

**PROJECT NUMBER**

PM83190

HEARING DATE

TBD

REQUESTED ENTITLEMENTS

Tentative Parcel Map No. 83190 (RPPL2020005167)

CSD Modification No. RPPL2021010898

Environmental Assessment No. RPPL2020005388

SUBDIVISION COMMITTEE REPORT

OWNER / APPLICANT

KD Treasure LLC / David Dai

**MAP/EXHIBIT
DATE:**

05/30/2023

**REPORT
DATE:**

06/29/2023

**MEETING
DATE:**

07/06/2023

PROJECT OVERVIEWSubdivision: To create one multi-family lot with four detached residential condominium units.**MAP STAGE**Tentative: ☒Revised: ☐Amendment: ☐Amended: ☐
Exhibit "A"Modification to: ☐
Recorded MapOther: ☐**MAP STATUS**Initial: ☐1st Revision: ☒2nd Revision: ☐# Revision (requires a fee): ☐**LOCATION**

8744 Duarte Road, San Gabriel

ACCESS

Duarte Road

ASSESSORS PARCEL NUMBER(S)

5381-004-005

SITE AREA

24,156.89 sq. ft. (gross) 22,556.89 sq. ft. (net)

GENERAL PLAN / LOCAL PLAN

General Plan

ZONED DISTRICT

South Santa Anita-Temple City

SUP DISTRICT

5th

LAND USE DESIGNATION

H9 (Residential: 0-9 du/net ac)

ZONER-A (Residential-
Agricultural - 5,000 sq. ft.
min. lot area)**Community Standards
District (CSD)**East Pasadena – East
San Gabriel - [Ch. 22.318](#)**PROPOSED UNITS
(DU)**

4

**MAX DENSITY/UNITS
(DU)**

5

GRADING**(CUT/FILL, IMPORT/EXPORT, ONSITE/OFFSITE)**1,797 cy (20 cy cut, 100 cy fill, 80 cy import, 1,597 cy
over-ex)**ENVIRONMENTAL DETERMINATION (CEQA)**

Class 15 – Categorical Exemption for Minor Land Divisions

SUBDIVISION COMMITTEE DEPARTMENT CLEARANCE

<u>Department</u>	<u>Status</u>	<u>Contact</u>
Planning	Hold	Erica G. Aguirre (213) 974-6433 eaaguirre@planning.lacounty.gov
Public Works	Hold	Jose Cruz (626) 458-4921 jocruz@dpw.lacounty.gov
Fire	Cleared	Joseph Youman (323) 890-4243 Joseph.Youman@fire.lacounty.gov
Parks & Recreation	Cleared	Loretta Quach (626) 588-5305 lquach@parks.lacounty.gov
Public Health	Hold	Veronica Aranda (626) 430-5382 varanda@ph.lacounty.gov

SUBDIVISION COMMITTEE STATUS

Reschedule for Subdivision Committee Meeting: ☒

Reschedule for Subdivision Committee Reports Only: ☐

PREVIOUS CASES

R1ST-200500062 (Pre-application Counseling), RPCE 2020000022 (Active Zoning Violation / Code Case)

LA COUNTY PLANNING COMMENTS AND HOLDS

Case Status/Recommendation: At this time, Regional Planning does not recommend approval of the tentative map. Please read below for further details.

Environmental Determination

Cleared ☒ Hold ☐

1. This project qualifies for a Class 15 Categorical Exemption for Minor Land Divisions pursuant to CEQA.

General Plan Consistency and Design Review Comments:

Cleared ☐ Hold ☒

2. The project requires review by the Design Review Committee. The architectural plans uploaded on 3/14/2023 will be presented to the Design Review Committee for review and comments are forthcoming. It is advised to not submit a revised plan until the Design Review comments are received.

Tentative Map:

Cleared ☐ Hold ☒

3. Please verify that project site slope is less than 20 percent and add a note on the tentative map confirming this. Note: Although the environmental assessment form confirms the site slope is less than 25 percent, however we need verification the slope is less than 20 percent.
4. Fence and wall heights shall not exceed 3.5 feet within the front yards, and 6 feet within the side and rear yards. There is a portion of the wall on the northwest corner (front yard area) that appears to be 1.5 feet over the limit. The project will be conditioned to reduce the existing heights prior to final map recordation.
5. Update the map to include the species of each tree on the project site. Please submit photographs of all existing trees on the project site to verify they are the species noted.
6. Remove the comment "NO OAK TREE ONSITE", as the plans depict at least one oak tree on the northern side of the lot along the driveway area. Please verify oak tree size in circumference and diameter, also by providing detailed photographs with measurements. This may require a supplemental oak tree report, and/or an oak tree permit pursuant to [Chapter 22.174](#) (Oak Tree Permits).

