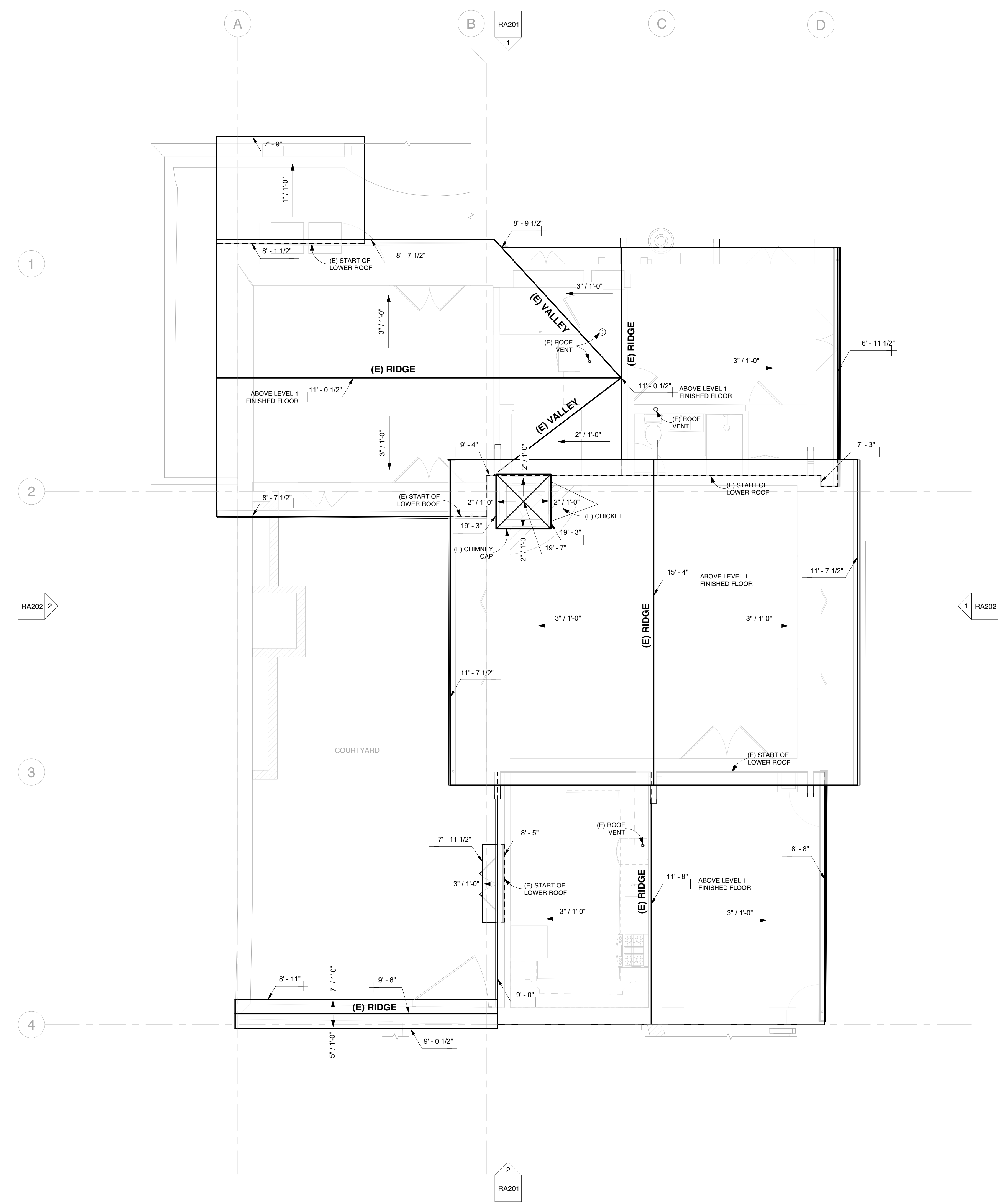
PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

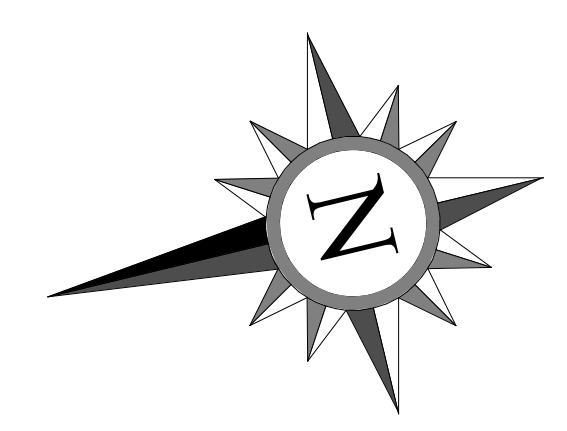
**RA101.1**

REVISIONS		
No.	Description	Date

- NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
  2. THE INDICATED WALL HAS AN INCLINATION. THE TOLERANCE WAS INCREASED HERE TO MAKE THE WALL STRAIGHT WHICH IS NOT THE TRUE CONDITION OF THE EXISTING WALL. PLEASE VERIFY ON-SITE.



**1 (E) ROOF PLAN**  
1/4" = 1'-0"



**DIMENSIONS®**

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REPRESENT THE TRUE CONDITION OF THE EXISTING WALLS. MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

**RESIDENTIAL AS-BUILT**

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

DATE: AUGUST 31, 2023  
TIME STAMP:

**(E) ROOF PLAN**

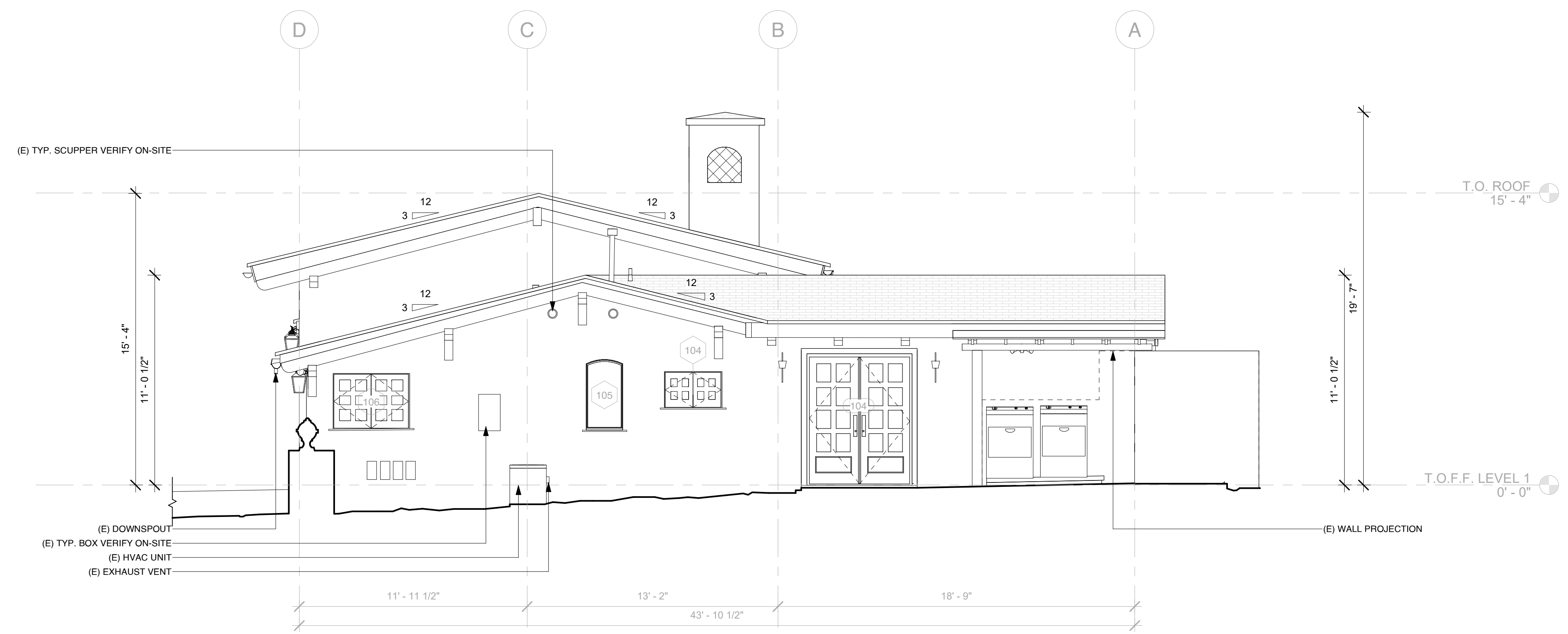
Project # 923-12044

Date 08-31-2023

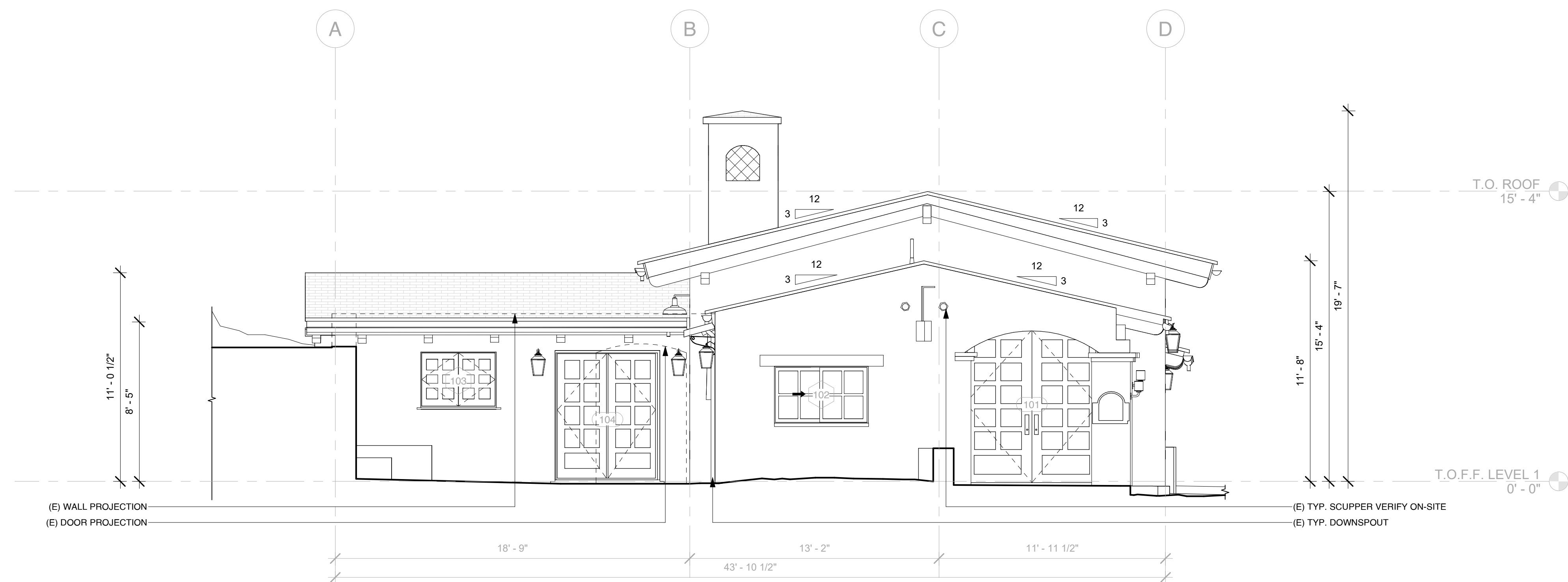
PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

**RA102**



**1** (E) EXTERIOR ELEVATION - PROJECT NORTH  
1/4" = 1'-0"



**2** (E) EXTERIOR ELEVATION - PROJECT SOUTH  
1/4" = 1'-0"

REVISIONS		
No.	Description	Date

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RESIDENTIAL  
AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

AUGUST 31, 2023

(E) EXTERIOR  
ELEVATIONS -  
PROJECT NORTH  
AND SOUTH

Project # 923-12044

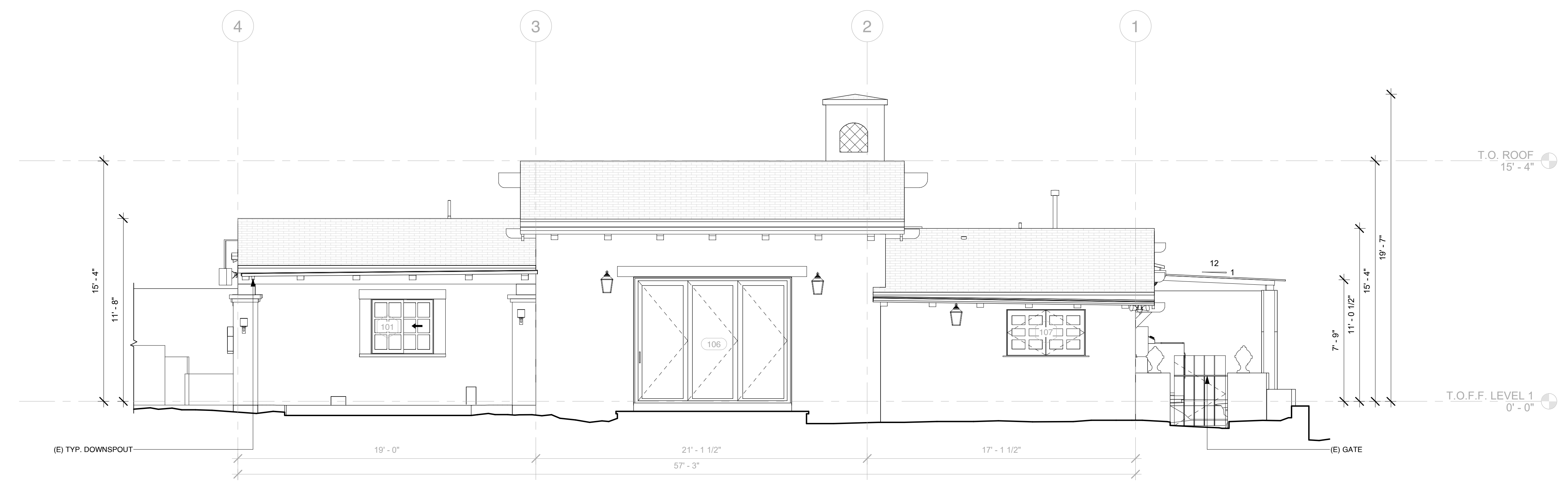
Date 08-31-2023

PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

**RA201**

REVISIONS		
No.	Description	Date



**1 (E) EXTERIOR ELEVATION - PROJECT EAST**  
1/4" = 1'-0"



**2 (E) EXTERIOR ELEVATION - PROJECT WEST**  
1/4" = 1'-0"

**DIMENSIONS®**  
DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REPRESENT THE EXACT AS-BUILT CONDITIONS. MEASUREMENTS SHOULD BE OBTAINED FROM THE AS-BUILT CONDITIONS. THESE ARE NOT ENGINEERED DRAWINGS. MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.

RESIDENTIAL  
AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290  
AUGUST 31, 2023  
TIME STAMP:

(E) EXTERIOR  
ELEVATIONS -  
PROJECT EAST  
AND WEST

Project # 923-12044

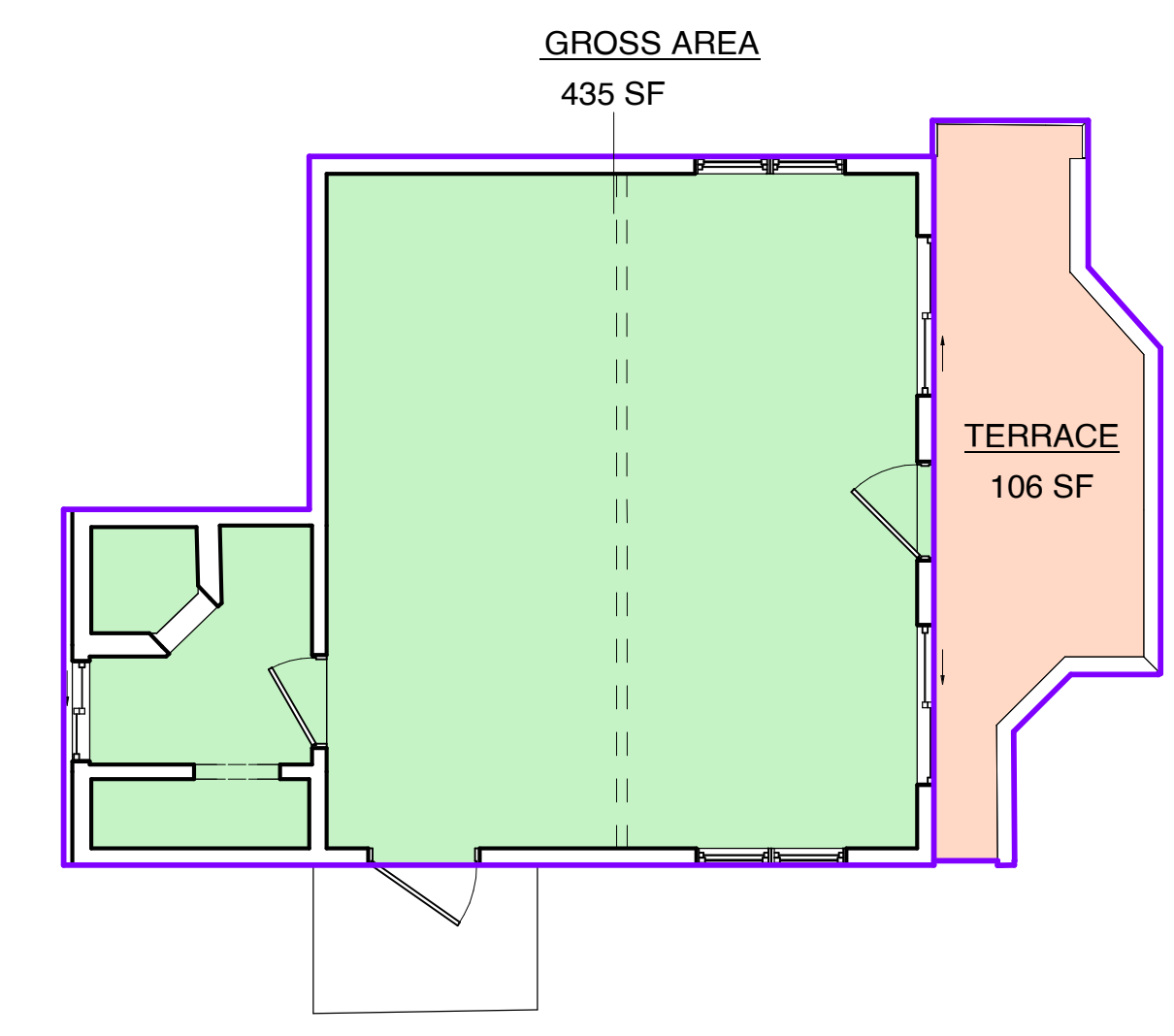
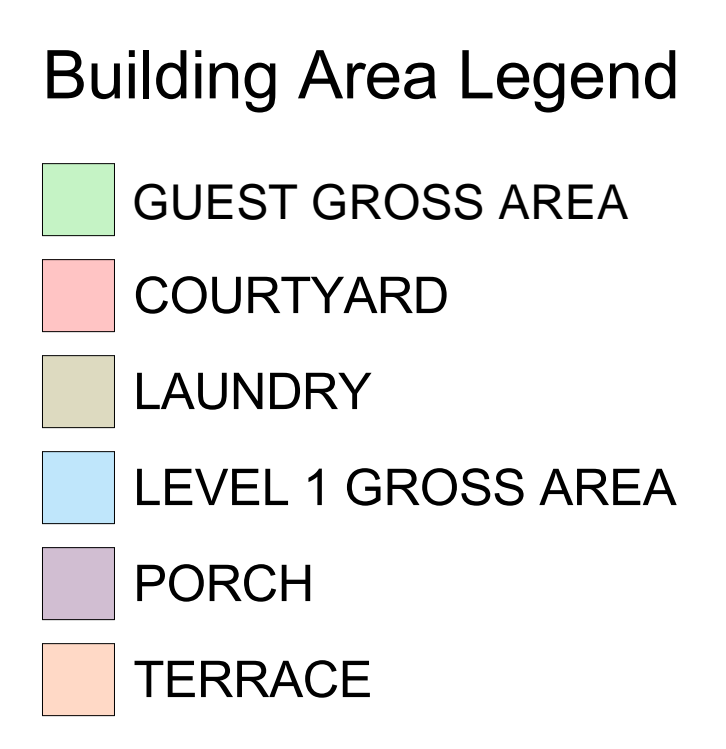
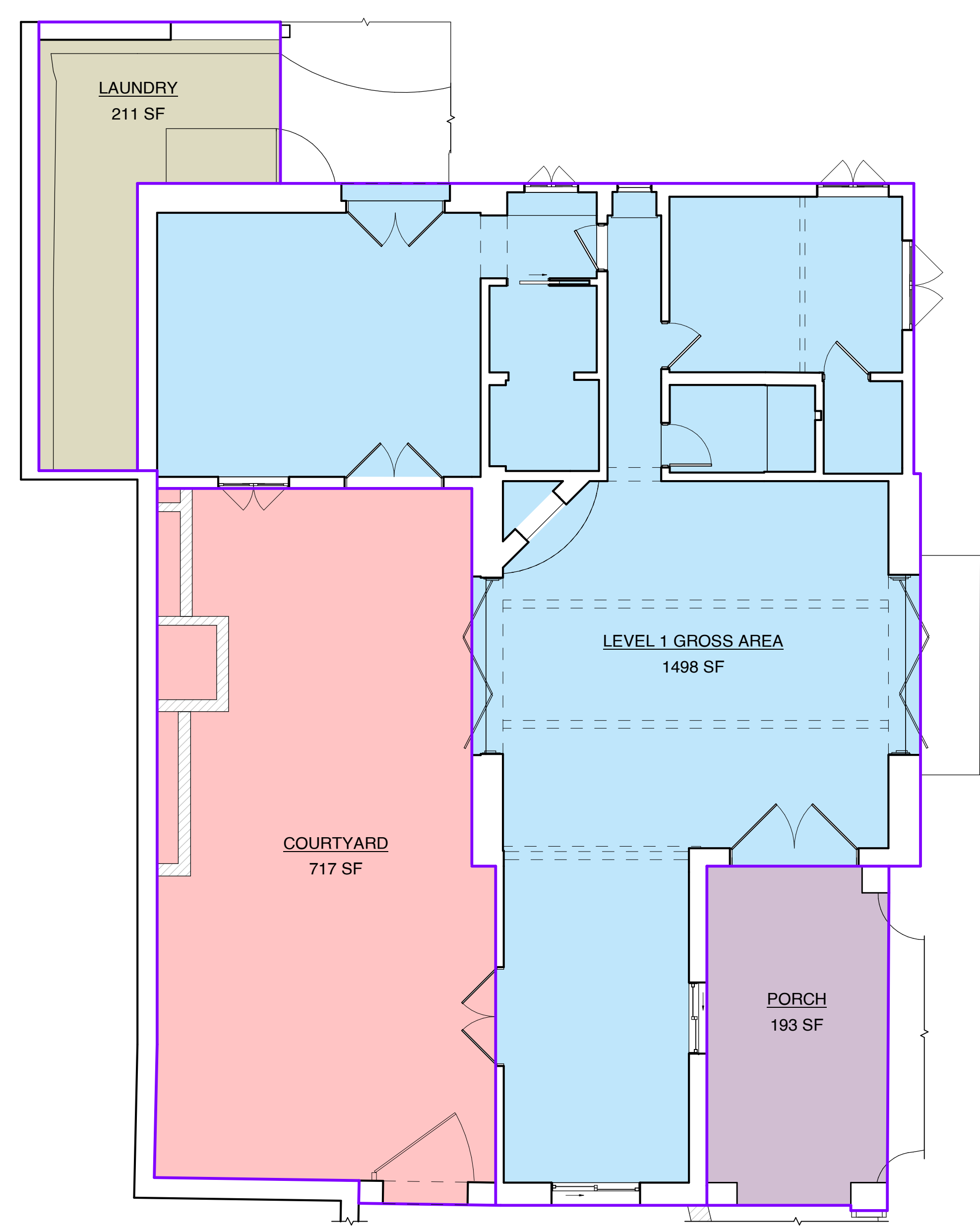
Date 08-31-2023

PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

**RA202**

REVISIONS		
No.	Description	Date



**1 (E) LEVEL 1 GROSS BUILDING AREA**  
3/16" = 1'-0"

**2 (E) LEVEL GROSS BUILDING AREA**  
3/16" = 1'-0"

(E) DOOR SCHEDULE					
Location	Number	Width	Height	Operation	Function
LEVEL 1	101	7' - 0 1/2"	8' - 0 1/2"	Double Swinging	Exterior
LEVEL 1	102	5' - 4 1/2"	6' - 7 1/2"	Double Swinging	Exterior
LEVEL 1	103	9' - 10 1/2"	8' - 11"	Folding	Exterior
LEVEL 1	104	5' - 4 1/2"	6' - 9"	Double Swinging	Exterior
LEVEL 1	105	5' - 4 1/2"	6' - 9"	Double Swinging	Exterior
LEVEL 1	106	9' - 10 1/2"	7' - 11"	Folding	Exterior
LEVEL 1	107	2' - 4"	6' - 9"	Single Swinging	Interior
LEVEL 1	108	2' - 6"	6' - 8 1/2"	Single Swinging	Interior
LEVEL 1	109	2' - 6"	6' - 9 1/2"	Single Swinging	Interior
LEVEL 1	110	2' - 6"	6' - 8 1/2"	Single Swinging	Interior
LEVEL 1	111	2' - 3"	6' - 8 1/2"	Single Pocket	Interior
ADU LEVEL	A101	3' - 0 1/2"	6' - 8 1/2"	Single Swinging	Exterior
ADU LEVEL	A102	2' - 8"	6' - 8 1/2"	Single Swinging	Exterior
ADU LEVEL	A103	2' - 6"	6' - 8"	Single Swinging	Interior
Grand total:	14				

(E) WINDOW SCHEDULE				
Location	Number	Width	Height	Operation
LEVEL 1	101	3' - 10 1/2"	3' - 5"	Sliding XO
LEVEL 1	102	4' - 10"	2' - 11"	Sliding XO
LEVEL 1	103	3' - 10 1/2"	2' - 10"	Double Casement
LEVEL 1	104	2' - 11"	1' - 10"	Double Casement
LEVEL 1	105	1' - 11"	3' - 7"	Fixed
LEVEL 1	106	3' - 11"	2' - 10"	Double Casement
LEVEL 1	107	4' - 11"	2' - 10 1/2"	Double Casement
LEVEL 1	108	1' - 1 1/2"	1' - 1 1/2"	Fixed*
LEVEL 1	109	1' - 2"	1' - 1 1/2"	Fixed*
ADU LEVEL	A101	2' - 9 1/2"	1' - 9 1/2"	Sliding XO
ADU LEVEL	A102	2' - 0"	5' - 6"	Single Hung
ADU LEVEL	A103	2' - 0"	5' - 6"	Single Hung
ADU LEVEL	A104	4' - 6"	3' - 4 1/2"	Sliding XO
ADU LEVEL	A105	4' - 6"	3' - 4 1/2"	Sliding XO
ADU LEVEL	A106	2' - 0"	5' - 6"	Single Hung
ADU LEVEL	A107	2' - 0"	5' - 6"	Single Hung
Grand total:	16			
* BLOCKED WINDOW				

(E) ROOM SCHEDULE		
Level	Name	Area
T.O.F.F. LEVEL 1	3/4 BATH	40 SF
T.O.F.F. LEVEL 1	BEDROOM-1	288 SF
T.O.F.F. LEVEL 1	BEDROOM-2	128 SF
T.O.F.F. LEVEL 1	COURTYARD	715 SF
T.O.F.F. LEVEL 1	HALL-1	24 SF
T.O.F.F. LEVEL 1	HALL-2	48 SF
T.O.F.F. LEVEL 1	KITCHEN	192 SF
T.O.F.F. LEVEL 1	LAUNDRY	196 SF
T.O.F.F. LEVEL 1	LIVING ROOM	432 SF
T.O.F.F. LEVEL 1	PORCH	220 SF
T.O.F.F. LEVEL 1	W.I.C.-1	61 SF
T.O.F.F. LEVEL 1	W.I.C.-2	23 SF
T.O.F.F. LEVEL 1: 12		2347 SF
T.O.F.F. ADU LEVEL	3/4 BATH-A	31 SF
T.O.F.F. ADU LEVEL	BEDROOM-A	327 SF
T.O.F.F. ADU LEVEL	TERRACE-A	104 SF
T.O.F.F. ADU LEVEL	W.I.C.-A	12 SF
T.O.F.F. ADU LEVEL: 4		474 SF
Grand total:	16	2821 SF

(E) GROSS BUILDING AREA SCHEDULE		
Type	Name	Area
CONDITIONED	LEVEL 1 GROSS AREA	1498 SF
CONDITIONED	ADU GROSS AREA	435 SF
CONDITIONED: 2		1933 SF
OUTDOOR SPACE	PORCH	193 SF
OUTDOOR SPACE	COURTYARD	717 SF
OUTDOOR SPACE	LAUNDRY	211 SF
OUTDOOR SPACE	TERRACE	106 SF
OUTDOOR SPACE: 4		1227 SF
Grand total:	6	3160 SF

**DIMENSIONS®**

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RESIDENTIAL  
AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

TIME STAMP:  
AUGUST 31, 2023

(E) GROSS  
BUILDING AREA  
AND (E) WINDOW  
AND (E) DOOR  
SCHEDULE

Project # 923-12044

Date 08-31-2023

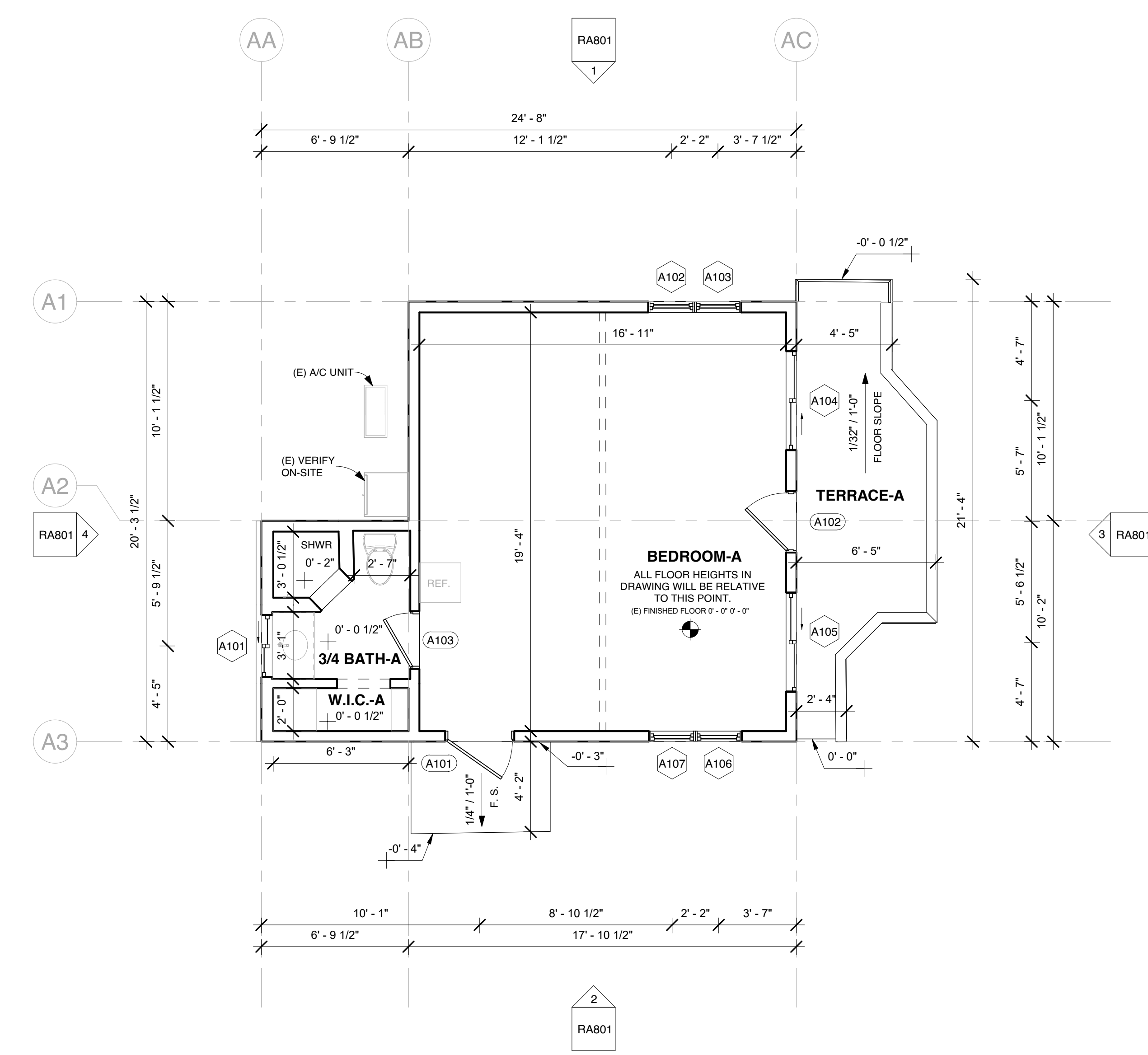
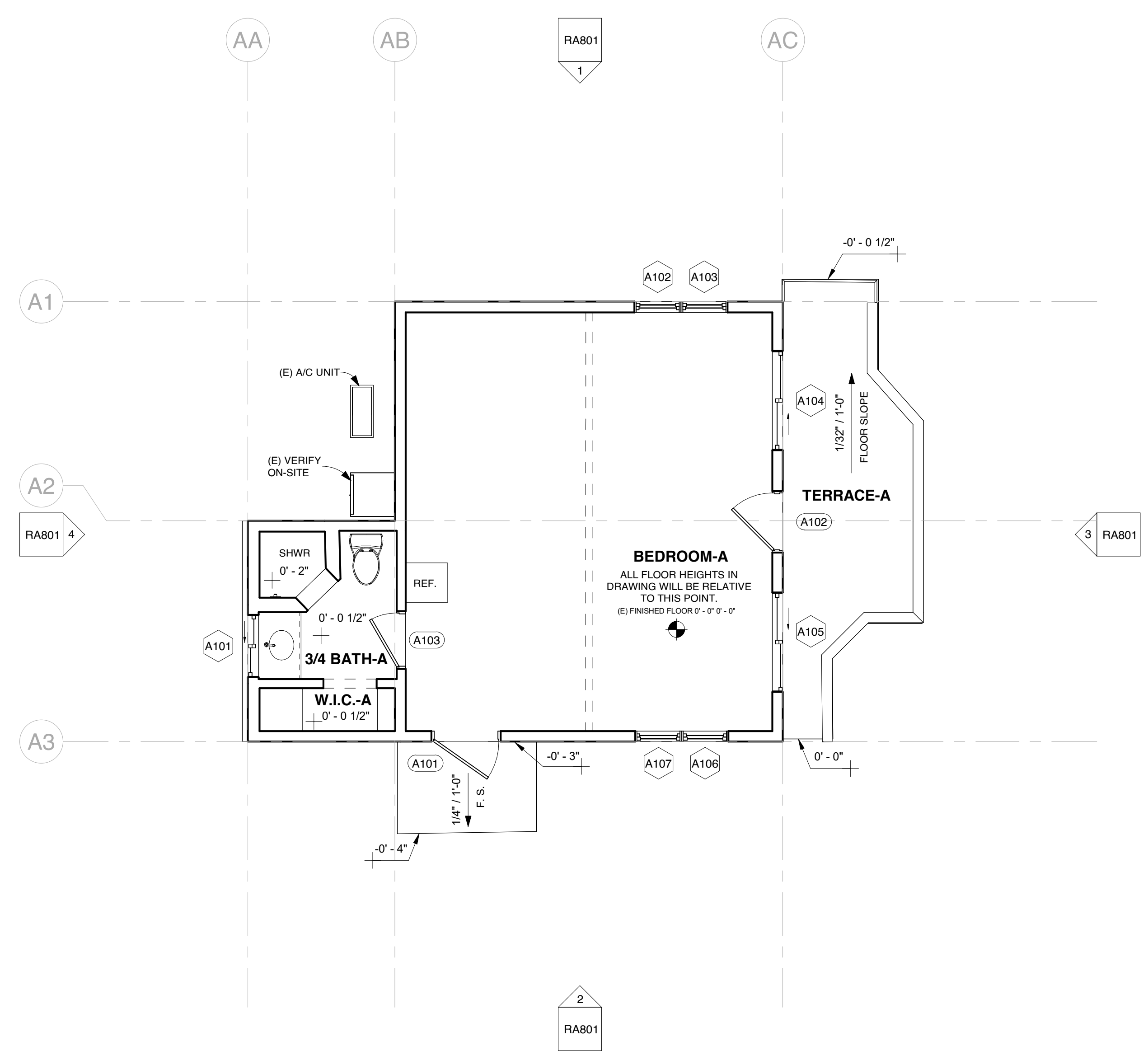
PAPER SIZE  
ARCH E1 30X42

Scale 3/16" = 1'-0"

**RA601**

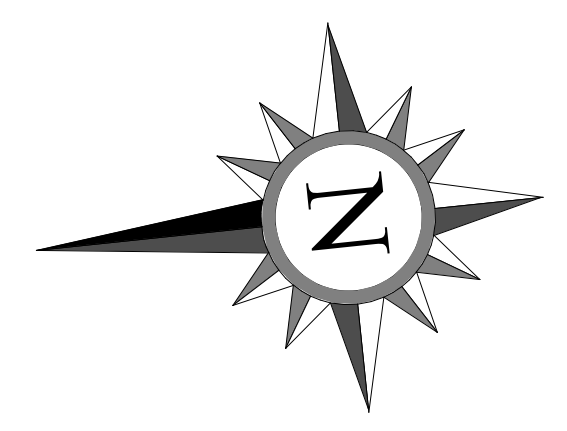
REVISIONS		
No.	Description	Date

- NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
  2. THE INDICATED WALL HAS AN INCLINATION. THE TOLERANCE WAS INCREASED HERE TO MAKE THE WALL STRAIGHT WHICH IS NOT THE TRUE CONDITION OF THE EXISTING WALL. PLEASE VERIFY ON-SITE.



