

**"MINOR LAND DIVISION
VESTING TENTATIVE PARCEL MAP #073305
(FOR INDUSTRIAL CONDOMINIUM PURPOSES)
LOCATED IN THE UNINCORPORATED TERRITORY OF
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA"
"EXHIBIT MAP"**



INDEX OF SHEETS

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6	EASEMENTS MAP
7	VENTURA BLVD FIRE ACCESS RD

SITE ANALYSIS:

GROUND FLOOR:
 STORAGE OCCUPANCY 15,721 SF
 B OCCUPANCY ACCESSORY 505 SF
SECOND FLOOR:
 STORAGE OCCUPANCY 14,402 SF
 B OCCUPANCY ACCESSORY 1,348 SF
TOTAL BUILDING:
 31,500 SF
 UNITS: 19 (17 @ 25'x55' (1375 sq.ft. EA), 2 @ 50'x55' (2750 sq.ft. EA))
 * UNIT SQUARE FOOTAGE MAY VARY PENDING FINAL LOCATION OF DIMENSION WALLS PER FINAL SALE OF EACH UNIT.
 * SEE ARCH. PLAN FOR OCCUPANT LOAD DETERMINATION OF LOBBY/DECK AREA
 CONSTRUCTION TYPE - BUILDING WITH FIRE SPRINKLERS

AREA:
 PARCEL 1: GROSS AREA: 311,300: SQFT. (7.15 ACRES)??
 NET AREA: 309,830: SQFT. (7.12 ACRES)??

PARKING:
 THE PROJECT WAS APPROVED FOR 46 SPACES UNDER CUP #201500096.

ZONING:
 THE PRESENT ZONING FOR THE SUBJECT PROPERTY IS "M-1" (LIGHT INDUSTRIAL ZONE)

FLOOD ZONE:
 FLOOD ZONE "C" - AREA OF MINIMAL FLOODING PER COMMUNITY PANEL NO. 065043-06148, DATED 06/07/1998

LAND USE:
 EXISTING UNDER CONSTRUCTION AS APPROVED BY CUP #201500096 PROPOSED CLASSIC CARS CONDO STORAGE UNITS

ASSESSOR'S PARCEL NUMBER:
 2049-019-061, 033 AND 034

BASIS OF BEARINGS:
 THE BEARING OF N0°01'08"W FOR THE WEST LINE OF NELY QUARTER OF SECTION 22, T.1N, R.17W, S.8M, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 68, PAGE 20 OF RECORD OF SURVEYS, IN THE OFFICE OF COUNTY RECORDER OF LOS ANGELES COUNTY, WAS USED AS THE BASIC OF BEARING FOR THIS SURVEY.

BENCHMARK:
 CITY OF LOS ANGELES DATUM B.M. Y 10410 (MALIBU QUAD)
 ELEVATION = 1,003.803 FEET (2003 ADJUSTMENT)
 DPW BM TAG IN E CB 1M SIO BCR AT SE COR. CALABASAS RD AND PARKWAY CALABASAS 28 S AND 13.5 M E/O CL INT.

GRADING CONSTRUCTION NOTES:

- CONST 6" CURB & 12" GUTTER PER DETAIL 2 ON SHEET C-7.
- CONST 3" WIDE RIBBON GUTTER PER DETAIL 3 ON SHEET C-9.
- CONST 6" CONC CURB PER DETAIL 1 ON SHEET C-9.
- CONST CONC. FLOWLINE.
- GATE SEE ARCHITECTURAL PLAN PLANS FOR DETAILS.
- TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- TRANSFORMER ON CONCRETE PAD AND BOLLARDS BY OTHERS, NOT A PART OF THIS PLAN.
- RETAINING SOIL WALL MAX EXPOSED H=26.5' MAX. SEPARATE PERMIT REQUIRED, NOT A PART OF THIS PLAN. SEE WALL STRUCTURE PLANS BY DRS ENGINEERING, INC. (FOR REFERENCE ONLY).
- CONST CONC INTERCEPTOR SWALE BEHIND WALL, W=36" WIDE, 12" MIN DEEP. SEE TYP DETAIL 5 ON SHEET C-7.
- RETAINING CAISSON WALL EXPOSED H=16' MAX. SEPARATE PERMIT REQUIRED, NOT A PART OF THIS PLAN. SEE WALL STRUCTURE PLANS BY DRS ENGINEERING, INC. (FOR REFERENCE ONLY).
- CONST 12" WIDE 8" MIN DEEP CONC VORRAIN BEHIND A WALL. SEE TYP DETAIL 4 ON SHEET C-7.
- INSTALL 24"x24" C.B. BY BROOKS MFG OR EQUAL, 1/4" ATRIUM GRATE.
- INSTALL 18"x18" C.B. BY BROOKS MFG OR EQUAL, 1/4" ATRIUM GRATE.
- CONST. GRADED EARTH FLOWLINE.
- CONST 18" HIG SCREEN WALL. SEE DETAIL 11 ON SHEET C-7. SEE ARCH / LANDS. PLAN.
- REMOVE EXIST CONC PAVEMENT WHERE EXIST. CONSTRUCT CONC. PAVEMENT PER FINAL SOILS ENGINEER RECOMMENDATION (PRELIMINARY SECTION MIN 7" OF 3500 PSI (MIN) CONC. PAVEMENT WITH #4 REBAR @ 18" O.C. EACH WAY AT MID DEPTH ON MIN 6" A.B. COMPACTED TO A MIN 95% RELATIVE COMPACTION) A THICKER CONCRETE SECTION AT 1' IS SUGGESTED WHERE STOPS AND STARTS OCCUR REPEATEDLY SUCH AS VENTURA BOULEVARD. THE CONCRETE SECTION SHOULD ALSO HAVE APPROPRIATELY SPACED CRACK CONTROL JOINTS. SEE LANDSCAPE PLANS FOR LOCATION, COLOR, SCORING & JOINTING. FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER AT THE CONCLUSION OF GRADING.
- CONST RET. WALL H=3' MAX. SEPARATE PERMIT MAY BE REQUIRED, NOT A PART OF THIS PLAN.
- CONST 6" DIA AREA DRAIN IN PLANTER BY NDS PRODUCTS OR EQUAL. INSTALL ATRIUM GRATE IN PLANTERS AND BEHIND WALLS.
- INSTALL TRUNCATED DUMES. SEE DETAIL 6 ON SHEET C-7.
- HANDICAP PARKING SPACES, ACCESS AISLE AND SIGNAGE - PARKING SHALL HAVE A MAXIMUM CROSS SLOPE OF ONE-QUARTER OF AN INCH (1/4") PER FOOT (2%) GRADIENT IN ANY DIRECTION. DISABLED STRIPING & DEMARCATION SHALL BE APPLIED AND/OR MAINTAINED IN ACCORDANCE WITH CBC TITLE 24 AND STD 701.24. SEE TYPICAL DETAIL 7 ON SHEET C-7.
- INSTALL 12" PVC SDR 35 OR EQUAL, S=1% MIN, 30" MIN. BUR. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED.
- INSTALL 12" PVC DRAIN PIPE TO UNDERGROUND DETENTION, S=1% MIN UNDERGROUND DETENTION 2' x 30" L=125' (TOTAL LENGTH INCLUDING BOTH PIPES) CMP PIPE BY CONTECH CMP DETENTION SYSTEMS OR EQUAL. REQUIRED VOLUME 809 cu ft. BEDDING PER PIPE MANUFACTURE REQUIREMENTS. CONNECT BOTH PIPES AT EACH END. SEE CONST NOTES 36 & 37. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED. SEE TYP BACFIL DETAIL 14 ON SHEET C-7.
- INSTALL 12" H.D.P.E DRAIN PIPE (SEE SECTION C-C ON SHEET C-8). (UNDER SEPARATE PERMIT). IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED.
- CONNECT 12" H.D.P.E. TO BOX CULVERT. PER SPPWC STD PLATE 335-2, CASE 3 (MOD) SEE DETAIL 12 SHEET C-7 (UNDER SEPARATE PERMIT). CONTRACTOR TO SMOOTH FINISH THE INTERIOR OF R.C. BOX AT THE CONNECTION PER LACFCD STANDARD.
- INSTALL FILTERA 4x6' CATCH BASIN BY CONTECH OR EQUAL WITH TREE GRATE OR APPROVED EQUAL. SEE DETAIL 10 ON SHEET C-7. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED.
- INSTALL FILTERA 6x8' CATCH BASIN BY CONTECH OR EQUAL WITH TREE GRATE OR APPROVED EQUAL. SEE DETAIL 10 ON SHEET C-7. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED.
- REMOVE EXIST. SIDE OPENING C.B. AND CONST. GRATED C.B. (TRAVERSE) PER SPPWC STD 305-3 WITH 4 GRATES AND RECONNECT TO EXIST 54" R.C.P.
- CONST. 8" CURB (OR HEIGHT AS NOTED OTHERWISE) & 24" GUTTER PER DETAIL 9 ON SHEET C-7.
- REMOVE EXIST AC PAVEMENT DRIVEWAY PER SPPWC STD PLAN 110-2 MODIFIED AS SHOWN.
- REMOVE EXIST PAVEMENT AND BASE. CONST. MIN 3" AC PAVEMENT ON 9" A.B. PER SOILS ENGINEER RECOMMENDATION. FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER AT THE CONCLUSION OF GRADING.
- INSTALL "COOL PAVEMENT" PAVERS PER DETAIL 8 ON SHEET C-7.
- INSTALL 6" AREA DRAIN IN PLANTER WITH ATRIUM GRATE. TYP.
- 4" PVC ROOF DRAIN OUTLET THROUGH CURB, 4" PVC OVERFLOW DRAIN OUTLET ONTO NON-EROSIVE SURFACE, 1" MIN ABOVE FINISH SURFACE. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLAN P-8 PRIOR TO CONSTRUCTION.
- INSTALL 36" ADS OR CSP ELBOW.
- INSTALL 36" ADS OR CSP TEE.
- CONST. MANHOLE PER SPPWC STD 320-2.
- INSTALL 18"x18" C.B. (UNION BOX) BY BROOKS PRODUCTS OR EQUAL WITH SOLID COVER, TRAFFIC RATED.
- CONST. 3.5" WIDE C.B. PER SPPWC STD 300-3.
- INSTALL 4" PVC PIPE, S=1% MIN. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED. CONC. ENCASED IF LESS THAN 18" OF COVER WITHIN DRIVEABLE AREAS.
- INSTALL 18" PVC PIPE, S=1% MIN. IMPROVEMENTS ARE NOT TO BE MAINTAINED BY LACDPW / LACFCD. PRIVATELY MAINTAINED. CONC. ENCASED IF LESS THAN 18" OF COVER WITHIN DRIVEABLE AREAS.
- INSTALL 8" PVC PIPE S=1% MIN.
- INSTALL FILTERA 4x8' CATCH BASIN BY CONTECH OR EQUAL WITH TREE GRATE OR APPROVED EQUAL. SEE DETAIL 10 ON SHEET C-7.
- CONST MIN 4" WIDE CLR CONC WALK MIN 4" THICK ON MIN OF 4 INCHES OF SAND. REINFORCED WITH A MINIMUM OF NO. 3 BARS ON 24-INCH CENTERS IN EACH DIRECTION. REINFORCEMENT SHOULD BE PLACED AT MID-DEPTH OF THE SLAB. SIDEWALKS MAY BE CONSTRUCTED OF NON-REINFORCED CONCRETE PROVIDED SIDEWALKS ARE CUT INTO SQUARE PANELS (I.E. 4 FOOT WIDE WALKS SHOULD BE CUT INTO 4 FOOT BY 4 FOOT SQUARES).
- CONST. CONC MIN 4" WIDE (OR WIDTH AS SHOWN ON PLAN) CONC CURB RAMP (NO HANDRAILS, CLEAR WIDTH = 48" MIN), 2% MAX CROSS SLOPE, 8.3% MAX ALONG RAMP WITH 12" MIN WIDE GROOVED BORDER AT THE LEVEL SURFACE AT THE TOP OF RAMP. SEE TYP GROOVING DETAIL 13 ON SHEET C-7.
- BIKE RACK. SEE ARCH AND/OR LANDSCAPE PLANS.
- LIGHT POLE, SEE ELECTRICAL AND STRUCTURAL PLANS.
- CONST CONC PAVEMENT MIN 4" THICK ON MIN OF 4 INCHES OF SAND. REINFORCED WITH A MINIMUM OF NO. 3 BARS ON 24-INCH CENTERS IN EACH DIRECTION. REINFORCEMENT SHOULD BE PLACED AT MID-DEPTH OF THE SLAB. SIDEWALKS MAY BE CONSTRUCTED OF NON-REINFORCED CONCRETE PROVIDED SIDEWALKS ARE CUT INTO SQUARE PANELS.