Exhibit Map/Exhibit "A":

Cleared ☐ Hold ☒

7. Ensure the following: "The minimum front yard depth shall be the average depth of front yards on the same side of the street on the same block. A vacant lot shall not be included in this computation. The table seems to be incomplete or inaccurate. Please include all the lots on the same of the street (may be about 12 lots), excluding flag lots or vacant lots. Include: 8752, 8750, 8740 Duarte Road in the front yard setback average table. Verify the front yard setback for 8818 Duarte Road. This requirement is pursuant to the CSD [Table 22.318.060-A](#) (Zones R-1, R-2, R-A, A-1 Development Standards) for single-family residential zones.
8. Please quantify the proposed landscaping. Confirm you are meeting the 50% landscaped front yard requirement pursuant to the CSD Table 22.318.060-A.
9. The proposed project requires a common trash enclosure for four or more units pursuant to [Ch. 22.132](#) (Storage Enclosure Requirements for Recycling and Solid Waste). Trash enclosures may be placed in rear yards, but not in side or front yards pursuant to [22.110.040.F](#) (Accessory Structures and Equipment in Rear Yards).
10. Depict three (only showing two) new trees as part of the required onsite tree planting requirement pursuant to [21.32.195](#) (On-Site Trees).
11. Note: AC units within the 35-foot rear setback (as shown adjacent to unit 4) comply with Section [22.110.040.E](#). (Accessory Structures and Equipment – Ground-mounted equipment).

CSD Modification

Cleared ☐ Hold ☒

12. Please verify you meet this requirement: “for lots with not more than 100 feet of street frontage, the total maximum street-facing garage door width shall be 16 feet” pursuant to [Table 22.318.060-A](#). The garage for unit 4 appears to be over this requirement.
13. The minimum average lot width for lots having more than 20,000 square feet is 100 feet pursuant to [Table 22.318.060-A](#). The lot width only measures 80 feet. CSD Modification is required to modify the average lot width requirements. Please upload the East Pasadena-San Gabriel CSD Modification Findings: https://planning.lacounty.gov/wp-content/uploads/2022/10/east-pasadena-san-gabriel-modification_findings.pdf.
14. AC units are not allowed within the required 20-foot building separation area pursuant to [Table 22.318.060-A](#). This development standard could be modified through the CSD Modification request. Please include the request to modify this development standard in the Findings above.
15. You may request to reduce the front yard setback requirement based on an adjusted/corrected average as noted above, but this request should be included as part of the CSD Modification and Findings above.

Administrative/Other:

Cleared ☐ Hold ☒

16. Because this application was deemed complete after the effective date (December 10, 2020) of the Inclusionary Housing Ordinance (IHO) and you are proposing to build four units (three net new), which is lower than the baseline density threshold, you may not be subject to IHO.
17. A pending zoning violation case exists on the subject property. Be advised that all zoning violations must be abated prior to the scheduling of a public hearing.
18. Final Map Condition: Please be advised that CC&Rs and/or a maintenance agreement will be required for maintenance of the private driveway and fire lane, landscaping, and common areas.
19. Final Map Condition: The onsite tree planting requirement will be one tree per each 25 feet of existing and proposed street frontage located within the subject property. Based on the project total of 80 linear feet of street frontage, a total of three (3) tree plantings shall be required for the project and indicated on a tree planting plan to be approved by LA County Planning prior to final map recordation.

Deemed Complete ☒ **Incomplete** ☐ **Date: May 30, 2023**

RESUBMITTAL INSTRUCTIONS

If a map revision is required, please submit the following items:

- A signed and dated cover letter describing all changes made to the map and list of additional items requested.
- Please refer to the provided link. https://planning.lacounty.gov/assets/upl/apps/updated/sample-cover-letter_map-revision.pdf
- Revision fee payment (for the 3rd revision and thereafter)
- All resubmittal items should be submitted via [EPIC-LA](#) unless otherwise instructed by your planner.

An appointment is required for resubmittal. Once all your resubmittal items are ready. Please contact your planner when your resubmittal items are ready, Erica G. Aguirre at: eaguirre@planning.lacounty.gov. Once the planner clears you for resubmittal, you may contact Perla Inclan at: pinclan@planning.lacounty.gov to assist with scheduling your resubmittal appointment. Please note, the case intake appointment is only for processing your application and submittal items does not require a meeting.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. An approved sewer area study is required. Currently a sewer area study is under review. Please see attached Sewer review sheet (comment No. 2) for requirements.
2. Outlet approval from the City of Temple City is required. Please see attached Sewer review sheet (comment No. 1) for requirements.
3. A “Will Serve Letter” from the water purveyor is required. Please see attached Water review sheet (comment No. 1) for requirements.
4. Revisions to the tentative map are required to show the following additional items see additional comments below (applicable to Exhibit Map as well):
 - a. Please see attached Road review sheet (comment No. 1) along with the check print for requirements.
 - b. Please see attached Water review sheet (comment No. 2) for requirements.
5. A revised exhibit map is required to show the following additional items:
 - a. Please see attached Road review sheet (comment No. 1) along with check print for requirements.
 - b. Please see attached Water review sheet (comment No. 3) for requirements.