**1** (E) LEVEL FLOOR PLAN  
1/4" = 1'-0"

**2** (E) DIMENSIONED LEVEL FLOOR PLAN  
1/4" = 1'-0"



**DIMENSIONS**<sup>®</sup>

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RESIDENTIAL AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

DATE: AUGUST 31, 2023

(E) FLOOR PLAN AND DIMENSIONED FLOOR PLAN

Project # 923-12044

Date 08-31-2023

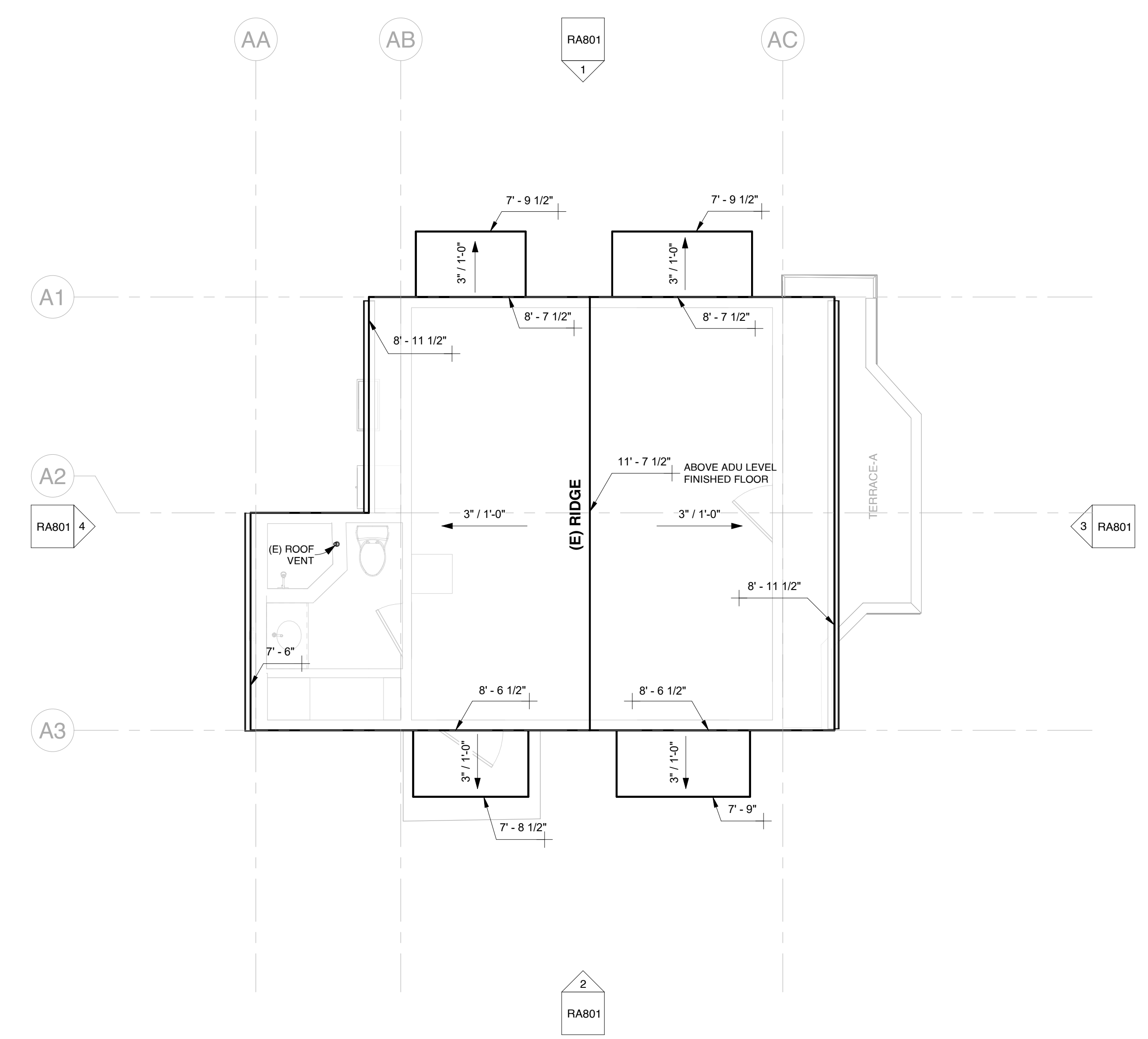
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Scale 1/4" = 1'-0"

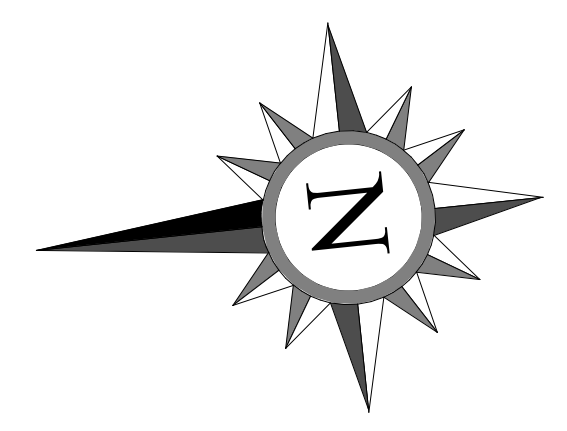
**RA701**

No.	Description	Date

- NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON-SITE.
  2. THE INDICATED WALL HAS AN INCLINATION. THE TOLERANCE WAS INCREASED HERE TO MAKE THE WALL STRAIGHT WHICH IS NOT THE TRUE CONDITION OF THE EXISTING WALL. PLEASE VERIFY ON-SITE.



**1** (E) ROOF PLAN  
1/4" = 1'-0"



**DIMENSIONS®**

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RESIDENTIAL  
AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290

TIME STAMP: AUGUST 31, 2023

(E) ROOF  
PLAN

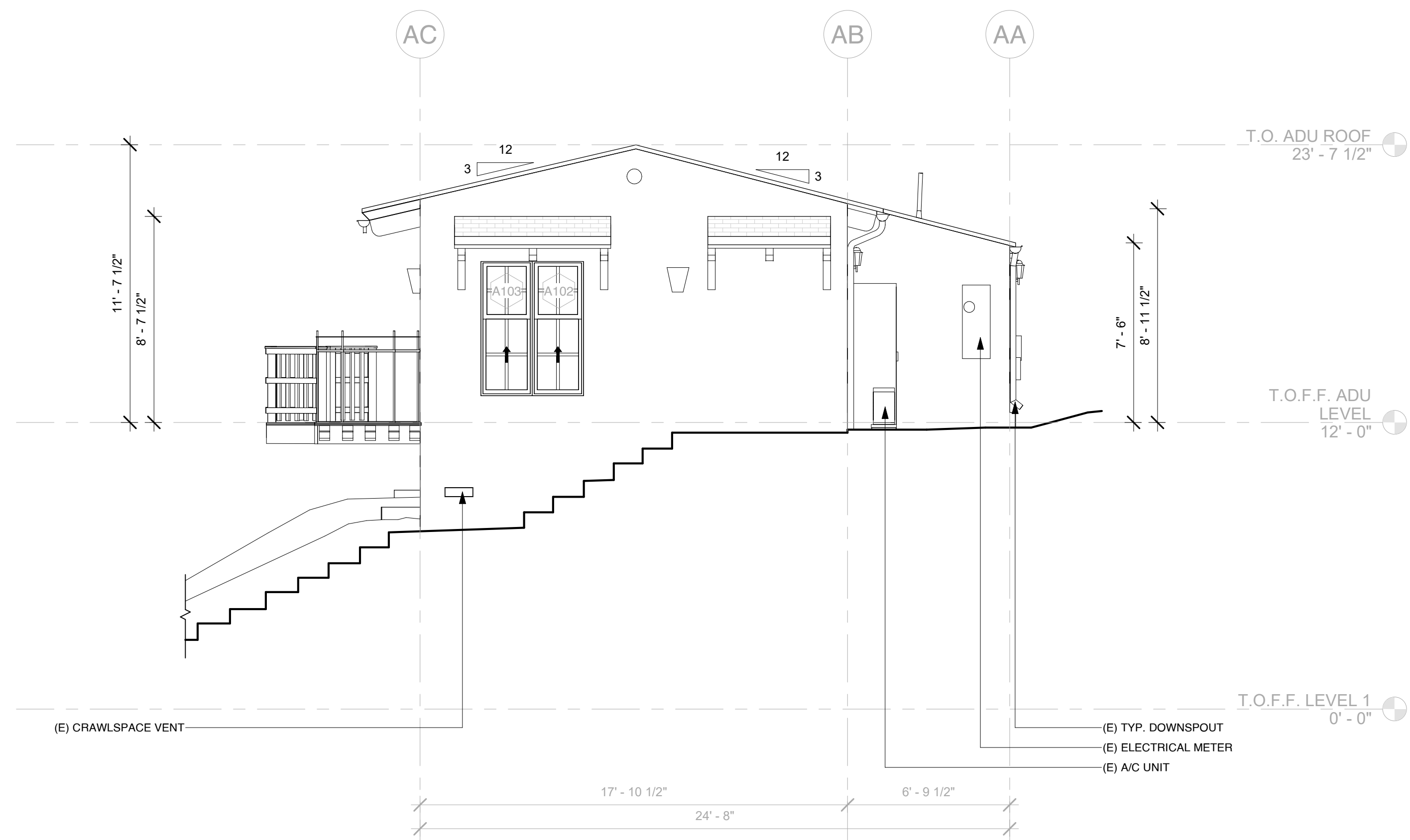
Project # 923-12044

Date 08-31-2023

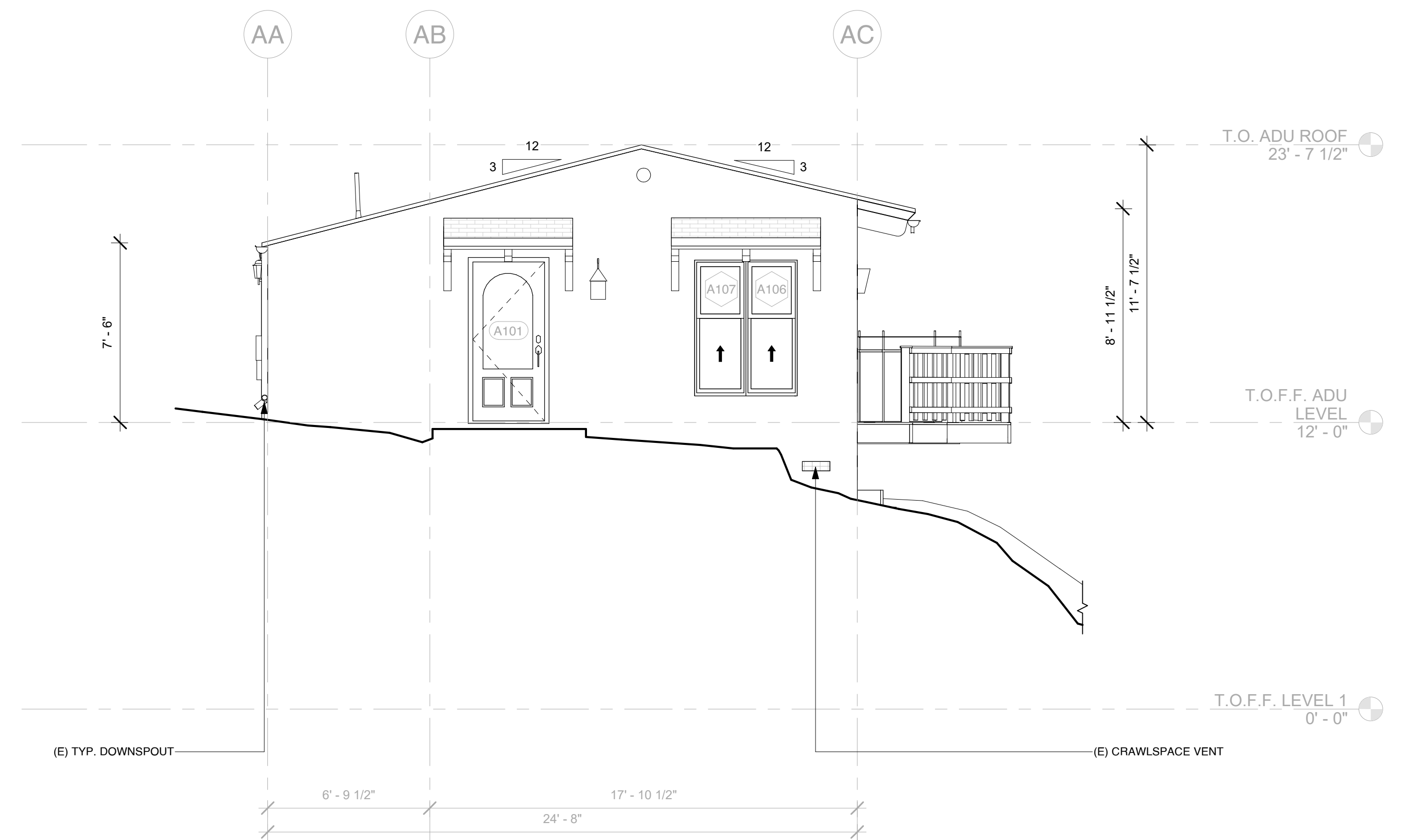
PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

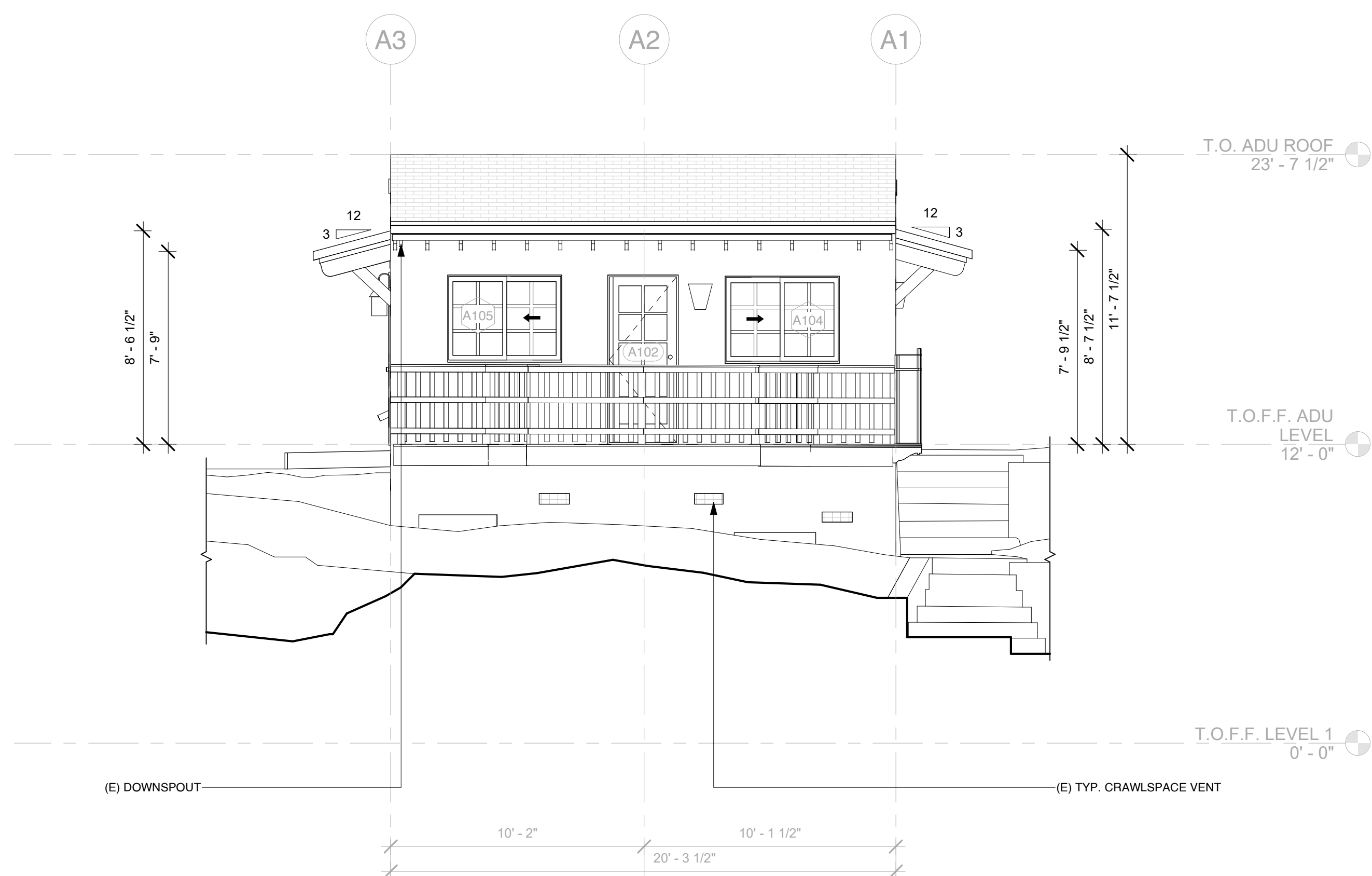
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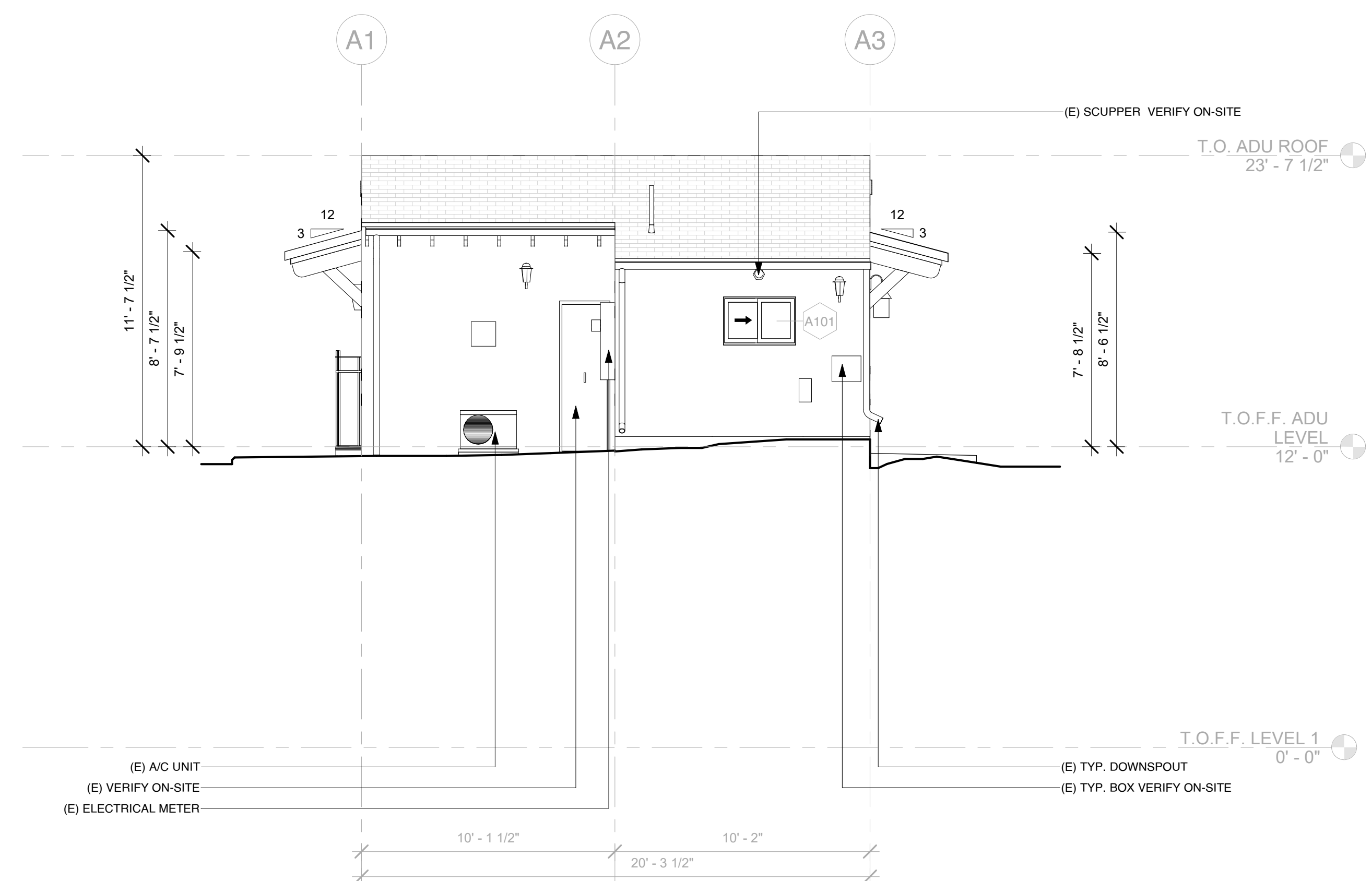
**1 (E) EXTERIOR ELEVATION - PROJECT NORTH**  
1/4" = 1'-0"



**2 (E) EXTERIOR ELEVATION - PROJECT SOUTH**  
1/4" = 1'-0"



**3 (E) EXTERIOR ELEVATION - PROJECT EAST**  
1/4" = 1'-0"



**4 (E) EXTERIOR ELEVATION - PROJECT WEST**  
1/4" = 1'-0"

REVISIONS		
No.	Description	Date

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RESIDENTIAL  
AS-BUILT

2266 NORTH TOPANGA CANYON  
BOULEVARD  
TOPANGA, CA 90290  
AUGUST 31, 2023  
TIME STAMP:

(E) EXTERIOR  
ELEVATIONS

Project # 923-12044

Date 08-31-2023

PAPER SIZE  
ARCH E1 30X42

Scale 1/4" = 1'-0"

**RA801**

**Legend:**

- EG.....EXISTING GRADE
  - FL.....FLOW LINE
  - FS.....FINISHED SURFACE
  - FW.....FINISHED WALK
  - T.C.....TOP OF CURB
  - T.W.....TOP OF WALL
  - H.C.....HIGH POINT
  - T.G.....TOP OF GRATE
  - TP.....TYPICAL
  - C.F.....CURB FACE
  - GD-BK.....GRADE BREAK
  - GND.....GROUND
  - INV.....INVERT ELEVATION
  - F.F.....FINISH FLOOR
  - CONST.....CONSTRUCT
  - A.C.....ASPHALT PAVEMENT
  - O.C.....ON CENTER
  - D.S.....DOWNSPOUT(Ø)
  - .....DIRECT ROOF DRAINAGE TO LAWN AREAS
- (98.00) T.C.....EXISTING SPOT ELEVATION
  - (97.50) F.L.....DESCRIPTION OF ELEVATION
  - 98.00.....TOP OF CURB ELEVATION
  - 97.50.....FLOW LINE ELEVATION
  - 96.00.....SPOT ELEVATION
  - 1.0.....DESCRIPTION OF ELEVATION
  - (98.00) FIN.....FINISH SURFACE OR FLOW LINE ELEVATION
  - (98.00) T.....EXISTING SPOT ELEVATION
  - (92.35).....EXISTING SPOT ELEVATION
  - 1.0%.....PROPOSED GRADIENT AND DIRECTION OF FLOW
  - (1.0%).....EXISTING GRADIENT AND DIRECTION OF FLOW
  - X.....DETAIL NO.
  - Y.....PAGE NO.
- .....PROPOSED SLOPE
  - .....PROPOSED CONTOUR
  - .....EXISTING CONTOUR
  - .....CUT/FILL DAYLIGHT
  - TH-11.....CUT/FILL DAYLIGHT



**GENERAL NOTES:**

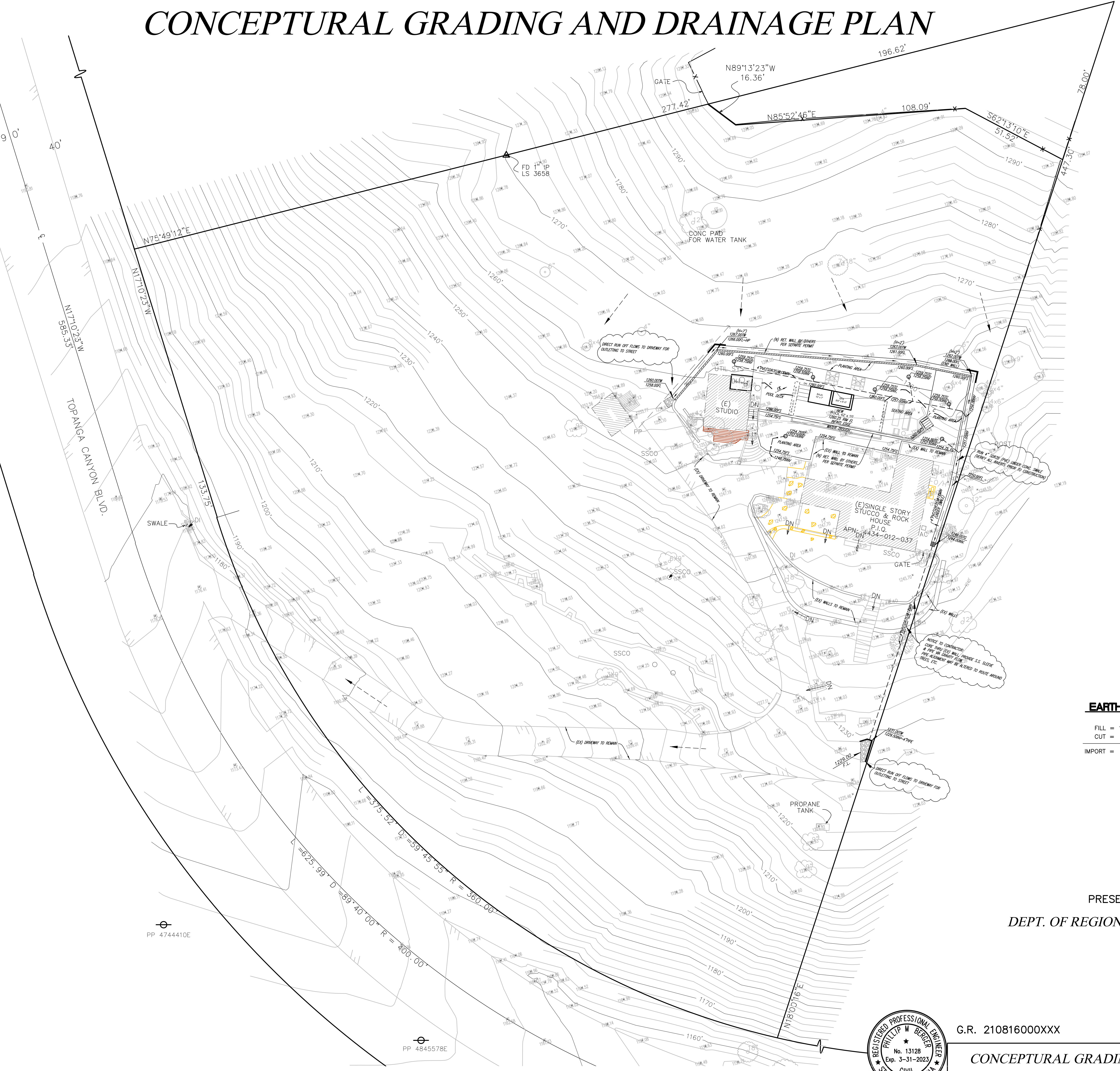
1. SURVEY SHOWN WAS USED AS A BASIS FOR THIS PLAN. CONTRACTOR SHOULD VERIFY ALL ELEVATIONS PROPOSED & EXISTING PRIOR TO CONSTRUCTION & NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
2. DIRECT ALL ROOF DRAINAGE VIA GRAVITY FLOW & OUTLET THRU AN APPROVED DEVICE TO AN APPROVED LOCATION. DIVERT ROOF RUN-OFF TO VEGETATED AREAS BEFORE DISCHARGE UNLESS THE DIVERSION WOULD RESULT IN SLOPE INSTABILITY.
3. RETAINING WALLS, IF ANY, CONSTRUCTED UNDER SEPARATE PERMIT.
4. RECOMMENDATIONS OF THE PROJECT SOILS ENGINEER & GEOLOGIST SHALL BE MADE A PART OF THESE PLANS.
5. ALL RECOMMENDATIONS OF THE PROJECT SOILS REPORT DATED JAN. 20, 2021, GH18657-G BY GROVER HOLLINGSWORTH & ASSOC., INC. AND SUPPLEMENTALS SHALL BE MADE A PART OF THESE PLANS.
6. DIRECT ALL DRAINAGE AWAY FROM STRUCTURE @ 5% MIN. FOR THE FIRST 10'. (ALL ROOF DRAINAGE SHALL BE DIRECTED TO LAWN AREAS, LANDSCAPED AREAS)
7. PLANTING & LANDSCAPING BY OTHERS.
8. CONTRACTOR SHALL TO THE BEST OF THEIR ABILITIES SHALL INCLUDE THE MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS BY IMPLEMENTING THE BEST MANAGEMENT PRACTICES AS DETAILED IN THE BMP HANDBOOK AND ADOPTED BY THE COUNTY OF LOS ANGELES SEE ATTACHMENT "A" NOTES ON SHT. 1
9. CONTRACTOR SHALL PROVIDE A COPY OF PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR EXCAVATIONS OR TRENCHED OVER 5 FEET VERTICAL CUTS OR WORK THAT MAY JEOPARDIZE WORKERS.
10. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT CUTS.
11. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HT. OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
12. CONTRACTOR SHALL MAKE 30 DAY NOTIFICATION TO ADJACENT PROPERTY OWNERS IF EXCAVATIONS COMPROMISE LATERAL SUPPORT OF ADJOINING PROPERTIES.

**EASEMENT NOTE:**

AS LICENCED SURVEYOR OF THE PROJECT, I HAVE REVIEWED AND VERIFIED THE LOCATION AND THE PURPOSE OF ALL EASEMENTS SHOWN AND ARE ACCURATELY DEPICTED ON THESE PLANS. I HAVE VERIFIED THAT THE PROPOSED CONSTRUCTION DOES NOT INTERFERE AND CONFORMS TO THE INTENDED USE OF THE EASEMENTS.

LICENCED SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

# CONCEPTUAL GRADING AND DRAINAGE PLAN



**EARTH QUANTITIES:**

FILL = 159.88 CY  
 CUT = 85.48 CY  
 IMPORT = 74.40 CY

PRESENTED FOR  
 DEPT. OF REGIONAL PLANNING REVIEW

G.R. 210816000XXX      A.P.N. 4434-012-037

**CONCEPTUAL GRADING AND DRAINAGE PLAN**

SHIDAN TASLINI  
 2266 N. TOPANGA CYN. BLVD.  
 TOPANGA, CA. 90290



**DIGALERT**  
  
 1-800-422-4133  
 Underground Service Alert

#	REVISIONS	DATE	Prepared By:

West Coast Technical Consultants, Inc.  
 1197 E. Los Angeles Avenue, C115  
 Simi Valley, Ca. 93065  
 (818) 216-0504  
  
 OCT. 27, 2021  
 Phillip M. Berger R.C.E.# 13128 Exp 3-31-2023

DRAWN BY: WCTCNC	CHECKED BY: WCTCNC	DRAWING NUMBER	REVISION LETTER



**PROJECT NUMBER**    **HEARING DATE**  
 PRJ2022-002115-(3)    May 5, 2026  
**REQUESTED ENTITLEMENTS**  
 Variance No. RPPL2022006560

## PROJECT SUMMARY

<b>OWNER / APPLICANT</b> Shidan Taslimi / Sean Nguyen	<b>MAP/EXHIBIT DATE</b> 08/31/2023
--	---------------------------------------

**PROJECT OVERVIEW**  
 The applicant requests a Variance for the construction of a swimming pool with a spa, decking, a retaining wall, and the approval of existing unpermitted structures, including a 315-square-foot addition to an existing single-family residence and a 69-square-foot addition to an accessory structure. The project will have a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported. A Variance is required pursuant to County Code Section 22.336.100 due to development within the protected zone of a significant ridgeline.

<b>LOCATION</b> 2266 North Topanga Canyon Boulevard, Topanga	<b>ACCESS</b> Private driveway directly off Topanga Canyon Boulevard
--	--

<b>ASSESSORS PARCEL NUMBER(S)</b> 4434-012-037	<b>SITE AREA</b> 2.7 acres
---	-------------------------------

<b>GENERAL PLAN / LOCAL PLAN</b> Santa Monica Mountains North Area Plan	<b>ZONED DISTRICT</b> The Malibu	<b>PLANNING AREA</b> Santa Monica Mountains
--	-------------------------------------	--

<b>LAND USE DESIGNATION</b> RL5 (Rural Land 5—One Dwelling Unit Per Five Acres Maximum Density)	<b>ZONE</b> A-1-5 (Light Agricultural—Five Acre Minimum Required Area)
---	--

<b>PROPOSED UNITS</b> N/A	<b>MAX DENSITY/UNITS</b> One dwelling unit	<b>COMMUNITY STANDARDS DISTRICT</b> Santa Monica Mountains North Area
------------------------------	---	--

**ENVIRONMENTAL DETERMINATION (CEQA)**  
 Class 3 Categorically Exempt —New Construction or Conversion of Small Structures,  
 Class 4 Categorically Exempt —Minor Alterations to Land

- KEY ISSUES**
- Consistence with the Santa Monica Mountains North Area Plan
  - Satisfaction with the following Section(s) of Title 22 of the Los Angeles County Code:
    - 22.16.030-C (Accessory Use Regulations for Agricultural, Open Space, Resort and Recreation, and Watershed Zones)
    - 22.16.050 (Development Standards for Zones A-1 and A-2)
    - 22.194.020.J (Variances Applicability)
    - 22.194.050 (Findings and Decision)

- 22.336.070.R (Community-Wide Development Standards. Scenic Resource Areas.)
- 22.336.090 (Area Specific Development Standards. Topanga Canyon Area.)
- 22.336.100 (Modification of Development Standards)

---

**CASE PLANNER:**

Shawn Skeries

**PHONE NUMBER:**

(213) 974-0051

**E-MAIL ADDRESS:**

sskeries@planning.lacounty.gov

LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING  
FINDINGS OF THE HEARING OFFICER  
AND ORDER  
PROJECT NO. PRJ2022-002115-(3)  
VARIANCE NO. RPPL2022006560

**RECITALS**

1. **HEARING DATE(S).** The Los Angeles County (“County”) Hearing Officer conducted a duly-noticed public hearing in the matter of Variance No. RPPL2022006560 on May 5, 2026.
2. **HEARING PROCEEDINGS.** *Reserved*
3. **ENTITLEMENT(S) REQUESTED.** The permittee, Sean Nguyen (“Permittee”), requests the Variance to authorize the construction of a 50-foot by 20-foot swimming pool with a spa, decking, and a new retaining wall, and the approval of existing unpermitted structures, including a 315-square-foot addition to the eastern edge of an existing single-family residence and a 69-square-foot addition to an existing art studio that is accessory to the single-family residence (“Project”) pursuant to County Code Sections 22.336.100 (Modification of Development Standards) and 22.194.020.J (Variances Applicability – Distance Separation Requirements). The Project is located on a 2.7-acre property located at 2266 North Topanga Boulevard (Assessor’s Parcel Number 4434-012-037) in the unincorporated community of Topanga (“Project Site”) in the A-1-5 (Light Agricultural – Five Acre Minimum Required Area) Zone.