- APPROVED PERMITS FOR CONSTRUCTION:**
- Grading/Drainage Permit - UNC-GRAD200730000366
 - Flood Control Overbuild & Connect to County Storm Drain - FCDP2020000372
 - Fire Department Plan - FEP2021-0034
 - Building Permit - UNC BLDG200821000839
 - Electrical Permit - UNC ELEC201222007823
 - Mechanical Permit - UNC MECH201222004110
 - Plumbing Permit - UNC PLMB201222004069
 - Trash Enclosure Building Permit - UNC BLDG201105000010
 - Landscape Water Efficiency Plan - EIMP2021000007
 - Landscape Water Efficiency Permit - UNC BLDG210414000545
 - Retaining Wall Permit - Soil nail walls, permanent - UNC BLDG201107000017
 - Shoring Wall Permit, Soil nail walls, temporary - UNC BLDG210107000018

- NOTE:**
- SITE HAS BEEN ROUGH GRADED AND ALL SITE RETAINING WALLS HAVE BEEN CONSTRUCTED
 - PRIVATE SEWER & WATER LINES HAVE BEEN CONNECTED TO LVMMWD SEWER AND WATER MAIN AND INSPECTED BY LVMMWD.
 - BUILDING UNDER CONSTRUCTION PER BLDG PERMIT 200821000839
 - SEE LIST OF PERMIT HEREON ISSUED FOR CONSTRUCTION.
 - NO ADDITIONAL GRADING OR EARTHWORK IS REQUIRED FOR THIS TENTATIVE MAP AS APPROVED PER CUP AND APPROVED GRADING PERMIT.
 - THERE ARE NO CHANGES REQUESTED OR NEEDED TO IMPROVEMENTS PER APPROVED CUP.
 - DRAINAGE IMPROVEMENTS NOT TO BE MAINTAINED BY LACFCD.
 - THE OPEN SPACE EASEMENT (PER RCUP-201500096#) WILL BE RECORDED AND REFERENCED ON THE FINAL MAP PRIOR TO FINAL MAP APPROVAL.

**PROP PARCEL 1
SITE GRADING / DRAINAGE
AND FIRE ACCESS PLAN**

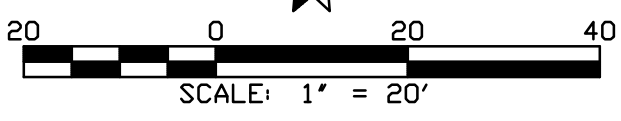
<p>PREPARED BY: ID# Westcord.Calabasas/TentPM</p> <p align="center">WESTLAND CIVIL, INC. CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS 101 HODGENS CAMP RD, SUITE 216, THOUSAND OAKS, CA, 91360 (805) 495-1330 FAX: (805) 446-9125</p> <p align="right">DONALD G. WAITE 06/04/2024 DATE</p>	<p>DESIGNED BY: MN</p> <p>CHECKED BY: DW</p> <p>DRAWN BY: MN</p> <p>SCALE:</p> <p>SHEET NO. 1 OF 7</p>
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ABBREVIATIONS	LEGEND
A.C. ASPHALTIC CONCRETE	PROPERTY LINE
A.D. AREA DRAIN	EXIST. RETAINING WALL PER PERMIT BLDG210107000017
B.C. BEGIN CURVE	CONSTRUCTED SCREEN WALL
C.F. CURB FACE	CONSTRUCTED COMBINATION WALL (RET. & SCREEN)
C.O. CLEAN OUT	FLOW LINE
CONC. CONCRETE	EXIST. CONTOUR
D.L. DAWLIGHT	GRADE BREAK
D.I.A. DIAMETER	W.I. FENCE
EG. EXISTING GRADE	PROP. ELECTRICAL CONDUIT PER SCE PLAN
E.P. EDGE OF PAVEMENT	FIRE HYDRANT
F.D.C. FIRE DEPT. CONNECTION	BLOW-OFF
F.F. FINISHED FLOOR	SIGN
F.G. FINISHED GRADE	EXIST. PARKING LIGHT
F.H. FIRE HYDRANT	PROP. PARKING LIGHT
F.L. FLOW LINE	TREE DRIP LINE OR HEDGE
F.S. FINISHED SURFACE	NEW CONC. PAVEMENT ON BASE
GB. GRADE BREAK	NEW A.C. PAVEMENT ON BASE
GM. GAS METER	PROP. ELEVATION
H.P. HIGH POINT	EXIST. ELEVATION
INV. INVERT	PROP. GRADE
L.F. LINEAL FEET	CATCH BASIN, SIZE AS NOTED
M.H. MANHOLE	PROP. STORM DRAIN PIPE
O.H.E. OVER HEAD WIRE	FIRE DEPT VEHICULAR ACCESS ROAD AND TURNAROUND
O.R. OFFICIAL RECORD	INCOMPRESSIBLE FOAM & SLURRY FILL OVER BOX CULVERT
P.C.C. PORTLAND CEMENT CONCRETE	PROP. WATER LINE
P.L. PROPERTY LINE	PROP. SEWER LINE
P.V.C. POLYVINYL CHLORIDE	FIRE DEPT FOOT ACCESS
P.V.M.T. PAVEMENT	
R. RIDGE	
R.D. ROOF DRAIN	
S. SEWER	
S.D. SUB DRAIN	
ST. STA. STREET STATION	
T.C. TOP OF CURB	
T.G. TOP OF GRATE	
T.O.P. TOP OF PIPE	
T.O.P. TOP OF WALL	
W.M. WATER METER	
W.V. WATER VALVE	
W.I.FENCE. WROUGHT IRON FENCE	