JSA

TENTATIVE MAP DATED 05-30-2023
EXHIBIT MAP DATED 05-30-2023

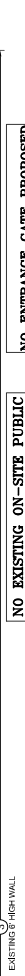
It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. A revised tentative map and exhibit map are required. Please address all comments shown on the checkprint.

Name Aissa Carrillo ^{AC} Date 06/15/2022 Phone (626) 458-4921
pm83190r-rev.doc

A vicinity map showing the project location. The map displays a residential area with streets and lots. A specific lot is highlighted with a yellow rectangle and labeled 'SITE'. The map includes a north arrow and the text 'VICINITY MAP'.

10.12 CONSTRUCT 6" BLOCK WALL



LACFCD IS NOT TO MAINTAIN

- 1 EXISTING BLOCK WALL TO REMAIN
- 2 EXISTING BLOCK WALL WITH FENCE TO REMAIN
- 3 PROPOSED NEW 3.5' HIGH CONCRETE BLOCK WALL
- 4 PROPOSED NEW 3.5' MAX HIGH CONCRETE BLOCK WALL
- 5 PROPOSED NEW 3.5' MAX HIGH CONCRETE BLOCK WALL
- 6 CM 1" BLOCK WALL FOR EVERY OTHER BLOCK WALL
- 7 PROPOSED PARKWAY DRIVE TO BE PRIVATELY MAINTAINED
- 8 PROPOSED NEW DRIVEWAY APPROACH
- 9 PROPOSED BUILDING
- 10 INSTALL PUMP
- 11 INSTALL GAS GENERATOR
- 12 INSTALL CATCH BASIN
- 13 INSTALL STITCHED CHAMBER IN TREATMENT SYSTEM
- 14 INSTALL AREA DRAIN
- 15 INSTALL AREA DRAIN
- 16 PLANT 2"X4" BOX TREE
- 17 PROPOSED NEW CURB AND GUTTER
- 18 PROPOSED SIDEWALK

PROJECT SUMMARY:	NO. TREASURE LLC / DAVID DAI 2935 LOMARBY RD., PASADENA, CA 91107	EAST PASADENA-SAN GABRIEL SERRANO DISTRICT
OWNER:	2935 LOMARBY RD., PASADENA, CA 91107	0810 AREA: 24,154.69 S.F.
PROJECT ADDRESS:	8744 QUARTE ROAD, SAN GABRIEL, CA 91777	NET AREA: 0.518 AC (22,556.89 S.F.)
PROJECT DESCRIPTION:	FOUR 2-STORY DETACHED CONDOMINIUMS	
PROPOSED LOT:	1991-004-005	
EXISTING ZONING:	R-A	
PROPOSED ZONING:	R-A	
TYPE OF CONSTRUCTION:	R/3H	
TYPE OF OCCUPANT:	RESIDENTIAL	
COMMENTS:	COMPLIANT STANDARD DISTRICT;	
AREAS:		
		GROSS AREA: 24,154.69 S.F.
		NET AREA: 0.518 AC (22,556.89 S.F.)
		ALLOWABLE G.S.A. & LOT COVERAGE: 22,556.89 S.F. ± 0.02

NOTE: WASTE WATER WILL BE DISPOSED FROM JOB SITE TO THE

EXISTING MAIN BY GRAVITY.

EARTHWORK QUANTITIES:

CUT:	20 CY	FILL:	100 CY
IMPORT:	80 CY	OVER-EXCAVATION:	1,597 CY

SPECIAL NOTES: SHOWN HEREON ARE FOR PERMIT AND BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO START OF GRADING.

MOA NOTE: HOMEOWNERS'S ASSOCIATION SHALL BE ESTABLISHED PRIOR TO COMMENCEMENT OF ALL INFRASTRUCTURE DEVELOPMENTS OF ITS SURROUNDINGS.

HOA NOTE: HOMEOWNER'S ASSOCIATION SHALL BE ESTABLISHED TO ENSURE BASIC MAINTENANCE AND INFRASTRUCTURE DEVELOPMENTS OF ITS SUBDIVISIONS

8744 DUARTE ROAD,
SAN GABRIEL, CA 91775

BENCHMARK NO. G 4345
FC TAG IN C.B. 2FT E/O CF @ NE COR
LONGDEN AVENUE AND MUSCATEL AVENUE
N/O & 22FT E/O C/L INT

576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

SHEET 1 OF 1 SHT.



**LAND DEVELOPMENT DIVISION
SEWER UNIT**

PARCEL MAP NO.: 83190

TENTATIVE MAP DATED 05-30-2023

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Prior to tentative map approval, provide outlet approval from the City of Temple City.
2. The project's sewer area study PC12564AS is currently in plancheck and has not been approved.

Prepared by Christian Ascencio

Phone (626) 458-4921

Date 06/08/2023

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The remove of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Provide an updated will serve letter from Sunny Slope Water. The provided will serve letter dated February 8, 2021 has expired.
2. An updated tentative map is required to show the following additional items:
 - a. Show how the on-site proposed development is to be served by existing public water and call out the proposed point of connection.
 - b. Show the proposed location of the new water meter.
3. An updated exhibit map is required to show the following additional items:
 - a. Show the water main in reference to the street centerline.
 - b. Show how the on-site proposed development is to be served by existing public water and call out the proposed point of connection.
 - c. Show the proposed location of the new water meter.