The Project will also have a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported.

The Variance would authorize the encroachment of the Project into the distance separation setbacks from the significant ridgeline located to the north and northeast of the existing single-family residence. The Variance is associated with Ministerial Site Plan Review No. RPPL2022006563, which requests the development described above and cannot be approved unless this Variance request is also approved.

4. **ENTITLEMENT(S) REQUIRED.** The Variance is required for the construction of the pool with a spa, decking, and a retaining wall, and the approval of the existing unpermitted additions to the existing single-family residence and studio, within the 50-foot horizontal and vertical distance separation requirements from a significant ridgeline in the A-1-5 Zone pursuant to County Code Sections 22.336.100 and 22.194.020.J.
5. **LOCATION.** The Project is located at 2266 North Topanga Canyon Boulevard within The Malibu Zoned District and Santa Monica Mountains Planning Area.
6. **PREVIOUS ENTITLEMENT(S).** None.

7. **LAND USE DESIGNATION.** The Project Site is located within the RL5 (Rural Land – One Dwelling Unit Per Five Acres Maximum Density) land use category of the Santa Monica Mountains North Area Plan.
8. **ZONING.** The Project Site is located in The Malibu Zoned District and is currently zoned A-1-5. Pursuant to County Code Sections 22.336.100 and 22.194.020.J, a Variance is required for development within a designated significant ridgeline buffer.

**9. SURROUNDING LAND USES AND ZONING**

The following chart provides property data within a 700-foot radius:

<b>LOCATION</b>	<b>SANTA MONICA MOUNTAINS NORTH AREA PLAN</b>	<b>ZONING</b>	<b>EXISTING USES</b>
NORTH	RL5 (Rural Land-One Dwelling Unit Per Five Acre Maximum Density)	A-1-5 (Light Agricultural – Five-Acre Minimum Lot Area)	Single-family residences and vacant land
EAST	RL5	A-1-5, C-2 (Neighborhood Business)	Single-family residence and vacant land
SOUTH	RL5	A-1-5	Single-family residence and vacant land
WEST	RL5	A-1-5	Single-family residences and vacant land

**10. PROJECT AND SITE PLAN DESCRIPTION.**

**A. Existing Site Conditions**

The Project Site is approximately 2.7 acres and has an existing 1,931-square-foot single-family residence built in 1940, per County Assessor’s Records. There are also 384 square feet of unpermitted additions to the home and the accessory structure built prior to 1971, per County Assessor’s Records. The Project includes approval of the unpermitted additions of 315 square feet to the single-family residence and 69 square feet to the accessory structure, for a total size of 2,231 square feet for the home and 432 square feet for the accessory structure.

The existing home is on a graded pad within a property that slopes from north to northeast and south to southwest with a significant ridgeline to the north and northeast of the home. Another existing single-family home on an adjoining property sits atop the ridgeline. The home on the Project Site is located approximately 25 feet below the significant ridgeline, and pre-dates Ordinance Number 2004-0072, adopted on January 6, 2005, which enacted current requirements for 50 foot horizontal and vertical separation from the significant ridgeline.

The Project Site contains S2, S3 and S4 Habitat Zones outside of the residence's graded pad and fuel modification zone. There is a scenic road buffer along the south and southeast of the property outside of the Project area and along Topanga Canyon Boulevard. As a result of the designated habitat areas on the Project Site, a biological assessment was prepared and reviewed by the County Department of Regional Planning ("LA County Planning") Staff Biologist ("Staff Biologist"). The Staff Biologist agreed with the conclusions of the biological assessment that the Project is located within disturbed S4 Habitat land, within the existing fuel-modification zone, and is sited to avoid protected trees or sensitive habitat areas.

**B. Site Access**

The Project Site is accessible via North Topanga Canyon Boulevard to the south and southwest. Primary access to the Project Site will be via the existing driveway.

**C. Site Plan**

The Site Plan shows the Project Site with the unpermitted residential and accessory structure additions that are being incorporated into the permit to legalize their existence. The proposed new pool, spa and retaining wall to the north/northeast, which is located approximately six feet above the home, follows the site contours. The Project would result in a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported. The Project Site includes native and non-native species and has S2, S3, and S4 Habitat Zones. The proposed Project work is in the disturbed S4 Habitat Zone, outside of areas that contain undisturbed native vegetation, and within the existing fuel modification zone for the existing single-family residence and existing accessory structure. No oak trees or other protected trees are proposed to be encroached upon per the Biological Report.

- 11. CEQA DETERMINATION.** Prior to the public hearing on the Project, LA County Planning staff determined that the Project qualified Class 3 (New Construction or Conversion of Small Structures) and Class 4 (Minor Alterations to Land) categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), and the County Environmental Document Reporting Procedures and Guidelines, because the Project involves the continued use of a single-family residence with small residential additions and permitted accessory uses.

Pursuant to Section 15303 of the State CEQA Guidelines, the Class 3 Categorical Exemption includes a single-family residence, accessory structures and associated infrastructure. The Project qualifies for a Class 3 Categorical Exemption because the Project includes a proposal to construct a new swimming pool with a spa, associated decking and a retaining wall, which are permitted accessory uses to the existing legally established single-family residence. Additionally, the Project includes approval of an existing unpermitted approximately 315-square-foot addition to the single-family residence and an existing unpermitted 69-square-foot addition to the accessory structure.

Pursuant to Section 15304(i) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes alterations in the condition of land, water, and/or vegetation which

do not involve the removal of healthy, mature, scenic trees except for forestry and agricultural purposes. Pursuant to the County Environmental Document Reporting Procedures and Guidelines, the Class 4 Categorical Exemption includes grading on land of less than 10 percent slope which is associated with one single-family residence and accessory uses. The Project qualifies for a Class 4 Categorical Exemption because the Project includes 245 cubic yards of total grading associated with the construction of a new swimming pool.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because the prepared biological assessment of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by the proposed development of the Project, as described in detail below.

The Permittee completed a biological assessment that was reviewed by the Staff Biologist. The Staff Biologist conducted a site visit and confirmed that the Project Site was appropriately mapped and agreed with the contents of the biological assessment. The biological assessment determined that the portion of the Project Site proposed for development does not contain any environmental resources of hazardous or critical concern, nor does it contain any plants or animals listed as federal, state, or locally sensitive designation, and it is not considered a particularly sensitive environment. The Project, with a maximum height of 11 feet and eight inches above grade, is not expected to impact scenic resources such as the designated scenic highway (Topanga Canyon Boulevard) or state conservation land. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development, and no hazardous waste sites or historic resources would be affected. Therefore, the Project is categorically exempt from CEQA.

**12. COMMUNITY OUTREACH.** No community outreach was conducted by the applicant.

**13. PUBLIC COMMENTS.** Staff received no public comments at the time of submittal for this report.

**14. AGENCY RECOMMENDATIONS.**

A. The County Department of Public Works, in a letter dated July 11, 2024, recommended that the Project proceed to public hearing.

- B. The County Fire Department, in a letter dated June 24, 2024, recommended that the Project proceed to public hearing.
  - C. The County Department of Public Health, in letter dated November 12, 2024, recommended that the Project proceed to hearing with required conditions of approval.
15. **LEGAL NOTIFICATION.** Pursuant to County Code Section 22.222.120 (Public Hearing Procedure), the community was properly notified of the public hearing by mail, newspaper (*The Malibu Times*) and property posting. Additionally, the Project was noticed, and case materials were available on LA County Planning's website. On March 18, 2026, a total of 31 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 700-foot radius from the Project Site, as well as 22 notices to those on the courtesy mailing list for the Malibu Zoned District and to any additional interested parties.

**GENERAL PLAN CONSISTENCY FINDINGS**

16. **LAND USE POLICY.** The Hearing Officer finds that the Project is consistent with the goals and policies of the Santa Monica Mountains North Area Plan because the RL5 land use designation is intended for uses and accessory uses that are compatible with larger residential and agricultural parcels. The proposed use with the attached conditions will be consistent with the adopted Santa Monica Mountains North Area Plan because it is consistent with applicable goals and policies, as it continues the use of a single-family residence while adding the benefit of minor residential additions and a permitted accessory use (swimming pool).
17. **GOALS AND POLICES.** The Hearing Officer finds that the following goals and policies of the General Plan and the Santa Monica Mountains North Area Plan are applicable to the Project:

**GENERAL PLAN:**

- A. Goal C/NR 13: Protected visual and scenic resources, Policy C/NR 13.1 Protect scenic resources through land use regulations that mitigate development impacts.** The Project preserves the existing significant ridgeline located north/northeast of the existing residence, as shown on the Site Plan. The undeveloped portion on the remainder of the lot will remain undisturbed. Approval of the unpermitted additions will not create increase the height and bulk of the existing single-family residence because the additions are smaller than the original residence.
- B. Goal C/NR 13: Protected visual and scenic resources, Policy C/NR 13.2: Protect ridgelines from incompatible development that diminishes their scenic value.** The existing residence predates the requirements for 50-foot horizontal and vertical separations from a significant ridgeline. However, the existing residential pad and fuel modification zone are on level portions of the lot,

and do not include sensitive habitat contained on other portions of the site per the prepared biological assessment. The additions to the home and accessory structure were constructed prior to 1971 and will be approved “after-the-fact.” While closer to the ridge, the additions keep the same bulk and scale as the existing single-family residence and still maintain separation from the top of ridge, while being below the total height, as shown on the site and grading plans. The pool will fit into the existing topography and not impact on any natural habitat or ungraded area because it will be behind the home and approximately 20-25 feet below the ridge, and it will use a retaining wall to allow it to be approximately six feet above the home. The location behind the home also minimizes the view of the unpermitted additions and pool from Topanga Canyon Boulevard, a designated scenic corridor. A Variance will allow this exception to the distance-separation requirements and provide for the reasonable use and enjoyment of the lot in a least impactful location pursuant to the biological assessment that was prepared.

**C. Goal LU-3: A development pattern that discourages sprawl and protects and conserves areas with natural resources and SEAs, Policy LU 3.1 Encourage the protection and conservation of areas with natural resources, and SEAs.** By clustering the additions and pool behind the home, they are within, and do not expand, the existing fuel modification zone. A water source, such as a pool, facilitates fire protection for the site. According to the biological assessment, the pool area is proposed on already disturbed ground and is in the S4 Habitat Zone; therefore, its location would minimize impacts to the Project Site’s S2 and S3 Habitat Zones. A Variance, therefore, would support the placement of the pool and additions in the least impactful areas of the lot.

**SANTA MONICA MOUNTAINS NORTH AREA PLAN:**

**D. Goal CO-78: Require that new development preserve views from public parks, trails, and designated Scenic Routes. This includes preserving and enhancing views from public roadways that are oriented toward existing or proposed natural community amenities such as parks, open space, or natural features.** By clustering the additions and pool behind the home, they are within, and do not expand, the existing fuel modification zone. A water source, such as a pool, facilitates fire protection for the site. According to the biological assessment, the pool area is proposed on already disturbed ground and is in the S4 Habitat Zone; therefore, the location would minimize impacts to the Project Site’s S2 and S3 Habitat Zones. A Variance, therefore, would support the placement of the pool and additions in the least impactful areas of the lot.

**E. Goal CO-79: Require that new development preserve views of the ocean, Significant Ridgelines, and Scenic Elements from public parkland, trails, Scenic Routes, and the principal permitted use on adjoining parcels. If there is a conflict between protecting views from public view areas and from private view areas, the protection of public views shall take precedence.** By clustering the additions and pool behind the home, they are within, and do not expand, the

existing fuel modification zone. A water source, such as a pool, facilitates fire protection for the site. According to the biological assessment, the pool area is proposed on already disturbed ground and is in the S4 Habitat Zone; therefore, the location would minimize impacts to the Project Site's S2 and S3 Habitat Zones. A Variance, therefore, would support the placement of the pool and additions in the least impactful areas of the lot.

**F. Goal CO-85: Limit structure height to minimize impacts to scenic resources.**

The proposed swimming pool and the unpermitted additions that will be approved are less than 18 feet in height.

**ZONING CODE CONSISTENCY FINDINGS**

**18. PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the A-1-5 zoning classification as a single-family residence is a principal permitted use in such zone. Additions to the home and accessory uses, such as the pool and retaining wall, require a Site Plan Review ("SPR") pursuant to County Code Chapter 22.186. County Code Chapter 22.186 allows for a SPR for projects proposing under 500 cubic yards of grading. Since the Project proposes a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported, the Project meets the requirements for a SPR. However, as the additions and pool would encroach into the separation-distance requirements from a significant ridgeline, a Variance is required per County Code Section 22.336.100. Therefore, a Variance is also proposed.

**19. REQUIRED YARDS.** The Hearing Officer finds that the Project is consistent with the standards identified in County Code Section 22.16.050.A, as the Project exceeds the required five-foot side yard setback and 15-foot rear yard setback, and would meet all other required setback standards, as shown on the Site Plan.

**20. SIGNIFICANT RIDGELINE.** The Hearing Officer finds that the Project is inconsistent with the standards for distance separation from a significant ridgeline identified in County Code Section 22.336.100, and therefore, a Variance is proposed. The Project is sited to be in the least biologically and visually impactful location on the site, is within the existing graded pad areas, is within the existing fuel modification zone, and is located behind the home and accessory structure and at least 20-25 feet below the ridgeline. As the existing home, built in 1940 with additions built prior to 1971, predates the significant ridgeline distance-separation requirements adopted in 2005, use and enjoyment of the lot in a manner similar to other parcels in the area would provide for the additions and new pool with a spa and retaining wall in the least impactful location while still below and separated from the ridge. In this location, it should also be noted there is an existing home located atop the existing flat portion of the significant ridgeline in question.

**VARIANCE FINDINGS**

**21. The Hearing Officer finds that, because of special circumstances or exceptional characteristics applicable to the property, the strict application of the County Code deprives such property of privileges enjoyed by other property in the**

**vicinity and under identical zoning classification.** The proposed Project is located behind the existing residential structures, includes a retaining wall to terrace it within the site topography, and is in the least biologically impactful portion of the site (within the existing graded pad and fuel modification zone) per the prepared biological assessment. The existing home and additions predate the current significant ridgeline distance-separation requirements. However, the selected location for the pool is the only site on the property that is previously graded, does not affect natural S2 or S3 Habitat Zones, and does not require an additional fuel modification zone to allow its construction. Other locations for the additions and pool are more impactful because they would be located closer to the significant ridgeline than the separation distances require and the habitat on the site.

22. **The Hearing Officer finds that the modification authorized will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.** Other nearby property owners already enjoy similar use of their properties because their structures are closer (or atop) the ridgeline. By allowing the Project in the proposed Project Site, the right to the accessory use and enjoyment of additions and a pool on the site, similar to adjacent properties, is retained.
23. **The Hearing Officer finds that strict application of zoning regulations as they apply to such property will result in practical difficulties or unnecessary hardships with the general purpose of such regulations and standards.** Allowing the unpermitted additions to remain helps alleviate the unnecessary cost and hardship of removing these portions of the residence and the accessory structure.
24. **The Hearing Officer finds that such adjustments will not be materially detrimental to the public health, safety, or general welfare, or to the use, enjoyment, or valuation of property of other persons located in the vicinity.** Approval of the pool and the unpermitted additions would not be detrimental to the public welfare or other properties, as the pool area and additions within the Project Site will be located behind the existing residential structures and will be shielded from view of the surrounding areas and Topanga Canyon Boulevard by structures and topography (as shown on the Site Plan). The Project Site is set back more than five feet from the side property line and 15 feet from the rear property line and does not affect the surrounding community in any manner.

#### **MODIFICATION OF DEVELOPMENT STANDARDS FINDINGS**

25. **The Hearing Officer finds that alternatives within the property or project have been considered and eliminated from consideration, based on physical infeasibility or the potential for substantial habitat damage or destruction if any such alternative site is used.** The prepared biological assessment for the Project Site concluded that the proposed pool location is in the S4 Habitat Zone and would not expand the current fuel modification zone on the property. The proposed location is also in a relatively flat area that would significantly reduce the amount of grading associated with the Project.

26. **The Hearing Officer finds that the proposed project maintains the maximum view of the applicable significant ridgeline through the use of design features for the project such as, but not limited to, minimized grading, reduced structural height, clustered structures, shape, materials, and color that allow the structures to blend with the natural setting, and use of locally indigenous vegetation for concealment of the project, as described on the list referenced in County Code Section 22.336.070.I.3.b. The Director shall maintain a list of appropriate landscaping materials required to satisfy this provision. Avoidance of impacts to scenic resources through site selection and design alternatives is the preferred method over landscape or building material screening. Landscape or building material screening shall not substitute for project alternatives including re-siting or reducing the height or bulk of structures. The prepared biological assessment for the Project Site concluded that the proposed pool location is in the S4 Habitat Zone and would not expand the current fuel modification zone on the property. The proposed location is also in a relatively flat area that would significantly reduce the amount of grading associated with the Project and the unpermitted additions that will be approved are less than 18 feet in height.**
27. **GRANT TERM.** The Hearing Officer finds that it is not necessary to impose a grant term because the development consists of accessory uses associated with an existing legally established single-family residence.

### **ENVIRONMENTAL FINDINGS**

28. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15301 (Class 3 – New Construction or Conversion of Small Structures, and Class 4 – Minor Alterations to Land) and the County environmental guidelines. The Project proposes small additions to an existing residence and an existing accessory structure and grading for a new pool within a property where the zoning allows residential and accessory land uses.

### **ADMINISTRATIVE FINDINGS**

29. **LOCATION OF DOCUMENTS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Coastal Development Services Section, LA County Planning.

### **BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:**

- A. Because of special circumstances or exceptional characteristics applicable to the property, the strict application of the County Code deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

- B. The modification authorized will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.
- C. Strict application of zoning regulations as they apply to such property will result in practical difficulties or unnecessary hardships inconsistent with the general purpose of such regulations and standards.
- D. Such adjustment will not be materially detrimental to the public health, safety, or general welfare, or to the use, enjoyment, or valuation of property of other persons located in the vicinity.

**THEREFORE, THE HEARING OFFICER:**

1. Finds that the that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines section 15301 (Class 3 – New Construction or Conversion of Small Structures, and Class 4 – Minor Alterations to Land) and the County environmental guidelines. The Project proposes small additions to an existing residence and grading for a new pool within a property where the zoning allows residential and accessory land uses; and
2. Approves **VARIANCE NO. RPPL2022006560**, subject to the attached conditions.

**ACTION DATE: May 5, 2026**

MG:RG:SS

April 23, 2026

c: Zoning Enforcement, Building and Safety

**LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING  
CONDITIONS OF APPROVAL  
PROJECT NO. PRJ2022-002115-(3)  
VARIANCE NO. RPPL2022006560**

**PROJECT DESCRIPTION**

The project is the construction of a 50-foot by 20-foot pool with a spa and an associated retaining wall and equipment, and the approval of an unpermitted 315-square-foot addition to a single-family residence and an unpermitted 69-square-foot addition to an accessory structure, on a property located at 2266 North Topanga Boulevard (Assessor's Parcel Number 4434-012-037) in unincorporated Topanga subject to the following conditions of approval:

**GENERAL CONDITIONS**

1. **Permittee.** Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. **Affidavit of Acceptance.** This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 7, and until all required monies have been paid pursuant to Condition No. 9. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4, 5, and 8, shall be effective immediately upon the date of decision of this grant by the County.
3. **Date of Final Approval.** Unless otherwise apparent from the context, the term "date of final approval" shall mean the date the County's action becomes effective pursuant to County Code Section 22.222.230 (Effective Date of Decision and Appeals).
4. **Indemnification.** The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. **Litigation Deposit.** In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the

## VARIANCE NO. RPPL2022006560

defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010 (Fees for Providing County Records).

6. **Invalidation.** If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. **Recordation.** Prior to the use of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk (i.e. Recorder's Office). In addition, upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
8. **Expiration.** This grant shall expire unless used within two years from the date of decision for this grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date. For the purposes of this provision, physical construction of the swimming pool or retaining with a valid building permit must commence before expiration of the grant and satisfaction of Condition No. 2 shall be considered use of this grant.
9. **Inspections.** The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of or any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum of **\$470.00** which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **one** inspection.

## VARIANCE NO. RPPL2022006560

Inspections may be unannounced. Inspections may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS). Use of a UAS requires the consent of the Permittee pursuant to LA County Planning's UAS policy, which may be updated from time to time, and which shall be provided to the Permittee upon request.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$470.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

10. **Revocation.** Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to County Code Chapter 22.238 (Modifications and Revocations). Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions and may result in revocation.
11. **County Fire Code.** All development pursuant to this grant shall comply with the requirements of Title 32 (Fire Code) of the County Code to the satisfaction of the County Fire Department.
12. **County Public Works Requirements.** All development pursuant to this grant shall comply with the requirements of the County Department of Public Works to the satisfaction of said department.
13. **Exhibit "A."** All development pursuant to this grant shall comply with the requirements of Title 22 (Planning and Zoning) of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
14. **Maintenance.** The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
15. **Revisions to the Exhibit "A."** The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **an electronic copy of a modified Exhibit "A" shall be submitted to LA County Planning by July 5, 2026.**

VARIANCE NO. RPPL2022006560

16. **Subsequent Revisions to the Exhibit “A.”** In the event that subsequent revisions to the approved Exhibit “A” are submitted, the Permittee shall submit **an electronic copy** of the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit “A.” All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

**PROJECT SITE-SPECIFIC CONDITIONS**

17. Approved grading is limited to a total of 246 cubic yards of grading (86 cubic yards cut, 160 cubic yards fill) with 74 cubic yards to be imported.
18. Physical grading (earth-moving activities) shall be prohibited during the rainy season, defined as October 15 of any year through April 15 of the subsequent year.



# Los Angeles County Department of Regional Planning



*Planning for the Challenges Ahead*

## VARIANCE FINDINGS

**Pursuant to Section 22.194.050 (Findings and Conditions), the applicant shall substantiate the following:**

***(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)***

<b>B.1</b>	Because of special circumstances or exceptional characteristics applicable to the property, the strict application of the County Code deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.
	The strict application of the County Code will deprive this property from the privileges enjoyed by other
	properties with the same swimming pool uses that has been known and intended for this type of allowed use for an existing single family dwelling within the immediate vicinity with identical zoning classification.
	The proposed use is an incidental use to an existing single family dwelling and should be allowed to be used to the full potential of the site. The location of the proposed pool is being proposed in an already disturbed
	area of the site and within the confinement of the existing single family dwelling within the Significant Ridgeline.
<b>B.2</b>	The modification authorized will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.
	The authorize modification will not constitute a special grant or privilege that is inconsistent with the other
	properties in the the same vicinity or zone that already has swimming pools.
<b>B.3</b>	Strict application of zoning regulations as they apply to such property will result in practical difficulties or unnecessary hardships inconsistent with the general purpose of such regulations and standards.
	The strict application of the Significant Ridgeline regulation will result in practical difficulties and unnecessary hardship inconsistent with the general purpose of such regulation and standards. The proposed pool will not
	be visible from the public view since the pool will be below ground and currently inside an area surrounded
	by the existing house and existing vegetation.

B.4 Such adjustment will not be materially detrimental to the public health, safety, or general welfare, or to the use, enjoyment, or valuation of property of other persons located in the vicinity.

This adjustment will not be materially detrimental to the the public health safety, general welfare, use

enjoyment of other properties location in the vicinity.

The proposed swimming pool will be use for the full enjoyment of the property owner which other properties

in the area have similar swimming pools for their own personal enjoyment.

## PROPOSED ENVIRONMENTAL DETERMINATION

---

**DETERMINATION DATE:** April 5, 2026  
**PROJECT NUMBER:** PRJ2022-002115  
**PERMIT NUMBER(S):** Variance No. RPPL2022006560  
**SUPERVISORIAL DISTRICT:** 3  
**PROJECT LOCATION:** 2266 North Topanga Canyon Boulevard, Topanga  
**OWNER:** Shidan Taslimi  
**APPLICANT:** Sean Nguyen  
**CASE PLANNER:** Shawn Skeries, Principal Planner  
sseries@planning.lacounty.gov

---

Los Angeles County (“County”) completed an initial review for the above-mentioned Project. Based on examination of the Project proposal and the supporting information included in the application, the County proposes that a Categorical Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The Project qualifies for Categorical Exemptions (Class 3 Exemption, New Construction or Conversion of Small Structures and Class 4 Exemption, Minor Alterations to Land) pursuant to CEQA and the County Environmental Document Reporting Procedures and Guidelines.

Pursuant to Section 15303 of the State CEQA Guidelines, the Class 3 Categorical Exemption includes a single-family residence, accessory structures and associated infrastructure. The Project qualifies for a Class 3 Categorical Exemption because the Project includes a proposal to construct a new swimming pool with a spa, associated decking and a retaining wall, which are permitted accessory uses to the existing legally established single-family residence. Additionally, the Project entails approval of existing unpermitted structures, including an approximately 315-square-foot addition to an existing single-family residence and a 69-square-foot addition to an accessory structure.

Pursuant to Section 15304(i) of the State CEQA Guidelines, the Class 4 Categorical Exemption includes alterations in the condition of land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees except for forestry and agricultural purposes. Pursuant to the County Environmental Document Reporting Procedures and Guidelines, the Class 4 Categorical Exemption includes grading on land of less than 10 percent slope which is associated with one single-family residence and accessory uses. The Project qualifies for a Class 4 Categorical Exemption because the Project includes

245 cubic yards of total grading associated with the construction of the new swimming pool.

Section 15300.2 of the State CEQA Guidelines discusses how projects located within particularly sensitive environments may have a significant impact on the environment and are therefore not eligible for certain CEQA exemptions, including the Class 3 and Class 4 Categorical Exemptions mentioned above. Exceptions to the exemptions include project impacts to an environmental resource of hazardous or critical concern where officially designated, precisely mapped, and adopted pursuant to law by federal, state, or local agencies. Exceptions to the exemptions also apply where a project may result in damage to scenic resources or where a project includes activities that will have a significant effect on the environment due to unusual circumstances. Additionally, an exception to the exemption applies where a project may result in damage to scenic resources. However, the proposed Project is not subject to an exception to the CEQA exemptions because the prepared biological assessment of the area of Project disturbance did not indicate the presence of sensitive biological resources that would be impacted by the proposed development of the Project, as described in detail below.

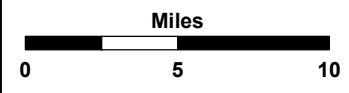
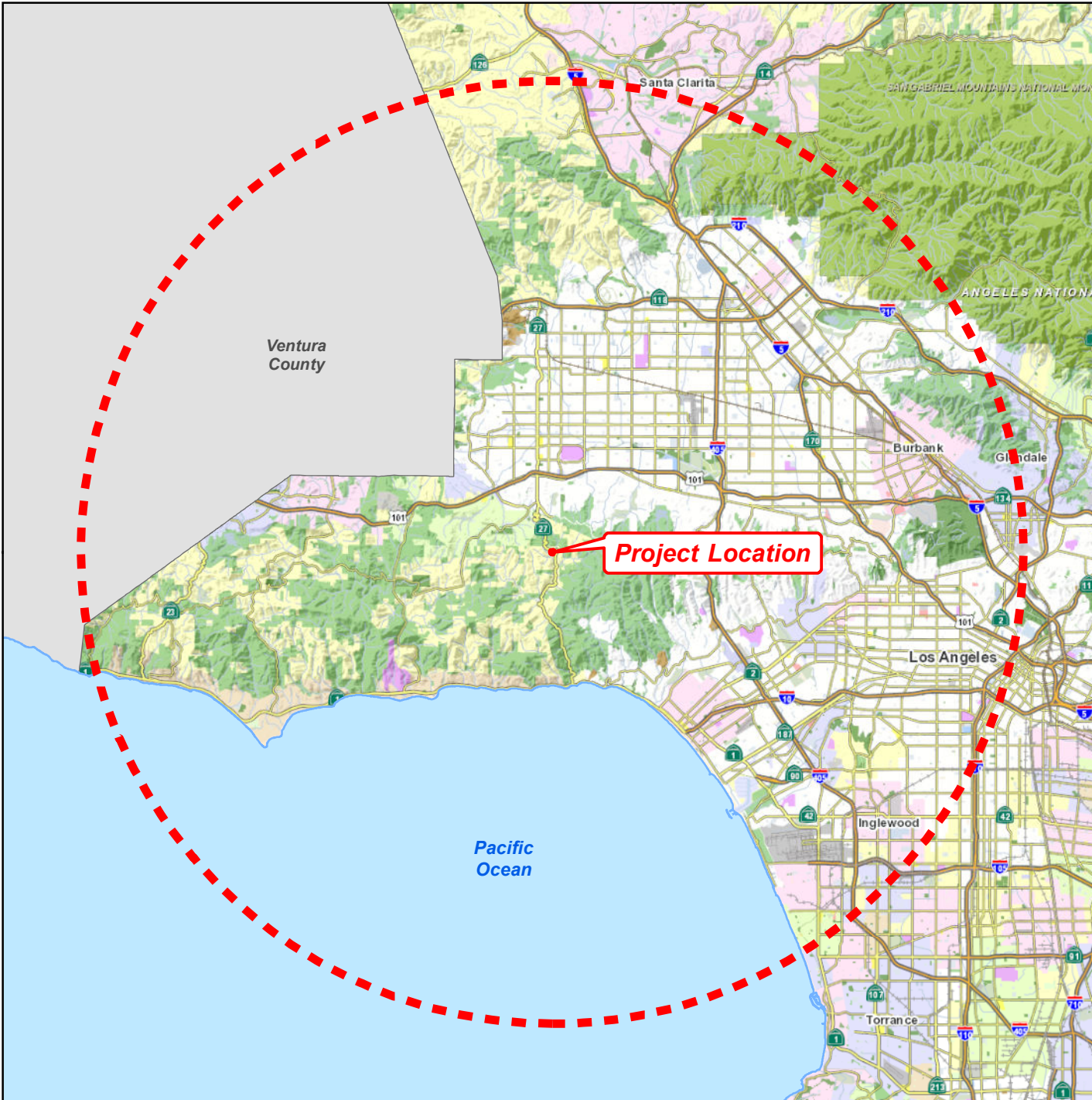
The Permittee completed a biological assessment that was reviewed by the LA County Planning Staff Biologist ("Staff Biologist"). The Staff Biologist conducted a site visit and confirmed that the Project Site was appropriately mapped and agreed with the contents of the biological assessment. The biological assessment determined that that the portion of the Project Site proposed for development does not contain any environmental resources of hazardous or critical concern, nor does it contain any plants or animals listed as federal, state, or locally sensitive designation, and it is not considered a particularly sensitive environments. The Project, with a maximum height of 11 feet and eight inches above grade, is not expected to impact scenic resources such as the designated scenic highway (Topanga Canyon Boulevard) or state conservation land. It is also not likely to have a cumulative or significant effect on the environment, as it consists of one single-family residence in an area with existing development, and no hazardous waste sites or historic resources would be affected. Therefore, the Project is categorically exempt from CEQA.