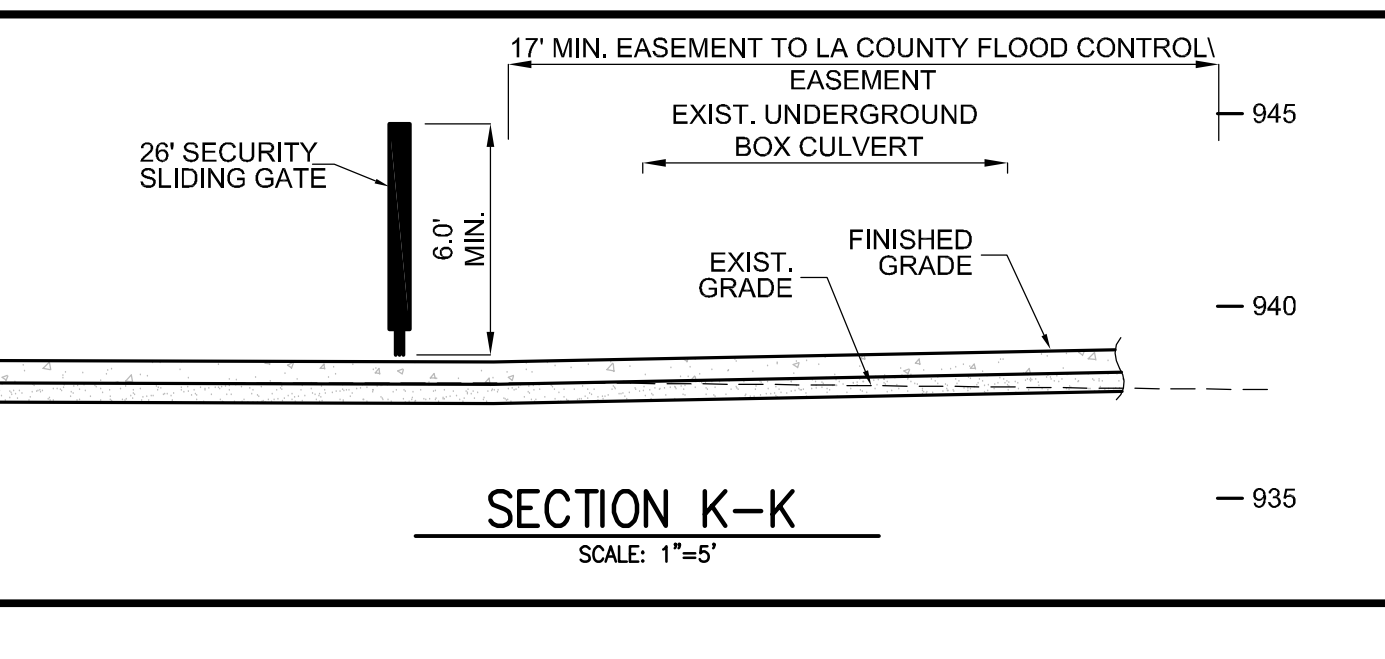
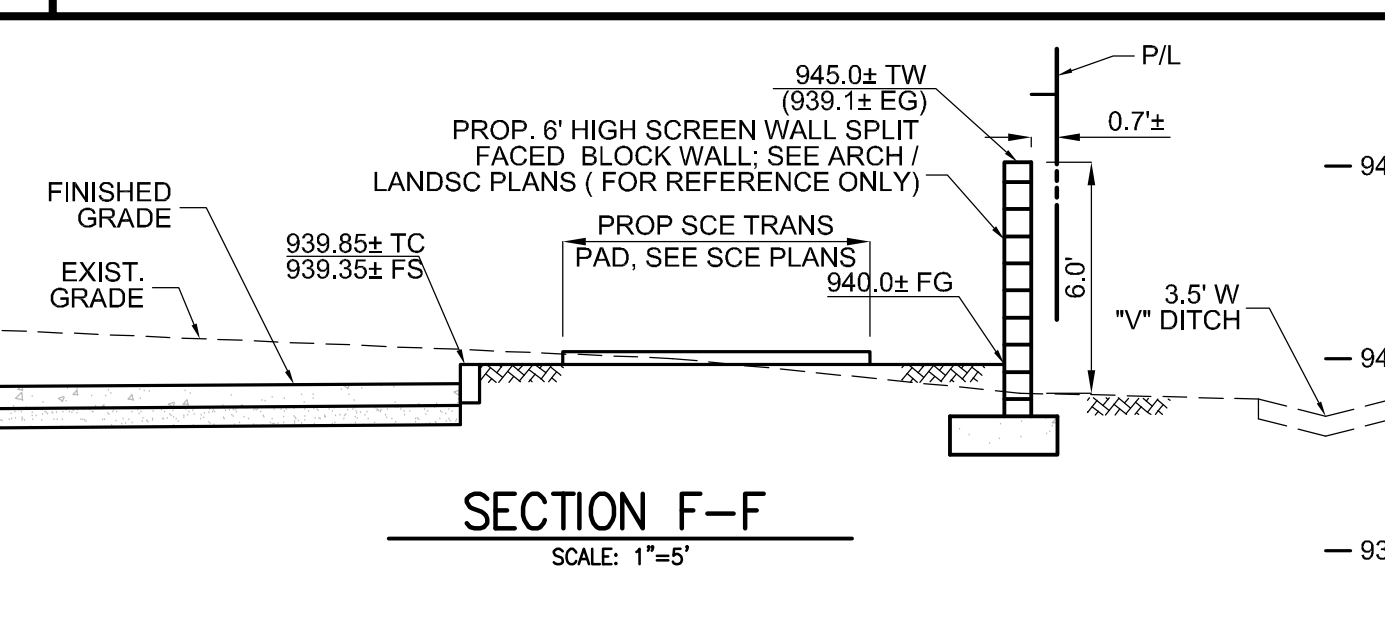
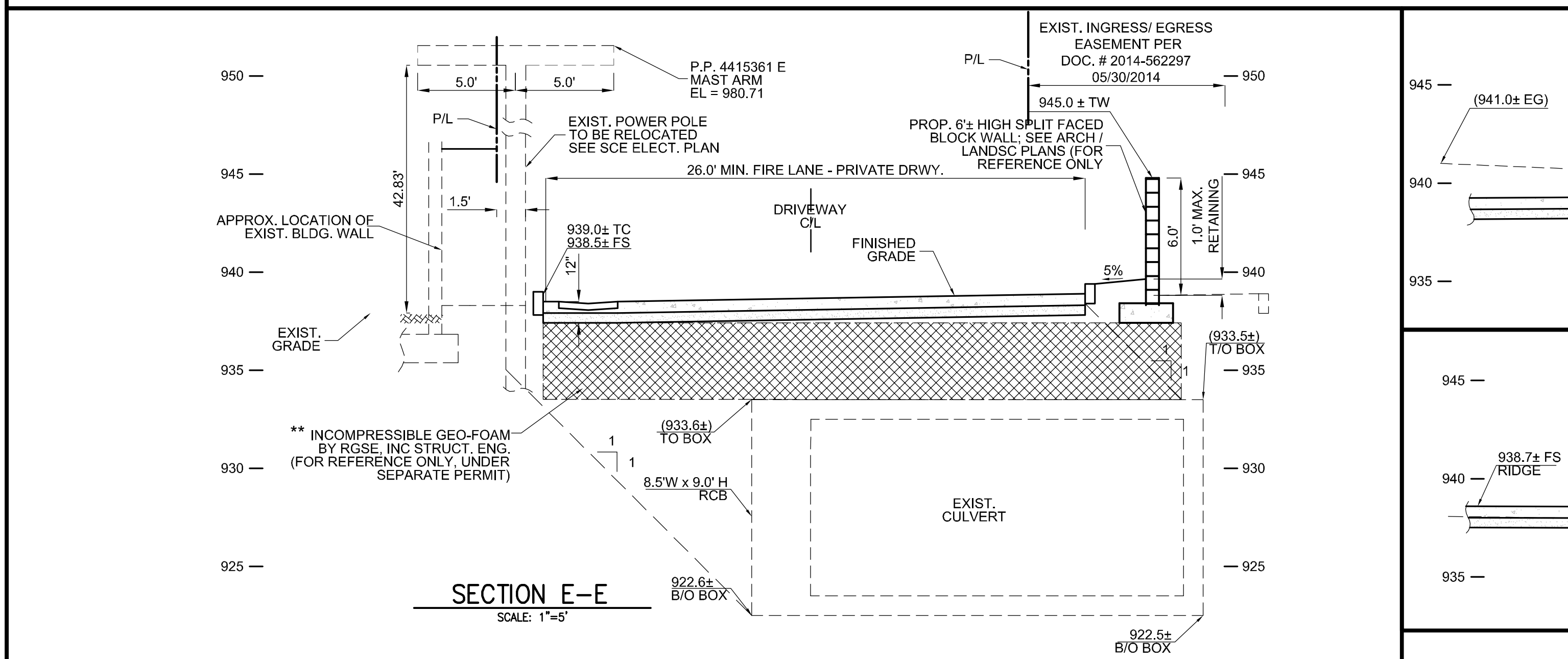
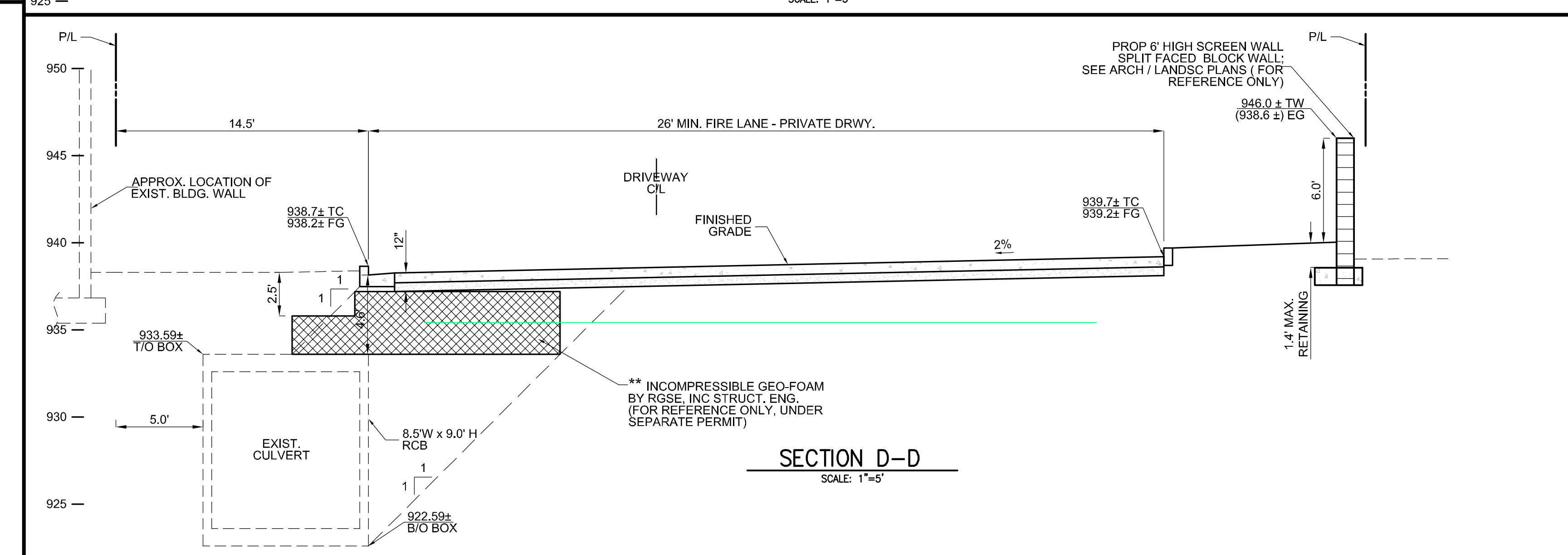