LOS ANGELES COUNTY PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
PARCEL MAP NO. 83190 (Rev.)

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TENTATIVE MAP DATED 05-30-2023
EXHIBIT MAP DATED 05-30-2023

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

Prepared by Jose Cruz
pm83190L-new-RPPL2020005167.doc
<http://planning.lacounty.gov/case/view/pm83190>

Phone (626) 458-4921

Date 06-26-2023

JSA

The following report consisting of ____ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory Agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot/parcel at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Underground of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.
6. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.

7. If applicable, quitclaim or relocate easements running through proposed structures.
8. Prior to final approval of the parcel map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
9. Place standard condominium notes on the final map to the satisfaction of Public Works.
10. Label driveway as "Private Driveway and Fire Lane" and delineate on the final map to the satisfaction of Public Works and Fire Department.
11. Reserve reciprocal easements for drainage, ingress/egress, sewer, water, utilities, right to grade, and maintenance purposes, in documents over the common private driveway to the satisfaction of Public Works.
12. Remove existing buildings prior to final map approval. Demolition permits and final sign-off from the building inspector are required from the Building and Safety office.
13. A final parcel map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office, unless the final parcel map is waived by the Advisory Agency.
14. Prior to submitting the parcel map to the Director of Public Works for examination pursuant to Section 66450 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
15. If signatures of record title interests appear on the final map, a preliminary guarantee is needed. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. If said signatures do not appear on the final map, a title report/guarantee is needed showing all fee owners and interest holders and this account must remain open until the final parcel map is filed with the Registrar-Recorder/County Clerk's Office.
16. Within 30 days of the approval date of this land use entitlement or at the time of the first plan check submittal, the applicant shall deposit the sum of \$2,000 with

LOS ANGELES COUNTY PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
PARCEL MAP NO. 83190 (Rev.)

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TENTATIVE MAP DATED 05-30-2023
EXHIBIT MAP DATED 05-30-2023

Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances.

Prepared by Jose Cruz
pm83190L-new-RPPL2020005167.doc
<http://planning.lacounty.gov/case/view/pm83190>

Phone (626) 458-4921

Date 06-26-2023

JSA

PCA LX001129 / A870
EPIC LA RPPL2020005167
Telephone: (626) 458-4925

County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND SOILS ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Sheet 1 of 1

Parcel Map	<u>83190</u>	Tentative Map Dated	<u>05/30/2023</u>	Parent Tract	<u></u>
Grading By Subdivider? [<u>Y</u>] (Y or N)	<u>1,597 yd³</u>	Location	<u>San Gabriel</u>		
Geologist	<u>--</u>	Subdivider	<u>KD Treasure, LLC</u>		
Soils Engineer	<u>--</u>	Engineer/Arch.	<u>Calland Engineering, Inc.</u>		

Review of:

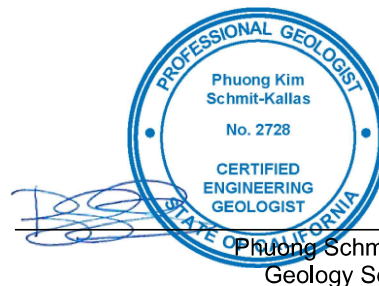
Geologic Report(s) Dated: --
Soils Engineering Report(s) Dated: --
Geotechnical Report(s) Dated: --
References: --

TENTATIVE MAP FEASIBILITY IS RECOMMENDED FOR APPROVAL FROM A GEOTECHNICAL STANDPOINT

THE FOLLOWING INFORMATION IS APPLICABLE TO THIS DIVISION OF LAND:

- The Final Map does **not** need to be reviewed by the Geotechnical and Materials Engineering Division.
- Geotechnical report(s) may be required prior to approval of grading or building plans. Report(s) must comply with the provisions of the County of Los Angeles Department of Public Works *Manual for Preparation of Geotechnical Reports*. The Manual is available at: <http://dpw.lacounty.gov/gmed/permits/docs/manual.pdf>.

Prepared by



Date 06/15/2023

Please complete a Customer Service Survey at <http://dpw.lacounty.gov/go/gmedsurvey>

NOTICE: Public safety, relative to geotechnical subsurface exploration, shall be provided in accordance with current codes for excavations, inclusive of the Los Angeles County Code, Chapter 11.48, and the State of California, Title 8, Construction Safety Orders.

83190, San Gabriel, 2023-06-15, TM-2-A

1. Approval of this map pertaining to grading is recommended.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

2. Provide approval of:
 - a. The latest hydrology study by the Storm Drain and Hydrology Section of Land Development Division.
 - b. The grading plan by the Geotechnical & Materials Engineering Division (GMED).
3. Record a covenant accepting flows from off-site and maintaining all drainage devices that allow that pattern.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

4. Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (fill in whichever is applicable), and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.
5. Record a deed restriction to hold future owners responsible for maintaining the drainage devices without obstructing flows from off-site.