# 20-MILE RADIUS

## LOCATOR MAP

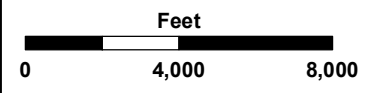
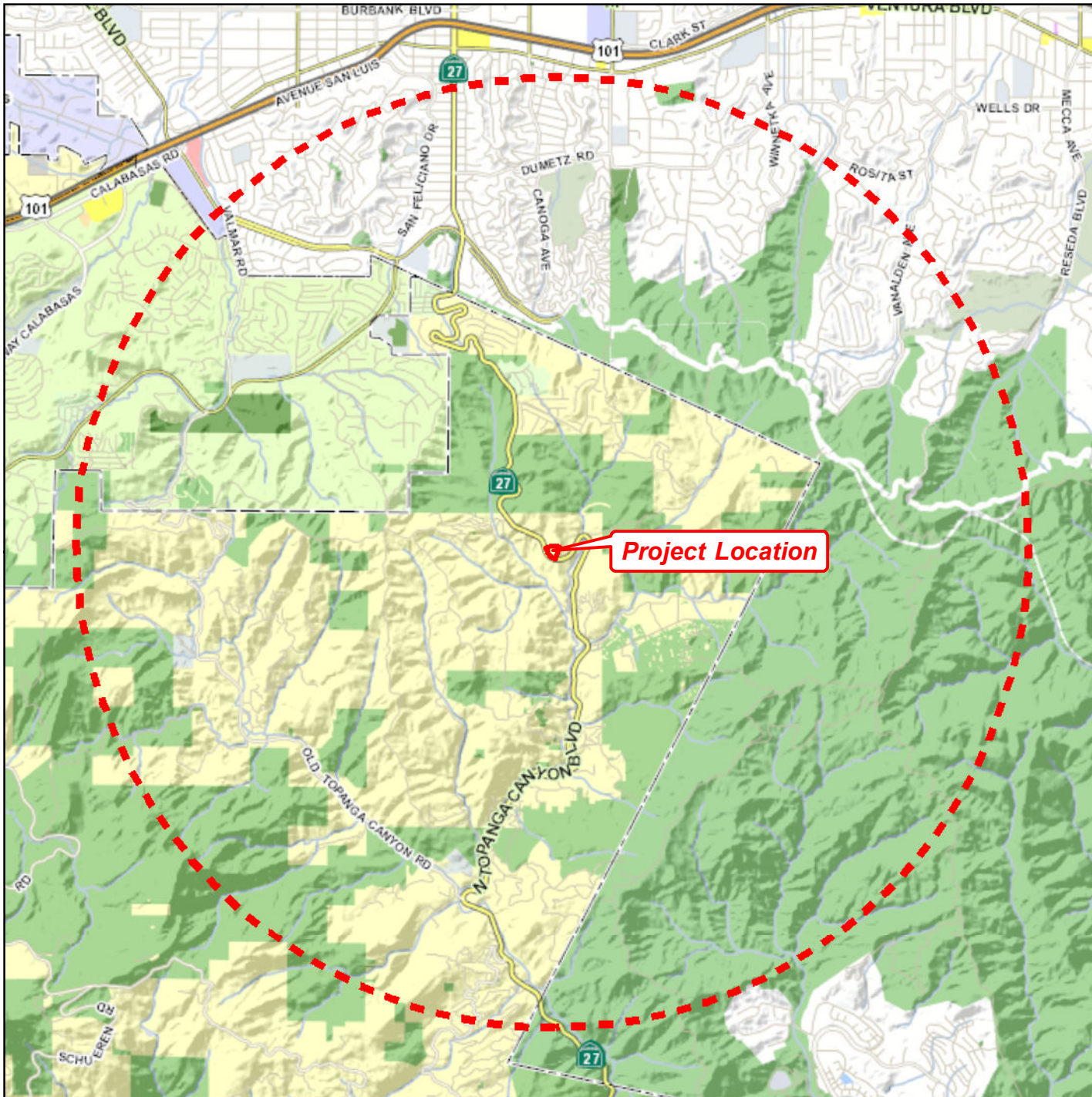
PROJECT NO. PRJ2022-002115

VARIANCE RPPL2022006560



LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012

**3-MILE RADIUS  
LOCATOR MAP**  
PROJECT NO. PRJ2022-002115  
VARIANCE RPPL2022006560



**LA COUNTY  
PLANNING**

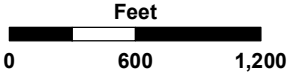
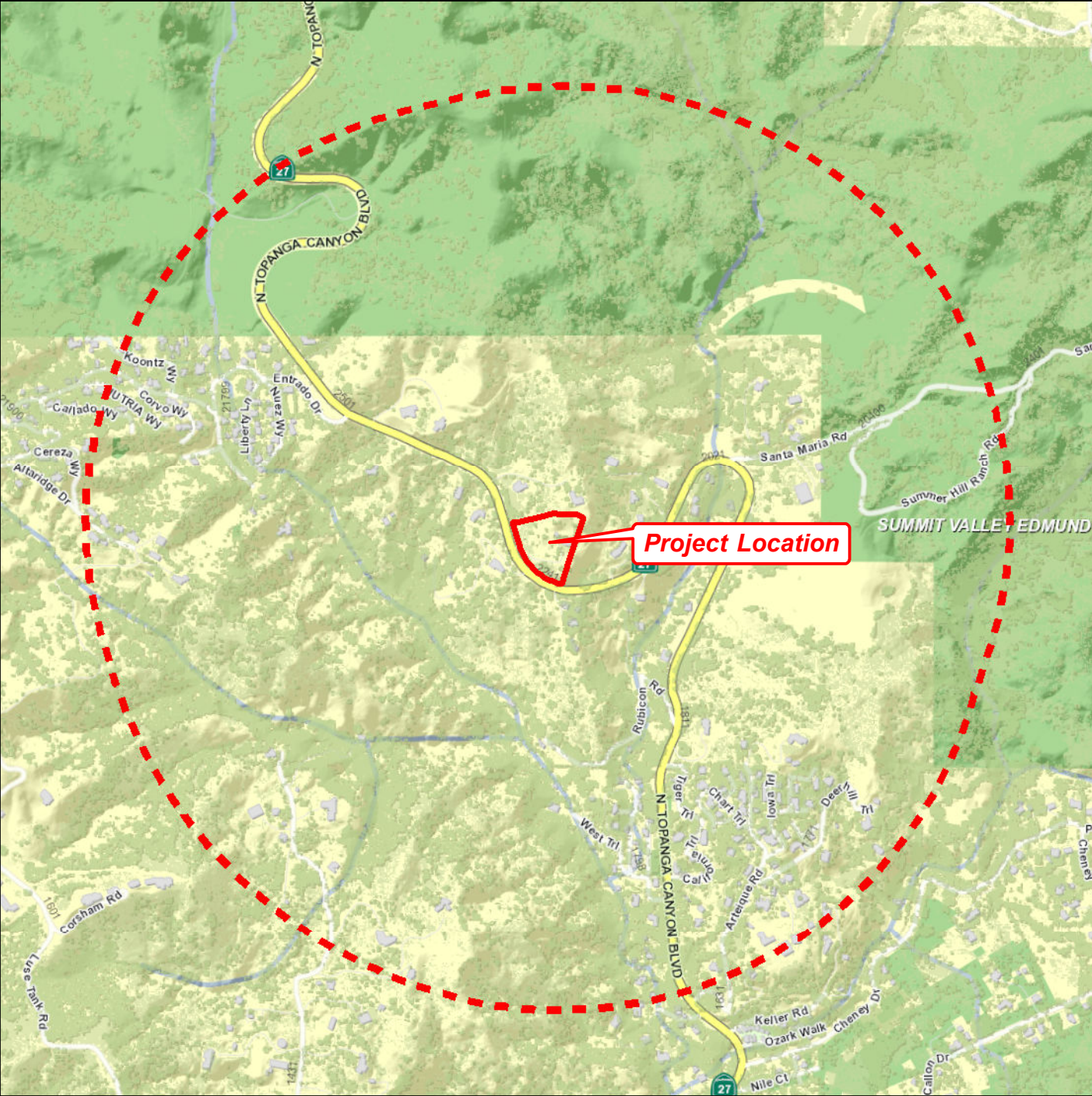
LOS ANGELES COUNTY  
Dept. of Regional Planning  
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# HALF-MILE RADIUS

## LOCATOR MAP

PROJECT NO. PRJ2022-002115

VARIANCE RPPL2022006560



LA COUNTY  
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LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
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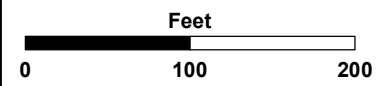
# AERIAL IMAGERY

## SITE-SPECIFIC MAP

PROJECT NO. PRJ2022-002115

VARIANCE RPPL2022006560

Digital Ortho Aerial Imagery:  
Los Angeles Region Imagery  
Acquisition Consortium (LARIAC)  
2023



LA COUNTY  
**PLANNING**

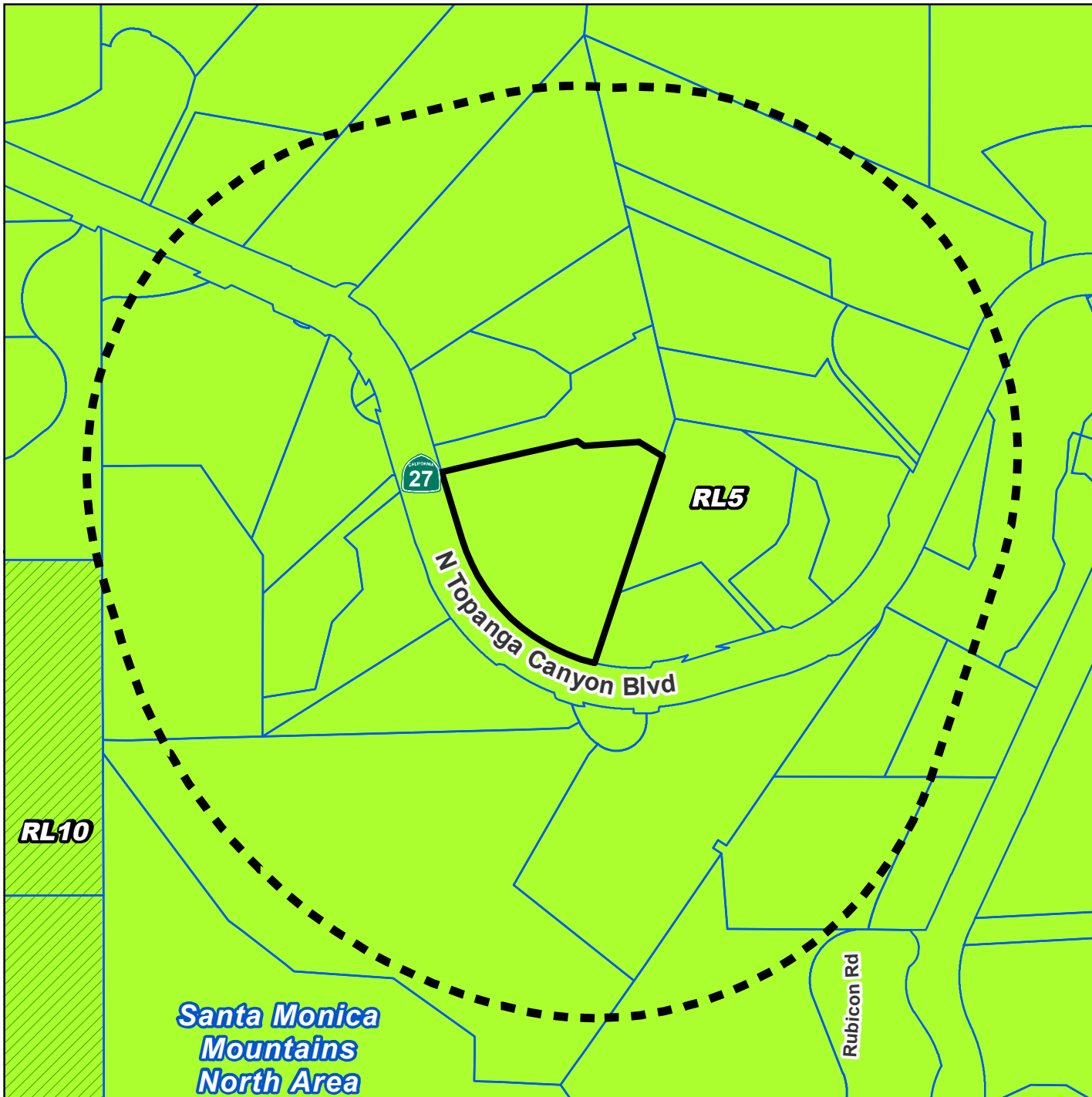
LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012



# LAND USE POLICY

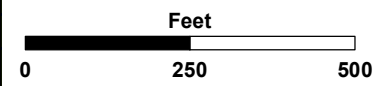
700-FOOT RADIUS MAP

PROJECT NO. PRJ2022-002115

VARIANCE RPPL2022006560



-  RL10 - Rural Land 10
-  RL5 - Rural Land 5



LA COUNTY  
PLANNING

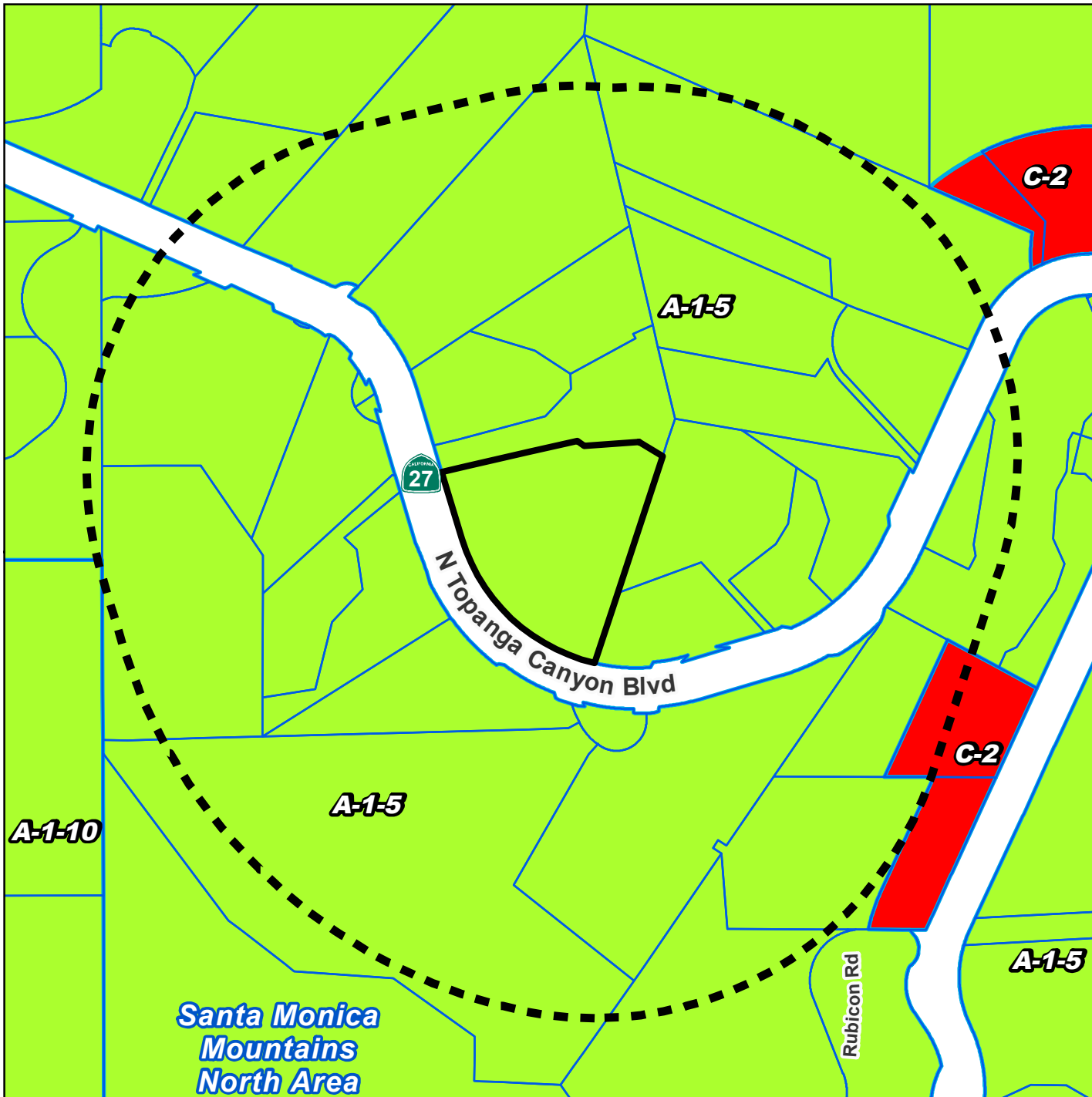
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Dept. of Regional Planning  
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Los Angeles, CA 90012



# ZONING

## 700-FOOT RADIUS MAP

PROJECT NO. PRJ2022-002115

VARIANCE RPPL2022006560



-  A-1 - Light Agricultural
-  C-2 - Neighborhood Business

**A-1-10**

**A-1-5**

**C-2**

**A-1-5**

**C-2**

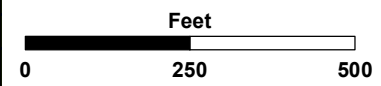
**A-1-5**

**Santa Monica  
Mountains  
North Area**

Rubicon Rd

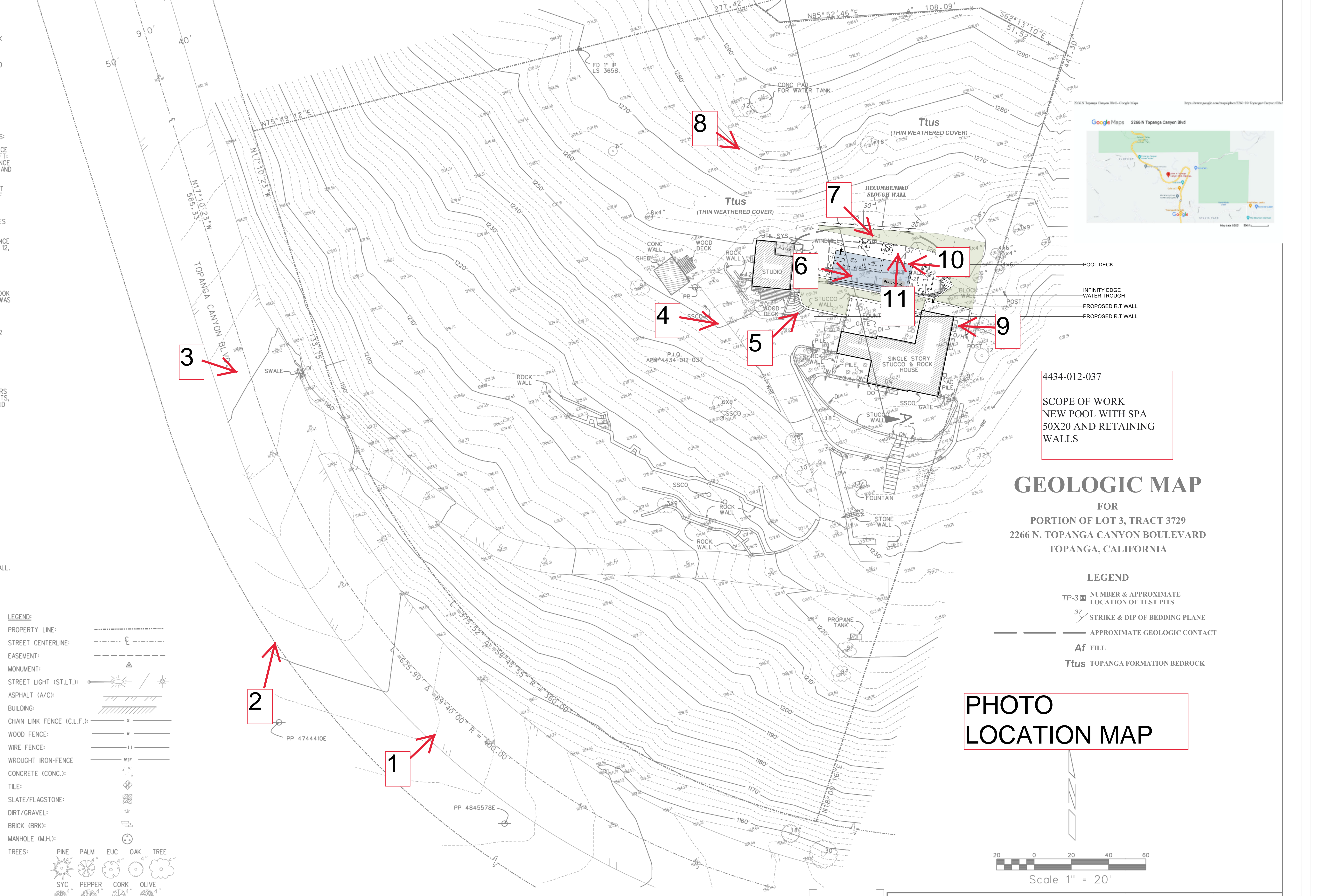


N Topanga Canyon Blvd



**LA COUNTY  
PLANNING**

LOS ANGELES COUNTY  
Dept. of Regional Planning  
320 W. Temple Street  
Los Angeles, CA 90012



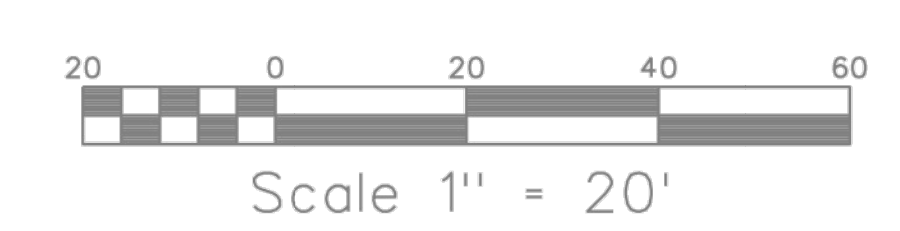
4434-012-037  
 SCOPE OF WORK  
 NEW POOL WITH SPA  
 50X20 AND RETAINING  
 WALLS

# GEOLOGIC MAP

FOR  
 PORTION OF LOT 3, TRACT 3729  
 2266 N. TOPANGA CANYON BOULEVARD  
 TOPANGA, CALIFORNIA

- LEGEND**
- TP-3 [Symbol] NUMBER & APPROXIMATE LOCATION OF TEST PITS
  - 37 [Symbol] STRIKE & DIP OF BEDDING PLANE
  - [Symbol] APPROXIMATE GEOLOGIC CONTACT
  - Af [Symbol] FILL
  - Ttus [Symbol] TOPANGA FORMATION BEDROCK

PHOTO  
 LOCATION MAP



- LEGEND:**
- PROPERTY LINE: [Symbol]
  - STREET CENTERLINE: [Symbol]
  - EASEMENT: [Symbol]
  - MONUMENT: [Symbol]
  - STREET LIGHT (ST.LT.): [Symbol]
  - ASPHALT (A/C): [Symbol]
  - BUILDING: [Symbol]
  - CHAIN LINK FENCE (C.L.F.): [Symbol]
  - WOOD FENCE: [Symbol]
  - WIRE FENCE: [Symbol]
  - WROUGHT IRON-FENCE: [Symbol]
  - CONCRETE (CONC.): [Symbol]
  - TILE: [Symbol]
  - SLATE/FLAGSTONE: [Symbol]
  - DIRT/GRAVEL: [Symbol]
  - BRICK (BRK): [Symbol]
  - MANHOLE (M.H.): [Symbol]
  - TREES: PINE, PALM, EUC, OAK, TREE, SYC, PEPPER, CORK, OLIVE

1

SITE



2

ENTRANCE



3



4



5

PROPOSED POOL



6

PROPOSED POOL



PROPOSED POOL







PROPOSED POOL

PROPOSED POOL



11

LOOKING NORTH TO ADJACENT NEIGHBOR





MARK PESTRELLA, Director

# COUNTY OF LOS ANGELES

## DEPARTMENT OF PUBLIC WORKS

*"To Enrich Lives Through Effective and Caring Service"*

900 SOUTH FREMONT AVENUE  
ALHAMBRA, CALIFORNIA 91803-1331  
Telephone: (626) 458-5100  
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:  
P.O. BOX 1460  
ALHAMBRA, CALIFORNIA 91802-1460

July 11, 2024

IN REPLY PLEASE

REFER TO FILE:

LD-4

TO: Rob Glaser  
Coastal Development Services  
Department of Regional Planning

Attention Shawn Skeries

FROM: James Chon   
Land Development Division

**VARIANCE (RPPL2022006560)**  
**2266 NORTH TOPANGA CANYON BOULEVARD**  
**ASSESSOR'S MAP BOOK 4434, PAGE 12, PARCEL 37**  
**UNINCORPORATED SANTA MONICA MOUNTAINS**

As requested, Public Works reviewed the zoning permit application and site plan for the proposed new pool with spa and retaining wall for an existing single-family dwelling.

- Public Works has no comments, and this memo will serve as clearance for our review.
- Public Works has comments on the submitted documents; therefore, a Public Hearing shall NOT be scheduled until the comments have been addressed.

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or [egerlits@pw.lacounty.gov](mailto:egerlits@pw.lacounty.gov).

DK:la

P:\dpub\SUBPCHECK\Plan Checking Files\Single Lots\RPPL2022006560 - 2266 N Topanga Canyon Boulevard\Submittal 2024-06-11\DPW\_Cleared\_2024-07-09\_RPPL2022006560.docx



# COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit  
5823 Rickenbacker Road  
Commerce, CA 90040  
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: RPPL2022006560      PROJECT NUMBER: Pool on ridgeline at  
2266 Topanga Canyon  
Blvd  
CITY/COMMUNITY: Santa Monica Mountains      STATUS: Cleared  
PROJECT ADDRESS: 2266 N Topanga Canyon Boulevard      DATE: 06/24/2024  
Topanga, CA 90290

---

## CONDITIONS

1. This project is cleared for the installation of a retaining wall and pool. Submit plans to the fire department engineering section for review of the pool and their requirements.

For any questions regarding the report, please contact Joseph Youman at (323) 890-4243 or [joseph.youman@fire.lacounty.gov](mailto:joseph.youman@fire.lacounty.gov).

Reviewed by:



**BARBARA FERRER, Ph.D., M.P.H., M.Ed.**  
Director

**MUNTU DAVIS, M.D., M.P.H.**  
County Health Officer

**ANISH P. MAHAJAN, M.D., M.S., M.P.H.**  
Chief Deputy Director

**NICHOLE QUICK, M.D., M.P.H.**  
Deputy Director for Health Protection

**LIZA FRIAS, REHS**  
Director of Environmental Health

**SCOTT ABBOTT, REHS, M.P.A.**  
Assistant Director of Environmental Health

5050 Commerce Drive  
Baldwin Park, California 91706  
TEL (626) 430-5374 • FAX (626) 813-3000

[www.publichealth.lacounty.gov/eh/](http://www.publichealth.lacounty.gov/eh/)

**BOARD OF SUPERVISORS**

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November 12, 2024

TO: Robert Glaser  
Supervising Regional Planner  
Department of Regional Planning

Attention: Shawn Skeries

FROM: Charlene Contreras *ccg*  
Director, Community Protection Branch  
Department of Public Health

**SUBJECT: CONDITIONAL USE PERMIT (CUP) REQUEST  
CASE: RPPL2022006560  
2266 N. TOPANGA CANYON BLVD. TOPANGA CA 90290**

Thank you for the opportunity to review the application and project located at the subject property. The applicant requests to construct a new swimming pool and spa, 50 x 20 feet retaining walls to an existing single-family dwelling.

- Public Health recommends clearance for the project to proceed to Public Hearing only. Conditions or information listed on the contingency must be addressed prior to agency clearance.
- Public Health requires that the conditions or information requested below are addressed prior to agency approval; therefore, the Department **DOES NOT** recommend clearance of this project until the following conditions are met:

1. Drinking Water Program: Potable Water

- 1.1 The applicant provided a water bill from the Los Angeles County Waterworks Districts dated October 29, 2024. The water bill shows a service account #29654829, which serves water to 2266 N. Topanga Canyon Blvd.

For questions regarding drinking water, please contact Bharat Dungrani, Drinking Water Program at 626-430-5420 or [bdungrani@ph.lacounty.gov](mailto:bdungrani@ph.lacounty.gov)

2. Onsite Wastewater Treatment Program (OWTP): Wastewater

**Note: The OWTP does recommend clearance of this project for Public Hearing only with the following contingency.**

- 2.1 An evaluation of all existing septic system(s) is required to ensure the system is adequately sized for the current and proposed addition structures on the property and determine the overall health of your Onsite Wastewater Treatment System (OWTS).
- 2.2 Submit a feasibility report to demonstrate the feasibility of installing the 100% future expansion area if the area has never been tested and designated. This report shall consist of a soil profile excavation and exploratory boring to determine historical and seasonal high groundwater marks, the presence of subsurface water, and percolation testing to confirm that the soil on the property can support the use of OWTS. The testing shall be conducted in an area to be utilized as a dispersal field for the 100% future dispersion area.
- 2.3 Each application submittal will include the minimum documentation noted within the application form and the property's onsite wastewater treatment system evaluation to be conducted by a qualified professional. Although not exhaustive, the evaluation will include whether the existing system was properly installed, is currently functional, and is structurally in good repair. The qualified Class A, C-42, or C-36 contractor conducting the evaluation shall submit a signed report attesting to such capability for the existing OWTS to the Department. The inspection report of the current system required and shall include:
- 2.3.1 Verification that all components were installed/constructed in an acceptable manner (i.e., setbacks are met) and all components are intact and in good repair.
- 2.3.2 Verification of the structural integrity of the entire system, including tank, baffles, plumbing lines, distribution box, diverter valves, and any other related component.
- 2.3.3 The report shall attest to the current condition of the dispersal system. For example, the extent to which the perforated pipes for leach lines and the gravel below are clogged; the presence of organic buildup in the seepage pit; the observed level of standing wastewater in the

seepage pit and if the wall of the seepage pit is stained due to constant contact with sewage that may have happened in the past, etc.

- 2.3.4 The report shall include a site/plot plan that identifies and illustrates the entire as-built OWTS, including the tank size dimensions and related details of the dispersal system. Contractor qualifications are noted on our website in Chapter 2 of the Professions Guide and the LAMP.

Reference:

<http://publichealth.lacounty.gov/eh/about/land-use-program.htm>

For questions regarding wastewater, please contact Tigran Khachatryan, Land Use Program at (626) 430-5380 or [tkhachatryan@ph.lacounty.gov](mailto:tkhachatryan@ph.lacounty.gov).

3. Community Protection Branch: Environmental Hygiene

**Please Note:** The following are general requirements for Noise and Air Quality recommendations for the proposed project.

The applicant shall abide by all applicable requirements contained in Title 12, Chapter 12.08 - Noise Control Ordinance of the County of Los Angeles (reference available at [municode.com](http://municode.com)). The sections in Title 12 that apply to this project include but are not limited to 12.08.390 (Exterior Noise Standards), 12.08.440 (Construction Noise) and 12.08.530 (Residential Air-Conditioning).

3.1 Exterior Noise

Ordinance:

12.08.390 Exterior Noise Standards

No person shall operate or cause to be operated, any source of sound at any location within the unincorporated county or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person which causes the noise level, when measured on any other property either incorporated or unincorporated, to exceed any of the following exterior noise standards in Table 1.

Exterior Noise Standards, dBA						
Area	Duration	Std # 1 = L50	Std # 2 = L25	Std # 3 = L8.3	Std # 4 = L1.7	Std # 5 = L0
		30min/hr	15min/hr	5 min/hr	1 min/hr	At no time
Residential	7 am – 10 pm	50	55	60	65	70
	10 pm – 7 am	45	50	55	60	65
Commercial	7 am – 10 pm	60	65	70	75	80
	10 pm – 7 am	55	60	65	70	75
Industrial	Anytime	70	75	80	85	90

Table 1. Std = Standard dB that may not exceed the cumulative period.

3.2 Construction Noise

Ordinance:

12.08.440 Construction Noise

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sundays or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work of public service utilities or by variance issued by the health officer is prohibited (See Table 2 and 3).

A. Mobile Equipment. Maximum noise levels for nonscheduled, intermittent, short-term operation (less than 10 days) of mobile equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	75 dBA	80 dBA	85 dBA

Table 2. Std = Standard dB that may not exceed.

B. Stationary Equipment. Maximum noise level for repetitively scheduled and relatively long-term operation (periods of 10 days or more) of stationary equipment:

	Single-family Residential	Multi-family Residential	Semi-residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 7:00 p.m.	60 dBA	65 dBA	70 dBA

Table 3. Std = Standard dB that may not exceed.

Findings:

The subject site was zoned for residential use and was surrounded by residential zoned land.

3.3 Recommendations

3.3.1 Exterior Noise

The operation of the subject site must adhere to the Los Angeles County Exterior Noise Standards. All other applicable Noise Control Ordinance of the County of Los Angeles must also be complied with.

3.3.2 Construction Noise

Noise mitigation measures should be applied if applicable to reduce construction noise and to comply with Title 12,

12.08.440 – Construction Noise. Noise mitigation strategies may include but are not limited to:

1. All construction equipment shall be equipped with the manufacturers' recommended noise muffling devices, such as mufflers and engine covers. These devices shall be kept in good working condition throughout the construction process.
2. Installation of a temporary sound barrier at the property lines of the proposed project site to mitigate noise impacts on all surrounding properties.
3. All construction equipment shall be properly maintained and tuned to minimize noise emissions.
4. Stationary noise sources (e.g., generators and compressors) shall be located as far from residential receptor locations as is feasible.

### 3.3.3 Air Quality Recommendation

During grading or excavation activities if applicable, application of dust control measures to minimize fugitive dust is recommended. Fugitive dust can result in worker and public exposure to fungal spores such as *Coccidioides immitis*, which can cause Coccidioidomycosis (Valley Fever). Adhere to applicable Air Quality Management District regulations.

For questions regarding Environmental Hygiene, please contact Makkaphoeum Em of Public Health, Environmental Hygiene Program at (626) 430-5201 or [mem@ph.lacounty.gov](mailto:mem@ph.lacounty.gov).

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Land Use Liaison at (626) 430-5201 or [varanda@ph.lacounty.gov](mailto:varanda@ph.lacounty.gov).

CC:va

DPH\_CLEARED\_2266 N. TOPANGA CANYON BLVD. TOPANGA CA 90290\_RPPL2022006560\_11.12.2024

# Biological Assessment Report

2266 North Topanga Canyon Boulevard

Los Angeles County, California

APN 4434-012-037

County No. RPPL2022006563

Prepared for  
Shidan Taslimi  
1805 Colorado Avenue  
Santa Monica, CA 90404

September 2021; Revised by Daryl Koutnik June 2025





# Biological Assessment Report

2266 North Topanga Canyon Boulevard  
Los Angeles County, California  
APN 4434-012-037  
County No. RPPL2022006563

Prepared for  
Shidan Taslimi  
1805 Colorado Avenue  
Santa Monica, CA 90404

September 2021; Revised by Daryl Koutnik June 2025

Initially Prepared by  
Environmental Science Associates  
Contact: Daryl Koutnik  
(949) 753-7001  
dkoutnik@esassoc.com  
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dkoutnik@juno.com

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 Los Angeles County, California

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- F. Special-Status Wildlife Species Potential to Occur

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# **BIOLOGICAL ASSESSMENT REPORT**

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## **2266 North Topanga Canyon Boulevard (APN 4434-012-037)<sup>1</sup>**

### **1. Introduction**

This report documents the findings of a biological assessment conducted at 2266 North Topanga Canyon Boulevard (APN 434-012-037) (project site), within the Santa Monica Mountains North Area Plan (NAP)/Santa Monica Mountains Significant Ecological Area (SEA), in support of the processing of an application for the installation of a swimming pool accessory to an existing single-family residence within the project site. A comprehensive update of the NAP was recently adopted, effective in June 2021. Accessory structures associated with single-family residences are exempt from a conditional use permit requirement (Section 22.102.040.B.2). A swimming pool is a typical accessory structure for single-family residences but the project site has a designated significant ridgeline within the property, designated subsequent to the construction of the existing residence. This biological assessment report is intended for submission to the County of Los Angeles (County) in support of the application.

The proposed swimming pool is referred to as the development footprint in this report. The project site, development footprint, 200-foot fuel modification zone surrounding the existing residence(s), and surrounding 200-foot survey buffer (study area) were assessed for sensitive biological resources, during the biological assessment. It is noted that no new fuel modification will be required for the construction of a swimming pool.

This report provides an overview of the biological resources observed on-site, or that have the potential to occur within or adjacent to the study area; as well as, a brief discussion of the proposed development. In addition, this report includes recommendations in addressing the proposed development and avoiding or minimizing impacts to sensitive biological resources during future ground-disturbing activities that may occur moving forward, as a result of construction activities.

#### **1.1 Statement of Qualifications**

ESA has extensive experience conducting biological assessments in Los Angeles County; qualified ESA biologist Daryl Koutnik conducted the biological assessment and Florence Chan

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<sup>1</sup> ESA was not involved in revisions to the June 2025 report. No modification to the methodology and results for the ESA-conducted survey are included.

prepared this report. Resumes for each ESA biologist involved in the preparation of this report are provided in **Appendix A – Resume** and are summarized briefly below:

- **Daryl Koutnik – Principal Biologist:** Daryl has over 25 years of experience as a professional biologist. Daryl earned a B.S. in mathematics and biology from California State University, Northridge, and an M.S. and Ph.D. in botany from University of California, Davis. Daryl has extensive experience conducting biological assessments in Southern California, including within the Santa Monica Mountains. As the project’s principal biologist, Daryl managed and participated in the drafting of the document and is responsible for the contents of this report.
- **Florence Chan – Biologist:** Florence is a wildlife biologist with 18 years of field biology experience across the United States and Canada. Florence earned a B.S. in physical geography from University of British Columbia and a M.S. in Plant and Soil Sciences from Alabama A&M University.

## 1.2 Project and Survey Description

### 1.2.1 Project Description

The project includes the addition of a swimming pool immediately north of an existing single family residence on a 2.8-acre parcel located on Topanga Canyon Boulevard, and zoned light agriculture (A-1-5).

- Applicant: Shidan Taslimi  
Taslimi Construction Company, Inc.  
1805 Colorado Avenue  
Santa Monica, CA 90404
- Project Name: 2266 North Topanga Canyon Boulevard
- Type of Report: Biological Assessment Report
- APN 4434-012-037
- Development: Swimming pool as accessory structure
- Area: 2.77 acres

### 1.2.2 Methods

#### 1.2.2.1 Literature Review

Prior to conducting the initial field assessment, ESA conducted a query of the following available resource inventory databases to analyze the potential for sensitive resources to occur within the study area:

- California Natural Diversity Data Base (CNDDDB) 2021. California Department of Fish and Wildlife. The database was queried for special-status species records in the Topanga U.S. Geological Survey (USGS) 7.5-minute quadrangle and 6 surrounding quadrangles, including Malibu Beach, Calabasas, Canoga Park, Van Nuys, Beverly Hills, and Venice.  
<https://www.wildlife.ca.gov/Data/CNDDDB/Maps-and-Data>: Accessed August 4, 2021.

- California Department of Fish and Wildlife (CDFW). 2021. Sensitive Natural Communities. Sacramento, CA: CDFW, Natural Heritage Division, August 13, 2021. Accessed at: <https://wildlife.ca.gov/Data/VegCAMP/Natural-Communities>.
- California Department of Forestry and Fire Protection (CDFFP). 2020. Fire Resource and Assessment Program. Accessed at: <http://frap.fire.ca.gov/mapping/gis-data/> on June 10, 2021.
- California Native Plant Society (CNPS). 2021. Inventory of Rare and Endangered Vascular Plants of California. Database was queried for special-status species records in the Topanga USGS 7.5-minute quadrangle and six surrounding quadrangles, including Malibu Beach, Calabasas, Canoga Park, Van Nuys, Beverly Hills, and Venice. <http://rareplants.cnps.org/>: Accessed August 4, 2021.
- Natural Resource Conservation Service (NRCS). 2021. Web Soil Survey. <https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>: Accessed June 15, 2021.
- U.S. Fish and Wildlife Service (USFWS). 2021. Critical Habitat Portal. <https://fws.maps.arcgis.com/home/webmap/viewer.html?webmap=9d8de5e265ad4fe09893cf75b8dbfb77>: Accessed August 13, 2021.

### 1.2.2.2 **Biological and Jurisdictional Assessment**

A biological assessment was conducted by Daryl Koutnik on May 20, 2021. The survey consisted of walking transects throughout the study area, where possible, to characterize and map vegetation, and to determine the potential for special-status plants and wildlife to occur within the study area. Vegetation mapping efforts were generally conducted pursuant to *Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Sensitive Natural Communities*, with the exception of mapping CDFW sensitive communities; a Combined Rapid Assessment and Relevé form was not completed when determining presence of and/or boundaries of a sensitive community (CDFW 2018).

All incidental, visual observations of flora and fauna, including sign (i.e., presence of scat) as well as any audible detections, were noted during the assessment and are described further below in this report. All native and non-native plant communities and land uses were characterized and delineated on aerial photographs during the field survey, and then digitized on aerial maps using a Geographic Information System software (ArcGIS). Most descriptions of vegetation were characterized in the field in accordance with *Vegetation Classification of the Santa Monica Mountains National Recreation Area and Environs in Ventura and Los Angeles Counties, California, Version I-Association Level and Specific Alliances* (CDFG 2006); however, some communities were characterized based on dominant species or other visual characteristics if a suitable vegetation alliance was not previously identified or appropriate. A detailed description of each plant community and land use is provided in Section 2.4 of this report.

An assessment of the potentially jurisdictional aquatic resources present within the study area was conducted, as well. The assessment included the mapping of each feature, within the study area, including any boundaries that may be applicable during the permitting process.