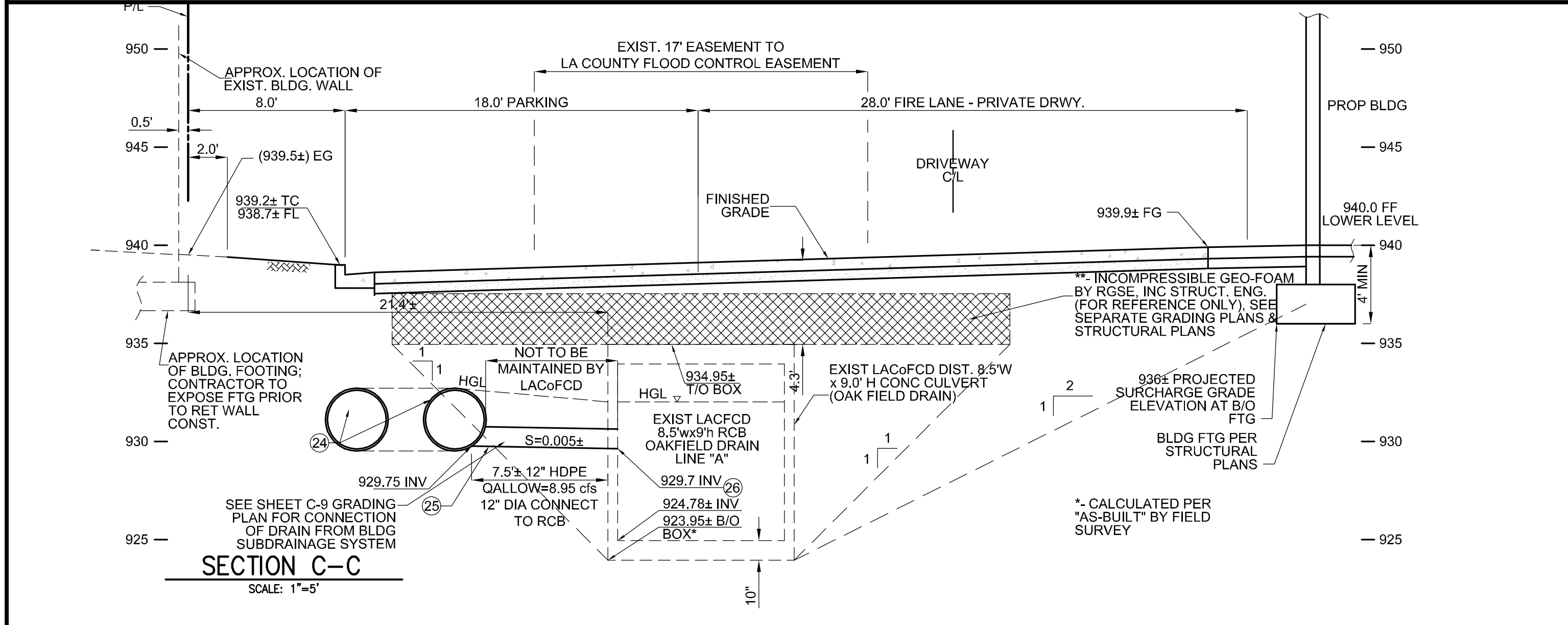
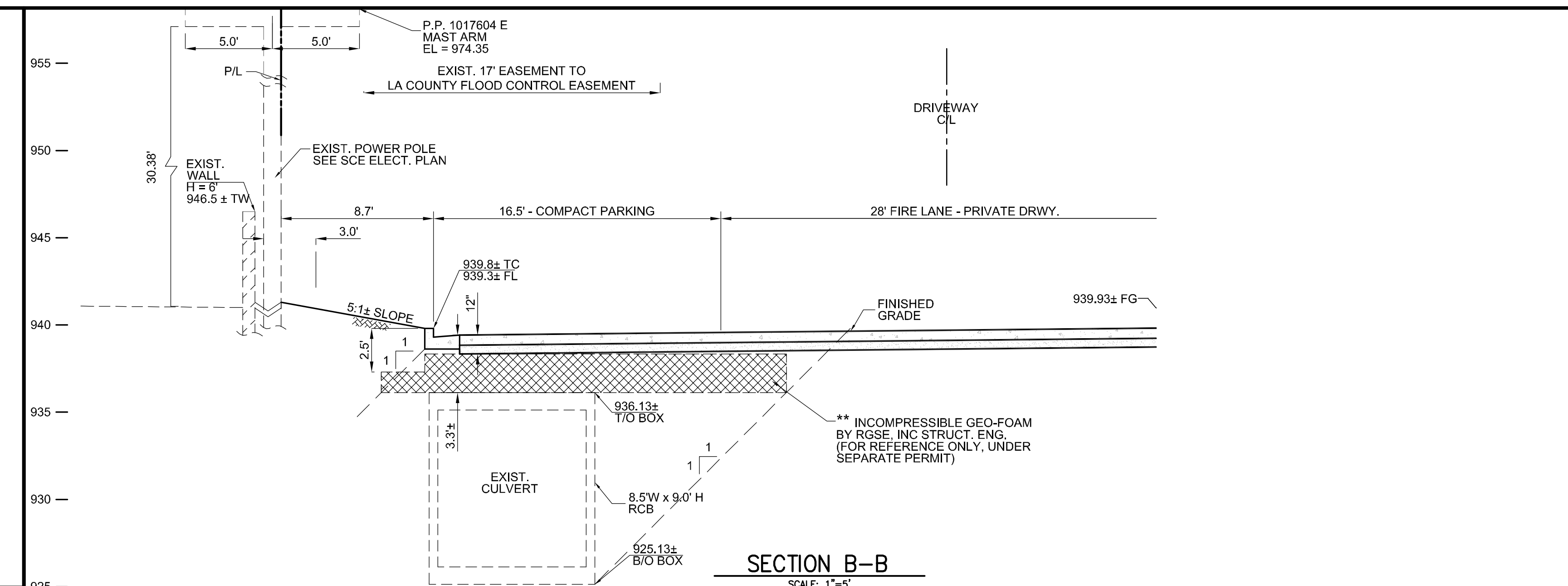
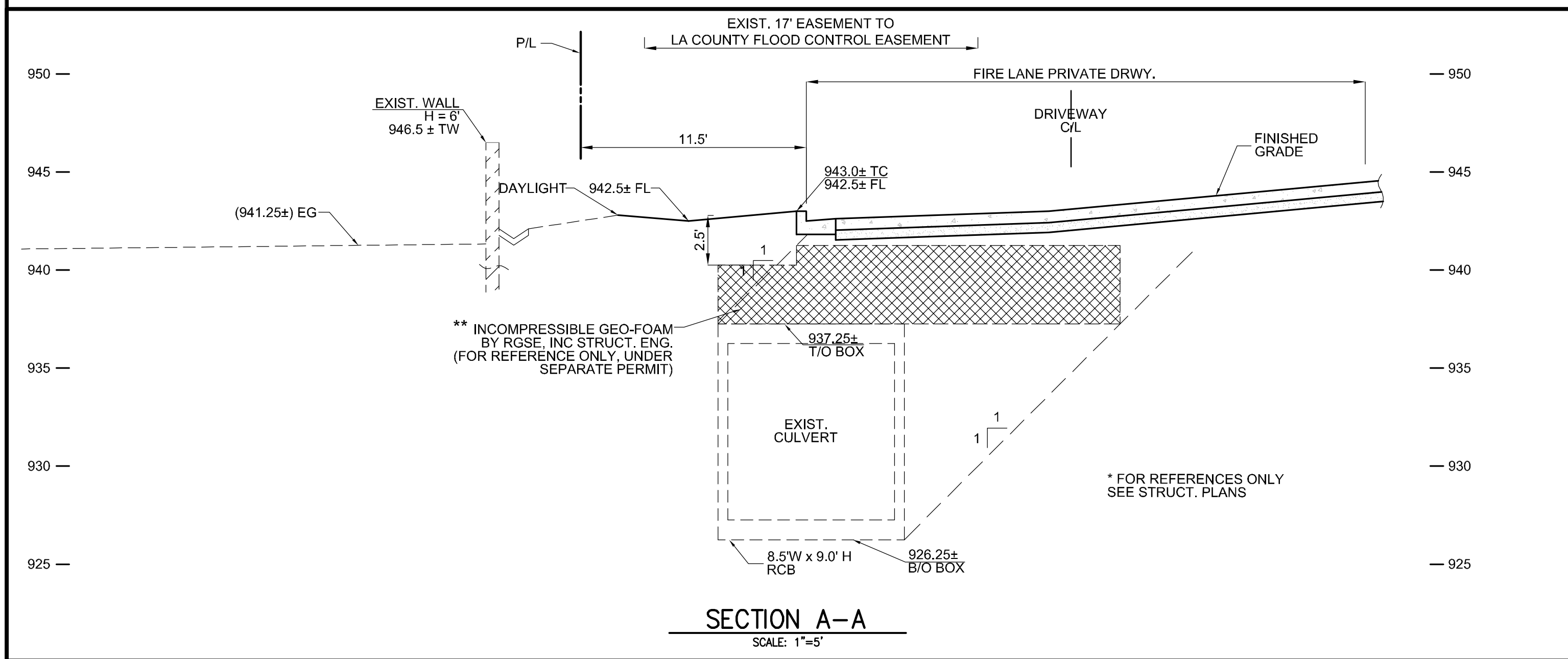
**LOS ANGELES DEPARTMENT OF
REGIONAL PLANNING
7/24/24
EXHIBIT MAP PM073305**