Name David Esfandi Date 06/15/2023 Phone (626) 458-7130

C:\Users\MEsfandi\Desktop\Tentative Map Conditions For PM 83190.doc



900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
WWW.DPW.LACOUNTY.GOV

TRACT NO.: 83190

TENTATIVE MAP DATE: 5/30/2023

HYDROLOGY UNIT CONDITIONS OF APPROVAL

Approval to drainage is recommended with the following conditions.

Prior to Improvement Plans Approval:

1. Comply with hydrology study, which was approved on 12/07/2022, or the latest revision, to the satisfaction of the Department of Public Works.


Prior to recordation of a Final Map or Parcel map Waiver:

1. Submit plans of drainage facilities as required by hydrology study for design of drainage facilities to the satisfaction of Department of Public Works.

Prior to Building Permit:

1. Comply with LID (Section 12.84.440) standards in accordance with the Low Impact Development Standards Manual which can be found at <http://dpw.lacounty.gov/ldd/web/forms.aspx>

Review by: _____


Lonnie Chung

Date: 06/08/2023

Phone: (626) 458-7102

PRELIMINARY CONDITIONS

1. Dedicate an additional 20 feet of right of way along the property frontage on Duarte Road for an ultimate right of way of 50 feet from centerline.
2. Remove all existing improvements within the proposed dedicated right of way on Duarte Road to the satisfaction of Public Works.
3. Close unused driveway with standard curb, gutter, and sidewalk along the property frontage on streets within this subdivision.
4. Construct new driveway to the satisfaction of Public Works.
5. Repair any improvements damaged during construction to the satisfaction of Public Works.
6. The proposed perimeter fence (CMU or wood) adjacent to the driveway shall be depressed to 42 inches or less within 10 feet of the right of way to provide line of sight.
7. Widen Duarte Road and construct curb, gutter, base, pavement, pavement transition, and sidewalk along the property frontage. The top of the new curb shall be 42 inches from the centerline on Duarte Road.
8. Plant street trees (minimum 24" box) and provide irrigation along the property frontage to the satisfaction of Public Works.
9. Execute a covenant for private maintenance of curb/parkway drains; if any, to the satisfaction of Public Works.
10. Install postal delivery receptacles in groups to serve two or more residential lots.
11. Underground all new utility lines to the satisfaction of Public Works and Southern California Edison. Please contact Construction Division at (626) 458-3129 for new location of any above ground utility structure in the parkway.
12. Prior to final map approval, enter into an agreement with the County franchised cable TV operator (if an area is served) to permit the installation of cable in a common utility trench to the satisfaction of Public Works; or provide

TENTATIVE MAP DATED 05-30-2023
EXHIBIT MAP DATED 05-30-2023

documentation that steps to provide cable TV to the proposed subdivision have been initiated to the satisfaction of Public Works.

13. Submit street improvements plans and acquire street plan approval before obtaining a grading permit.
14. Comply with the street lighting requirements per the attached memorandum dated June 8, 2023.

Prepared by Aissa Carrillo ^{AC}
pm83190r-rev.doc

Phone (626) 458-4921

Date 06-15-2023

**LOS ANGELES COUNTY PUBLIC WORKS
TRAFFIC SAFETY AND MOBILITY DIVISION
DEVELOPMENT REVIEW - STREET LIGHTING REQUIREMENTS**

Date: 6/8/2023

TO: Jose Suarez
Road and Grading Section
Land Development Division

Attention Erica Aguirre

FROM: Inez Yeung
Street Lighting Section
Traffic Safety and Mobility Division

Prepared by Manuel Torres

STREET LIGHTING REQUIREMENTS

RPPL2023001945 8744 DUARTE ROAD PM 83190

☒ Project is located within County Lighting Maintenance District 1687 (CLMD 1687) and annexation is not required.

☐ Provide streetlights on concrete poles with underground wiring on all streets and highways within TR/PM/L - _____ and around to the satisfaction of Public Works or as modified by Public Works. The streetlights shall be designed as a County-owned and maintained system. Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic Safety and Mobility Division, Street Lighting Section, for processing and approval.


☒ Provide streetlight(s) on concrete pole(s) with underground wiring along the property frontage on Duarte Road to the satisfaction of Public Works or as modified by Public Works. The streetlight(s) shall be designed as a County owned and maintained system. Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic Safety and Mobility Division, Street Lighting Section, for processing and approval.

☐ Provide streetlights on concrete poles with underground wiring on non-gated "private and public future" street(s) along the property frontage on _____ to the satisfaction of Public Works or as modified by Public Works. The streetlights shall be designed as a County-owned and maintained system. Provide centerline of 16' wide easement to the County of Los Angeles for streetlight and auxiliary device purposes and an easement for streetlight and auxiliary device ingress and egress (over the entire road). Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic Safety and Mobility Division, Street Lighting Section, for processing and approval.