## 2. Characteristics of the Study Area

This section discusses the characteristics of the study area and location of the proposed project.

### 2.1 Location and Legal Description of the Study Area

As previously indicated, the study area includes the project site, the proposed swimming pool footprint, the 200-foot Fuel Modification Zone for the existing residence, and 200-foot survey buffer. The study area is located within Unincorporated Los Angeles County (**Figure 1 – Regional Location**) in the Topanga USGS 7.5-minute topographic quadrangle.

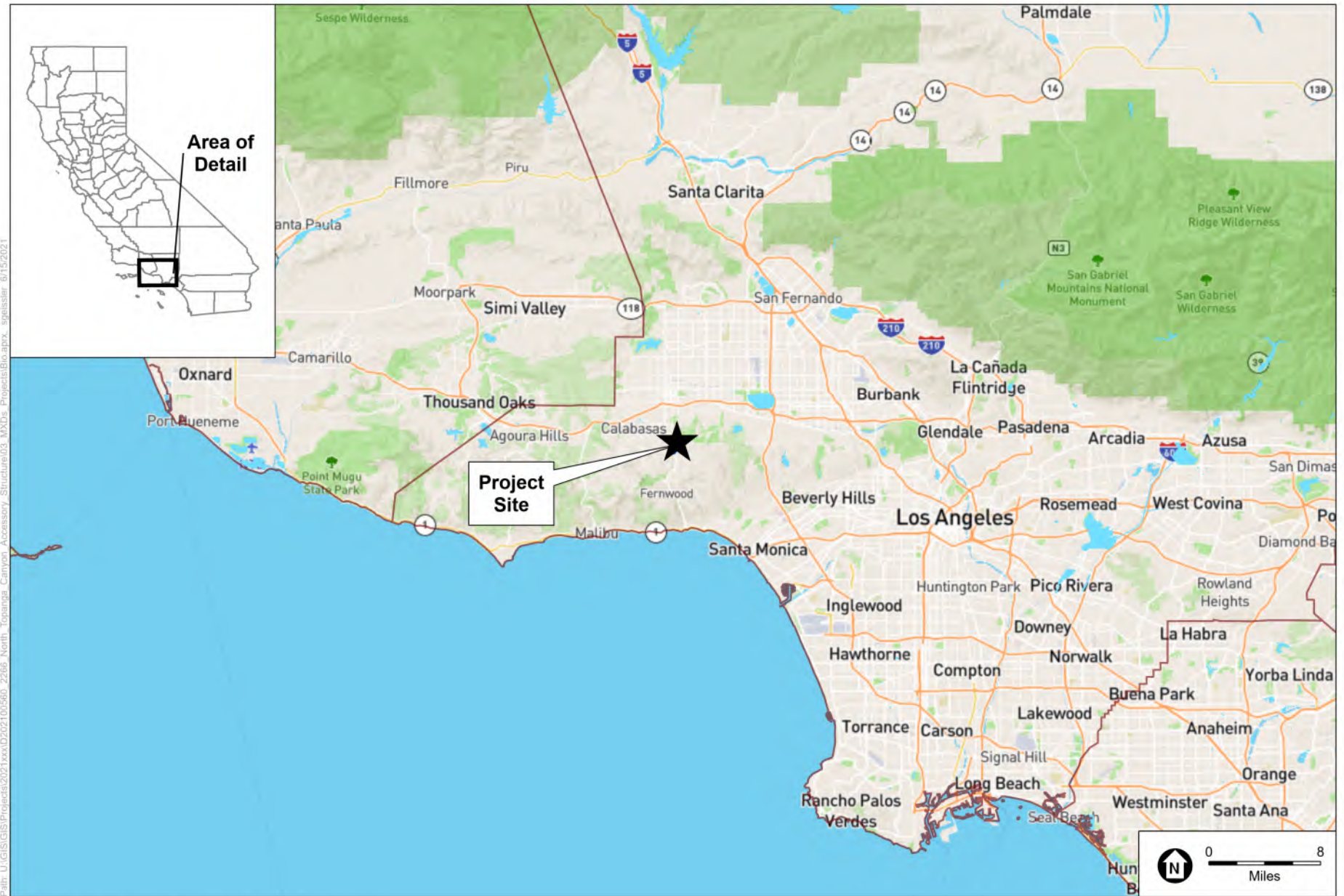
The study area is situated within the Santa Monica Mountain Range at an elevation ranging between roughly 1,190 to 1,260 feet above mean sea level. The community of Topanga is located approximately 3.2 miles to the south, and the community of Glenview is approximately 0.5 mile to the west, and Sylvia Park is 1.5 miles to the southeast. California State Route 1 and the Pacific Ocean are located approximately 7.7 miles to the south (**Figure 2 – Project Location**).

### 2.2 Soils and Topography

The study area is situated within a small canyon formed by ridges to the north and south, that drop down steeply, toward the existing residence at a slope of up to 45 percent. As shown in **Figure 3 – Soils**, three soil types occur within the study area: Cotharin clay loam, 30 to 75 percent slopes; Cumulic Haploxerolls, 0 to 9 percent slopes; and Topanga-Mipolomol-Sapwi association, 30 to 75 percent slopes (NRCS 2021).

#### 2.2.1 Cotharin clay loam, 30 to 75 percent slopes

A large portion of this association occurs throughout much of the eastern portion of the study area. The Cotharin soil series formed from a parent material of residuum and collubium derived from meta-volcanic rock and are characterized as well drained soils with very low available water capacity (1.2 inches). Paralithic bedrock is generally present within 4 to 14 inches and the typical soils profile is as follows: 0 to 1 inch, slightly decomposed plant material; 1 to 11 inches, loam; and 11 to 21 inches, weathered bedrock.



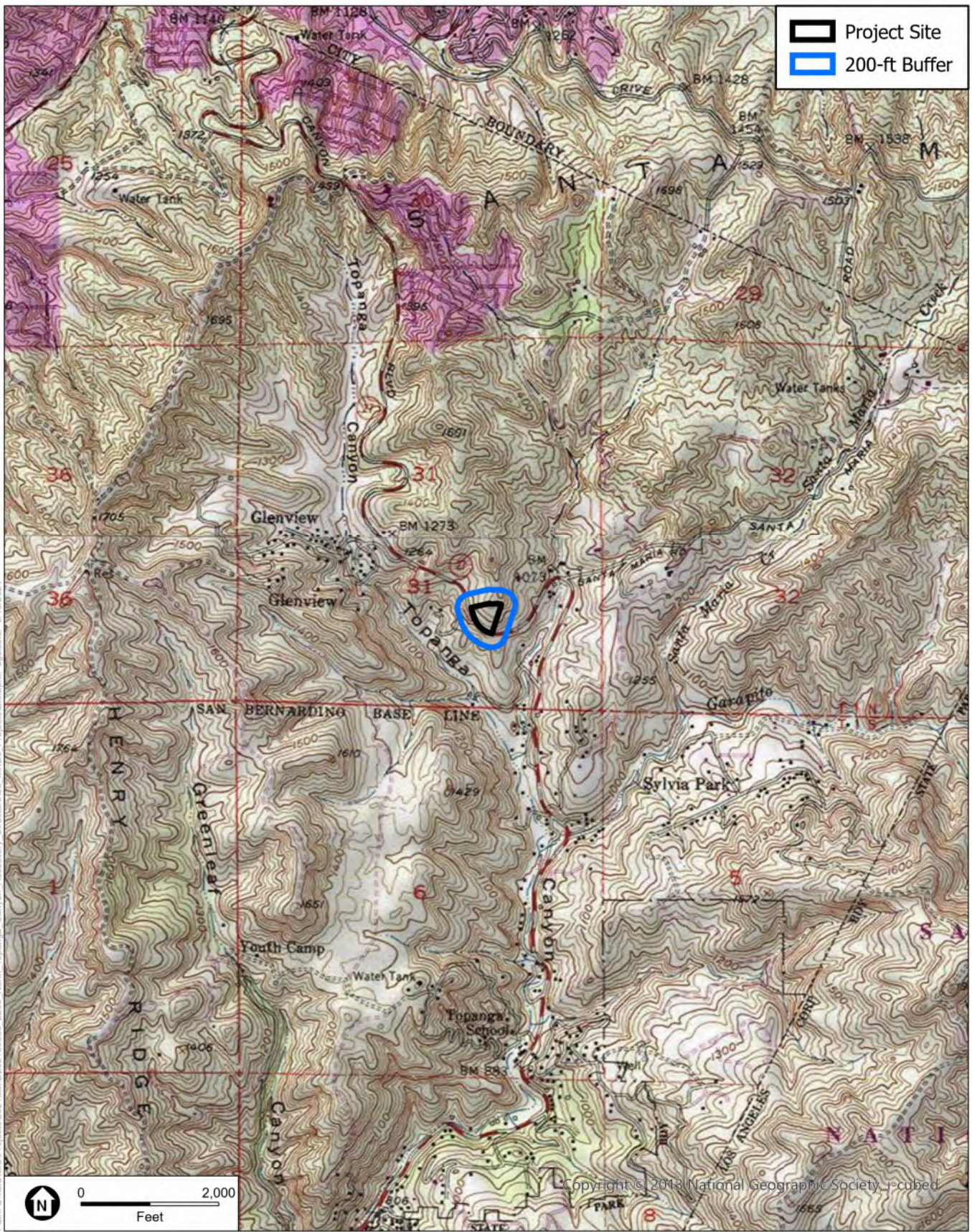
Path: U:\GIS\GIS\Projects\2021\000\0560\_2266\_North\_Topanga\_Canyon\_Accessory\_Structure\03\_MXD\Projects\Bio.aprx\_sptglstler\_6/15/2021

SOURCE: ESRI; National Hydrography Dataset; DWR

2266 N. Topanga Canyon

**Figure 1**  
Regional Map









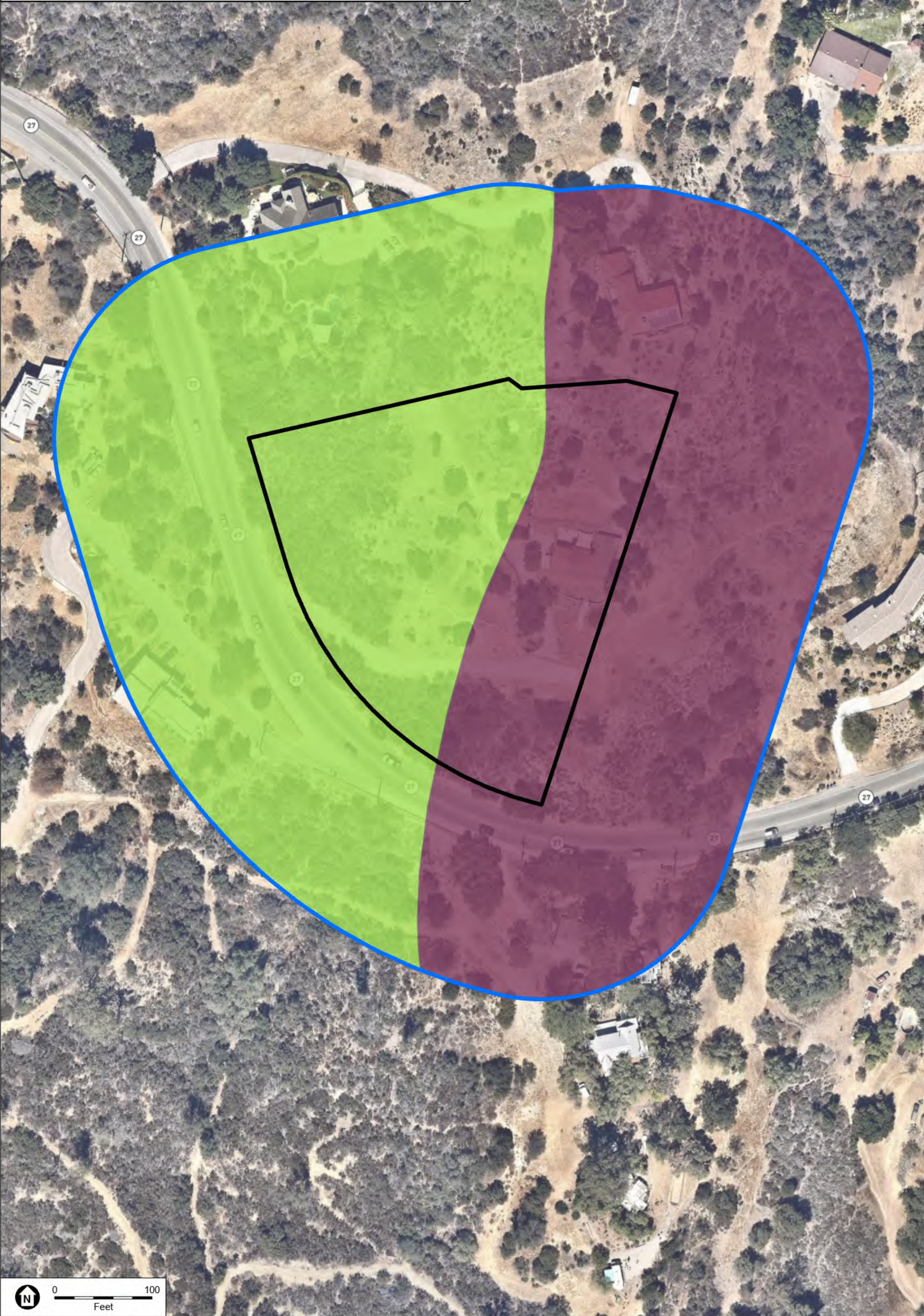
SOURCE: USGS Topographic Series (Canoga Park, Topanga, CA); ESA, 2021.

2266 N. Topanga Canyon

**Figure 2**  
Vicinity Map



 Project Site  
 200-ft Buffer  
**Soil Type**  
 170 - Cotharin clay loam, 30 to 75 percent slopes  
 290 - Topanga-Mipolomol-Sapwi association, 30 to 75 percent slopes



SOURCE: Mapbox, 2020; ESA, 2021.

2266 N. Topanga Canyon  
**Figure 3**  
 Soils Map

## **2.2.2 Cumulic Haploxerolls, 0 to 9 percent slopes**

This soil complex occurs in the northeast corner of the study area and formed from alluvium derived from volcanic and sedimentary rock. Soils are generally well drained with medium runoff and moderate available water capacity (8.6 inches). The typical profile is as follows: 0 to 16 inches, stratified sandy loam; 16 to 69 inches, stratified clay loam; and 69 to 83 inches, extremely gravelly coarse sand.

## **2.2.3 Topanga-Mipolomol-Sapwi Association, 30 to 75 percent slopes**

This soil complex occurs in the western portion of the study area and is comprised of three major soil components, Topanga, Mipolomol, and Sapwi, which are described in detail below.

### **2.2.3.1 Topanga**

Topanga soils are formed from a parent material of residuum and colluvium derived from bedded shale, slate, and sandstone. Paralithic bedrock is generally present within 10 to 20 inches of the surface and soils are characterized as well drained with very low available water capacity (2.6 inches). The typical soil profile is as follows: 0 to 15 inches, gravelly loam, 15 to 18 inches, gravelly clay loam; and 18 to 27 inches, bedrock.

### **2.2.3.2 Mipolomol**

This soil series has parent material originating from colluvium and/or residuum weathered from sandstone. Paralithic rock is generally present within 4 to 14 inches of the ground surface and soils are characterized as well drained with very low available water capacity (1.5 inches). The typical soil profile is as follows: 0 to 12 inches channery loam; and 12 to 22 inches, bedrock.

### **2.2.3.3 Sapwi**

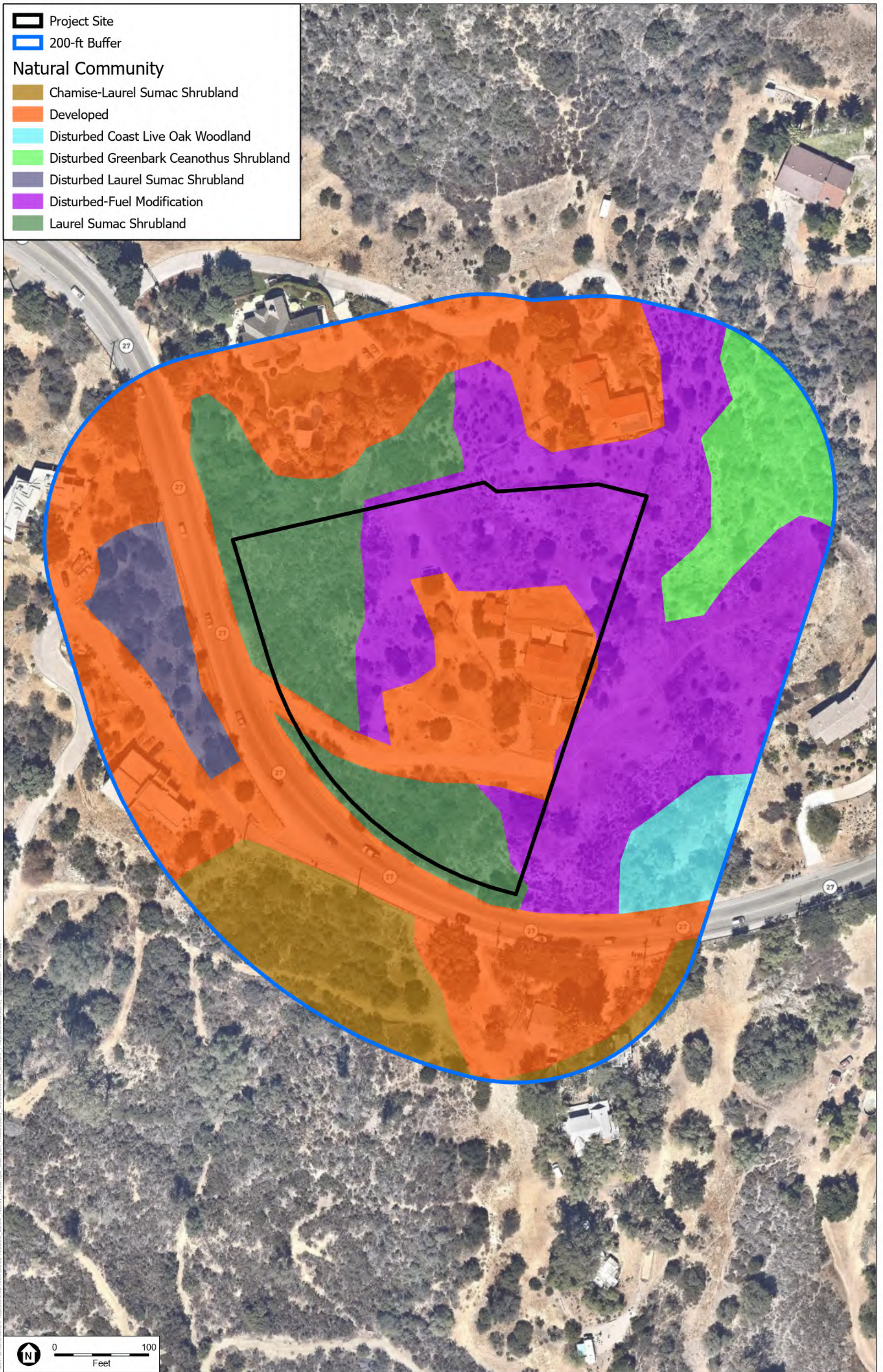
Sapwi soils are formed from colluvium and/or residuum weathered from sandstone and has a low available water capacity (5.7 inches). Lithic bedrock is generally present within 20 to 39 inches and the typical soil profile as follows: 0 to 1 inch, slightly decomposed plant material; 1 to 4 inches, loam; 4 to 24 inches, stony clay loam; 24 to 38 inches, very stony clay loam; and 38 to 48 inches, bedrock.

## **2.3 Microclimate and Wildfire**

Mean annual precipitation in the area is approximately 19.4 inches and mean annual air temperature is approximately 75 degrees Fahrenheit. According to the Statewide Historical Fire Perimeter Map (CDFFP 2021), the study area was burned during the 5,116-acre County Fire 123158 in 1958 and during the 3,177-acre Cooper No. 1 Fire in 1927.

## **2.4 Natural Communities and Land Uses**

The natural communities and land uses located within the study area were characterized and mapped during the site visit and are depicted in **Figure 4 – Natural Communities and Land Uses**; each natural community and land use is described in detail below.



SOURCE: Mapbox, 2020; ESA, 2021.

2266 N. Topanga Canyon

**Figure 4**  
 Natural Community and Land Uses

A complete list of plant species observed during the site visit was generated and is provided in **Appendix B – Floral and Faunal Compendia**. Photographs were taken during the site visit depicting the communities and land use within the study area and are provided in **Appendix C – Photographic Log**.

#### **2.4.1 Chamise-Laurel Sumac Shrubland (*Adenostoma fasciculatum* – *Malosma laurina* Shrubland Association)**

Chamise and laurel sumac form mostly continuous cover and are the dominant shrubs of this vegetation type. This shrubland association occurs on moderate to steep slopes of variable aspects. The herbaceous layer is sparse and composed primarily of introduced annual species. This vegetation type occurs in the southern portion of the study area, south of North Topanga Canyon Blvd.

#### **2.4.2 Laurel Sumac Shrubland Association (*Malosma laurina* Shrubland Association)**

Laurel sumac shrubland is characterized by a dominant, dense shrub layer of laurel sumac with an understory of native herbaceous and ruderal species. Subdominant shrub species include California sagebrush (*Artemisia californica*), deerweed (*Acmispon glaber*), and California buckwheat (*Eriogonum fasciculatum*). This shrubland association occurs on gentle to very steep slopes. Laurel sumac shrubland occurs in the central portion of the project and study area.

#### **2.4.3 Disturbed Coast Live Oak Woodland (*Quercus agrifolia* Woodland)**

This woodland association is dominated by coast live oak in the tree layer and a variety of grasses and forbs in the herbaceous layer. Vegetation within this community has been altered as a result of vegetation thinning practices and the existing residence. Disturbed coast live oak woodland occurs in the central portion of the study area, along the driveway and adjacent to an existing guest house.

#### **2.4.4 Disturbed Greenbark Ceanothus Shrubland (*Ceanothus spinosus* Shrubland)**

This shrubland association occurs on moderately steep to very steep slopes. It is characterized by a dominance of greenbark ceanothus (*Ceanothus spinosus*) in the shrub layer and may include a wide variety of mesophytic species in the herbaceous layer. Vegetation within this community has been heavily altered as a result of vegetation thinning practices required for fuel modification. This vegetation community occurs in the northeastern portion of the study area.

#### **2.4.5 Disturbed Laurel Sumac Shrubland Association (*Malosma laurina* Shrubland Association)**

Vegetation within this community has been heavily altered as a result of vegetation thinning practices and is characterized by successional growth. Disturbed laurel sumac shrubland occurs within the western portion of the project site, west of North Topanga Canyon Blvd.

## 2.4.6 Disturbed – Fuel Modification

This disturbed habitat type is generally regularly maintained by vegetation trimming and removal around residences and structures. Fuel modification zones occur around the single family residence and neighboring structures within the project and study area.

## 2.4.7 Developed

Developed land use occurs throughout the project site and study area. Much of this land use includes the existing single-family residence, driveway, ornamental landscaping, and Topanga Canyon Boulevard. Vegetation within these areas is comprised of ornamental trees and shrubs that include Peruvian pepper tree (*Schinus molle*), Barbados aloe (*Aloe vera*), century plant (*Agave americana*), and tuna cactus (*Opuntia ficus-indica*). Unpaved areas, adjacent to Topanga Canyon Boulevard and the single-family residence support limited herbaceous cover, consisting of sparse native and non-native species.

## 2.5 California Department of Fish and Wildlife Sensitive Natural Communities and Habitats

Sensitive natural communities and habitats are defined by the CDFW as those natural communities that have a reduced range and/or are imperiled as a result of residential and commercial development, agriculture, energy production and mining, or an influx of invasive and other problematic species. Vegetation communities are evaluated using NatureServe’s Heritage Methodology (NatureServe 2021), which is based on the knowledge of range and distribution of a specific vegetation type and the proportion of occurrences that are of good ecological integrity. Evaluation is done at both global (natural range within and outside of California [G]) and subnational (state level for California [S]) status ranks, each ranked from 1 (“critically imperiled” or very rare and threatened) to 5 (demonstrably secure). Natural communities and habitats with state ranks of S1–S3 are considered Sensitive Natural Communities and may require review when evaluating environmental impacts (CDFW 2020).

No CDFW sensitive communities were observed within the project site or study area.

## 2.6 Wildlife

### 2.6.1 Common Wildlife

Common avian species observed during the field assessment include house finch (*Carpodacus mexicanus*), American crow (*Corvus brachyrhynchos*), California towhee (*Melospiza crissalis*), acorn woodpecker (*Melanerpes formicivorus*), northern mockingbird (*Mimus polyglottos*), spotted towhee (*Pipilo maculatus*), lesser goldfinch (*Spinus psaltria*) and Anna’s hummingbird (*Calypte anna*).

Common wildlife species directly observed during the field assessment include the Great Basin fence lizard (*Sceloporus occidentalis* ssp. *longipes*), Botta’s pocket gopher (*Thomomys bottae*), Audubon’s cottontail (*Sylvilagus audubonii*), raccoon (*Procyon lotor*), and California ground squirrel (*Otospermophilus beecheyi*). A number of additional bird, reptile, and mammal species

not observed during the site assessment are likely to forage and/or breed throughout the study area as well. In addition, the special status species coastal (San Diegan tiger) whiptail (*Aspidoscelis tigris* ssp. *stejnegeri*) and Bryant's woodrat (*Neotoma bryanti* ssp. *intermedia*) were observed.

## 2.6.2 Special-Status Wildlife

Special-status wildlife is defined as those animals that, because of their recognized rarity or vulnerability to various forms of habitat loss or population decline, are considered by federal, state, or other agencies to be under threat from human-associated developments. Some of these species receive specific protection that is defined by federal or state endangered species legislation and others have been designated as special-status on the basis of adopted local policies (e.g., city and county) or the educated opinion of respected resource interest groups (e.g., Western Bat Working Group). Special-status wildlife is defined as any of the following:

- Wildlife listed or proposed for listing as threatened or endangered, or are candidates for possible future listing as threatened or endangered, under the federal Endangered Species Act (FESA) or the California Endangered Species Act (CESA).
- Wildlife that meet the definitions of rare or endangered under California Environmental Quality Act (CEQA) Guidelines Section 15380.
- Wildlife designated by CDFW as species of special concern, included on the Watch List or considered "Special Animals."
- Wildlife fully protected in California (Fish and Game Code Sections 3511, 4700, and 5050).
- Birds designated as sensitive by the Los Angeles Audubon Society (LAAS) or are included in the Bird Watchlist (Allen et al. 2009).
- Bird species protected by the Migratory Bird Treaty Act (MBTA).
- Bat species considered priority by the Western Bat Working Group (WBWG).

A review of the most recent CNDDDB (CNDDDB 2021) records for the study area revealed that numerous special-status wildlife species have previously been recorded within the USGS 6-quadrangle search area. A complete list of the species generated in the CNDDDB query are provided in **Appendix D – CNDDDB and CNPS Search Results**. Wildlife species generated in the query that are not expected to occur within the study area (based on an absence of suitable habitat, known geographic distributions, and/or range restrictions) were omitted and are not discussed further in this report.

The special-status wildlife listed in **Appendix F – Potentially Occurring Special-Status Species in the Study Area** below were determined to have varying levels of potential to occur based on the following criteria:

- **Low Potential:** The study area supports limited habitat for a particular species. For example, the appropriate vegetation assemblage may be present while the substrate preferred by the species may be absent.

- **Moderate Potential:** The study area provides marginal habitat for a particular species. For example, the habitat may be heavily disturbed or just outside the known geographical or elevation range; however, still provides suitable foraging and breeding habitat.
- **High Potential:** The study area provides suitable habitat conditions for a particular species and/or known populations occur in the immediate area.
- **Present:** The species was observed within the study area during the site visit.

The species of special concern coastal whiptail and Bryant's woodrat were observed within the project site. In addition, a total of 14 wildlife species have a moderate to high potential to occur within the study area; these species are Santa Monica shieldback katydid (*Aglaothorax longipennis*), Southern California rufous-crowned sparrow (*Aimophila ruficeps* ssp. *canescens*), Southern California legless lizard (*Anniella stebbinsi*), pallid bat (*Antrozous pallidus*), crotch bumble bee (*Bombus crotchii*), San Bernardino ringneck snake (*Diadophis punctatus* ssp. *modestus*), western mastiff bat (*Eumops perotis* ssp. *californicus*), American peregrine falcon (*Falco peregrinus* ssp. *anatum*), western red bat (*Lasiurus blossevillii*), coast horned lizard (*Phrynosoma blainvillii*), golden eagle (*Aquila chrysaetos*), spotted bat (*Euderma maculatum*), silver-haired bat (*Lasionycteris noctivagans*), and hoary bat (*Lasiurus blossevillii*).

## 2.7 Plants

Much of the central portion of the study area has been previously developed for the construction of a single-family residence and primarily consists of ornamental and/or landscaped vegetation. Areas within the western and southern portions of the study area; however, have generally remained undisturbed and were described as various forms of shrubland.

All plants observed during the site visit were recorded; those that were unidentified in the field were keyed to the species level using the 2012 Jepson Manual (Baldwin et al. 2012). A comprehensive list of plant species observed during the site visit is provided in Appendix C – Floral and Faunal Compendia.

### 2.7.1 Special-Status Plants

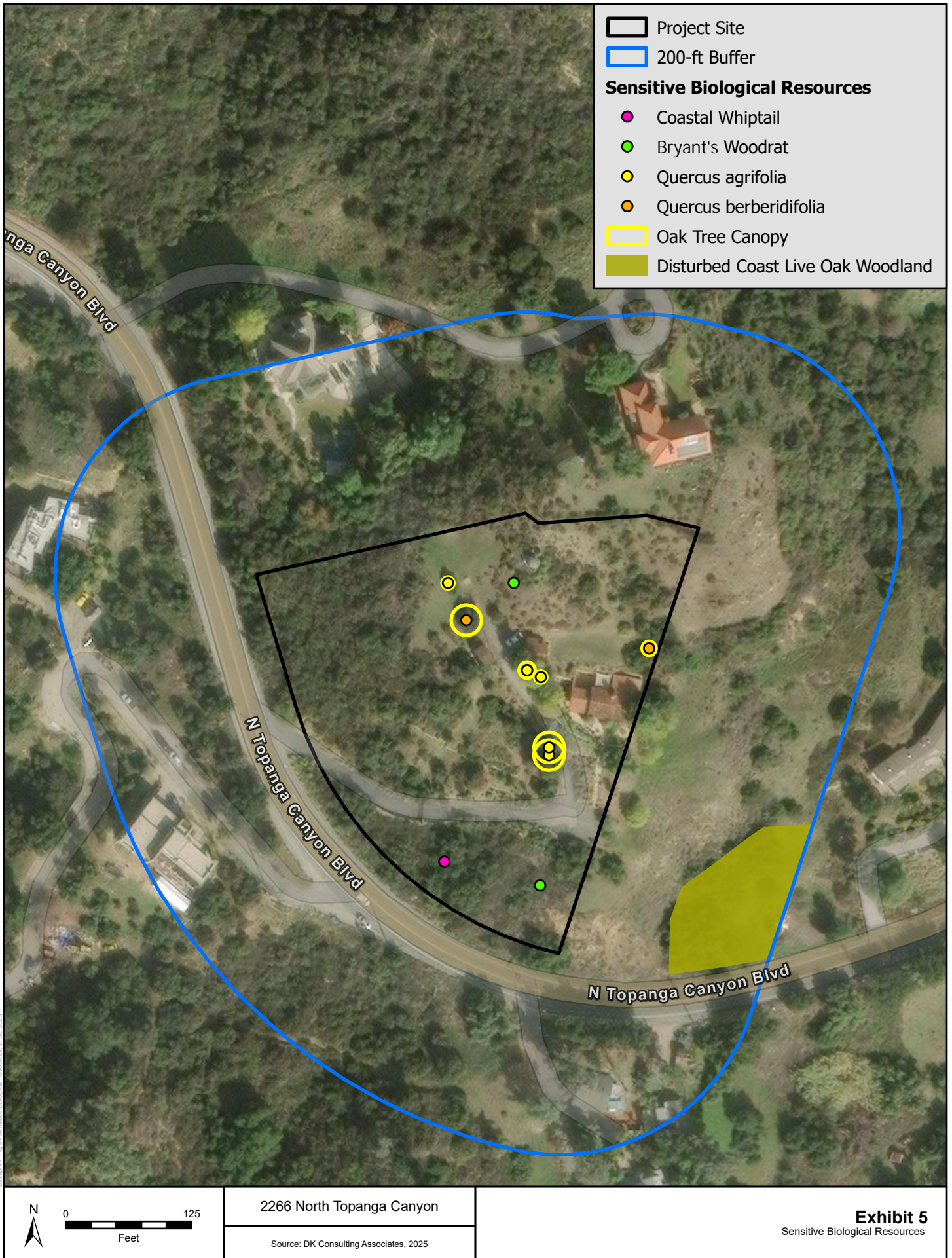
Special-status plants are defined as those plants that, because of their recognized rarity or vulnerability to various causes of habitat loss or population decline, are recognized by federal, state, or other agencies as under threat from human-associated developments. Some of these species receive specific protection that is defined by federal or state endangered species legislation. Others have been designated as special-status on the basis of adopted policies and expertise of state resource agencies or organizations with acknowledged expertise, or policies adopted by local governmental agencies such as counties, cities, and special districts to meet local conservation objectives. Special-status plants are defined as any of the following:

- Plants listed or proposed for listing as threatened, endangered or rare; or are candidates for possible future listing as threatened, endangered or rare, under FESA or CESA.
- Plants that meet the definitions of rare or endangered under State CEQA Guidelines Section 15380.

- Plants considered by the CNPS to be rare, threatened, or endangered (Rank 1A, 1B, 2A and 2B plants) in California.
- Plants listed by the CNPS as plants for which more information is needed to determine their status and plants of limited distribution (Rank 3 and 4 plants).
- Plants listed as rare under the California Native Plant Protection Act (Fish and Game Code 1900 et seq.).

A review of the CNDDDB (CNDDDB 2021) and the CNPS Inventory of Rare and Endangered Plants (CNPS 2021) revealed numerous special-status plant species recorded within the 6-USGS quadrangle search. The potential for special-status plant species to occur is based on vegetation, habitat quality, topography, elevation, soils, surrounding land uses, habitat preferences, and geographic ranges. Based on the presence of suitable habitat, known geographic distributions, and/or range restrictions, it was determined that many of the plant species do not have the potential to occur within the study area and those species are therefore omitted from further discussion in this report. Special-status plants listed in **Appendix E – Special-Status Plant Species** were determined either to be absent from the study area based on the rationale that either the species was not observed during the appropriate blooming period or that the species would have been identifiable in a vegetative state.

A total of five special-status plant species have a moderate to high potential to occur within the study area; these species include southern California black walnut (*Juglans californica*), white-veined monardella (*Monardella hypoleuca* ssp. *hypoleuca*), Ojai navarretia (*Navarretia ojaiensis*), slender mariposa lily (*Calochortus clavatus* var. *gracilis*), and Plummer’s mariposa lily (*Calochortus plummerae*).



Bioscience - Fig. 15 - Sensitive Biological Resources - 27.05.2025

## 2.8 Protected Oak Trees

Pursuant to Section 22.174.010 – 22.174.110 of the Los Angeles County Municipal Code, a person shall not cut, destroy, remove, relocate, inflict damage or encroach into a protected zone of any tree of the oak genus which is (a) 25 inches or more in circumference (eight inches in diameter) as measured four and one-half feet above mean natural grade, on any lot or parcel of land within the unincorporated area of Los Angeles County, or (b) any tree that has been provided as a replacement tree, pursuant to Section 22.1746.070, on any lot or parcel of land within the unincorporated area of Los Angeles County, unless an oak tree permit is first obtained....”. As depicted in **Figure 6 – Protected Oak Trees**, five (5) coast live oak and two (2) inland scrub oak (*Quercus berberidifolia*) of the appropriate size are located within the disturbed fuel modification area in the project site.











## 2.9 Critical Habitat

Under FESA, to the extent feasible, the USFWS and National Marine Fisheries Service are required to designate critical habitat for endangered and threatened species. Critical habitat is defined as areas of land, water, and air space containing the physical and biological features essential for the survival and recovery of endangered and threatened species. Designated critical habitat includes sites for breeding and rearing, movement or migration, feeding, roosting, cover, and shelter. Designated critical habitats require special management and protection of existing resources, including water quality and quantity, host animals and plants, food availability, pollinators, sunlight, and specific soil types. Critical habitat delineates all suitable habitat, occupied or not, essential to the survival and recovery of the species.