**RPPL2023004981
County of Los Angeles
Fire Department
Fire Prevention Division
Land Development Unit
CLEARED FOR
PUBLIC HEARING**

PROPOSED SCOPE OF WORK:
 CONVERT EXISTING LEASE SPACE UNITS (CURRENTLY UNDER CONSTRUCTION) TO CONDOMINIUM UNITS FOR SALE.
 ONE PARCEL SUBDIVISION PURPOSE ONLY.



"MINOR LAND DIVISION VESTING TENTATIVE PARCEL MAP #073305 (FOR INDUSTRIAL CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA" EXHIBIT MAP



**LOS ANGELES DEPARTMENT OF
REGIONAL PLANNING
7/24/24
EXHIBIT MAP PM073305**



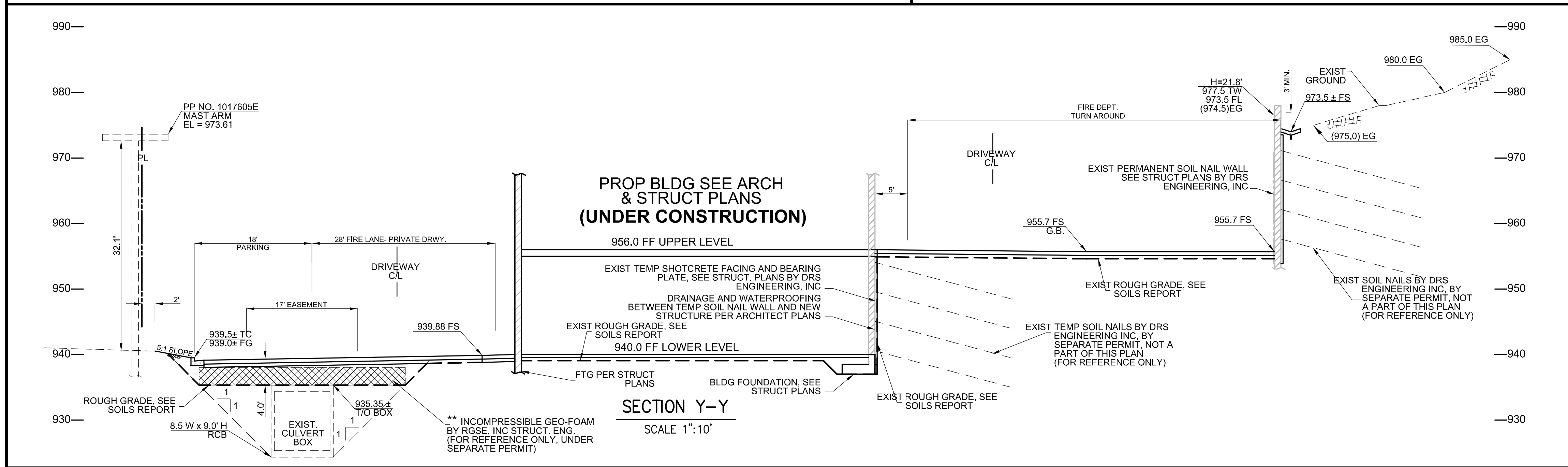
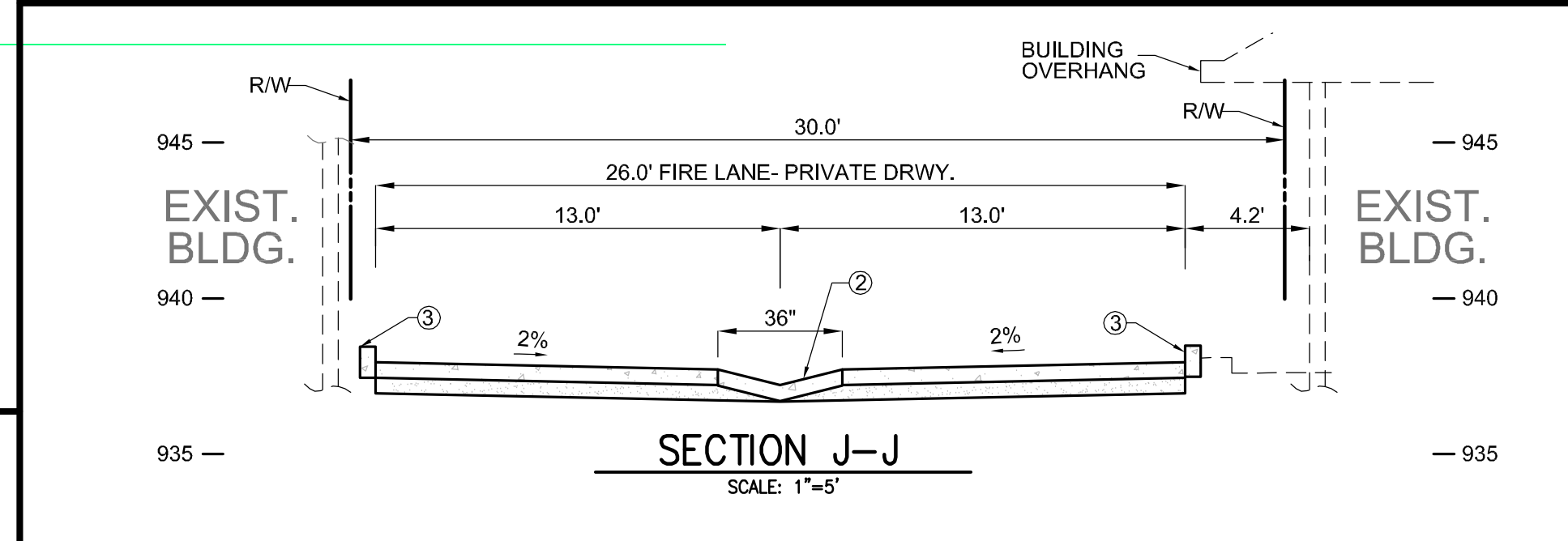
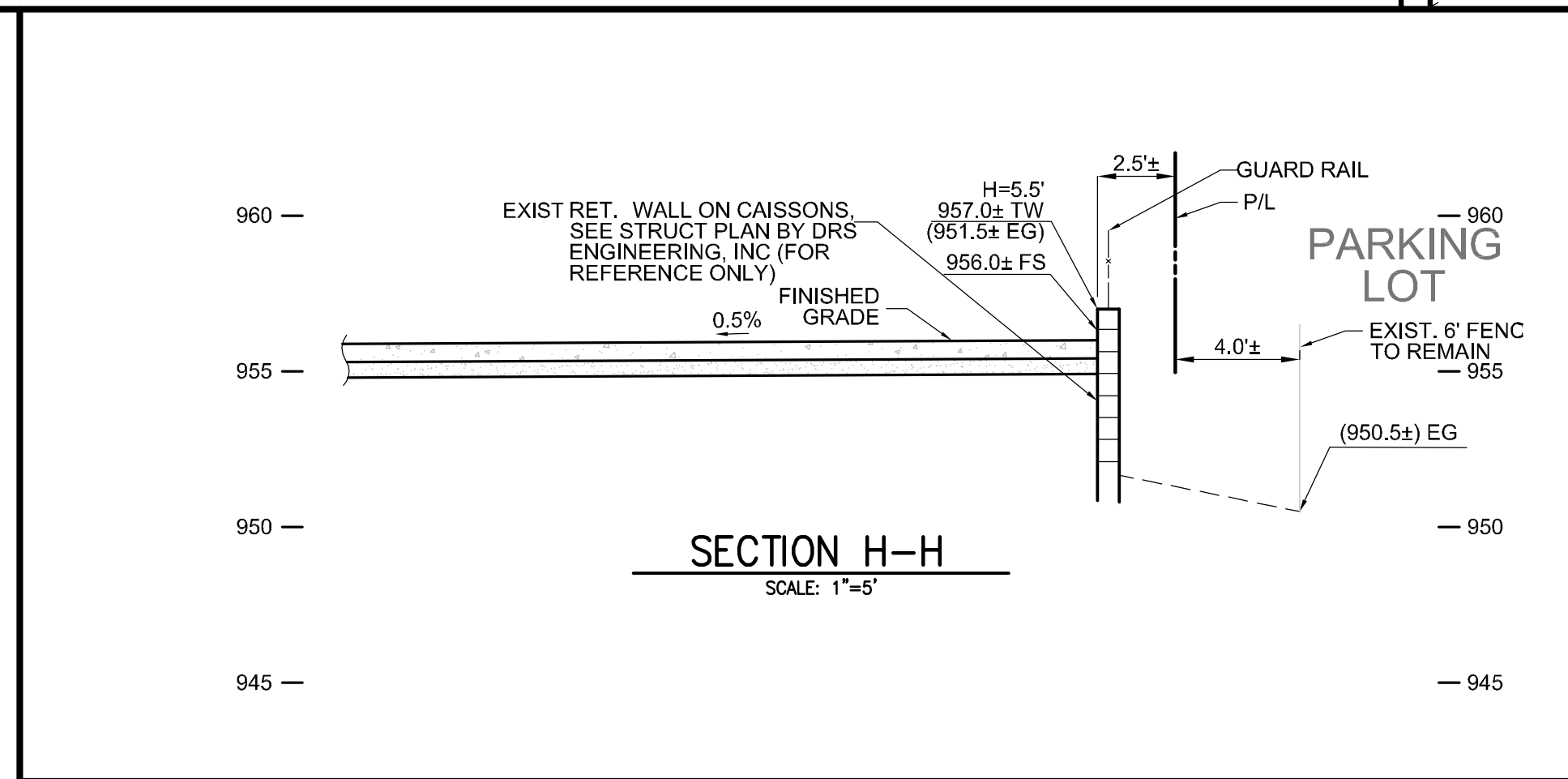
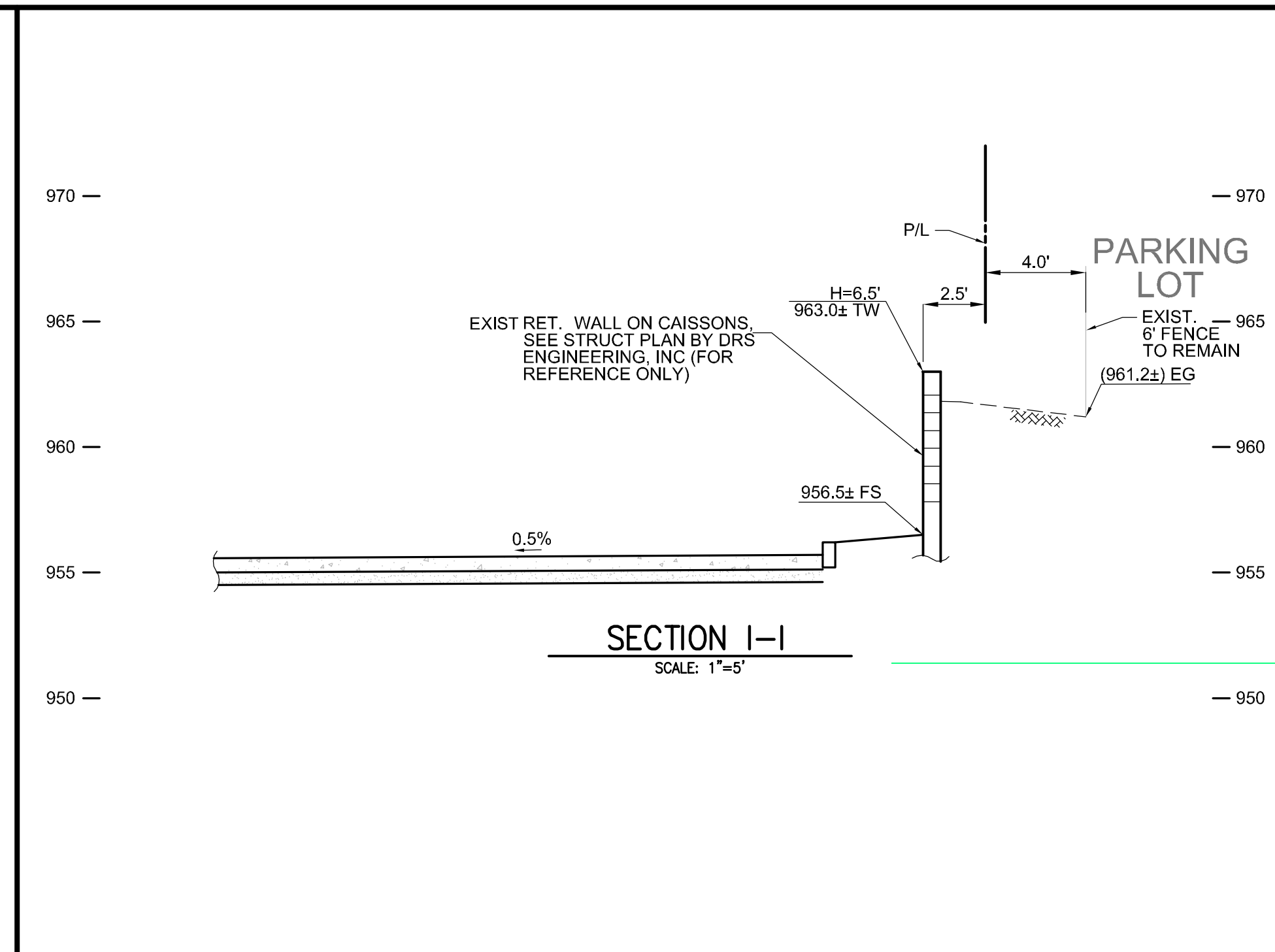
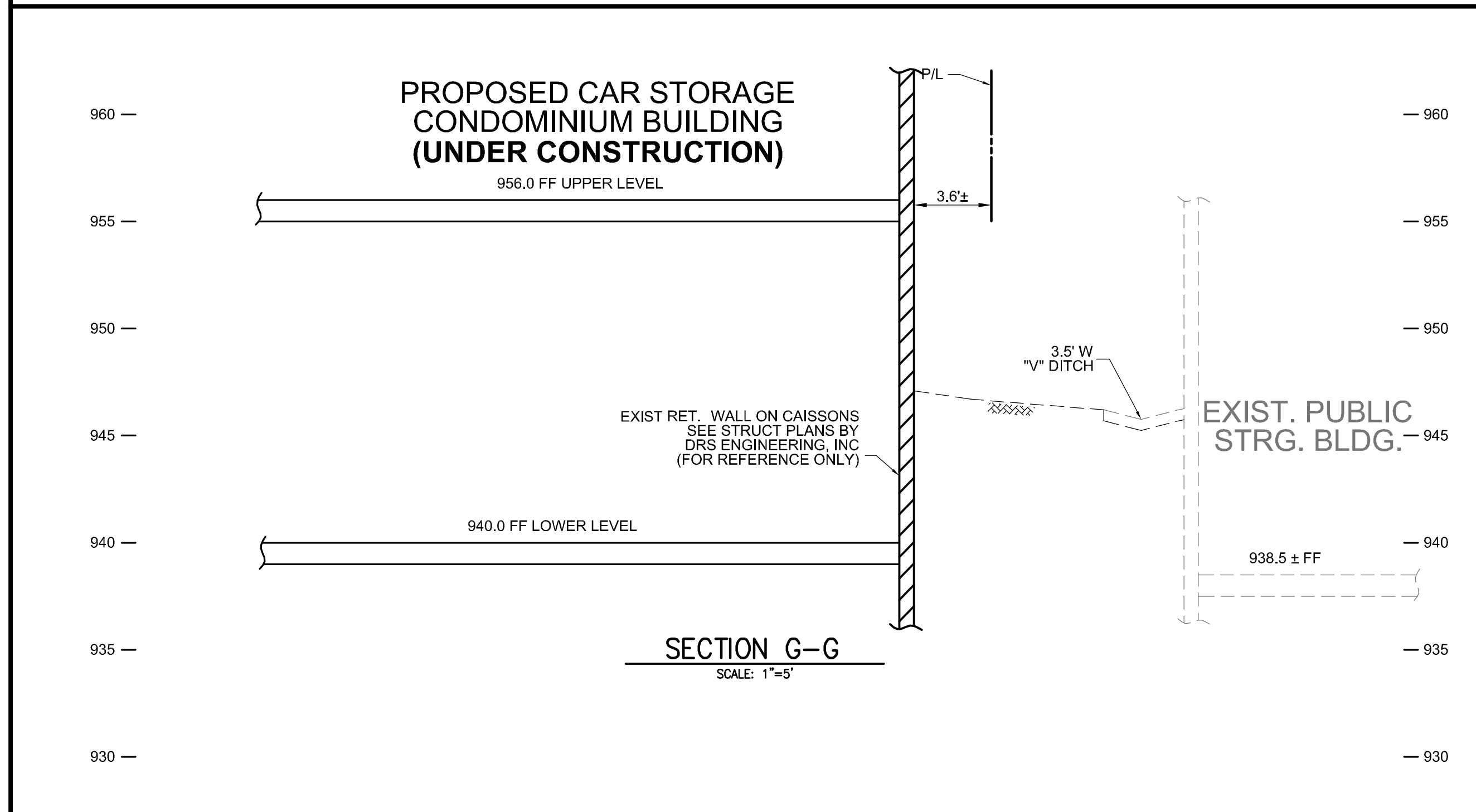
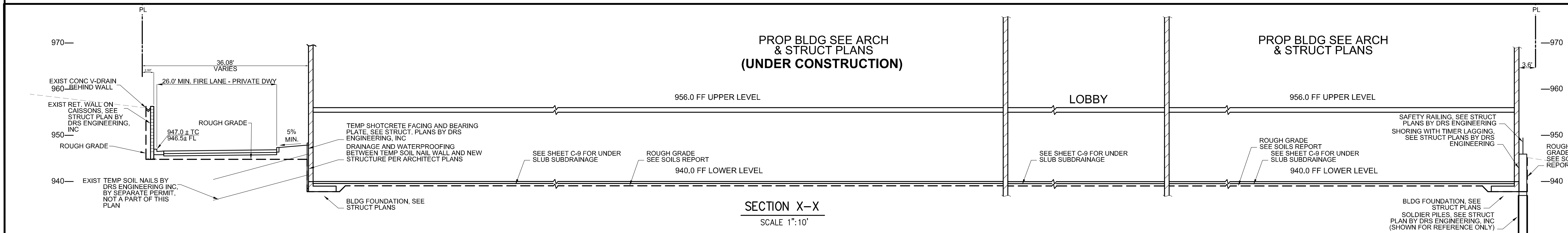
PREPARED BY: ID#: Westcord.Calabasas/TentPM
WESTLAND CIVIL, INC.
CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS
101 HODGENS RD., SUITE 216, THOUSAND OAKS, CA, 91360
(805) 495-1330 FAX: (805) 446-9125
DONALD G. WAITE
06/04/2024
DATE