☐ Provide streetlights on concrete poles with underground wiring on gated "private and future" street(s) _____ to the satisfaction of Public Works or as modified by Public Works. The streetlights shall be designed as Southern California Edison owned and maintained system. The operation and maintenance of the streetlights shall remain the responsibility of the owner/developer/Home Owners Association until such time as the street(s) are accepted for maintenance by the County. Assessments will be imposed on the development served by gated "private and future" street(s) as a result of streetlight benefits derived from existing or future streetlights on adjacent public roadways.

☐ New streetlights are not required.

STREETLIGHT ACCEPTANCE REQUIREMENTS:

- ☐ Upon CUP approval (CUP only), the applicant shall comply with the "Condition of Acceptance for Streetlight Transfer of Billing" requirements listed below in order for the County to assume responsibility over the streetlight(s). It is the sole responsibility of the applicant to ensure 1) street lighting plans are approved prior to issuance of building permits or road construction permits, whichever occurs first, and 2) street lighting improvements are installed per approved plans prior to the issuance of a certificate of occupancy.
- ☐ Upon issuance of an Agreement to Improve (R3 only), the applicant shall comply with the "Conditions of Acceptance For Streetlight Transfer of Billing" requirements listed below in order for the County to assume responsibility over the streetlight(s). It is the sole responsibility of the applicant to ensure 1) street lighting plans are approved prior to issuance of building permits or road construction permits, whichever occurs first, and 2) street lighting improvements are installed per approved plans prior to the issuance of a certificate of occupancy.
-  ☒ Upon tentative tract map/parcel map approval, the applicant (property owner or authorized representative) shall comply with the "Conditions of Acceptance for Streetlight Transfer of Billing" requirements listed below in order for the County to assume responsibility over the streetlight(s). It is the sole responsibility of the applicant to: 1) submit street lighting plans upon tentative tract /parcel map approval 2) secure approval of the street lighting plans prior to map recordation, 3) notify Traffic Safety and Mobility Division, Street Lighting Section when the final map is recorded.

CONDITIONS OF ACCEPTANCE FOR STREETLIGHT TRANSFER OF BILLING:

The applicant (property owner or authorized representative) is responsible for the operation and maintenance of streetlights along with their associated costs that are installed as a condition of development. The applicant will remain responsible until the streetlights are formally accepted in the County Highway System for operation and maintenance and their billing is transferred into a County Lighting Maintenance District account with Southern California Edison.

Prior to the County Lighting Maintenance Districts assuming responsibility for the streetlights, the following conditions must be met:

- 1) All required streetlights have been accepted and installed per the approved plans and energized to close Road Encroachment Permit.
- 2) The County will require review and approval of the roadway improvements and their installation must be in accordance with approved plans prior to County assuming ownership and maintenance responsibilities of the project roadways into the County Highway System.
- 3) Prior to the County accepting the streetlights into the County Highway System to assume operation and maintenance responsibilities for the streetlights, a second field review will be conducted to ensure all streetlights are operational and no knockdowns have occurred.
- 4) Upon acceptance into the County Highway System, County will authorize the release of any remaining streetlight bond, if applicable, and accept the transfer of billing.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER:	RPPL2020005167	PROJECT NUMBER:	PM83190
CITY/COMMUNITY:	Northeast San Gabriel	STATUS:	Cleared
PROJECT ADDRESS:	8744 Duarte Road San Gabriel, CA 91775	DATE:	06/28/2023

CONDITIONS

1. This project is cleared to proceed to Final Map review.

For any questions regarding the report, please contact Joseph Youman at (323) 890-4243 or joseph.youman@fire.lacounty.gov.



LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION
PARK OBLIGATION REPORT



Tentative Map # **83190**
Park Planning Area # **42**

DRP Map Date: **05/30/2023** SCM Date: **09/24/2020**
CSD: **EAST PASADENA - EAST SAN GABRIEL**
CSD

Report Date: **06/26/2023**
Map Type: **Tentative Map - Parcel**

Total Units **4** = Proposed Units **3** + Exempt Units **1**

Park land obligation in acres or in-lieu fees:

ACRES:	0.03
IN-LIEU FEES:	\$15,341

Sections 21.24.340, 21.24.350, 21.28.120, 21.28.130, and 21.28.140, the County of Los Angeles Code, Title 21, Subdivision Ordinance provide that the County will determine whether the development's park obligation is to be met by:

- 1) the dedication of land for public or private park purpose or,
- 2) the payment of in-lieu fees or,
- 3) the provision of amenities or any combination of the above.

The specific determination of how the park obligation will be satisfied will be based on the conditions of approval by the advisory agency as recommended by the Department of Parks and Recreation.

The Representative Land Value (RLVs) in Los Angeles County Code (LACC) Section 21.28.140 are used to calculate park fees and are adjusted annually, based on changes in the Consumer Price Index. The new RLVs become effective July 1st of each year and may apply to this subdivision map if first advertised for hearing before either a hearing officer or the Regional Planning Commission on or after July 1st pursuant to LACC Section 21.28.140, subsection 3. Accordingly, the park fee in this report is subject to change depending upon when the subdivision is first advertised for public hearing.