The closest known wildlife critical habitat is for the California red legged frog (*Rana draytonii*), located approximately 6 miles to the northwest of the study area (USFWS 2021). The closest known plant critical habitat is for Braunton’s milkvetch (*Astragalus brauntonii*), located approximately 3 miles to the southeast of the study area (USFWS 2021). Critical habitat is not located within the study area.

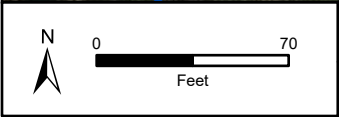
## 2.10 Aquatic Resources

Presence/absence of drainage features was examined during the site assessment and no jurisdictional drainages occur within the study area.

	Project Site	<b>Development Footprint</b>	
	200-ft Buffer		Pool
<b>Protected Oak Trees</b>			Pool Deck
	Quercus agrifolia		Retaining Wall
	Quercus berberidifolia		Staging Area
	Oak Tree Canopy		
	Oak Tree Protection Zone		



Bioscience - Fig. 6 - Protected Oak Trees 27, 06/2025



2266 North Topanga Canyon

Source: DK Consulting Associates, 2025

**Exhibit 6**  
Protected Oak Trees

### 3. Characteristics of the Surrounding Area

This section discusses the characteristics of existing habitat and land use surrounding the study area based on review of aerial imagery and overall knowledge of the region.

#### 3.1 Existing Land Uses and Open Space

The study area is situated within the Transverse Ranges, and more specifically the coastal Santa Monica Mountains. Currently, land use surrounding the study area consists of native chaparral and scrub communities fragmented by rural residential development, public and private roadways, and various utilities. The density of development (i.e., commercial and residential) within this region tends to increase to the south, toward Pacific Coast Highway, and decrease to the north, toward more rural portions of the mountain range. Public and private roads provide a connection between the inland valleys to the north of the Santa Monica Mountains and Pacific Coast Highway and the Pacific Ocean to the south.

#### 3.2 Plant Communities and Habitats

Native vegetation similar to that observed within the study area also dominates much of the surrounding landscape. Surrounding woodland/forest associations generally support an overstory that is either dominated or mixed with various native tree species such as coast live oak, southern California walnut and western sycamore. Due to limited access to sunlight, these communities generally support a sparse understory consisting of sporadically placed shrubs and shade-loving herbaceous species such as California wood fern (*Dryopteris arguta*), deerweed, and creeping snowberry (*Symphoricarpos mollis*).

Surrounding shrub communities predominantly consist of fire-adapted species with sclerophyllous or drought-retardant and waxy foliage and are expected to be dominated by at least one of the following chaparral species: manzanita (*Arctostaphylos* spp.), big pod ceanothus (*Ceanothus megacarpus*), greenbark ceanothus, chamise, toyon (*Heteromeles arbutifolia*), laurel sumac and inland scrub oak; other chaparral dominant species may be present as well.

Many annual and perennial herbaceous species occur throughout all of the previously mentioned vegetation communities, to varying degrees, as well as forming their own communities. Herbaceous species are the first to succeed in unvegetated areas as many are quick to sprout, flower and seed; therefore, become very dense and dominate areas of historic disturbance. Density and diversity of herbaceous communities throughout the Santa Monica Mountains are generally dependent on the degree to which natural and/or human disturbances, such as wildfires, private and public development, off-road vehicular traffic, etc. have impacted the region. Species expected to occur throughout herbaceous communities within the region include wild oats (*Avena* sp.), Canterbury bells (*Phacelia cicutaria* ssp. *hispidia*), ripgut brome (*Bromus diandrus*), etc. and to a lesser degree native grasses, such as needlegrass (*Stipa* spp.).

Wildlife species expected to utilize the upland vegetation communities discussed above are consistent with those that are expected to occur within the study area (Appendix B – Floral and Faunal Compendia), and include such avian species as the Anna’s hummingbird (*Calypte anna*),

American crow, mourning dove, and American bushtit (*Psaltriparus minimus*); reptile species such as the Southern Pacific rattlesnake (*Crotalus oreganus* ssp. *helleri*), San Diego gopher snake (*Pituophis catenifer* ssp. *annectens*), and Great Basin fence lizard; and mammal species such as the California ground squirrel, raccoon, and desert cottontail.

Perennial drainages with established riparian vegetation are likely to provide habitat for various riparian avian and aquatic wildlife species. Avian species generally restricted to these areas include the Wilson's warbler (*Cardellina pusilla*), common yellowthroat (*Geothlypis trichas*), yellow-breasted chat (*Icteria virens*), and yellow warbler; aquatic amphibian and reptiles expected to occur within such habitats include (but are not limited to) Baja California treefrog (*Pseudacris hypochondriaca*) and the two-striped garter snake. Fish species that are known to occur in perennial waters of the Santa Monica Mountains, principally within Malibu Creek, include the arroyo chub (*Gila orcuttii*), Pacific lamprey (*Lampetra tridentata*), and the federally endangered steelhead trout (*Onchorynchus mykiss*) (SCRLC 2016).

### 3.3 Wildlife Movement and Habitat Linkages

The Santa Monica Mountains, and Western Transverse Ranges as a whole, have historically provided a vital connection between the coast and Sierra Nevada Ranges of northern and central California and the San Gabriel and San Bernardino Mountain Ranges in the southern portion of the state. In the face of ongoing commercial, industrial, and residential development pressures occurring throughout the state of California, the foothills and mountainous topography of these ranges provide necessary patches of undeveloped habitat for many species of flora and fauna that is becoming increasingly scant throughout the valleys and inland basins. In addition to providing contiguous upland habitat for various terrestrial wildlife species, the canyons and waterways traversing through the Santa Monica Mountains and surrounding ranges provide invaluable habitat for various aquatic species as well.

The native habitat that occurs within the eastern and southern portions of the study area provide suitable habitat to support foraging and perhaps breeding purposes; however, this area does not pose as a “pinch point” or migration corridor, and would not likely be used as such. Because of Topanga Canyon Boulevard, a major roadway linking the San Fernando Valley with the coast, the project site is not considered to be a wildlife corridor or a habitat linkage.

## 4. Regulatory Setting

### 4.1 Federal and State Endangered Species Acts

FESA provides guidance for conserving federally listed species and the ecosystems upon which they depend. Section 9 of FESA and its implementing regulations prohibit the “take” of any federally listed endangered or threatened plant or animal species, unless otherwise authorized by federal regulations. Take includes the destruction of a listed species' habitat. Section 9 also prohibits a number of specified activities with respect to endangered and threatened plants.

CESA mandates that state agencies not approve a project that would jeopardize the continued existence of species if reasonable and prudent alternatives are available that would avoid a

jeopardy finding. CESA also prohibits the take of any fish, wildlife, or plant species listed as endangered or threatened, or designated as candidates for listing, under CESA. Similar to the FESA, CESA contains a procedure for the CDFW to issue an incidental take permit authorizing the take of listed and candidate species incidental to an otherwise lawful activity, subject to specified conditions.

## 4.2 Migratory Bird Treaty Act

The federal MBTA prohibits the take of native birds “by any means or manner to pursue, hunt, take, capture (or) kill” any migratory birds except as permitted by regulations issued by the USFWS. The term “take” is defined by USFWS regulation to mean to “pursue, hunt, shoot, wound, kill, trap, capture or collect” any migratory bird or any part, nest, or egg of any migratory bird covered by the conventions, or to attempt those activities.

## 4.3 Clean Water Act

In accordance with Section 404 of the Clean Water Act (CWA), the USACE regulates discharge of dredged or fill material into waters of the United States. Waters of the United States and their lateral limits are defined in 33 CFR 328.3(a) and includes navigable waters of the United States, interstate waters, all other waters where the use or degradation or destruction of the waters could affect interstate or foreign commerce, tributaries to any of these waters, and wetlands that meet any of these criteria or that are adjacent to any of these waters or their tributaries. Waters of the United States are often categorized as “jurisdictional wetlands” (i.e., wetlands over which the USACE exercises jurisdiction under Section 404) and “other waters of the United States” when habitat values and characteristics are being described. “Fill” is defined as any material that replaces any portion of a water of the United States with dry land or that changes the bottom elevation of any portion of a water of the United States. Any activity resulting in the placement of dredged or fill material within waters of the United States requires a permit from USACE. In accordance with Section 401 of the CWA, projects that apply for a Section 404 permit for discharge of dredged or fill material must obtain water quality certification from the appropriate RWQCB indicating that the proposed project would uphold State of California water quality standards.

## 4.4 Native Plant Protection Act

The Native Plant Protection Act includes measures to preserve, protect, and enhance rare and endangered native plants. The list of native plants afforded protection pursuant to the Native Plant Protection Act includes those listed as rare and endangered under CESA. The Native Plant Protection Act provides limitations on take as follows: “No person will import into this state, or take, possess, or sell within this state” any rare or endangered native plant, except in compliance with provisions of the act. Individual landowners are required to notify the CDFW at least 10 days in advance of changing land uses to allow the CDFW to salvage any rare or endangered native plant material.

## 4.5 Section 15380 of the California Environmental Quality Act Guidelines

Although threatened and endangered species are protected by specific federal and state statutes, State CEQA Guidelines Section 15380(b) provides that a species not listed on the federal or state list of protected species may be considered rare or endangered if the species can be shown to meet certain specified criteria. These criteria have been modeled after the definition in FESA and the section of the California Fish and Game Code dealing with rare or endangered plants or animals. This section was included in the State CEQA Guidelines primarily to deal with situations in which a public agency is reviewing a project that may have a significant effect on, for example, a candidate species that has not been listed by either USFWS or CDFW. Thus, CEQA provides an agency with the ability to protect a species from the potential impacts of a project until the respective government agencies have an opportunity to designate the species as protected, if warranted. CEQA also calls for the protection of other locally or regionally significant resources, including natural communities. Although natural communities do not at present have legal protection of any kind, CEQA calls for an assessment of whether any such resources would be affected, and requires findings of significance if there would be substantial losses. Natural communities listed in the CNDDDB as sensitive are considered by CDFW to be significant resources and fall under the State CEQA Guidelines for addressing impacts. Local planning documents such as General Plans often identify these resources as well.

## 4.6 Sections 3503 and 3513 of the California Fish and Game Code

Section 3503 of the California Fish and Game Code prohibits the killing of birds or the destruction of bird nests. Birds of prey are protected under Section 3503.5 of the California Fish and Game Code, which provides that it is “unlawful to take, possess, or destroy any birds in the order Falconiformes or Strigiformes (birds of prey) or to take, possess, or destroy the nest or eggs of any such bird except as otherwise provided by this code or any regulation adopted pursuant thereto.” Section 3513 of the California Fish and Game Code prohibits any take or possession of birds that are designated by the MBTA as migratory nongame birds except as allowed by federal rules and regulations promulgated pursuant to the MBTA. Migratory birds include all native birds in the United States, except those non-migratory game species, such as quail and turkey, which are managed by individual states.

## 4.7 Section 1602 of the California Fish and Game Code

Section 1602 of the California Fish and Game Code requires a Streambed Alteration Agreement for any activity that may alter the bed and/or bank of a lake, stream, river, or channel. Typical activities that require a Streambed Alteration Agreement include, but are not limited to, excavation or fill placed within a channel, vegetation clearing, installation of culverts and bridge supports, and bank reinforcement. As part of the notification process, the CDFW requires documentation of any trees to be removed as part of the project. Trees that have a trunk DBH of greater than 2 inches are subject to regulation by the CDFW via the Streambed Alteration Agreement.

## 4.8 County of Los Angeles Oak Tree Protection Ordinance

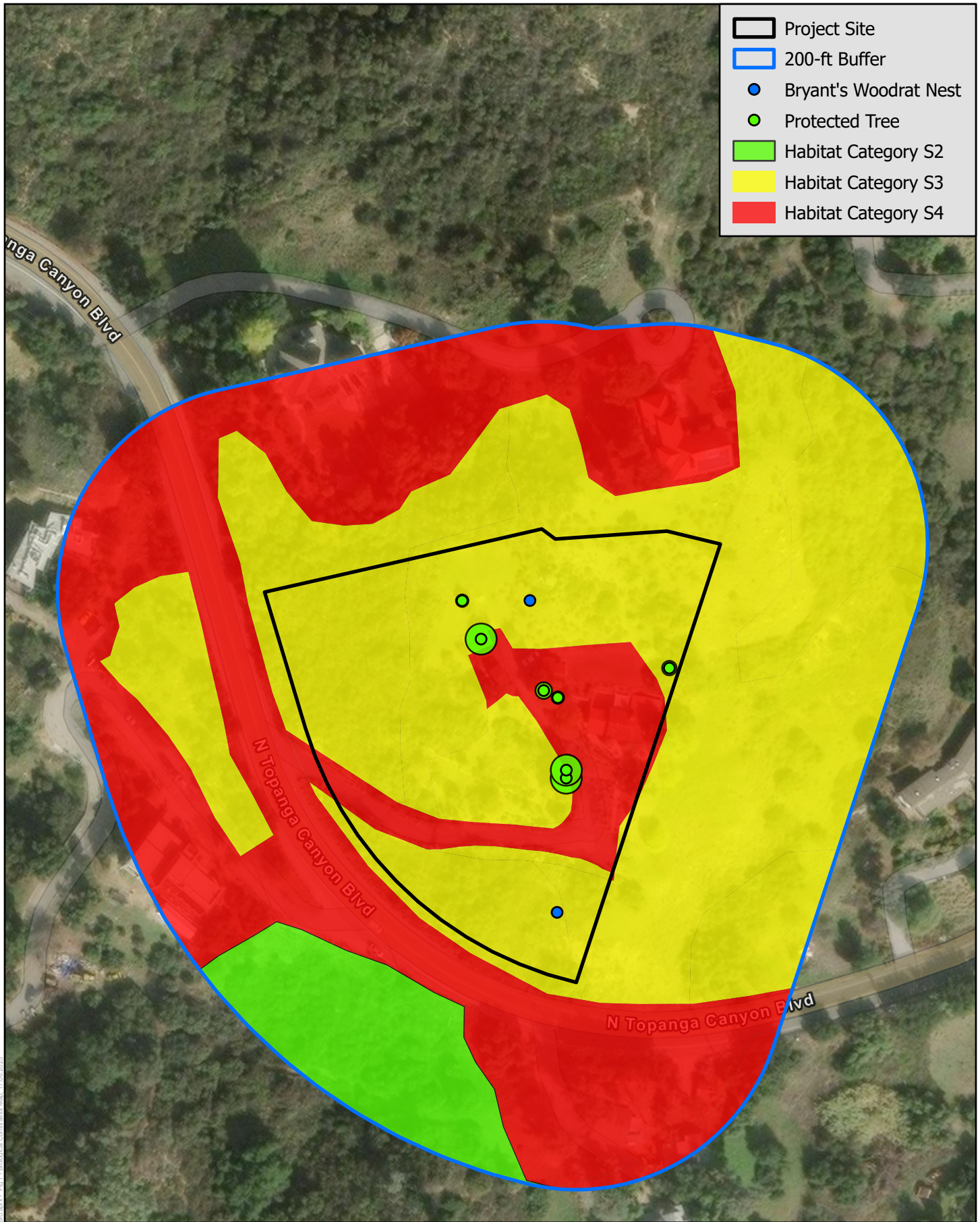
Oak trees (*Quercus* sp.) are protected under the County Oak Tree Ordinance, Section 22.174.010 – 22.174.110 of the Los Angeles County Municipal Code. The Ordinance stipulates that “unless otherwise provided in Section 22.174.030, a person shall not cut, destroy, remove, relocate, inflict damage or encroach into a protected zone of any tree of the oak genus which is (a) 25 inches or more in circumference (eight inches in diameter) as measured four and one-half feet above mean natural grade, on any lot or parcel of land within the unincorporated area of Los Angeles County, or (b) any tree that has been provided as a replacement tree, pursuant to Section 22.174.070, on any lot or parcel of land within the unincorporated area of Los Angeles County, unless an oak tree permit is first obtained. . . .” (Section 22.174.2060).

## 4.9 County of Los Angeles Santa Monica Mountains North Area Community Standards District (Los Angeles County Code Chapter 22.336)

On June 3, 2021, the County’s Santa Monica Mountains North Area Community Standards District (“CSD”) became effective. Development, as defined in Section 22.14.190, Significant Ecological Area, within the CSD requires a conditional use permit when proposing the construction of any building or structure on a parcel which is in or partly in an area designated as a Significant Ecological Area, unless exempted (Section 22.106.040). The following standards must be substantiated (Section 22.336.060.A.4), among other applicable standards:

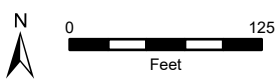
- New development shall be sited in a manner that avoids the most biologically-sensitive habitat on-site in the following order of priority - S1, S2, S3, S4 - while not conflicting with other Area Plan or CSD policies. Priority shall be given to siting development in S4 habitat, and outside of all areas that contain undisturbed native vegetation. If it is infeasible to site development in S4 habitat areas, development should be sited in S3 habitat;
- All development approved shall be designed to avoid protected trees in accordance with Subsection 22.336.060.B;
- New development shall be clustered on-site to the maximum extent feasible and the building site shall be limited to minimize impacts to natural habitat areas;
- New development shall be located as close as possible to existing roadways, services and other developments to minimize impacts to habitat areas.

The Biological Resources Map of the Santa Monica Mountains North Area Plan prioritizes habitat into four categories that are applicable community-wide: S1, S2, S3, and S4. The Biological Resources Map depicts the general distribution of habitat categories; however, the precise boundaries of the various habitat categories on properties shall be determined by substantial evidence and a site-specific biological inventory and/or assessment required by Section 22.336.050.B. Habitat Categories 1 through 4 are identified their biological resources significance, rarity, or sensitivity. These resources are constraints to on-site development and are depicted in a biological constraints map, **Figure 7**.



- Project Site
- 200-ft Buffer
- Bryant's Woodrat Nest
- Protected Tree
- Habitat Category S2
- Habitat Category S3
- Habitat Category S4

Bioscience - Fig 7 - Biological Constraints Map, 17.05.2025



2266 North Topanga Canyon

Source: DK Consulting Associates, 2025

**Exhibit 7**  
Biological Constraints Map

Habitat Category S1: This category consists of areas of the highest biological significance, rarity, or sensitivity. This category includes alluvial scrub, native grassland and scrub with a strong component of native grasses or forbs, riparian, native oak, sycamore, walnut and bay woodlands, and rock outcrop habitat types. Wetlands, including creeks, streams, marshes, seeps and springs, are also S1 habitat. Coast live and valley oak, sycamore, walnut, and bay woodlands are all included in S1 habitat. S1 habitat also includes populations of plant and animal species (1) listed by the State or Federal government as rare, threatened, or endangered, listed by NatureServe as State or Global-ranked 1, 2, or 3, and identified as California Species of Special Concern, and/or (2) California Native Plant Society (CNPS)-listed 1B and 2B plant species (also known as California Rare Plant Rank [RPR] 1B and 2B), normally associated with S1 habitats, where they are found within S2 or S3 habitats. This project site does not support Habitat Category S1 resources, but see discussion below under S3.

Habitat Category S2: This category includes areas of high biological significance, rarity, and sensitivity that are important to the ecological vitality and diversity of the Santa Monica Mountains Mediterranean ecosystem. This category includes large, contiguous areas of coastal sage scrub and chaparral-dominated habitats.. This habitat contains (1) CNDDDB-identified rare natural communities; (2) plant and animal species listed by the State or Federal government as rare, threatened, or endangered; listed by NatureServe as State or Global-ranked 1, 2, or 3, and identified as California Species of Special Concern; and/or (3) CRPR/CNPS-listed 1B and 2B plant species, normally associated with S2 habitats. The study area includes one area of S2 Habitat, chamise-laurel sumac shrubland in the southwest, but see discussion below under S3.

Habitat Category S3: This category includes areas that would otherwise be designated as S2 habitat, but the native vegetation communities have been significantly disturbed or removed as part of lawfully established development. This category also includes areas of native vegetation that are not significantly disturbed and would otherwise be categorized as S2 habitat, but have been substantially fragmented or isolated by existing, legal development and are no longer connected to large, contiguous areas of coastal sage scrub and/or chaparral-dominated habitats. This category includes lawfully developed areas and lawfully disturbed areas dominated by non-native plants such as disturbed roadside slopes, stands of non-native trees and grasses, and fuel modification areas around existing development (unless established illegally in an S2 or S1 area). This category further includes isolated and/or disturbed stands of native tree species (oak, sycamore, walnut, and bay) that do not form a larger woodland or savannah habitat. Two species of special concern were observed on the project site, coastal whiptail and Bryant's woodrat, located within Habitat Category S3. The project site supports five coast live oak trees, three of which are within Category S3, and two inland scrub oaks, both at the interface between S3 and S4 habitat categories. The off-site Disturbed Coast Live Oak Woodland within the study area is Category S3 because proximity to Topanga Canyon Boulevard and within existing residential fuel modification areas has disturbed the understory of this community.

While S3 habitat does not constitute a biological resource area, these habitats provide important biological functions that warrant specific development standards for the siting and design of new development.

Habitat Category S4: This category consists of developed or paved land that was permitted as part of a lawfully established development. While S4 habitat does not constitute a biological resource area, these habitats may provide important biological functions that warrant specific development standards for the siting and design of new development. The onsite residential structures and paved access driveway is identified as S4 habitat, within which the proposed swimming pool is to be located.

The Biological Resources Map of the Santa Monica Mountains North Area Plan depicts the project site has chiefly designated as S3 and S4 habitat. The proposed swimming pool location is designated S4 habitat by the County Biological Resources Map and this is confirmed by the onsite biological survey.

## 5. Conclusions

### 5.1 Proposed Development

The proposed swimming pool, usually exempt from discretionary approval as an accessory structure, is located within a Developed area of the project site and is included within the existing fuel modification area (Zone B) for the existing permitted single-family residence. The proposed development provides the following burden of proof for compliance with the requirements set for by the County regarding application within the CSD:

- The proposed new development is sited in a manner that avoids the most biologically-sensitive habitat and does not conflict with other Area Plan or CSD policies in regard to biological resources. The proposed development is sited in S4 habitat and outside of areas that contain undisturbed native vegetation. The project development avoids the offsite Chamise-Laurel Sumac Shrubland, S2 habitat located within the southwestern portion of the study area. The proposed location is a cleared area behind the existing residence.
- The proposed new development avoids direct impact to protected trees.
- The proposed new development is clustered onsite and the building site minimizes (avoids) impacts to natural habitat areas. In addition, the proposed new development is located as close as possible to existing roadways, services and other developments that minimizes impacts to habitat areas.

### 5.2 CDFW Sensitive Community

No sensitive communities occur within the study area.

### 5.3 Special-Status Plants and Wildlife

#### 5.3.1 Nesting Birds and Raptors

Migratory and resident passerine/raptor species may utilize various habitats present within the study area for foraging and breeding purposes. Construction activities should avoid disturbance to

nesting birds through compliance with the Migratory Bird Treaty Act and the Fish and Game Code protecting nesting birds.

### **5.3.2 Special-Status Plants**

No special-status plants were observed during the site assessment.

A total of five special-status plant species have a moderate to high potential to occur within the study area, that include the southern California black walnut, white-veined monardella, Ojai navarretia, slender mariposa lily, and Plummer's mariposa lily. None of these species were observed during the project site survey. Disturbance to these species, where found, should be avoided but these species are not anticipated in the proposed construction location and none of these species were observed during the correct flowering season survey.

### **5.3.3 Special-Status Wildlife**

Two species of special concern, coastal whiptail (or San Diegan tiger whiptail) and Bryant's woodrat, were observed in the study area during the site visit. In addition, based on the presence of suitable habitat, there is a moderate to high potential for additional special-status wildlife species to occur within the study area, that include Santa Monica shieldback katydid, Southern California rufous-crowned sparrow, Southern California legless lizard, pallid bat, crotch bumble bee, San Bernardino ringneck snake, western mastiff bat, American peregrine falcon, western red bat, coast horned lizard, golden eagle, spotted bat, silver-haired bat, and hoary bat. None of these species are expected within the construction location, which was cleared of vegetation, and direct impact to coastal whiptail or Bryant's woodrat is not anticipated.

### **5.3.5 Protected Oak Trees**

Five (5) coast live oak trees and two (2) inland scrub oak trees were observed within the study area, in the central portion of the project site. No impact would occur to these species as they are sufficiently distant from the proposed construction location, which is cleared of vegetation.

### **5.3.6 Wildlife Movement and Habitat Linkages**

Wildlife, including various bird, mammal, and reptile species, are expected to rely on the shrubland and woodland communities for movement between open space areas to the north and south of the study area. Wildlife may use the native habitat present elsewhere onsite (e.g., various shrubland communities); however, these areas do not pose as a "pinch point" or migration corridor, and would not likely be used as such. None of the natural communities found within the study area are proposed for disturbance by the project.

## **6. Recommendations**

### **6.1 Proposed Development**

The construction of the proposed swimming pool, a typical accessory structure to single-family residences, will not directly impact any special-status species or sensitive biological resources.

## 6.2 Sensitive Biological Resources

Future construction that may occur within the study area, requiring discretionary approval, is not anticipated to impact sensitive biological resources. However, the following recommendations are provided to reduce or eliminate potential impact to sensitive biological resources as a consequence of construction activities.

### 6.2.1 Nesting Birds

The following measures would avoid impacts to nesting birds, including the California towhee, loggerhead shrike, oak titmouse, and Southern California rufous-crowned sparrow:

- If construction occurs within the bird nesting season (generally defined as January 15 through September 1), a qualified biologist should conduct a nesting bird survey within seven days of the anticipated start date of ground disturbance, to identify any active nests within 200 feet of the proposed construction activities. If an active nest is found, the nest shall be avoided, and a suitable buffer zone shall be delineated in the field by the qualified biologist such that no impacts shall occur until the young have fledged the nest as determined by a qualified biologist. Construction buffers shall be 100 feet for most passerines, up to 300 feet for raptors; however, avoidance buffers may be reduced at the discretion of the biologist, depending on the location of the nest and species tolerance to human presence and construction-related noises and vibrations.

### 6.2.2 Protected Oak Trees

If construction activities are expected to occur near or within the protected zone of coast live oak or inland scrub oak trees located within the project site, protective fencing should be erected around the oak trees prior to construction commencement.

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# Appendix A

## **Resumes**



# Daryl Koutnik, Ph.D.

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## Principal, Biological and Environmental Compliance

### EDUCATION

Ph.D., Botany, University of California, Davis, California

M.S., Botany, University of California, Davis, California

B.A., Mathematics and Biology, California State University, Northridge, California

### 25 YEARS EXPERIENCE

Daryl Koutnik has over 25 years of experience managing and conducting biological resources field studies for environmental compliance and planning. Fourteen years of which he worked in and managed the environmental review section of the Los Angeles County Department of Regional Planning.

Dr. Koutnik has directed, managed, and performed biological resources inventories, special-status species surveys and identification, environmental impact assessments, biological constraints analyses, plant and wildlife studies, habitat restoration plans, and mitigation and monitoring plans for a wide variety of private and public sector clients. These analyses have been related to residential, commercial, industrial, infrastructure, and educational developments.

He is an expert in the application of federal and State Endangered Species Acts, the California Environmental Quality Act (CEQA), and other regulations relevant to biological resources, as well as processing and acquisition of Coastal Development Permits within the California Coastal Zone.

Dr. Koutnik is a contributor to The Jepson Manual: Vascular Plants of California, Second Edition and The Jepson Desert Manual, a co-author of the 2004 book *Cotyledon and Tylecodon*, and is a recognized expert on members of the spurge family (Euphorbiaceae). He currently teaches courses on plant identification and desert wildflowers for the University of California, Riverside Extension program.

### Experience Themes

**Los Angeles County:** As Supervising Regional Planner and Senior Biologist for the Department of Regional Planning, Dr. Koutnik managed the preparation of more than 30 EIRs for a wide variety of project types. In addition to EIRs, he managed and prepared a report on the biological resources of the Los Angeles County Santa Monica Mountains Local Coastal Program with the inclusion of resource protection provisions and criteria for the designation of Coastal Zone environmentally sensitive habitat areas (ESHA). As a result, he has unparalleled insight into the County's procedures and preferences relative to processing environmental documents.

In the private sector, Dr. Koutnik has managed numerous projects within the County's jurisdiction. These projects include the EIRs regarding the 13,000-acre approved Newhall Ranch Specific Plan in Valencia; Aidlin Hills Residential project in Stevenson Ranch; Neptune Marina Apartments/Woodfin Suites Hotel and Wetlands Park Project; the 216-unit Millennium-Playa del Rey Apartments Project in Playa Vista; and the Fairmont Butte Motorsports Park project which included a

water supply assessment consistent with the Antelope Valley groundwater pumping adjudication process.

**Selected Biology Projects** Dr. Koutnik has managed, reviewed, or prepared hundreds of biological reports. These have been prepared in compliance and/or coordination with CEQA, NEPA, USACE, USFWS, CDFW, RWQCB, and the California Coastal Commission. These projects include the Jurisdictional Delineation for the 28,000-acre Tejon Mountain Village Project to address 800 acres of waters and drainages; the biological assessment for the 5,130-acre Travertine Point Specific Plan in Riverside and Imperial counties; the biological assessment for the 1,285 acres for the Dragonfly Mine project in Kern County; the biological resources section of the Hidden Creeks Estates EIR in the City of Los Angeles; the 500-acre East Area 1 Specific Plan EIR in the City of Santa Paula; the 485-acre Santa Barbara Ranch including vegetation identification, classification, and restoration; and the 478-acre proposed Desert Dunes Specific Plan in the Coachella Valley, Section 7 consultation regarding the Coachella Valley milk-vetch.

**Selected EIR Projects:** Dr. Koutnik is experienced in leading the preparation of EIRs throughout Southern California. In addition to those previously listed, his projects include the 544-unit Shores Apartment residential development in Marina del Rey, the 500-acre Transit Mix Surface Mining project in Soledad Canyon, and the 3,600-unit Northlake Residential development in Castaic. Dr. Koutnik oversaw the preparation of the Biological Resources section for the County of Los Angeles' 2015 General Plan Update EIR.

**Policy Documents and Advisory:** Dr. Koutnik has initiated and advised different jurisdictions regarding environmental stewardship. While with Los Angeles County, he managed and coordinated Significant Ecological Areas (SEA) study as a part of the County's General Plan Update adopted in 2015 as well as the Significant Ecological Area Technical Advisory Committee (SEATAC) established to implement designated SEA guidelines. He also initiated and managed the Los Angeles County Environmental Review Board (ERB) for development proposed within the Coastal Zone of the Santa Monica Mountains. Dr. Koutnik also advised and participated in the development of the West Mojave Plan, the Bureau of Land Management's program focused on multi-species habitat conservation. Dr. Koutnik is currently assisting the City of Los Angeles in the designation and implementation of zoning provisions to conserve biodiversity within the City.

**Education Projects:** Dr. Koutnik has managed or prepared the biological assessments to support EIRs for the Mount Saint Mary's in Los Angeles, Loyola Marymount Master Plan, Master's College Master Plan in Santa Clarita, UC Merced, UC Davis Long Range Development Plan, the Graduate Campus at Pepperdine University in Malibu, and the MUSE School near Calabasas in the Santa Monica Mountains. His environmental review experience includes the EIR for the 750-student Heschel School in Agoura Hills, and the 132-student dormitory for Mesivta School near Hidden Hills.

**Waste Management:** Dr. Koutnik's waste management experience includes the Sunshine Landfill EIR in Los Angeles, Athens Services Materials Recovery Facility and Transfer Station EIR near the City of Industry, and the Lancaster Landfill.



**Marina del Rey Experience:** Dr. Koutnik is the Contract Manager for ESA's on-call biological services contract with Los Angeles County Department of Beaches and Harbors, primarily responsible for projects in and around Marina del Rey. In addition to biological work, Dr. Koutnik managed the preparation and certification of the EIR for the multi-component Neptune Marina Apartment and Anchorage/Woodfin Suite Hotel and Timeshare Resort residential and hotel project. The proposed project included the restoration of a public wetland and upland park. In 2014, he served as the Project Director for the Addendum to the Certified EIR for the same project at a reduced scale known as The Marina del Rey Marriott Courtyard and Residence Inn Hotel.

Dr. Koutnik also served as project manager for the preparation and re-certification of the EIR for the 544-unit Shores Apartment residential project, and the preparation and certification of the EIR for the 216-unit Millennium-Playa Del Mar Apartments residential project in Playa Vista.

**Northern Los Angeles and Ventura County Experience:** Dr. Koutnik's project experience in northern Los Angeles or Ventura County include the Runkle Canyon Specific Plan in Simi Valley; the 364 single family residential project for the Lost Canyons (White Specific Plan) project in Simi Valley; the 600-unit residential project for the Hitch Ranch EIR in the City of Moorpark; 314 single family residences for the Deerlake Ranch in Los Angeles County; the 544-unit Shores Apartment residential development in Marina del Rey, the 216-unit Millennium-Playa Del Mar Apartments project in Playa Vista, the 500-acre Transit Mix Surface Mining project in Soledad Canyon, and the 3,600-unit Northlake Residential development in Castaic.

In addition to general real estate development projects, Dr. Koutnik has a notable portfolio of infrastructure and education projects. These include the Sunshine Landfill EIR in Los Angeles, Athens Services Materials Recovery Facility and Transfer Station EIR near the City of Industry, and the Lancaster Landfill. His education projects include the EIR for the 750-student Heschel School in Agoura Hills, and the 132-student dormitory for Mesivta School near Hidden Hills.

**Coachella Valley:** Dr. Koutnik managed the biological resource surveys and report for the 5,131-acre proposed master and land use plan on Travertine Point Specific Plan in Riverside and Imperial Counties located along the northwestern shore of the Salton Sea. Project was approved for up to 16,655 residential units, and includes residential, business park, mixed use commercial, regional commercial, resort/tourism, and open space land uses. Tasks included environmental review of potential impacts associated with development of prime agricultural land, cultural resources of tribal lands, water supply assessment, hydrologic and flooding studies, air quality and greenhouse gas studies, biological and jurisdictional surveys, and other studies related to development of a new town. This project involved working with several environmental groups (e.g., California Department of Parks and Recreation, Friends of the Desert Mountains) and the accommodation of the Coachella Valley Multiple Species Habitat Conservation Plan provisions. Dr. Koutnik worked closely with the project principal in addressing general environmental issues including Native American tribal representation, cultural resource protection, and greenhouse gas analyses.

In addition, Dr. Koutnik oversaw the biological resource assessment for the 478-acre proposed Desert Dunes Specific Plan in Riverside County located in the Coachella Valley south of the City of Desert Hot Springs. The Desert Dunes Specific Plan proposed a residential development of up to 1,850 single-family units and a 30,000±-square-foot private recreational facility. The biological resource assessment was prepared in conjunction with Section 7 consultation with the U.S. Fish & Wildlife Service for the Federally Endangered Coachella Valley milk-vetch.

He also served as the principal on the preparation of an Addendum to the certified Specific Plan EIR being processed through the County of Riverside for modification to the previously approved tentative tract map, reduction in size of the community water reservoir, and the relocation of an approved regional sewer lift station.

**Leadership and Education:** Dr. Daryl Koutnik is the former Supervising Regional Planner and Senior Biologist for the Los Angeles County Department of Regional Planning (DRP), and is highly experienced in protocols of environmental review and the coordination of interdepartmental review. During his tenure with DRP, Dr. Koutnik initiated the Environmental Review Committee, an interdepartmental body to coordinate the County's responses and reviews of CEQA documents, with the express goal of streamlining the department's environmental review process. As part of this, Dr. Koutnik developed a standard protocol for environmental review and initiated the Impact Analysis section's automation of the process through the use of GIS databases. He also managed in-house CEQA training sessions for DRP and other County departments, including the retention of outside CEQA expertise for staff training, including Ron Bass, an author of the Solano Press CEQA guidance books. Dr. Koutnik also led a review of the County's environmental review process, comparing it with other jurisdictions' processes and making recommendations to the Board of Supervisors for improvement the environmental review process. He also provided staff the opportunity to receive additional outside training, primarily through the UCLA Extension program. Finally, Dr. Koutnik ensured internal staff training when planners were transferred into the Impact Analysis section without prior CEQA background, emphasizing the standard protocol for environmental review, inclusive of GIS database resources. Dr. Koutnik has also taught courses related to biological resources within the UC Extension program at the University of Riverside; several of the students included Riverside County Environmental Programs Department staff.

