

IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
BEING A SURVEY OF PARCEL 1 AND 2 OF VESTING
PARCEL MAP NO. 20845 AS PER MAP ON FILE IN
BOOK 284 PAGES 64 THROUGH 66 INCLUSIVE OF
PARCEL MAPS. RECORDS OF SAID COUNTY.

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF THE
PROFESSIONAL LAND SURVEYOR'S ACT AT THE
REQUEST OF CEDRIC BALLEST JANUARY 2016.

LARRY D. PEARSON L.S. 4449
EXP. 9/30/17

SUBJECT PROPERTY

THE BASIS OF BEARINGS FOR THIS SURVEY IS
IS THE N/S CENTERLINE OF SECTION 24 T.1 S.
R. 17 W., S.B.M. SHOWN AS N 0°45'15" W PER
PARCEL MAP NO. 7633 P.M.B. 216-66-67
RECORDS OF SAID COUNTY.


THE PURPOSES OF THIS MAP IS TO COMPLY
WITH SECTION 8762 (b)(2)(5) OF THE
PROFESSIONAL LAND SURVEYOR'S ACT.

- INDICATES FOUND MOUNUMENTS AS NOTED.
- INDICATES SET 2" I.P. W/TAG LS 4449
FLUSH UNLESS OTHERWISE NOTED.

□ INDICATES SET SPIKE AND WASHER LS 4449

FD. 2" I.P. W/TAG SUR.
IN CONC. FLUSH 1' S.E.
4' WIRE FEN. COR. CTR. SEC. 24
PER RS 28-27, RS 168-56
AND RS 213-10

SCALE 1" = 100'



0 0 100 200 300

GRAPHIC SCALE: GRAPHIC SCALE - FEET

BURNS RESIDENCE

21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

NO:

A-1.1

SHEET 2 OF 18
NO.

DRAWING
EXISTING SITE PLAN

PROJECT
BURNS RESIDENCE
21655 SADDLE PEAK RD
TOPANGA, CA 90290

REVISIONS	B
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[illegible]

JOB #: 23-2609

DATE: 7/25/23


SCALE: 1" = 100'-0"

C-2.0

SHEET 2 OF 5

THE UNIVERSITY OF CHICAGO PRESS

130 PINE AVE, 3RD FLOOR
LONG BEACH, CA 90802



STAMP

STAMP DATE

DRAWING
EXISTING SITE PLAN

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REVISIONS	B
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[illegible]

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SCALE: 1" = 100'-0"

C-2.0

SHEET 2 OF 5

BURNS RESIDENCE PLANNING SUBMITTAL

EXISTING SITE PLAN

SCALE: 1" = 100'-0"

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- DRAINAGE NOTES
- 2% MIN. SLOPE TO DRAINAGE DEVICE AND / OR STREET AT ALL PAD AREAS.
 - 2% MIN. SLOPE AWAY FROM BUILDINGS AT AREAS OF HARDSCAPE AT ADJACENT 5 FEET.
 - 5% MIN. SLOPE AWAY FROM BUILDINGS AT AREAS OF SOFTSCAPE AT ADJACENT 5 FEET.
 - PROVIDE CATCH BASIN INLET DRAINS WITH STENCIL PER DETAIL 1/C-5.0.

BMP MODIFICATION NOTE

ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORMWATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION OF BMP(S).

DISTURBED AREA		
TOTAL DISTURBED AREA	15163.3 SQ.FT.	0.35 ACRES

- DRAINAGE PLAN LEGEND
- 1ST FLOOR OUTLINE
 - EXISTING MAJOR GRADE CONTOUR
 - EXISTING MINOR GRADE CONTOUR
 - PROPOSED MAJOR GRADE CONTOUR
 - PROPOSED MINOR GRADE CONTOUR
 - 3"Ø SOLID SCHEDULE 40 PVC PIPE
 - 4"Ø SOLID SCHEDULE 40 PVC PIPE
 - 4"Ø PERFORATED SCHEDULE 40 PVC PIPE W/ HOLES FACING DOWNWARD
 - 4"Ø STEEL CORRUGATED PIPE
 - 4"Ø AREA DRAIN W/ MIN. 2% SLOPE TO DRAIN
 - CLEANOUT PER PLAN
 - CATCH BASIN PER PLAN
 - TRENCH DRAIN PER PLAN
 - HYDRO STORMSCAPE MODULAR BIORETENTION SYSTEM
 - PERMEABLE GREEN ROOF PER ARCHITECTURAL PLANS
 - POOL/SPA
 - IMPERMEABLE AREA
 - NON-SPECIFIC PERMEABLE AREA
 - LANDSCAPING AREA
 - EXTERIOR RETAINING WALL
 - INTERIOR RETAINING WALL
 - FLOW ARROW
 - DIRECTION OF PIPE FLOW
 - SLOPE PERCENTAGE OF PIPE FLOW
 - DIRECTION OF PERFORATED PIPE FLOW
 - DIRECTION OF DISCHARGE

- CONSTRUCTION NOTES
- 3"Ø HARDSCAPE AREA DRAIN, PER DETAIL 2/C-5.0
 - 3"Ø DECK AREA DRAIN ON ELEVATED BALCONY DECK, PER DETAIL 3/C-5.0
 - 3"Ø EMERGENCY AREA DRAIN ON EXISTING GRADE BELOW 1ST FLOOR, PER DETAIL 4/C-5.0
 - 4" TRENCH DRAIN PER DETAIL 5/C-5.0
 - POOL/SPA AREA
 - HORIZONTAL SETBACK AREAS AROUND STRUCTURES, TO CONFORM WITH LA COUNTY SETBACK REQUIREMENTS
 - NON-LID PLANTER
 - PERMEABLE GREEN ROOF PER ARCHITECTURAL PLANS, ABOVE MAIN DWELLING AND GARAGE
 - TENNIS COURT AREA WITH REMOVABLE NET
 - FIRE DEPARTMENT TURNAROUND WITHIN DRIVEWAY, PER FIRE DEPARTMENT REQUIREMENTS
 - 12" SQUARE CONCRETE CATCH BASIN AS CLEANOUT PER DETAIL 7/C-5.0
 - HYDRO STORMSCAPE MODULAR BIORETENTION SYSTEM PER DETAIL 6/C-5.0
 - EROSION CONTROL RIP-RAP PER DETAIL 8/C-5.0
 - 4"Ø ABOVE-GRADE STEEL CORRUGATED PIPE, TO BE SECURED TO HILLSIDE
 - 4"Ø 40 PVC PIPE TO DISCHARGE 4" ABOVE ADJACENT EROSION CONTROL RIP-RAP
 - EROSION CONTROL RIP-RAP FOR SUBSURFACE DRAINAGE, PER DETAIL 8/C-5.0
 - EXISTING PAVED DRIVEWAY
 - NEW PORTION OF DRIVEWAY TO BE GRADED AND PAVED
 - 4"Ø WEEPHOLE FOR SUBSURFACE DRAINAGE DISCHARGE
 - 3" CLEANOUT
 - 1ST FLOOR BALCONY DECK, PARTIALLY BENEATH ROOF OVERHANG

130 PINE AVE, 3RD FLOOR
LONG BEACH, CA 90802
310.513.9980
www.TEGlosangeles.com

TEG

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DRAINAGE PLAN

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REVISIONS	BY
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C-4.0

SHEET 4 OF 5

BURNS RESIDENCE PLANNING SUBMITTAL

DRAINAGE PLAN

SCALE: 1" = 10'-0"

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