**PROP PARCEL 1
CROSS SECTIONS**

DESIGNED BY: MN
CHECKED BY: DW
DRAWN BY: MN
SCALE:
SHEET NO.
2 OF 7

PREPARED FOR:
CALABASAS AUTO PARK, LLC
951 S Westlake Blvd #101,
Westlake Village, CA 91361
PH: (805) 497-4557
ATTN: Mr. Tony Principe

**"MINOR LAND DIVISION
VESTING TENTATIVE PARCEL MAP #073305
(FOR INDUSTRIAL CONDOMINIUM PURPOSES)
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**LOS ANGELES DEPARTMENT OF
REGIONAL PLANNING
7/24/24
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**PROP PARCEL 1
CROSS SECTIONS**

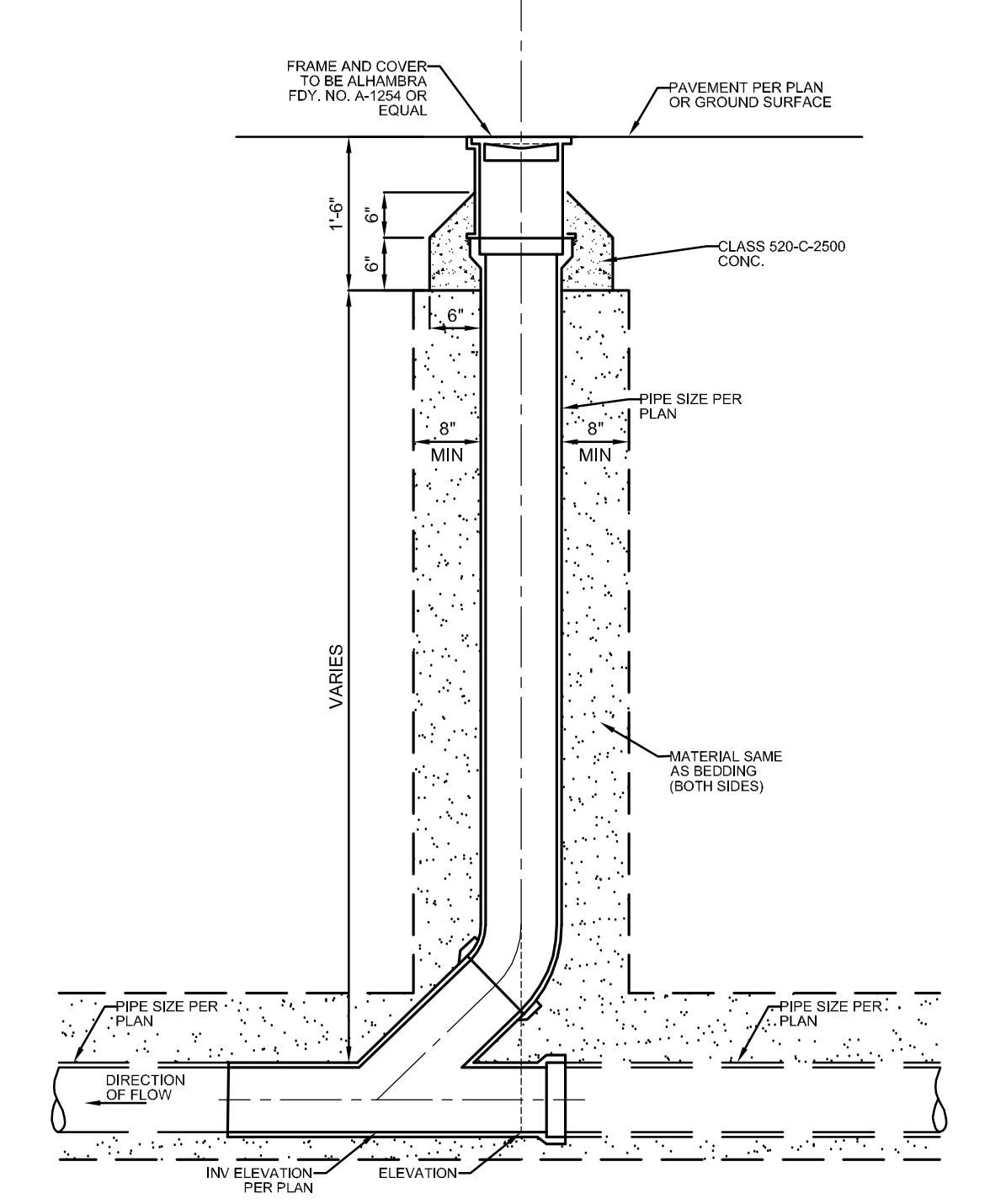
<p>PREPARED BY: WESTLAND CIVIL, INC. CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS 101 HODDGENS RD., SUITE 216, THOUSAND OAKS, CA, 91360 (805) 495-1330 FAX: (805) 446-9125 DONALD G. WAITE</p>	<p>ID#: Westcord.Calabasas/TentPM</p> <p>PREPARED FOR: CALABASAS AUTO PARK, LLC 951 S Westlake Blvd #101, Westlake Village, CA 91361 PH: (805) 497-4557 ATTN: Mr. Tony Principe</p>	<p>DESIGNED BY: MN</p> <p>CHECKED BY: DW</p> <p>DRAWN BY: MN</p> <p>SCALE:</p> <p>SHEET NO. 3 OF 7</p>
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"MINOR LAND DIVISION VESTING TENTATIVE PARCEL MAP #073305 (FOR INDUSTRIAL CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA" EXHIBIT MAP