**Expert Testimony:** Dr. Koutnik testified before the California Coastal Commission (CCC) on the determination of environmentally sensitive habitat areas within the Coastal Zone of the Santa Monica Mountains for unincorporated Los Angeles County. He also provided expert testimony before the CCC on the revegetation of streamside banks within the California Coastal Zone.

## **Relevant Fish/Fisheries Experience**

Dr. Koutnik is experienced in the assessment and review of projects with potential impacts on local fish populations. Species with which he has experience include the tidewater goby in the Malibu Creek Watershed, steelhead trout in the Ventura River and Santa Ynez River; and unarmored three-spine stickleback, arroyo chub, and Santa Ana sucker in the Santa Clara Watershed.



**Cachuma Project (Santa Ynez River):** Dr. Koutnik oversaw the preparation of the biological resources analysis for the EIR for the consideration of modifications to the U.S. Bureau of Reclamation's Water Rights Permits 11308 and 11310 (Applications 11331 and 11332) to protect public trust resources and downstream water rights on the Santa Ynez River below Bradbury Dam (Cachuma Project) for the State Water Resources Control Board, including the impact on and benefit to the endangered steelhead.

**Foster Park (Ventura River):** Dr. Koutnik managed the initial environmental document preparation for the construction and operation of the embankment protection and restoration system (proposed project) of the western and eastern banks of the Ventura River, which is located northwest of the City of Ventura and south of the community of Casitas Springs, for water supply facilities for the City of San Buenaventura Department of Public Works and the Ojai Valley Sanitary District trunk sewage line. In addition, the project would protect and enhance steelhead and riparian habitat, as well as revegetate and restore areas temporarily disturbed by the proposed project area. The project was prepared in consultation with the U.S. Corps of Engineers and the U.S. National Marine Fisheries Service.

**Mariposa Malibu Revegetation (Malibu Creek):** Dr. Koutnik supervised the preparation of a vegetation restoration plan for the Mariposa Land Company property adjacent to Malibu Creek within the City of Malibu, involving the avoidance of impacts to the tidewater goby.

**Cemex Surface Mine (Santa Clara River):** Dr. Koutnik managed for the County of Los Angeles the preparation and certification of the EIR, including water resource impact on endangered unarmored three-spine stickleback from alluvial aquifer extraction, for the Transit Mix (later Cemex) Surface Mining project in Soledad Canyon, California.

**Newhall Ranch (Santa Clara River):** Dr. Koutnik managed the preparation and certification of the EIR for the 13,000-acre Newhall Ranch Specific Plan area located near Magic Mountain Entertainment Center in Valencia, California. Environmental factors analyzed included detailed water resource analysis, oak resource management per County of Los Angeles requirements, and Significant Ecological Area stewardship for both the Santa Clara River, including unarmored threespine stickleback and the Santa Susana Mountains in completing recertification of the EIR. He coordinated all subsequent environmental reports through 2006, including individual residential and wastewater treatment development located within the Specific Plan area.



# Florence Chan

## Wildlife Biologist

### EDUCATION

Fisheries Management Certificate, Oregon State University (In Progress)

MS, Plant and Soil Sciences (Emphasis: Wildlife), Alabama A&M University

BS, Physical Geography, University of British Columbia

### 18 YEARS OF EXPERIENCE

### CERTIFICATIONS/REGISTRATION

U.S. Fish and Wildlife Services (USFWS) Permitted Biologist for Least Bell's Vireo, TE-22780B-0, 2014

CDFW Rare, Threatened, and Endangered Plant Voucher Collecting Permit # 2081(a)-12-66-V

USFWS Authorized Desert Tortoise Biologist, 2002, 2008, 2010, 2011

Desert Tortoise Handling, Burrow Construction, Nest Excavation and Relocation, Southern Nevada Environmental Inc, 2010

Tortoise Handling, Desert Tortoise Conservation Center, 2008

Tortoise Handling and Radio Telemetry, Desert Tortoise Conservation Center, 2002

Florence Chan is a wildlife biologist with expertise in herpetofauna and ornithology. She has 18 years of field biology experience across the United States and Canada. Florence has completed threatened and endangered species surveys for avian, mammal, and reptile species. She is also knowledgeable in experimental design and research methods relating to wildlife studies.

### Experience Themes

**Herpetofauna.** Florence has over 9,000 hours of desert tortoise-related field activities which included training biologists, leading construction monitoring crews, excavating tortoise burrows to locate tortoises and/or eggs, relocating tortoises, locating, identifying and recording all forms of tortoise sign, and conducting desert tortoise surveys in the Mohave Desert. She has been a USFWS Authorized Desert Tortoise Biologist for utility and research projects in California, Nevada, Arizona, and Utah. She has handled and/or relocated nearly 100 wild threatened Desert Tortoises. Additionally, Florence surveyed, handled, and relocated Gopher Tortoises in Mississippi, Alabama, Georgia, and Florida. In addition, Florence has performed Mojave Fringe-toed Lizard surveys in California. She also has experience conducting herpetofauna surveys in ponds and wetlands in Alabama, Georgia and Florida.

**Birds.** Florence is a USFWS permitted least Bell's vireo, California gnatcatcher, and California least tern biologist. She also has experience with mist-netting, bird banding, nest searching and nest monitoring experience in the United States and Canada. She has been helicopter dropped in remote locations to conduct night surveys for Northern Spotted Owls in British Columbia. Florence has logged hundreds of nest monitoring and nest searching hours in North Dakota working as a field technician for graduate student research projects. She has performed raptor and nesting bird surveys, least Bell's vireo (LBV) surveys, and assisted in Coastal California Gnatcatcher (CAGN) surveys in southern California. Florence has also conducted habitat assessment and surveys for Burrowing Owls in Orange County, California and Wyoming.

**Land Management.** Florence has assisted in restoration and mitigation projects in southern California and Florida. Riparian and Coastal Sage Scrub habitats were monitored annually. Recommendations to attain site signoff were provided to landscape managers. She has also conducted experimental research of exotic plant removal methods. Florence performed numerous prescribed burns to eradicate invasive plant species.

## Relevant Experience

**Devil's Canyon, San Bernardino County, CA.** *Project Manager/Lead Biologist.*

Florence managed baseline surveys for avian, herpetofauna, fish, and small mammal species for the Inland Empire Resources Conservation District. Methods involved included area searches, coverboard monitoring, timed surveys, and camera trap monitoring.

**Least Bell's Vireo Monitoring, Orange and Riverside County, CA.** *Biologist.*

Florence monitored over 150 least bell's vireo territories through the nesting season. Duties included nest searches, nest monitoring, and data collection for this endangered species. Project partners include U.S. Army Corps of Engineers, U.S. Geological Survey, and California Department of Fish and Wildlife.

**Bat and Swallow Diet Study, Orange County, CA.** *Project Manager/Lead Biologist.* Florence managed this research study which involved collecting samples from bats, tree swallows, and cliff swallows for the Orange County Water District (OCWD). Diet sample data results were analyzed for significance and management recommendations were provided to OCWD.

**Redlands Passenger Rail Project (RPRP), Riverside County, CA.** *Biologist.*

Florence performed habitat assessment surveys and pre-construction surveys for burrowing owl, least Bell's vireo, spadefoot toad, and arroyo toad along the project alignments.

**Santa Margarita Bridge Expansion, Orange County, CA.** *Lead Biologist.*

Florence performed pre-construction surveys for least Bell's vireo, arroyo toad, and bats in O'Neill Regional Park.

**RCTC Freeway-91, Riverside County, CA.** *QA/QC Environmental Monitor.*

Florence performed QA/QC inspections for environmental compliance for this large-scale freeway project. She conducted weekly compliance inspections and attended weekly project meetings to address implementation of mitigation measures to ensure compliance to federal, state, and local regulations.

**Mojave Solar, Kern County, CA.** *Lead Biologist.* Florence performed pre-construction desert tortoise, desert kit fox, and American badger surveys for a large-scale solar project. She conducted worker training, monitored construction, relocated wildlife, and ensured environmental compliance.

**SANDAG Rail Improvement.** *Lead Biologist.* Florence performed pre-construction California gnatcatcher surveys, attended weekly construction meetings, lead worker training sessions, monitored construction activities, and relocated wildlife found on site. To ensure worker safety on site, Florence excavated rattlesnake dens and relocated rattlesnakes away from project activities.

**Peter's Canyon Dam/Reservoir, Orange County, CA.** *Biologist.* Florence performed pre-construction southwestern pond turtle surveys for the Peter's Canyon Dam/Reservoir under contract to Orange County Public Works.

**SunEdison Solar Energy Project, San Bernardino County, CA.** *Biologist.*

Florence performed a presence/absence pre-construction survey and construction monitoring during fence installation associated with SunEdison's



150-acre solar energy site in the Sunfair Community of unincorporated San Bernardino County.

**Dragonfly Mine, Kern County, CA.** *Biologist.* Florence performed a biological field survey in specific locations within the 1,285-acre project area to determine presence/absence of sensitive species. She also performed habitat evaluation for the presence of desert tortoise and made recommendations for test drilling locations based on their locations on-site.

**PG&E Pipeline Repair, Eastern San Bernardino County, CA.** *Lead Biologist.* Florence performed desert tortoise monitoring for 30 days during the construction to repair a PG&E pipeline in Eastern San Bernardino County.

**UNEV Pipeline Project, Utah & Nevada.** *Lead Biologist.* Florence performed 56 hours of desert tortoise surveys associated with the Utah to Nevada pipeline project during which time she excavated five burrows and handled 10 tortoises for relocation. In addition to the survey activities she monitored for 195 days during construction activities.

**NVEA Powerline Project, Las Vegas, NV.** *Biologist.* Florence performed pre-construction surveys and monitoring during the powerline project. As a part of this effort, she collapsed and excavated 15 burrows and constructed two artificial burrows during the 18-day survey

**Jean Supplemental Airport Project, Jean, NV.** *Lead Biologist.* Florence performed a 60-hour desert tortoise survey associated with the proposed project in Jean, Nevada



# Appendix B

## **Floral and Faunal Compendia**

# APPENDIX B – 2266 TOPANGA CANYON BOULEVARD, TOPANGA

## Floral Compendium

### Ornamental Landscape

Family	Scientific Name	Common Name	Nativity	Status
<b>ANGIOSPERMS - DICOTS</b>				
<b>ANACARDIACEAE – SUMAC OR CASHEW FAMILY</b>				
	<i>Schinus molle</i>	Peruvian peppertree	cultivated	
<b>APOCYNACEAE – DOGBANE FAMILY</b>				
	<i>Pachypodium lamerei</i>	Madagascar palm	cultivated	
<b>ASTERACEAE – SUNFLOWER FAMILY</b>				
	<i>Senecio barbertonicus</i>	succulent bush senecio	cultivated	
<b>BORAGINACEAE – BORAGE FAMILY</b>				
	<i>Echium candicans</i>	Pride of Madeira	cultivated	
<b>CACTACEAE – CACTUS FAMILY</b>				
	<i>Opuntia ficus-indica</i>	Indian fig opuntia	cultivated	
	<i>Trichocereus pachanoi</i>	San Pedro cactus	cultivated	
<b>CISTACEAE – ROCK ROSE FAMILY</b>				
	<i>Cistus purpureus</i>	purple rock rose	cultivated	
<b>CRASSULACEAE – STONECROP FAMILY</b>				
	<i>Cotyledon orbiculata</i>	pig's ear	cultivated	
	<i>Crassula ovata</i>	jade plant	cultivated	
	<i>Kalanchoe beharensis</i>	felt bush	cultivated	
	<i>Kalanchoe marmorata</i>	spotted kalanchoe	cultivated	
<b>ERICACEAE – HEATH FAMILY</b>				
	<i>Arbutus menziesii</i>	madrone	cultivated	
<b>EUPHORBIACEAE – SPURGE FAMILY</b>				
	<i>Euphorbia ingens</i>	candelabra tree	cultivated	
	<i>Euphorbia milii</i>	crown of thorns		
	<i>Euphorbia tirucalli</i>	pencil tree	cultivated	
<b>FABACEAE – LEGUME FAMILY</b>				
	<i>Parkinsonia aculeata</i>	palo verde	cultivated	
<b>MELIACEAE – MAHOGANY FAMILY</b>				
	<i>Melia azedarach</i>	Chinaberry tree	cultivated	
<b>PORTULACACEAE – PURSLANE FAMILY</b>				
	<i>Portulacaria afra</i>	elephant bush	cultivated	
<b>ROSACEAE – ROSE FAMILY</b>				
	<i>Prunus ilicifolia</i> ssp. <i>lyonii</i>	Catalina cherry	cultivated	
<b>MONOCOTS</b>				
<b>AGAVACEAE – CENTURY PLANT FAMILY</b>				
	<i>Agave americana</i>	century plant	cultivated	
	<i>Agave attenuata</i> variegata	variegated lion's tail agave	cultivated	
	<i>Agave parryi</i>	Parry's agave	cultivated	
<b>ASPHODELACEAE – ASPHODEL FAMILY</b>				
	<i>Aloe vera</i>	Barbados aloe	cultivated	

	<i>Aloe dichotoma</i>	kokerboom	cultivated
<b>POACEAE – GRASS FAMILY</b>			
	<i>Pennisetum setaceum</i>	fountain grass	cultivated

## Native-Naturalized

Family	Scientific Name	Common Name	Nativity	Status
<b>ANGIOSPERMS</b>				
<b>DICOTS</b>				
<b>ADOXACEAE – MUSKROOT FAMILY</b>				
	<i>Sambucus nigra</i> ssp. <i>caerulea</i>	blue elderberry	native	
<b>ANACARDIACEAE – SUMAC OR CASHEW FAMILY</b>				
	<i>Malosma laurina</i>	laurel sumac	native	
	<i>Rhus ovata</i>	sugar bush	native	
<b>ASCLEPIADACEAE – DOGBANE FAMILY</b>				
	<i>Asclepias fascicularis</i>	narrow leaf milkweed	native	
<b>ASTERACEAE – SUNFLOWER FAMILY</b>				
	<i>Artemisia californica</i>	California sagebrush	native	
	<i>Centaurea melitensis</i>	toçalote	naturalized	
	<i>Deinandra fasciculata</i>	clustered tarweed	native	
	<i>Encelia californica</i>	bush sunflower	native	
	<i>Hazardia squarrosa</i>	saw-toothed goldenbush	native	
	<i>Heterotheca grandiflora</i>	telegraph weed	native	
	<i>Lactuca serriola</i>	prickly lettuce	naturalized	
	<i>Pseudognaphium biolettii</i>	two-color rabbit tobacco	native	
	<i>Pseudognaphium californicum</i>	ladie's tobacco	native	
<b>BRASSICACEAE – MUSTARD FAMILY</b>				
	<i>Hirschfeldia incana</i>	short pod mustard	naturalized	
	<i>Sisymbrium irio</i>	London rocket	naturalized	
<b>CACTACEAE – CACTUS FAMILY</b>				
	<i>Opuntia ficus-indica</i>	tuna cactus	naturalized	
<b>CHENOPODIACEAE – GOOSEFOOT FAMILY</b>				
	<i>Salsola tragus</i>	Russian thistle	naturalized	
<b>CONVOLVULACEAE – MORNING GLORY FAMILY</b>				
	<i>Calystegia macrostegia</i>	island morning glory	native	
	<i>Cuscuta californica</i>	California dodder	native	
<b>CUCURBITACEAE – GOURD FAMILY</b>				
	<i>Marah macrocarpa</i>	chilicothe	native	
<b>ERICACEAE – HEATH FAMILY</b>				
	<i>Arctostaphylos glauca</i>	big berry manzanita	cultivated	
<b>EUPHORBACEAE – SPURGE FAMILY</b>				
	<i>Croton setiger</i>	turkey mullein	native	
<b>FABACEAE – LEGUME FAMILY</b>				
	<i>Acmispon glaber</i>	deerweed	native	
<b>FAGACEAE – BEECH FAMILY</b>				
	<i>Quercus agrifolia</i>	coast live oak	native	
	<i>Quercus berberidifolia</i>	inland scrub oak	native	
<b>GERANIACEAE – GERANIUM FAMILY</b>				
	<i>Erodium cicutarium</i>	redstem filaree	naturalized	
<b>LAMIACEAE – MINT FAMILY</b>				
	<i>Marrubium vulgare</i>	white horehound	naturalized	
	<i>Salvia apiana</i>	white sage	native	
	<i>Salvia columbariae</i>	chia	native	
	<i>Salvia leucophylla</i>	purple sage	native	

<i>Salvia mellifera</i>	black sage	native
<i>Trichostema lanatum</i>	woolly blue curls	native
<b>MYRSINACEAE – MYRSINE FAMILY</b>		
<i>Lysimachia arvensis</i>	scarlet pimpernel	naturalized
<b>NYCTAGINACEAE – FOUR O’CLOCK FAMILY</b>		
<i>Mirabilis laevis</i>	wishbone bush	native
<b>PHRYMACEAE – LOPSEED FAMILY</b>		
<i>Diplacus longiflorus</i>	southern bush monkey flower	native
<b>POLYGONACEAE – BUCKWHEAT FAMILY</b>		
<i>Chorizanthe staticoides</i>	Turkish rugging	native
<i>Eriogonum elongatum</i>	longstem buckwheat	native
<i>Eriogonum fasciculatum</i>	California buckwheat	native
<b>RHAMNACEAE – BUCKTHORN FAMILY</b>		
<i>Ceanothus spinosus</i>	greenbark ceanothus	native
<b>ROSACEAE – ROSE FAMILY</b>		
<i>Adenostoma fasciculatum</i>	chamise	native
<i>Heteromeles arbutifolia</i>	toyon	native
<b>RUBIACEAE – MADDER FAMILY</b>		
<i>Galium angustifolium</i>	narrow leaved bedstraw	native
<b>MONOCOTS</b>		
<b>AGAVACEAE – CENTURY PLANT FAMILY</b>		
<i>Hesperoyucca whipplei</i>	chaparral yucca	native
<b>POACEAE – GRASS FAMILY</b>		
<i>Avena barbata</i>	slender wild oats	naturalized
<i>Bromus diandrus</i>	ripgut brome	naturalized
<i>Bromus rubens</i>	red brome	naturalized
<i>Stipa lepida</i>	foothill needle grass	native

## APPENDIX B – 2266 TOPANGA CANYON BOULEVARD, TOPANGA

### Faunal Compendium

Class	Family	Family Common Name	Scientific Name	Common Name	Special-status?
<b>REPTILES</b>					
	Phrynosomatidae	Side-Blotched and Horned Lizards	<i>Sceloporus occidentalis longipes</i>	Great Basin Fence lizard	N
	Teiidae	Whiptails and Racerunners	<i>Aspidoscelis tigris stejnegeri</i>	Coastal Whiptail	Y
<b>BIRDS</b>					
	Corvidae	Crows and Jays	<i>Corvus brachyrhynchos</i>	American Crow	N
	Fringillidae	Finches	<i>Haemorhous mexicanus</i>	House Finch	N
	Fringillidae	Finches	<i>Spinus psaltria</i>	Lesser Goldfinch	N
	Passerellidae	New World Sparrows	<i>Melospiza crissalis</i>	California Towhee	N
	Trochilidae	Hummingbirds	<i>Calypte anna</i>	Anna's Hummingbird	N
<b>MAMMALS</b>					
	Cricetidae	New World Rats and mice	<i>Neotoma bryanti</i>	Bryant's Woodrat	Y
	Geomyidae	Pocket Gophers	<i>Thomomys bottae</i>	Botta's pocket gopher	N
	Leporidae	Rabbits and hares	<i>Sylvilagus audubonii</i>	Audubon cottontail	N
	Procyonidae	Raccoons and ringtails	<i>Procyon lotor</i>	Raccoon	N
	Sciuridae	Squirrels and chipmunks	<i>Otospermophilus beecheyi</i>	California ground squirrel	N



# Appendix C

## **Photographic Log**

Appendix C: Photo Log



Photo 1 (W). Photograph depicts developed/disturbed habitat of proposed swimming pool location adjacent to existing buildings.



Photo 2 (SE). Photograph depicts developed/disturbed habitat of proposed swimming pool location in the adjacent to existing buildings.

Appendix C: Photo Log



Photo 3 (SE). Photography depicts an inland scrub oak located within the disturbed-fuel modification community.



Photo 4 (S). Photograph depicts two coast live oak trees adjacent to the guest house within the developed community.

Appendix C: Photo Log



Photo 5 (S). Photograph depicts coast live oak located within the developed community, adjacent to the existing guest house structure.



Photo 6 (S). Photograph depicts laurel sumac shrubland within the project site.

Appendix C: Photo Log



Photo 7 (E). Photograph depicts steep, disturbed-fuel modification community in the eastern portion of the study area. Disturbed coast live oak woodland is on the right.

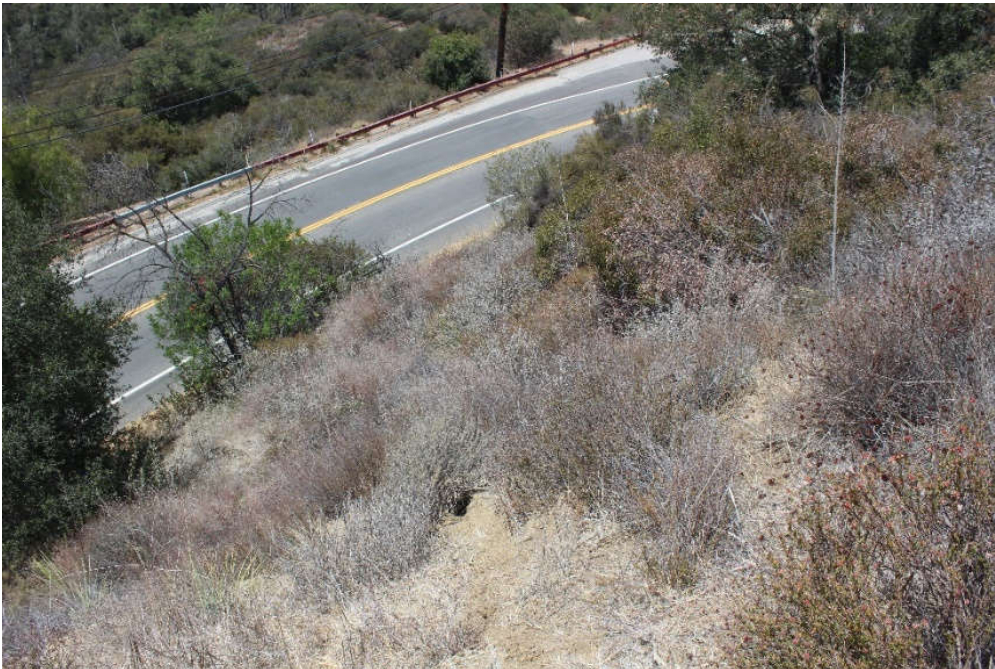


Photo 8 (SW). Photograph depicts steep, disturbed-fuel modification and laurel sumac shrubland.

Appendix C: Photo Log



Photo 9 (SW). Photograph depicts a woodrat midden located in the laurel sumac shrubland community within the project area.



Photo 10 (E). Photograph depicts a woodrat midden located northwest from the proposed project, within the disturbed–fuel modification community.

Appendix C: Photo Log



Photo 11 (N). Photograph depicts disturbed-fuel modification community north of the proposed swimming pool site and existing guest house structure.



Photo 12 (N). Photograph depicts existing driveway and residence within the central portion of the study area. Two coast live oak trees are on the left side of the driveway.



Appendix D  
**CNDDDB and CNPS Database  
Search Results**



# Summary Table Report

## California Department of Fish and Wildlife

### California Natural Diversity Database



**Query Criteria:** Quad (Topanga (3411815) OR Beverly Hills (3411814) OR Van Nuys (3411824) OR Canoga Park (3411825) OR Venice (3311884) OR Calabasas (3411826) OR Malibu Beach (3411816)) AND Taxonomic Group (Fish OR Amphibians OR Reptiles OR Birds OR Mammals OR Mollusks OR Arachnids OR Crustaceans OR Insects OR Ferns OR Gymnosperms OR Monocots OR Dicots OR Lichens OR Bryophytes)

Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Agelaius tricolor</i> tricolored blackbird	G1G2 S1S2	None Threatened	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_EN-Endangered NABCI_RWL-Red Watch List USFWS_BCC-Birds of Conservation Concern	895 895	955 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aglaothorax longipennis</i> Santa Monica shieldback katydid	G1G2 S1S2	None None	IUCN_CR-Critically Endangered	150 150	1 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Aimophila ruficeps canescens</i> southern California rufous-crowned sparrow	G5T3 S3	None None	CDFW_WL-Watch List	1,210 1,210	235 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Anaxyrus californicus</i> arroyo toad	G2G3 S2S3	Endangered None	CDFW_SSC-Species of Special Concern IUCN_EN-Endangered	825 825	139 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Anniella spp.</i> California legless lizard	G3G4 S3S4	None None	CDFW_SSC-Species of Special Concern	550 1,830	119 S:10	0	2	5	2	0	1	2	8	10	0	0
<i>Anniella stebbinsi</i> Southern California legless lizard	G3 S3	None None	CDFW_SSC-Species of Special Concern USFS_S-Sensitive	7 1,279	419 S:17	0	4	3	7	1	2	7	10	16	1	0
<i>Antrozous pallidus</i> pallid bat	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive WBWG_H-High Priority	600 770	420 S:3	0	0	0	0	0	3	3	0	3	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Aquila chrysaetos</i> golden eagle	G5 S3	None None	BLM_S-Sensitive CDF_S-Sensitive CDFW_FP-Fully Protected CDFW_WL-Watch List IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	1,000 1,600	324 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Aspidoscelis tigris stejnegeri</i> coastal whiptail	G5T5 S3	None None	CDFW_SSC-Species of Special Concern	550 1,865	148 S:5	1	4	0	0	0	0	1	4	5	0	0
<i>Astragalus brauntonii</i> Braunton's milk-vetch	G2 S2	Endangered None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden	13 2,080	57 S:22	0	6	1	2	4	9	7	15	18	4	0
<i>Astragalus pycnostachyus var. lanosissimus</i> Ventura Marsh milk-vetch	G2T1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden	5 5	7 S:2	0	0	0	0	2	0	2	0	0	0	2
<i>Astragalus tener var. titi</i> coastal dunes milk-vetch	G2T1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		6 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Athene cunicularia</i> burrowing owl	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	5 1,350	2011 S:2	1	0	0	1	0	0	1	1	2	0	0
<i>Atractelmis wawona</i> Wawona riffle beetle	G3 S1S2	None None		120 120	80 S:1	0	0	0	0	0	1	0	1	1	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Atriplex coulteri</i> Coulter's saltbush	G3 S1S2	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank	50 50	121 S:2	0	0	0	1	1	0	1	1	1	0	1
<i>Atriplex pacifica</i> south coast saltscale	G4 S2	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		109 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Atriplex parishii</i> Parish's brittle scale	G1G2 S1	None None	Rare Plant Rank - 1B.1 SB_CRES-San Diego Zoo CRES Native Gene Seed Bank USFS_S-Sensitive	100 100	15 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Atriplex serenana var. davidsonii</i> Davidson's saltscale	G5T1 S1	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		27 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Baccharis malibuensis</i> Malibu baccharis	G1 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	100 800	13 S:7	0	1	1	0	0	5	6	1	7	0	0
<i>Bombus crotchii</i> Crotch bumble bee	G3G4 S1S2	None Candidate Endangered		10 2,500	437 S:21	2	1	0	0	0	18	9	12	21	0	0
<i>Brennania belkini</i> Belkin's dune tabanid fly	G1G2 S1S2	None None	IUCN_VU-Vulnerable	10 100	4 S:4	0	0	1	0	1	2	4	0	3	1	0
<i>Buteo swainsoni</i> Swainson's hawk	G5 S3	None Threatened	BLM_S-Sensitive IUCN_LC-Least Concern USFWS_BCC-Birds of Conservation Concern	25 1,000	2541 S:4	0	0	0	0	4	0	4	0	0	4	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Calochortus clavatus var. gracilis</i> slender mariposa-lily	G4T2T3 S2S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	700 2,130	143 S:5	0	1	0	0	0	4	2	3	5	0	0
<i>Calochortus plummerae</i> Plummer's mariposa-lily	G4 S4	None None	Rare Plant Rank - 4.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	600 1,700	230 S:10	0	3	0	0	1	6	5	5	9	1	0
<i>Centromadia parryi ssp. australis</i> southern tarplant	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank SB_SBBG-Santa Barbara Botanic Garden		94 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Chaenactis glabriuscula var. orcuttiana</i> Orcutt's pincushion	G5T1T2 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank	10 125	36 S:5	0	0	2	0	0	3	2	3	5	0	0
<i>Charadrius nivosus nivosus</i> western snowy plover	G3T3 S2	Threatened None	CDFW_SSC-Species of Special Concern NABCI_RWL-Red Watch List USFWS_BCC-Birds of Conservation Concern	10 10	138 S:2	0	0	0	0	2	0	2	0	0	0	2
<i>Chenopodium littoreum</i> coastal goosefoot	G1 S1	None None	Rare Plant Rank - 1B.2		13 S:1	0	0	0	0	1	0	1	0	0	0	1



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Chloropyron maritimum ssp. maritimum</i> salt marsh bird's-beak	G4?T1 S1	Endangered Endangered	Rare Plant Rank - 1B.2 BLM_S-Sensitive SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank SB_SBBG-Santa Barbara Botanic Garden	10 10	30 S:2	0	0	0	0	2	0	2	0	0	1	1
<i>Chorizanthe parryi var. fernandina</i> San Fernando Valley spineflower	G2T1 S1	None Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	50 1,300	21 S:4	1	0	0	0	3	0	3	1	1	3	0
<i>Cicindela hirticollis gravida</i> sandy beach tiger beetle	G5T2 S2	None None		10 10	34 S:3	0	0	0	0	3	0	3	0	0	0	3
<i>Cicindela senilis frosti</i> senile tiger beetle	G2G3T1T3 S1	None None		10 10	9 S:1	0	0	0	0	1	0	1	0	0	0	1
<i>Coelus globosus</i> globose dune beetle	G1G2 S1S2	None None	IUCN_VU-Vulnerable	5 10	50 S:4	0	0	0	0	1	3	4	0	3	1	0
<i>Coturnicops noveboracensis</i> yellow rail	G4 S1S2	None None	CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern NABCI_RWL-Red Watch List USFS_S-Sensitive USFWS_BCC-Birds of Conservation Concern	53 53	45 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Danaus plexippus pop. 1</i> monarch - California overwintering population	G4T2T3 S2S3	Candidate None	USFS_S-Sensitive	15 450	383 S:16	0	2	2	0	6	6	9	7	10	4	2
<i>Deinandra minthornii</i> Santa Susana tarplant	G2 S2	None Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	925 2,035	35 S:13	1	3	2	0	0	7	4	9	13	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Diadophis punctatus modestus</i> San Bernardino ringneck snake	G5T2T3 S2?	None None	USFS_S-Sensitive	500 876	14 S:2	0	0	2	0	0	0	1	1	2	0	0
<i>Dithyrea maritima</i> beach spectaclepod	G1 S1	None Threatened	Rare Plant Rank - 1B.1 SB_SBBG-Santa Barbara Botanic Garden	10 20	28 S:4	0	0	0	0	2	2	4	0	2	0	2
<i>Dodecahema leptoceras</i> slender-horned spineflower	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		41 S:1	0	0	0	0	1	0	1	0	0	0	1
<i>Dudleya blochmaniae ssp. blochmaniae</i> Blochman's dudleya	G3T2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	250 250	81 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Dudleya cymosa ssp. marcescens</i> marcescent dudleya	G5T2 S2	Threatened Rare	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	480 800	14 S:4	0	1	1	0	0	2	0	4	4	0	0
<i>Dudleya cymosa ssp. ovatifolia</i> Santa Monica dudleya	G5T1 S1	Threatened None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	500 600	3 S:2	0	1	0	0	0	1	0	2	2	0	0
<i>Dudleya multicaulis</i> many-stemmed dudleya	G2 S2	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	1,000 1,000	154 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Emys marmorata</i> western pond turtle	G3G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_VU-Vulnerable USFS_S-Sensitive	5 1,415	1398 S:10	0	3	2	0	3	2	8	2	7	3	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.	
<i>Eryngium aristulatum var. parishii</i> San Diego button-celery	G5T1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		83 S:1	0	0	0	0	1	0	1	0	0	0	0	1
<i>Eucosma hennei</i> Henne's eucosman moth	G1 S1	None None		130 130	1 S:1	0	0	0	0	0	1	1	0	1	0	0	0
<i>Eucyclogobius newberryi</i> tidewater goby	G3 S3	Endangered None	AFS_EN-Endangered IUCN_VU-Vulnerable	10 10	127 S:1	0	0	0	0	0	1	1	0	1	0	0	0
<i>Euderma maculatum</i> spotted bat	G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern WBWG_H-High Priority	560 560	68 S:1	0	0	0	0	0	1	0	1	1	0	0	0
<i>Eugnosta busckana</i> Busck's gallmoth	G1G3 SH	None None		100 225	4 S:2	0	0	0	0	2	0	2	0	0	1	1	1
<i>Eumops perotis californicus</i> western mastiff bat	G4G5T4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern WBWG_H-High Priority	90 1,200	296 S:4	0	0	0	0	0	4	2	2	4	0	0	0
<i>Euphilotes battoides allyni</i> El Segundo blue butterfly	G5T1 S1	Endangered None		140 150	4 S:2	0	1	1	0	0	0	0	2	2	0	0	0
<i>Euphydryas editha quino</i> quino checkerspot butterfly	G5T1T2 S1S2	Endangered None		540 540	145 S:1	0	0	0	0	1	0	1	0	0	0	0	1
<i>Falco peregrinus anatum</i> American peregrine falcon	G4T4 S3S4	Delisted Delisted	CDF_S-Sensitive CDFW_FP-Fully Protected USFWS_BCC-Birds of Conservation Concern	300 300	58 S:1	1	0	0	0	0	0	0	1	1	0	0	0
<i>Gila orcuttii</i> arroyo chub	G2 S2	None None	AFS_VU-Vulnerable CDFW_SSC-Species of Special Concern USFS_S-Sensitive	600 600	49 S:1	0	0	0	0	0	1	1	0	1	0	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Gonidea angulata</i> western ridged mussel	G3 S1S2	None None		100 283	157 S:2	0	0	0	0	2	0	2	0	0	0	2
<i>Horkelia cuneata var. puberula</i> mesa horkelia	G4T1 S1	None None	Rare Plant Rank - 1B.1 USFS_S-Sensitive		103 S:4	0	0	0	0	3	1	4	0	1	3	0
<i>Isocoma menziesii var. decumbens</i> decumbent goldenbush	G3G5T2T3 S2	None None	Rare Plant Rank - 1B.2 BLM_S-Sensitive SB_CRES-San Diego Zoo CRES Native Gene Seed Bank		126 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Lasionycteris noctivagans</i> silver-haired bat	G3G4 S3S4	None None	IUCN_LC-Least Concern WBWG_M-Medium Priority		139 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Lasiurus blossevillii</i> western red bat	G4 S3	None None	CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern WBWG_H-High Priority	1,225 1,225	128 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Lasiurus cinereus</i> hoary bat	G3G4 S4	None None	IUCN_LC-Least Concern WBWG_M-Medium Priority		238 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Lasthenia glabrata ssp. coulteri</i> Coulter's goldfields	G4T2 S2	None None	Rare Plant Rank - 1B.1 BLM_S-Sensitive SB_CalBG/RSABG- California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden		111 S:5	0	0	0	0	1	4	5	0	4	0	1
<i>Laterallus jamaicensis coturniculus</i> California black rail	G3G4T1 S1	None Threatened	BLM_S-Sensitive CDFW_FP-Fully Protected IUCN_NT-Near Threatened NABCI_RWL-Red Watch List USFWS_BCC-Birds of Conservation Concern	5 5	303 S:1	0	0	0	0	0	1	1	0	1	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Macrotus californicus</i> California leaf-nosed bat	G3G4 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern WBWG_H-High Priority		46 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Malacothamnus davidsonii</i> Davidson's bush-mallow	G2 S2	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		83 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Microtus californicus stephensi</i> south coast marsh vole	G5T2T3 S1S2	None None	CDFW_SSC-Species of Special Concern	5 200	7 S:2	0	0	0	0	0	2	1	1	2	0	0
<i>Monardella hypoleuca ssp. hypoleuca</i> white-veined monardella	G4T3 S3	None None	Rare Plant Rank - 1B.3	700 700	29 S:3	0	0	0	0	0	3	2	1	3	0	0
<i>Myotis ciliolabrum</i> western small-footed myotis	G5 S3	None None	BLM_S-Sensitive IUCN_LC-Least Concern WBWG_M-Medium Priority	670 670	82 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Myotis yumanensis</i> Yuma myotis	G5 S4	None None	BLM_S-Sensitive IUCN_LC-Least Concern WBWG_LM-Low-Medium Priority	600 600	265 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Nama stenocarpa</i> mud nama	G4G5 S1S2	None None	Rare Plant Rank - 2B.2	400 400	22 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Navarretia ojaiensis</i> Ojai navarretia	G2 S2	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden USFS_S-Sensitive	975 1,200	22 S:3	0	0	0	0	0	3	1	2	3	0	0
<i>Navarretia prostrata</i> prostrate vernal pool navarretia	G2 S2	None None	Rare Plant Rank - 1B.2	100 100	61 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Neotoma lepida intermedia</i> San Diego desert woodrat	G5T3T4 S3S4	None None	CDFW_SSC-Species of Special Concern	700 700	132 S:1	0	1	0	0	0	0	1	0	1	0	0