The park obligation for this development will be met by:

The payment of \$15,341 in lieu fees.


Trails:

No Trails

Comments:

For further information or to schedule an appointment to make an in-lieu fee payment:

Please contact Clement Lau at (626) 588-5301 or Loretta Quach at (626) 588-5305
Department of Parks and Recreation, 1000 S. Fremont Avenue, Unit #40. Building A-9 West, 3rd Floor. Alhambra,
California 91803.

By: 
Clement Lau, Departmental Facilities Planner II



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION WORKSHEET

Tentative Map # **83190**
Park Planning Area # **42**

DRP Map Date: **05/30/2023** SCM Date: **09/24/2020**
CSD: **EAST PASADENA - EAST SAN GABRIEL**
CSD

Report Date: **06/26/2023**
Map Type: **Tentative Map - Parcel**

The formula for calculating the acreage obligation and or in-lieu fee is as follows:

$$(P) \text{ people} \times (0.0030) \text{ Ratio} \times (U) \text{ nits} = (X) \text{ acres obligation}$$

$$(X) \text{ acres obligation} \times \text{RLV/Acre} = \text{In-Lieu Base Fee}$$

Where: P = Estimate of number of People per dwelling unit according to the type of dwelling unit as determined by the U.S. Census
Ratio = The subdivision ordinance provides a ratio of 3.0 acres of park land for each 1,000 people generated by the development. This ratio is calculated as "0.0030" in the formula.
U = Total approved number of Dwelling Units.
X = Local park space obligation expressed in terms of acres.
RLV/Acre = Representative Land Value per Acre by Park Planning Area.

Total Units **4** = Proposed Units **3** + Exempt Units **1**

Park Planning Area = **42**

Type of dwelling unit	People *	Ratio 3.0 Acres/ 1000 People	Number of Units	Acre Obligation
Detached S.F. Units	3.06	0.0030	3	0.03
M.F. < 5 Units	3.03	0.0030	0	0.00
M.F. >= 5 Units	2.51	0.0030	0	0.00
Mobile Units	6.14	0.0030	0	0.00
Exempt Units			1	0.00
TOTAL			4	0.03

Ratio	Acre Obligation	RLV / Acre	In-Lieu Base Fee
@ (0.0030)	0.03	\$557,037	\$15,341

Lot #	Provided Space	Provided Acres	Credit (%)	Acre Credit
0		0.00	100.00%	0.00
Total Provided Acre Credit:				0.00

Acre Obligation		Net Obligation	RLV / Acre	In-Lieu Fee Due
0.03	0.00	0.03	\$557,037	\$15,341



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

SCOTT ABBOTT, REHS, M.P.A.
Assistant Director of Environmental Health


5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/

June 22, 2023

TO: Joshua Huntington
Supervising Regional Planner
Department of Regional Planning

Attention: Erica Aguirre

FROM: Charlene Contreras 
Director, Community Protection Branch
Department of Public Health

SUBJECT: TENTATIVE MAP - TRACT
CASE: RPPL2020005167
PROJECT: PM83190
8744 DUARTE ROAD SAN GABRIEL CA 91775

Thank you for the opportunity to review the application and subdivision request for the subject property. The project proposes to construct Four 2-story detached condominium.

- ☐ Public Health conditions for this project have been met as of the date of this letter. Public Health recommends approval of the aforementioned project.
- ☒ Public Health **DOES NOT** recommend approval of the subject project and requires that the following conditions and/or information requested below are addressed prior to agency approval:



BOARD OF SUPERVISORS

Hilda L. Solis
First District

Holly J. Mitchell
Second District

Lindsey P. Horvath
Third District

Janice Hahn
Fourth District

Kathryn Barger
Fifth District

1. Drinking Water Program: Potable Water

- 1.1 The project will be required to have an approved safe and reliable potable water source either from an approved onsite source (i.e. ground water well) or permitted nearby public water system that meets water demands of the proposed project.
- 1.2 When a public water system is intended to be utilized as potable water source, submit a copy of a current (issued within the past 12 months) signed water "Will Serve" letter from the approved public water system purveyor in the service area. Conditional "Will Serve" letters may not be accepted until either the conditions are met or agreed to in writing by the applicant, as determined by the Department.

For questions regarding drinking water, please contact Beverly Tway, Drinking Water Program at (626) 430-5420 or btway@ph.lacounty.gov.

2. Land Use Program: Wastewater

- 2.1 The project will be required to have an approved safe and reliable method of wastewater disposal from a permitted nearby public sewer system that meets load demands of the proposed project.
- 2.2 Provide an updated copy of a current (issued within the past 12 months) signed "Sewer Will Serve" letter from the approved public sewer system in the service area. Conditional "Will Serve" letters may not be accepted until either the conditions are met or agreed to in writing by the applicant, as determined by the Department. Ensure that the "Will Serve" letter, lists all applicable addresses for the subject project.