UTILITIES LEGEND:

- (W) ——— EXIST WATER LINE
- (S) ——— EXIST SEWER LINE
- E ——— EXIST ELECT. LINE
- T ——— EXIST TELEPHONE LINE
- G ——— EXIST GAS LINE
- (VERBON) ——— EXIST VERIZON CONDUIT
- (CATV) ——— EXIST TIME WARNER CONDUIT
- TS ——— EXIST TRAFFIC SIGNAL CONDUIT
- OHE ——— EXIST OVERHEAD WIRES
- D ——— PROP DRAINAGE LINE
- S ——— PROP SEWER LINE
- DW ——— PROP DOMESTIC WATER LINE
- FW ——— PROP FIRE WATER SERVICE LINE
- E ——— PROP ELECT. LINE
- G ——— PROP GAS LINE
- SD ——— PROP SUBDRAIN FOR INFILTRATION



- NOTE: ITEM 1 HAS BEEN CONSTRUCTED** →
- NOTE: ITEMS 10 & 11 HAVE BEEN CONSTRUCTED** →
- SEWER CONSTRUCTION NOTES:**
- 1 JOIN EXIST 10" V.C.P. SEWER LINE (LVMWD TRUNK SEWER) WITH CUT IN WYE SADDLE CONNECTION PER LA COUNTY PW STD 2025-2. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO CONSTRUCTION. SEE DETAIL "A" HEREON & PER APPROVED LVMWD PLANS.**
 - 2 INSTALL ON-SITE 6" PVC SDR 35 SEWER LATERAL PER LOS ANGELES PLUMBING CODE. S=1% MIN. CONTRACTOR TO VERIFY WITH PLUMBING PLANS SHEET P-2 POINT OF CONNECTION TO THE BUILDING PRIOR TO CONSTRUCTION.
 - 3 CONSTRUCT SEWER CLEANOUT AT MAX 100' INTERVAL. SEE TYP DETAIL HEREON.
 - 4 SEWER LATERAL P.O.C. TO THE BUILDING. CONTRACTOR TO VERIFY P.O.C AND INV ELEVATION WITH PLUMBING PLANS PRIOR TO INSTALLATION.
 - 5 SEWER 6" MIN CLEARANCE FROM T/O UNDERGROUND BOX CULVERT. PROVIDE SAND BASE BELOW THE PIPE.
 - 6 INSTALL 6" x 6" WYE & 45° ELBOW.
- WATER CONSTRUCTION NOTES:**
- 10 OPEN CUT AND INSTALL 6 x 6 x 8 TEE WITH ADAPTER FLANGES TO EXIST 6" WATER SERVICE WITH 2" SERVICE AND 2" VALVE. SEE APPROVED BY THE LVMWD PLANS**.
 - 11 INSTALL 2" SERVICE FROM MAIN TO METER, 2 1/2" SERVICE FROM METER.
 - 12 PROP. 2" METER (IN DRW BOX BODY MODEL DDFW1640C412BODY AND LID MODEL SP-DDFW1640C4FLID) AND 2" DOMESTIC SERVICE. SEE APPROVED LVMWD PLANS**.
 - 13 SEE PLUMBING PLANS SHEET P-4 P.O.C. TO THE BLDG PRIOR TO CONSTRUCTION.
 - 14 3/4" IRRIGATION SUBMETER
 - 15 SEE SEPARATE APPROVED FIRE WATER PLANS BY L.A.Co.F.D.**
 - 16 INSTALL 2 1/2" BACKFLOW DEVICE WILKINS OR EQUAL.
 - 17 INSTALL 2 1/2" WILKINS YSBR PRESSURE REGULATING VALVE (PRV) OR EQUAL. MODEL LF009LF.
- * - CONTRACTOR TO APPLY FOR SEPARATE PERMIT WITH LACO PW ALHAMBRA OFFICE.
** - FOR REFERENCE ONLY, NOT A PART OF THIS PLAN OR PERMIT.

**LOS ANGELES DEPARTMENT OF
REGIONAL PLANNING
7/24/24
EXHIBIT MAP PM073305**



**PROP PARCEL 1
PRIVATE SEWER, DOMESTIC WATER
COMPOSITE UTILITY PLAN**

<p>PREPARED BY: ID#: Westcord.Calabasas/TentPM</p> <p style="text-align: center;">WESTLAND CIVIL, INC. CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS 101 HODGENS RD, SUITE 216, THOUSAND OAKS, CA, 91360 (805) 495-1330 FAX: (805) 446-9125</p> <p style="text-align: right;">DATE: 06/04/2024</p>	<p>PREPARED FOR: CALABASAS AUTO PARK, LLC 951 S Westlake Blvd #101, Westlake Village, CA 91361 PH: (805) 497-4557 ATTN: Mr. Tony Principe</p>	<p>DESIGNED BY: MN CHECKED BY: DW DRAWN BY: MN</p> <p>SCALE:</p> <p>SHEET NO. 4 OF 7</p>
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**"MINOR LAND DIVISION
VESTING TENTATIVE PARCEL MAP #073305
(FOR INDUSTRIAL CONDOMINIUM PURPOSES)
LOCATED IN THE UNINCORPORATED TERRITORY OF
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA"
"EXHIBIT MAP"**

EXHIBIT "A" – LEGAL DESCRIPTION

LEGAL DESCRIPTION PER FIRST CHICAGO TITLE COMPANY TITLE REPORT #00040233-994-X59 DATED JUNE 11, 2015.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF PARCEL 45, AS SHOWN ON MAP FILE IN BOOK 65 PAGE 28 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BEGINNING AT THE NORTHWEST CORNER OF SAID PARCEL; THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL, NORTH 89° 58' 52" EAST 190.00 FEET; THENCE SOUTH 63° 05' 05" EAST, 609.39 FEET ALONG THE NORTHEASTERLY LINE OF SAID PARCEL TO THE TRUE POINT OF BEGINNING OF THIS PARCEL; THENCE ALONG THE NORTHEASTERLY LINE OF SAID PARCEL,

1ST: SOUTH 27° 51' 06" EAST, 528.91 FEET; THENCE LEAVING SAID NORTHEASTERLY LINE,

2ND: SOUTH 62° 08' 54" WEST 77.09 FEET; THENCE,

3RD: SOUTH 27° 51' 06" EAST 252.77 FEET; THENCE,

4TH: SOUTH 17° 58' 15" WEST 165.79 FEET TO THE NORTHWESTERLY LINE OF VENTURA BOULEVARD; THENCE SOUTHWESTERLY ALONG SAID LINE,

5TH: SOUTH 62° 08' 54" WEST 624.48 FEET; THENCE,

6TH: NORTH 27° 51' 06" WEST 42.00 FEET; THENCE,

7TH: NORTH 62° 08' 54" EAST 293.00 FEET TO A TANGENT CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 15.00 FEET; THENCE,

8TH: NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 23.56 FEET THROUGH A CENTRAL ANGLE OF 90° 00' 00"; THENCE LEAVING SAID CURVE,

9TH: NORTH 27° 51' 06" WEST 18.00 FEET TO A TANGENT CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 210.00 FEET; THENCE,

10TH: NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 202.41 FEET THROUGH A CENTRAL ANGLE OF 55° 13' 28"; THENCE LEAVING SAID CURVE,

11TH: NORTH 83° 04' 34" WEST 65.28 FEET TO A TANGENT CURVE CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 210.00 FEET; THENCE,

12TH: SOUTHWESTERLY ALONG SAID CURVE TO A POINT AN ARC DISTANCE OF 340.16 FEET THROUGH A CENTRAL ANGLE OF 92° 48' 34" THENCE LEAVING SAID CURVE,

13TH: NORTH 58° 08' 11" WEST 65.83 FEET TO A POINT ALONG A CURVE CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 270.00 FEET; THENCE,

14TH: NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 368.55 FEET THROUGH A CENTRAL ANGLE OF 78° 12' 29"; THENCE,

15TH: NORTH 00° 01' 08" WEST 524.22 FEET TO A TANGENT CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 179.45 FEET, A RADIAL BEARING OF SAID CURVE AT SAID POINT BEING SOUTH 89° 59' 01" WEST; THENCE,

16TH: NORTHERLY ALONG SAID CURVE AN ARC DISTANCE OF 74.06 FEET THROUGH A CENTRAL ANGLE OF 23° 38' 51"; THENCE,

17TH: SOUTH 89° 58' 52" EAST 75.07 FEET; THENCE,

18TH: SOUTH 00° 01' 08" EAST 484.13 FEET; THENCE,

19TH: SOUTH 88° 03' 25" EAST 20.25 FEET; THENCE,

20TH: SOUTH 00° 01' 08" EAST 118.41 FEET; THENCE,

21ST: SOUTH 83° 04' 34" EAST 22.74 FEET, A TANGENT CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 270.00 FEET; THENCE,

22ND: SOUTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 260.24 FEET THROUGH A CENTRAL ANGLE OF 55° 13' 28"; THENCE,

23RD: SOUTH 27° 51' 06" EAST 33.00 FEET; THENCE,

24TH: NORTH 62° 08' 54" EAST 256.75 FEET; THENCE,

25TH: NORTH 17° 08' 54" EAST 129.31 FEET; THENCE,

26TH: SOUTH 86° 52' 33" WEST 269.46 FEET; THENCE,

27TH: NORTH 66° 50' 59" WEST 91.00 FEET; THENCE,

28TH: NORTH 02° 36' 13" EAST 287.68 FEET; THENCE,

29TH: NORTH 89° 58' 52" WEST 100.00 FEET; THENCE,

30TH: NORTH 00° 01' 08" WEST 225.00 FEET; THENCE,

31ST: NORTH 42° 09' 42" EAST 258.43 FEET TO THE POINT OF BEGINNING.