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Nolina cismontana</i> chaparral nolina	G3 S3	None None	Rare Plant Rank - 1B.2 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden SB_SBBG-Santa Barbara Botanic Garden USFS_S-Sensitive	1,300 1,800	68 S:4	0	3	0	0	0	1	0	4	4	0	0
<i>Oncorhynchus mykiss irideus pop. 10</i> steelhead - southern California DPS	G5T1Q S1	Endangered None	AFS_EN-Endangered	75 500	20 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Onychobaris langei</i> Lange's El Segundo Dune weevil	G1 S1	None None		100 100	1 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Panoquina errans</i> wandering (=saltmarsh) skipper	G4G5 S2	None None	IUCN_NT-Near Threatened	5 5	14 S:1	0	0	0	0	0	1	0	1	1	0	0
<i>Passerculus sandwichensis beldingi</i> Belding's savannah sparrow	G5T3 S3	None Endangered		5 15	39 S:2	0	0	1	0	1	0	2	0	1	0	1
<i>Pelecanus occidentalis californicus</i> California brown pelican	G4T3T4 S3	Delisted Delisted	BLM_S-Sensitive CDFW_FP-Fully Protected USFS_S-Sensitive	0 0	27 S:1	1	0	0	0	0	0	1	0	1	0	0
<i>Pentachaeta lyonii</i> Lyon's pentachaeta	G1 S1	Endangered Endangered	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	700 1,225	45 S:5	0	1	1	1	1	1	2	3	4	1	0
<i>Perognathus longimembris brevinasus</i> Los Angeles pocket mouse	G5T2 S1S2	None None	CDFW_SSC-Species of Special Concern	650 650	70 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Perognathus longimembris pacificus</i> Pacific pocket mouse	G5T1 S1	Endangered None	CDFW_SSC-Species of Special Concern	100 100	14 S:1	0	0	0	0	1	0	1	0	0	0	1
<i>Phacelia stellaris</i> Brand's star phacelia	G1 S1	None None	Rare Plant Rank - 1B.1 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		15 S:2	0	0	0	0	0	2	2	0	2	0	0



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## California Department of Fish and Wildlife

### California Natural Diversity Database



Name (Scientific/Common)	CNDDB Ranks	Listing Status (Fed/State)	Other Lists	Elev. Range (ft.)	Total EO's	Element Occ. Ranks						Population Status		Presence		
						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Phrynosoma blainvillii</i> coast horned lizard	G3G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern	500 1,800	784 S:8	0	1	0	0	1	6	8	0	7	1	0
<i>Poliophtila californica californica</i> coastal California gnatcatcher	G4G5T3Q S2	Threatened None	CDFW_SSC-Species of Special Concern NABCI_YWL-Yellow Watch List	14 950	1067 S:8	0	2	3	0	2	1	3	5	6	2	0
<i>Potentilla multijuga</i> Ballona cinquefoil	GX SX	None None	Rare Plant Rank - 1A	5 5	1 S:1	0	0	0	0	1	0	1	0	0	0	1
<i>Quercus dumosa</i> Nuttall's scrub oak	G3 S3	None None	Rare Plant Rank - 1B.1 BLM_S-Sensitive IUCN_EN-Endangered SB_CRES-San Diego Zoo CRES Native Gene Seed Bank USFS_S-Sensitive	300 300	180 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Rana draytonii</i> California red-legged frog	G2G3 S2S3	Threatened None	CDFW_SSC-Species of Special Concern IUCN_VU-Vulnerable	900 940	1664 S:2	1	1	0	0	0	0	1	1	2	0	0
<i>Riparia riparia</i> bank swallow	G5 S2	None Threatened	BLM_S-Sensitive IUCN_LC-Least Concern	14 14	298 S:1	0	0	0	0	1	0	1	0	0	0	1
<i>Sidalcea neomexicana</i> salt spring checkerbloom	G4 S2	None None	Rare Plant Rank - 2B.2 USFS_S-Sensitive	100 100	30 S:2	0	0	0	0	1	1	2	0	1	1	0
<i>Socalchemmis gertschi</i> Gertsch's socalchemmis spider	G1 S1	None None		100 1,260	3 S:3	0	0	0	0	0	3	3	0	3	0	0
<i>Sorex ornatus salicornicus</i> southern California saltmarsh shrew	G5T1? S1	None None	CDFW_SSC-Species of Special Concern	5 5	4 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Spea hammondi</i> western spadefoot	G2G3 S3	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_NT-Near Threatened	129 2,000	1422 S:6	0	1	1	1	2	1	2	4	4	2	0
<i>Spermolepis lateriflora</i> western bristly scaleseed	G5 SH	None None	Rare Plant Rank - 2A	1,100 1,100	4 S:1	0	0	0	0	0	1	1	0	1	0	0



**Summary Table Report**  
**California Department of Fish and Wildlife**  
**California Natural Diversity Database**



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						A	B	C	D	X	U	Historic > 20 yr	Recent <= 20 yr	Extant	Poss. Extirp.	Extirp.
<i>Sternula antillarum browni</i> California least tern	G4T2T3Q S2	Endangered Endangered	CDFW_FP-Fully Protected NABCI_RWL-Red Watch List	3 10	75 S:3	0	0	0	0	2	1	3	0	1	1	1
<i>Streptocephalus woottoni</i> Riverside fairy shrimp	G1G2 S1S2	Endangered None	IUCN_EN-Endangered	100 100	83 S:3	0	0	0	0	3	0	0	3	0	0	3
<i>Symphytotrichum greatae</i> Greata's aster	G2 S2	None None	Rare Plant Rank - 1B.3 SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden		56 S:1	0	0	0	0	0	1	1	0	1	0	0
<i>Thamnophis hammondi</i> two-striped gartersnake	G4 S3S4	None None	BLM_S-Sensitive CDFW_SSC-Species of Special Concern IUCN_LC-Least Concern USFS_S-Sensitive	725 1,275	184 S:2	1	0	0	0	0	1	0	2	2	0	0
<i>Thelypteris puberula var. sonorensis</i> Sonoran maiden fern	G5T3 S2	None None	Rare Plant Rank - 2B.2 USFS_S-Sensitive	375 375	27 S:1	0	0	1	0	0	0	0	1	1	0	0
<i>Trigonoscuta dorothea dorothea</i> Dorothy's El Segundo Dune weevil	G1T1 S1	None None		10 120	4 S:2	0	0	0	0	0	2	2	0	2	0	0
<i>Tryonia imitator</i> mimic tryonia (=California brackishwater snail)	G2 S2	None None	IUCN_DD-Data Deficient		39 S:1	0	0	0	0	1	0	1	0	0	1	0
<i>Vireo bellii pusillus</i> least Bell's vireo	G5T2 S2	Endangered Endangered	IUCN_NT-Near Threatened NABCI_YWL-Yellow Watch List	15 700	503 S:3	0	2	0	0	1	0	1	2	2	1	0

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Search:

▲ SCIENTIFIC NAME	COMMON NAME	FAMILY	LIFEFORM	BLOOMING PERIOD	FED LIST	STATE LIST	GLOBAL RANK	STATE RANK	CA RARE PLANT RANK	PHOTO
<a href="#">Abronia maritima</a>	red sand-verbena	Nyctaginaceae	perennial herb	Feb-Nov	None	None	G4	S3?	4.2	 ©2003 Christopher L. Christie
<a href="#">Astragalus brauntonii</a>	Braunton's milk-vetch	Fabaceae	perennial herb	Jan-Aug	FE	None	G2	S2	1B.1	No Photo Available
<a href="#">Astragalus pycnostachyus</a> var. <a href="#">lanosissimus</a>	Ventura Marsh milk-vetch	Fabaceae	perennial herb	(Jun)Aug-Oct	FE	CE	G2T1	S1	1B.1	No Photo Available
<a href="#">Astragalus tener</a> var. <a href="#">titi</a>	coastal dunes milk-vetch	Fabaceae	annual herb	Mar-May	FE	CE	G2T1	S1	1B.1	No Photo Available
<a href="#">Atriplex coulteri</a>	Coulter's saltbush	Chenopodiaceae	perennial herb	Mar-Oct	None	None	G3	S1S2	1B.2	No Photo Available
<a href="#">Atriplex pacifica</a>	south coast saltscale	Chenopodiaceae	annual herb	Mar-Oct	None	None	G4	S2	1B.2	No Photo Available
<a href="#">Atriplex parishii</a>	Parish's brittlescale	Chenopodiaceae	annual herb	Jun-Oct	None	None	G1G2	S1	1B.1	No Photo Available
<a href="#">Atriplex serenana</a> var. <a href="#">davidsonii</a>	Davidson's saltscale	Chenopodiaceae	annual herb	Apr-Oct	None	None	G5T1	S1	1B.2	No Photo Available
<a href="#">Baccharis malibuensis</a>	Malibu baccharis	Asteraceae	perennial deciduous shrub	Aug	None	None	G1	S1	1B.1	No Photo Available
<a href="#">Baccharis</a>	Plummer's	Asteraceae	perennial	May-Oct	None	None	G3T3	S3	4.3	

<u>SCIENTIFIC NAME</u>	<u>COMMON NAME</u>	<u>FAMILY</u>	<u>LIFEFORM</u>	<u>PERIOD</u>	<u>FED</u>	<u>STATE</u>	<u>GLOBAL</u>	<u>STATE</u>	<u>BANK</u>	<u>CA RARE PLANT</u>	<u>PHOTO</u>
<u>plummerae</u> ssp.	baccharis		deciduous shrub							CA RARE PLANT	No Photo Available
<u>plummerae</u>	COMMON			BLOOMING	FED	STATE	GLOBAL	STATE	BANK		
<u>Calandrinia breweri</u>	Brewer's calandrinia	Montiaceae	annual herb	(Jan)Mar-Jun	None	None	G4	S4	BANK	4.2	No Photo Available
<u>Calochortus catalinae</u>	Catalina mariposa lily	Liliaceae	perennial bulbiferous herb	(Feb)Mar-Jun	None	None	G3G4	S3S4		4.2	No Photo Available
<u>Calochortus clavatus</u> var. <u>gracilis</u>	slender mariposa-lily	Liliaceae	perennial bulbiferous herb	Mar-Jun(Nov)	None	None	G4T2T3	S2S3		1B.2	No Photo Available
<u>Calochortus plummerae</u>	Plummer's mariposa-lily	Liliaceae	perennial bulbiferous herb	May-Jul	None	None	G4	S4		4.2	No Photo Available
<u>Camissoniopsis lewisii</u>	Lewis' evening-primrose	Onagraceae	annual herb	Mar-May(Jun)	None	None	G4	S4		3	No Photo Available
<u>Centromadia parryi</u> ssp. <u>australis</u>	southern tarplant	Asteraceae	annual herb	May-Nov	None	None	G3T2	S2		1B.1	No Photo Available
<u>Cercocarpus betuloides</u> var. <u>blancheae</u>	island mountain-mahogany	Rosaceae	perennial evergreen shrub	Feb-May	None	None	G5T4	S4		4.3	No Photo Available
<u>Chaenactis glabriuscula</u> var. <u>orcuttiana</u>	Orcutt's pincushion	Asteraceae	annual herb	Jan-Aug	None	None	G5T1T2	S1		1B.1	No Photo Available
<u>Chenopodium littoreum</u>	coastal goosefoot	Chenopodiaceae	annual herb	Apr-Aug	None	None	G1	S1		1B.2	No Photo Available
<u>Chloropyron maritimum</u> ssp. <u>maritimum</u>	salt marsh bird's-beak	Orobanchaceae	annual herb (hemiparasitic)	May-Oct(Nov)	FE	CE	G4?T1	S1		1B.2	No Photo Available
<u>Chorizanthe parryi</u> var. <u>fernandina</u>	San Fernando Valley spineflower	Polygonaceae	annual herb	Apr-Jul	None	CE	G2T1	S1		1B.1	No Photo Available
<u>Convolvulus simulans</u>	small-flowered morning-glory	Convolvulaceae	annual herb	Mar-Jul	None	None	G4	S4		4.2	No Photo Available
<u>Deinandra minthornii</u>	Santa Susana tarplant	Asteraceae	perennial deciduous shrub	Jul-Nov	None	CR	G2	S2		1B.2	No Photo Available
<u>Deinandra paniculata</u>	paniculate tarplant	Asteraceae	annual herb	(Mar)Apr-Nov	None	None	G4	S4		4.2	No Photo Available
<u>Dichondra occidentalis</u>	western dichondra	Convolvulaceae	perennial rhizomatous herb	(Jan)Mar-Jul	None	None	G3G4	S3S4		4.2	No Photo Available

<u>SCIENTIFIC NAME</u>	<u>COMMON NAME</u>	<u>FAMILY</u>	<u>LIFEFORM</u>	<u>BLOOMING PERIOD</u>	<u>FED LIST</u>	<u>CT STATE LIST</u>	<u>GLOBAL RANK</u>	<u>STATE RANK</u>	<u>RARE PLANT RANK</u>	<u>CA</u>	<u>Available</u>
<u><i>Dithyrea maritima</i></u> ▲ SCIENTIFIC NAME	beach spectaclepod	Brassicaceae	perennial rhizomatous herb	Mar-May	None	CT	G1	S1	RARE 1B.1		No Photo Available
<u><i>Dodecahema leptoceras</i></u>	slender-horned spineflower	Polygonaceae	annual herb	Apr-Jun	FE	CE	G1	S1	1B.1		No Photo Available
<u><i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i></u>	Blochman's dudleya	Crassulaceae	perennial herb	Apr-Jun	None	None	G3T2	S2	1B.1		No Photo Available
<u><i>Dudleya cymosa</i> ssp. <i>marcescens</i></u>	marcescent dudleya	Crassulaceae	perennial herb	Apr-Jul	FT	CR	G5T2	S2	1B.2		No Photo Available
<u><i>Dudleya cymosa</i> ssp. <i>ovatifolia</i></u>	Santa Monica dudleya	Crassulaceae	perennial herb	Mar-Jun	FT	None	G5T1	S1	1B.1		No Photo Available
<u><i>Dudleya multicaulis</i></u>	many- stemmed dudleya	Crassulaceae	perennial herb	Apr-Jul	None	None	G2	S2	1B.2		No Photo Available
<u><i>Eryngium aristulatum</i> var. <i>parishii</i></u>	San Diego button-celery	Apiaceae	annual/perennial herb	Apr-Jun	FE	CE	G5T1	S1	1B.1		No Photo Available
<u><i>Erysimum insulare</i></u>	island wallflower	Brassicaceae	perennial herb	Mar-Jul	None	None	G3	S3	1B.3		No Photo Available
<u><i>Erysimum suffrutescens</i></u>	suffrutescent wallflower	Brassicaceae	perennial herb	Jan- Jul(Aug)	None	None	G3	S3	4.2		No Photo Available
<u><i>Galium cliftonsmithii</i></u>	Santa Barbara bedstraw	Rubiaceae	perennial herb	May-Jul	None	None	G4	S4	4.3		No Photo Available
<u><i>Hordeum intercedens</i></u>	vernal barley	Poaceae	annual herb	Mar-Jun	None	None	G3G4	S3S4	3.2		No Photo Available
<u><i>Horkelia cuneata</i> var. <i>puberula</i></u>	mesa horkelia	Rosaceae	perennial herb	Feb- Jul(Sep)	None	None	G4T1	S1	1B.1		No Photo Available
<u><i>Isocoma menziesii</i> var. <i>decumbens</i></u>	decumbent goldenbush	Asteraceae	perennial shrub	Apr-Nov	None	None	G3G5T2T3	S2	1B.2		No Photo Available
<u><i>Juglans californica</i></u>	Southern California black walnut	Juglandaceae	perennial deciduous tree	Mar-Aug	None	None	G4	S4	4.2		No Photo Available
<u><i>Juncus acutus</i> ssp. <i>leopoldii</i></u>	southwestern spiny rush	Juncaceae	perennial rhizomatous herb	(Mar)May- Jun	None	None	G5T5	S4	4.2		No Photo

SCIENTIFIC NAME	COMMON NAME	FAMILY	LIFEFORM	BLOOMING PERIOD	FED LIST	STATE LIST	GLOBAL RANK	STATE RANK	RARE PLANT RANK	CA	Available
<u><i>Lasthenia glabrata</i> ssp. <i>coulteri</i></u>	Coulter's goldfields	Asteraceae	annual herb	Feb-Jun	None	None	G4T2	S2	1B.1		Available
<u><i>Lepechinia fragrans</i></u>	fragrant pitcher sage	Lamiaceae	perennial shrub	Mar-Oct	None	None	G3	S3	4.2		No Photo Available
<u><i>Lilium humboldtii</i> ssp. <i>ocellatum</i></u>	ocellated Humboldt lily	Liliaceae	perennial bulbiferous herb	Mar-Jul(Aug)	None	None	G4T4?	S4?	4.2		No Photo Available
<u><i>Malacothamnus davidsonii</i></u>	Davidson's bush-mallow	Malvaceae	perennial deciduous shrub	Jun-Jan	None	None	G2	S2	1B.2		© 2016 Keir Morse
<u><i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i></u>	white-veined monardella	Lamiaceae	perennial herb	(Apr)May-Aug(Sep-Dec)	None	None	G4T3	S3	1B.3		No Photo Available
<u><i>Nama stenocarpa</i></u>	mud nama	Namaceae	annual/perennial herb	Jan-Jul	None	None	G4G5	S1S2	2B.2		No Photo Available
<u><i>Navarretia ojaiensis</i></u>	Ojai navarretia	Polemoniaceae	annual herb	May-Jul	None	None	G2	S2	1B.1		No Photo Available
<u><i>Navarretia prostrata</i></u>	prostrate vernal pool navarretia	Polemoniaceae	annual herb	Apr-Jul	None	None	G2	S2	1B.2		No Photo Available
<u><i>Nolina cismontana</i></u>	chaparral nolina	Ruscaceae	perennial evergreen shrub	(Mar)May-Jul	None	None	G3	S3	1B.2		No Photo Available
<u><i>Pentachaeta lyonii</i></u>	Lyon's pentachaeta	Asteraceae	annual herb	(Feb)Mar-Aug	FE	CE	G1	S1	1B.1		No Photo Available
<u><i>Phacelia ramosissima</i> var. <i>austrolitoralis</i></u>	south coast branching phacelia	Hydrophyllaceae	perennial herb	Mar-Aug	None	None	G5?T3Q	S3	3.2		No Photo Available
<u><i>Phacelia stellaris</i></u>	Brand's star phacelia	Hydrophyllaceae	annual herb	Mar-Jun	None	None	G1	S1	1B.1		No Photo Available
<u><i>Polygala cornuta</i> var. <i>fishiae</i></u>	Fish's milkwort	Polygalaceae	perennial deciduous shrub	May-Aug	None	None	G5T4	S4	4.3		No Photo Available
<u><i>Potentilla multijuga</i></u>	Ballona cinquefoil	Rosaceae	perennial herb	Jun-Aug	None	None	GX	SX	1A		No Photo Available
<u><i>Quercus dumosa</i></u>	Nuttall's scrub	Fagaceae	perennial	Feb-	None	None	G3	S3	1B.1		

SCIENTIFIC NAME	COMMON NAME	FAMILY	LIFEFORM	BLOOMING PERIOD	FED LIST	STATE LIST	GLOBAL RANK	STATE RANK	PLANT RANK	PHOTO
<i>Romneya coulteri</i>	Coulter's matilija poppy	Papaveraceae	perennial rhizomatous herb	Apr(May-Aug)	None	None	G4	S4	4.2	No Photo Available
<i>Sidalcea neomexicana</i>	salt spring checkerbloom	Malvaceae	perennial herb	Mar-Jun	None	None	G4	S2	2B.2	No Photo Available
<i>Spermolepis lateriflora</i>	western bristly scaleseed	Apiaceae	annual herb	Mar-Apr	None	None	G5	SH	2A	No Photo Available
<i>Suaeda taxifolia</i>	woolly seablite	Chenopodiaceae	perennial evergreen shrub	Jan-Dec	None	None	G4	S4	4.2	No Photo Available
<i>Symphotrichum greatae</i>	Greata's aster	Asteraceae	perennial rhizomatous herb	Jun-Oct	None	None	G2	S2	1B.3	No Photo Available
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran maiden fern	Thelypteridaceae	perennial rhizomatous herb	Jan-Sep	None	None	G5T3	S2	2B.2	No Photo Available

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Appendix E  
**Special-Status Plant Species  
Potential to Occur**

**APPENDIX E – SPECIAL-STATUS PLANTS POTENTIAL TO OCCUR**

Scientific Name	Common Name	Flowering Period	CNPS	State	Federal	Habitat	Potential For Occurrence <sup>1</sup>
<b>Angiosperms (Dicotyledons)</b>							
<i>Astragalus brauntonii</i>	Braunton's milk vetch	Jan-Aug	1B.1	FE	None	Chaparral, coastal sage scrub, valley grassland, and closed-cone pine forest	<b>Absent.</b> Suitable habitat does occur within the study area; however, this perennial species would be identifiable in the field and was not observed during the site visit.
<i>Cercocarpus betuloides</i> ssp. <i>blancheae</i>	island mountain-mahogany	Feb-May	4.3	None	None	Closed-cone coniferous forest and chaparral.	<b>Absent.</b> Suitable habitat occurs within the study area; however, this perennial species would be identifiable in the field and was not observed during the site visit.
<i>Chorizanthe parryi</i> var. <i>fernandiana</i>	San Fernando Valley spineflower	Apr-Jul	1B.1	SC	FSC	Sandy soils within coastal scrub and valley and foothill grassland.	<b>Absent.</b> Suitable habitat does occur within the study area; however, this perennial species would be identifiable in the field and was not observed during the site visit. This species is not expected to occur east of the Santa Monica Mountains (Calflora 2021).
<i>Chorizanthe parryi</i> ssp. <i>parryi</i>	Parry's spineflower	Apr-Jun	1B.1	None	None	Chaparral, cismontane woodland, coastal scrub and valley and foothill grassland.	<b>Low.</b> Marginal habitat for this species is present within the study area; however, this species is generally expected to occur east of the Santa Monica Mountains (Calflora 2021).
<i>Deinandra minthornii</i>	Santa Susana tarplant	Jun-Nov	1B.2	SR	None	Chaparral and coastal scrub	<b>Absent.</b> Suitable habitat occurs within the study area, however, this species would be identifiable in the field and was not observed during the site visit. This species was observed less than 4 miles to the southwest of the study area
<i>Dichondra occidentalis</i>	western dichondra	Mar-Jun	4.2	None	None	Chaparral, coastal sage scrub, foothill woodland, valley grassland, and northern coastal scrub	<b>Absent.</b> Suitable habitat occurs within the study area, however, this species would be identifiable in the field and was not observed during the site visit.
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica dudleya	Mar-Jun	1B.1	None	FT	Chaparral or coastal scrub.	<b>Low.</b> Suitable habitat occurs within the study area and this species was observed approximately 3 miles south of the study area. However, slope exposure is not appropriate for this species, which prefers north-facing slopes.
<i>Dudleya multicaulis</i>	many-stemmed dudleya	Apr-Jul	1B.2	None	None	Chaparral, coastal scrub and valley and foothill grassland.	<b>Absent.</b> Suitable habitat occurs within the study area, however, this perennial species would be identifiable in the field and was not observed during the site visit.
<i>Horkelia cuneate</i> var. <i>puberula</i>	mesa horkelia	Feb-Jul	1B.1	None	None	Dry, sandy, chaparral	<b>Absent.</b> Suitable habitat occurs within the study area, however, this perennial species would be identifiable in the field and was not observed during the site visit.
<i>Juglans californica</i>	southern black walnut	MarJun	4.2	None	None	Chaparral, cismontane woodland, coastal scrub, and riparian woodland	<b>Moderate.</b> Suitable habitat for this species is present within the study area.

<sup>1</sup> **OBSERVED** = species observed during focused surveys; **NONE** = species not expected to occur due to the lack of suitable habitat, or the site's location outside of the species' range

<i>Malacothamnus davidsonii</i>	Davidson's bush mallow	Jun-Jan	1B.2	None	None	Chaparral, cismontane woodland, coastal scrub, and riparian woodland.	<b>Absent.</b> Suitable habitat for this species is present within the study area; however, the species is not recorded from the Santa Monica Mountains and is not expected.
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	white-veined monardella	May-Oct	1B.3	None	None	Chaparral, cismontane woodland, and oak woodland.	<b>Moderate.</b> Suitable habitat for this species is present within the study area. This species was observed in the vicinity, along North Topanga Canyon Road in 1907.
<i>Navarretia ojaiensis</i>	Ojai navarretia	May-Jul	1B.1	None	None	Openings within chaparral, coastal scrub and throughout valley and foothill grassland.	<b>High.</b> Suitable habitat for this species is present throughout openings in the shrubland communities within the study area.
<i>Pentachaeta lyonii</i>	Lyon's pentachaeta	Mar-Jun	1B.1	SE	FE	Rocky, clay substrate within chaparral, coastal scrub and valley and foothill grassland.	<b>Low.</b> Marginally suitable habitat for this species is present within openings in the chaparral and shrubland communities within the study area. This species was observed approximately 4 miles southwest of the study area in 2017. However, project site does not support appropriate substrate.
<i>Phacelia stellaris</i>	Brand's star phacelia	Mar-Jun	1B.1	None	None	Sandy soils in coastal dunes, coastal scrub, and chaparral	<b>Low.</b> Marginally suitable habitat for this species is present within openings in the chaparral and shrubland communities within the study area. Project site exposure is too dry to support this species.
<i>Romneya coulteri</i>	Coulter's matilija poppy	Mar-Jul	4.2	None	None	Coast sage scrub and chaparral	<b>Absent.</b> Suitable habitat for this species is present within openings in the chaparral and shrubland communities within the study area. Perennial species is conspicuous but not observed during site visit.
<b>Angiosperms (Monocotyledons)</b>							
<i>Calochortus clavatus</i> var. <i>gracilis</i>	slender mariposa lily	Mar-Jun (Nov)	1B.2	None	None	Chaparral, coastal scrub and valley and foothill grassland.	<b>High.</b> Suitable habitat for this species is present throughout openings in the shrubland communities within the study area. This species was observed less than a mile south of the study area in 2017.
<i>Calochortus plummerae</i>	Plummer's mariposa lily	May-Jul	4.2	None	None	Chaparral, cismontane woodland, coastal scrub, lower montane coniferous forest and valley and foothill grasslands.	<b>High.</b> Suitable habitat for this species is present throughout openings in the shrubland communities within the study area. This species was observed approximately 2 miles to the west and within 2.5 miles to the west and southwest of the study area in 2009.
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Humboldt lily	Mar-Jul	4.2	None	None	Occurs on a variety of habitats including chaparral, cismontane woodland, coastal scrub, lower montane coniferous forest, and riparian woodland.	<b>Absent.</b> Suitable habitat for this species is not present within the shrubland communities within the study area, as the species typically occurs in mesic settings and project site is too dry to support this species.
<i>Nolina cismontana</i>	chaparral nolina	(Mar) May-Jul	1B.2	None	None	Sandstone or gabbro, chaparral and coastal scrub	<b>Absent.</b> Suitable habitat does occur within the study area; however, this perennial species would be identifiable in the field and was not observed during the site visit.

**Key to Species Listing Status Codes**

FE *Federally Endangered*  
 FT *Federally Threatened*  
 FC *Federal Candidate*

SE *State Listed as Endangered*  
 ST *State Listed as Threatened*  
 SCE *State Candidate for Endangered*

FPE	<i>Federally Proposed as Endangered</i>	SCT	<i>State Candidate for Threatened</i>
FPT	<i>Federally Proposed as Threatened</i>	SFP	<i>State Fully Protected</i>
FPD	<i>Federally Proposed for Delisting</i>		

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**California Native Plant Society (CNPS)**


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*Rank 1A: Presumed extirpated in California and either Rare or Extinct elsewhere.*

*Rank 1B: Rare, threatened, or endangered in California and elsewhere.*

*Rank 2A: Presumed extirpated in California, but common elsewhere.*

*Rank 2B: Rare, threatened, or endangered in California, but more common elsewhere.*

*Rank 3: Plant about which more information is needed.*

*Rank 4: Species of limited distribution in California.*

Source: ESA 2021.

*Threat Code extensions and their meanings:*

- .1 Seriously threatened in California (over 80% of occurrences threatened / high degree and immediacy of threat)*
- .2 Moderately threatened in California (20-80% occurrences threatened / moderate degree and immediacy of threat)*
- .3 Not very threatened in California (<20% of occurrences threatened / low degree and immediacy of threat or no current threats known)*



Appendix F  
**Special-Status Wildlife Species  
Potential to Occur**

**APPENDIX F – SPECIAL-STATUS WILDLIFE POTENTIAL TO OCCUR**

Scientific Name	Common Name	Status (Federal/State/Other)	Habitat	Potential to Occur <sup>1</sup>
<b>Invertebrates</b>				
<i>Aglaothorax longipennis</i>	Santa Monica shieldback katydid	None/SA/None	Chaparral	<b>Moderate.</b> Suitable habitat for this species is present throughout the shrubland vegetation present within the study area.
<i>Bombus crotchii</i>	Crotch bumble bee	SCE/SA/None	Coastal scrub and chaparral	<b>Moderate.</b> Suitable habitat for this species is present in shrubland vegetation present within the study area. This species was observed approximately 2 miles to the southeast of the study area in 2010.
<b>Reptiles</b>				
<i>Anniella stebbinsi</i>	southern California legless lizard	None/SSC/None	Chaparral, coastal dunes and coastal scrub. This species is regularly found associated with woodrat middens	<b>Moderate.</b> Suitable habitat for this species is present within the shrubland vegetation in the study area, but only in areas with loose soil and leaf litter (e.g., the base of shrubs).
<i>Aspidoscelis tigris stenjnegeri</i>	coastal whiptail	None/SSC/None	Deserts and semiarid areas with sparse vegetation and open areas.	<b>Observed.</b> Suitable habitat occurs within the survey area and this species was observed within the study area.
<i>Diadophis punctatus ssp. modestus</i>	San Bernardino ringneck snake	None/SA/None	Prefers mesic habitats (Calheps 2021) within wet meadows, rocky hillsides, cultivated and disturbed areas, grassland, chaparral, coniferous forests and various woodlands.	<b>Moderate.</b> Suitable habitat for this species is present the shrubland and woodland communities. This species was observed less than 2 miles south of the study area, immediately west of Topanga Blvd, in 2006.
<i>Phrynosoma blainvillii</i>	coast horned lizard	None/SSC/None	Various habitats throughout the foothills of California including coast live oak woodland and the herbaceous cover and friable soils.	<b>High.</b> Suitable habitat for this species is present throughout the shrubland and woodland vegetation present within the study area. This species was observed approximately 2 mile to the south and west of the study area in 1993 and 1968, respectively.
<b>Birds</b>				
<i>Aimophila ruficeps canescens</i>	southern California rufous-crowned sparrow	None/WL, SA/None	Chaparral and coastal scrub.	<b>High.</b> Suitable foraging and breeding habitat for this species is present throughout the shrubland vegetation present throughout the northern and southern portions of the study area.
<i>Aquila chrysaetos</i>	golden eagle	None/FP,WL/None	Utilizes a variety of habitats including grasslands, shrublands, forests, cliffs, and farmland.	<b>Moderate.</b> Suitable foraging habitat is present throughout the shrubland communities within the study area.
<i>Buteo swainsoni</i>	Swainson's hawk	None/ST	Open habitats including grassland, agricultural fields, and row crops.	<b>Low.</b> No suitable foraging or nesting habitat is present within the study area.

<sup>1</sup> **Observed** = species observed during focused surveys; **Low** = species has low potential to occur due to limited suitable habitat; **Moderate** = species has moderate potential to occur due to suitable habitat, or site's location is inside of species' range; **High** = species has high potential to occur due to suitable habitat, and/or known populations occur within the immediate area.

Federal/State/Other Status: FE – Federally Endangered; BCC – Federal Bird of Conservation Concern; SE - State Endangered, ST – State Threatened, FP – Fully Protected, SA – State Special Animal, SSC – State Species of Special Concern, WL – State watch List; LAAS – Los Angeles Audubon, WBWG – Western Bat Working Group List (H – high priority)

<i>Falco peregrinus</i> ssp. <i>anatum</i>	American peregrine falcon	BCC/FP/None	Utilizes various habitat types such as chaparral, forest and woodland communities for foraging. Nests on skyscrapers, water towers, cliffs (i.e., 25-1,500 feet high), power pylons and other tall structures (Cornell 2015).	<b>Moderate.</b> Suitable foraging habitat is present throughout the shrubland communities within the study area. This species was observed approximately 1 mile south of the study area in 2021 and approximately half a mile northeast of the study area, within the Summit Valley Edmund D. Edelman Park in 2017 (Sullivan 2009).
<b>Mammals</b>				
<i>Antrozous pallidus</i>	pallid bat	None/SSC/WBVG-H	Grasslands, shrublands, woodlands, and coniferous forests; most common in open, dry habitat with rocky areas for roosting, as well as abandon buildings and medal clad structures. Species is known to roost in cavities of oak trees (WBVG 2017).	<b>Moderate.</b> Suitable foraging/roosting habitat is present throughout the shrubland and woodland communities onsite.
<i>Euderma maculatum</i>	spotted bat	None/SSC/ WBVG-H	Utilizes foothills, mountains, grasslands, and mixed forests. Species prefers to roost in rock crevices, caves, buildings, and cliffs.	<b>Moderate.</b> Suitable foraging/roosting habitat is present throughout the shrubland and woodland communities onsite.
<i>Eumops perotis californicus</i>	western mastiff bat	None/SSC/WBVG-H	Chaparral, cismontane woodland, coastal scrub and valley and foothill grassland. Roosts in small colonies in rock fissures in high cliff faces (WBVG 2017).	<b>Moderate.</b> Suitable foraging/roosting habitat is present throughout the shrubland and woodland communities onsite.
<i>Lasionycteris noctivagans</i>	silver-haired bat	None/None/WBWF-M	Utilizes coastal and montane forests, valley foothill woodlands, pinyon-juniper woodlands, and valley foothill and montane riparian habitats.	<b>Moderate.</b> Suitable foraging/roosting habitat is present throughout the shrubland and woodland communities onsite.
<i>Lasiurus blossevillii</i>	western red bat	None/SSC/WBVG-H	Commonly found utilizing edge habitats along streams or open fields. There seems to be an association with riparian habitats (WBVG 2017).	<b>Moderate.</b> Suitable foraging/roosting habitat is present in shrubland and woodland communities. This species was observed approximately 4 miles to the southwest of the study area in Malibu Creek State Park in 2004.
<i>Lasiurus cinereus</i>	hoary bat	None/None/WBWF-M	Utilizes a range of habitats during breeding, roosting, and migration. Prefers woodlands and forests, foothills, deserts, mountains, lowlands, and coastal valleys.	<b>Moderate.</b> Suitable foraging/roosting habitat is present throughout the shrubland and woodland communities in the study area.
<i>Neotoma lepida intermedia</i>	San Diego desert woodrat	None/SSC/None	Coastal scrub. Studies have suggested that this subspecies tends to prefer a high concentration of rocks and boulders when constructing nests (Bleich et al 2008)	<b>Observed.</b> Suitable habitat for this species is present throughout the laurel sumac shrublands in the study area. Two likely San Diego woodrat middens were observed within the study area.

<sup>1</sup> **Observed** = species observed during focused surveys; **Low** = species has low potential to occur due to limited suitable habitat; **Moderate** = species has moderate potential to occur due to suitable habitat, or site's location is inside of species' range; **High** = species has high potential to occur due to suitable habitat, and/or known populations occur within the immediate area.

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