For questions regarding wastewater, please contact Xiomara Santana, Land Use Program, at (626) 430-5380 or xsantana@ph.lacounty.gov

3. Community Protection Branch: Environmental Hygiene

Please Note: The following are general requirements for Noise and Air Quality recommendations for the project.

3.1 Noise

- 3.1.1 The applicant shall abide by the requirements contained in Title 12, Section 12.08. Noise Control Ordinance for the County of Los Angeles (reference available at municode.com). The sections in Title 12 that apply to this project include but are not limited to: 12.08.390 Exterior Noise Standards, 12.08.440 Construction Noise and 12.08.530 Residential Air-Conditioning.

3.1.2 The proposed project is in close proximity to residential area, and based on the scope of the project, it is anticipated that construction noise will impact the surrounding community.

3.1.2.1 Noise mitigation measures should be applied to the project site and noted on the site plan to reduce significant impacts related to construction noise and vibration and to comply with Los Angeles County Code Title 12, 12.08.440 – Construction Noise. Applicable noise mitigation strategies may include but are not limited to, the following:

1. Construction shall occur between 7:00 am and 7:00 pm Monday through Saturday. Construction is not allowed on Sundays or federal holidays.
2. All construction equipment shall be equipped with the manufacturers' recommended noise muffling devices, such as mufflers and engine covers. These devices shall be kept in good working condition throughout the construction process.
3. Installation of a temporary sound barrier at the property lines of the proposed project site to mitigate noise impacts on all surrounding residential properties.
4. All construction equipment shall be properly maintained and tuned to minimize noise emissions.
5. Stationary noise sources (e.g., generators and compressors) shall be located as far from residential receptor locations as is feasible.

12.08.440 Construction Noise

Operating or causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work between weekday hours of 7:00 p.m. and 7:00 a.m., or at any time on Sundays or holidays, such that the sound therefrom creates a noise disturbance across a residential or commercial real-property line, except for emergency work of public service utilities or by variance issued by the health officer is prohibited.

A. Mobile Equipment. Maximum noise levels for nonscheduled, intermittent, short-term operation (less than 10 days) of mobile equipment:

	Single-family Residential	Multi-family Residential	Semi residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 8:00 p.m.	75 dBA	80 dBA	85 dBA
Daily, 8:00 p.m. to 7:00 a.m. and all-day Sunday and legal holidays	60 dBA	64 dBA	70 dBA

B. Stationary Equipment. Maximum noise level for repetitively scheduled and relatively long-term operation (periods of 10 days or more) of stationary equipment:

	Single-family Residential	Multi-family Residential	Semi residential/ Commercial
Daily, except Sundays and legal holidays, 7:00 a.m. to 8:00 p.m.	60 dBA	65 dBA	70 dBA
Daily, 8:00 p.m. to 7:00 a.m. and all day Sunday and legal holidays	50 dBA	55 dBA	60 dBA

12.08.390 Exterior Noise Standards

No person shall operate or cause to be operated, any source of sound at any location within the unincorporated county, or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person which causes the noise level, when measured on any other property either incorporated or unincorporated, to exceed any of the following exterior noise standards:

At residential properties between 7:00 am to 10:00 pm (daytime):

Standard No. 1 shall be the exterior noise level which may not be exceeded 50 dB for a cumulative period of more than 30 minutes in any hour.

Standard No. 2 shall be the exterior noise level which may not be exceeded 55 dB for a cumulative period of more than 15 minutes in any hour.

Standard No. 3 shall be the exterior noise level which may not be exceeded 60 dB for a cumulative period of more than five minutes in any hour.

Standard No. 4 shall be the exterior noise level which may not be exceeded 65 dB for a cumulative period of more than one minute in any hour.

Standard No. 5 shall be the exterior noise level which may not be exceeded 70 dB for any period of time.

At residential properties between 10:00 pm to 7:00 am (nighttime):

Standard No. 1 shall be the exterior noise level which may not be exceeded 45 dB for a cumulative period of more than 30 minutes in any hour.

Standard No. 2 shall be the exterior noise level which may not be exceeded 50 dB for a cumulative period of more than 15 minutes in any hour.

Standard No. 3 shall be the exterior noise level which may not be exceeded 55 dB for a cumulative period of more than five minutes in any hour.

Standard No. 4 shall be the exterior noise level which may not be exceeded 60 dB for a cumulative period of more than one minute in any hour.

Standard No. 5 shall be the exterior noise level which may not be exceeded 65 dB for any period of time.

For questions regarding above comments, please contact Makkaphoeum Em, Environmental Hygiene Program at (626) 430-5201 or mem@ph.lacounty.gov.

If you have any other questions or require additional information, please contact Veronica Aranda of Public Health, Environmental Hygiene Program at (626) 430-5201 or varanda@ph.lacounty.gov.

CC:va

DPH_NOT CLEARED_8744 DUARTE ROAD SAN GABRIEL CA 91775_RPPL2020005167_6.22.2023