SAID LAND IS DESCRIBED AS "PROPOSED PARCEL 2" IN THE CERTAIN INSTRUMENT ENTITLED "LOT LINE ADJUSTMENT RLLA 2010 00021", RECORDED DECEMBER 28, 2010 AS INSTRUMENT NO. 20101926209 OF OFFICIAL RECORDS,

APN: 2049-019-061, 033 & 034

EASEMENT EXCEPTIONS

LEGAL DESCRIPTION PER FIRST CHICAGO TITLE COMPANY TITLE REPORT #00040233-994-X59 DATED JUNE 11, 2015.

3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: DRAINAGE CHANNEL
RECORDING DATE: IN BOOK 42862 PAGE 344, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: POLES
RECORDING DATE: IN BOOK 44749 PAGE 264, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND.

5. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DECLARATION OF EASEMENT
RECORDING DATE: IN BOOK 35127 PAGE 199, OF OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DECLARATION OF EASEMENT
RECORDING DATE: IN BOOK 35689 PAGE 276, OF OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

9. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: INGRESS, EGRESS
RECORDING DATE: IN BOOK 44286 PAGE 131, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JUNE 7, 1954
RECORDING NO: 2387 IN BOOK 44749 PAGE 264, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PIPE LINES
RECORDING DATE: IN BOOK 50165 PAGE 439, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

12. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: IN BOOK 50211 PAGE 337, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

13. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: INGRESS, EGRESS
RECORDING DATE: JANUARY 20, 1959
RECORDING NO: 1739, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

14. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PIPE LINES
RECORDING DATE: APRIL 6, 1959
RECORDING NO: 2852, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

15. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: INGRESS, EGRESS
RECORDING DATE: APRIL 20, 1959
RECORDING NO: 1643, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PIPE LINE
RECORDING DATE: OCTOBER 23, 1959
RECORDING NO: 4187, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

17. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PIPE LINE
RECORDING DATE: DECEMBER 23, 1960
RECORDING NO: 2812, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

18. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PIPE LINE
RECORDING DATE: DECEMBER 12, 1963
RECORDING NO: 5343, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

19. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: SANITARY SEWER
RECORDING DATE: APRIL 5, 1974
RECORDING NO: 3392, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

20. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: SANITARY SEWER
RECORDING DATE: MARCH 13, 1979
RECORDING NO: 79-279182, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

21. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: COVERED STORM DRAIN
RECORDING DATE: APRIL 1, 1983
RECORDING NO: 83-363133, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

22. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: COVERED STORM DRAIN
RECORDING DATE: JUNE 14, 1983
RECORDING NO: 83-665882, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

23. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: STORM DRAIN
RECORDING DATE: FEBRUARY 4, 1986
RECORDING NO: 86-146373, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

25. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: INGRESS, EGRESS
RECORDING DATE: SEPTEMBER 9, 1999
RECORDING NO: 99-1709707, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

27. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR

PURPOSE(S): STREET AND HIGHWAY
RECORDING DATE: JULY 3, 2007
RECORDING NO: 2007-1590823, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

30. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: MAY 2, 2012
RECORDING NO: 2012-653960, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

35. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: INGRESS, EGRESS
RECORDING DATE: MAY 30, 2014
RECORDING NO: 2014-562297, OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

36. PROPOSED EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: OPEN SPACE CONSERVATION EASEMENT, NO DEVELOPMENT, GRADING OR AGRICULTURAL ACTIVITY
AFFECTS: A PORTION OF SAID LAND

**EASEMENT NOTE:
ALL EASEMENTS TO REMAIN UNLESS OTHERWISE NOTED.**

**LOS ANGELES DEPARTMENT OF
REGIONAL PLANNING
7/24/24
EXHIBIT MAP PM073305**



PREPARED BY: ID#: Westcord.Calabasas/TentPM
WESTLAND CIVIL, INC.
CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS
101 HOODS CAMP RD, SUITE 216, THOUSAND OAKS, CA, 91360
(805) 495-1330 FAX: (805) 446-9125
DONALD G. WAITE 06/04/2024 DATE

**PROP PARCEL 1
EASEMENTS AND
LEGAL DESCRIPTION**

PREPARED FOR:
CALABASAS AUTO PARK, LLC
951 S Westlake Blvd #101,
Westlake Village, CA 91361
PH: (805) 497-4557
ATTN: Mr. Tony Principe

DESIGNED BY: _____ MN
CHECKED BY: _____ DW
DRAWN BY: _____ MN
SCALE:
SHEET NO.
5 of 7

**"MINOR LAND DIVISION
VESTING TENTATIVE PARCEL MAP #073305
(FOR INDUSTRIAL CONDOMINIUM PURPOSES)
LOCATED IN THE UNINCORPORATED TERRITORY OF
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA"
"EXHIBIT MAP"**

PARCEL MAP BOUNDARY DATA

CURVE DATA					LINE DATA		
CURVE	DELTA	RADIUS	LENGTH	TANGENT	LINE	BEARING	DISTANCE
C1	89°59'56"	15.00'	23.56'	15.00'	L1	N 62°08'54" E	72.34'
C2	55°13'31"	210.00'	202.41'	109.84'	L2	N 27°51'06" W	42.00'
C3	92°48'14"	210.00'	340.16'	220.54'	L3	N 17°08'54" E	172.52'
C4	78°12'30"	270.00'	368.55'	219.46'	L4	N 27°51'03" W	18.01'
C5	40°08'57"	179.45'	125.75'	65.58'	L5	N 83°04'34" W	65.29'
C6	55°13'31"	270.00'	260.24'	141.23'	L6	N 58°08'05" W	65.82'
					L10	N 20°05'38" W	94.54'
					L11	N 15°25'50" W	133.09'
					L12	N 89°58'52" E	90.00'
					L13	N 00°01'08" W	225.00'
					L14	N 89°58'52" E	100.00'
					L15	N 02°35'44" E	287.81'
					L16	N 66°51'10" W	91.00'
					L17	N 86°52'39" E	269.45'
					L18	N 17°08'54" E	129.30'
					L19	N 62°06'54" E	256.75'
					L20	N 00°01'08" W	118.39'
					L21	N 88°03'26" W	19.96'
					L22	N 27°51'06" W	33.00'
					L23	N 89°58'41" W	49.93'
					L24	N 00°01'08" W	160.00'
					L25	N 89°58'41" W	130.02'
					L26	N 00°01'19" E	145.00'
					L27	N 89°58'52" E	74.87'

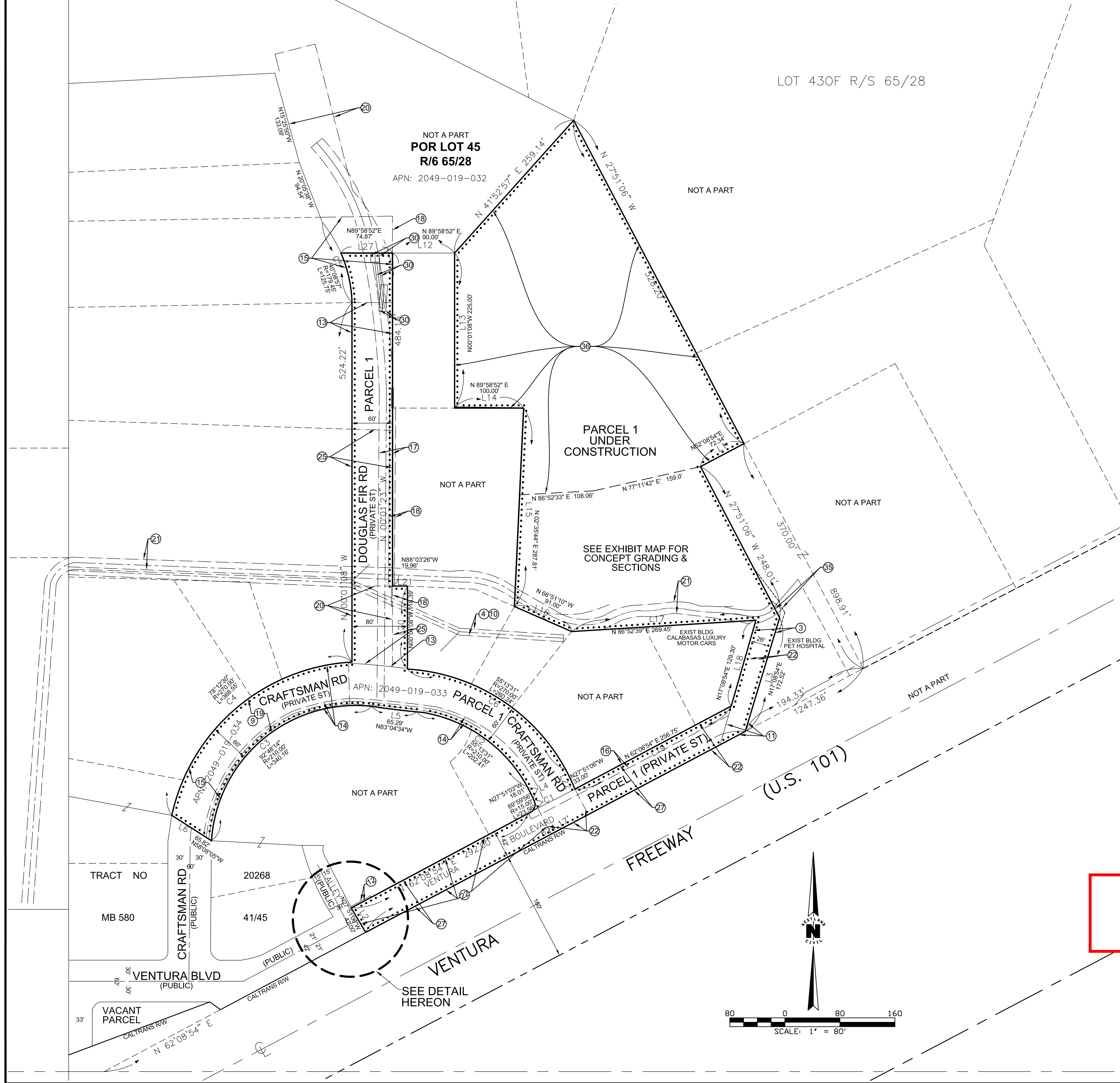
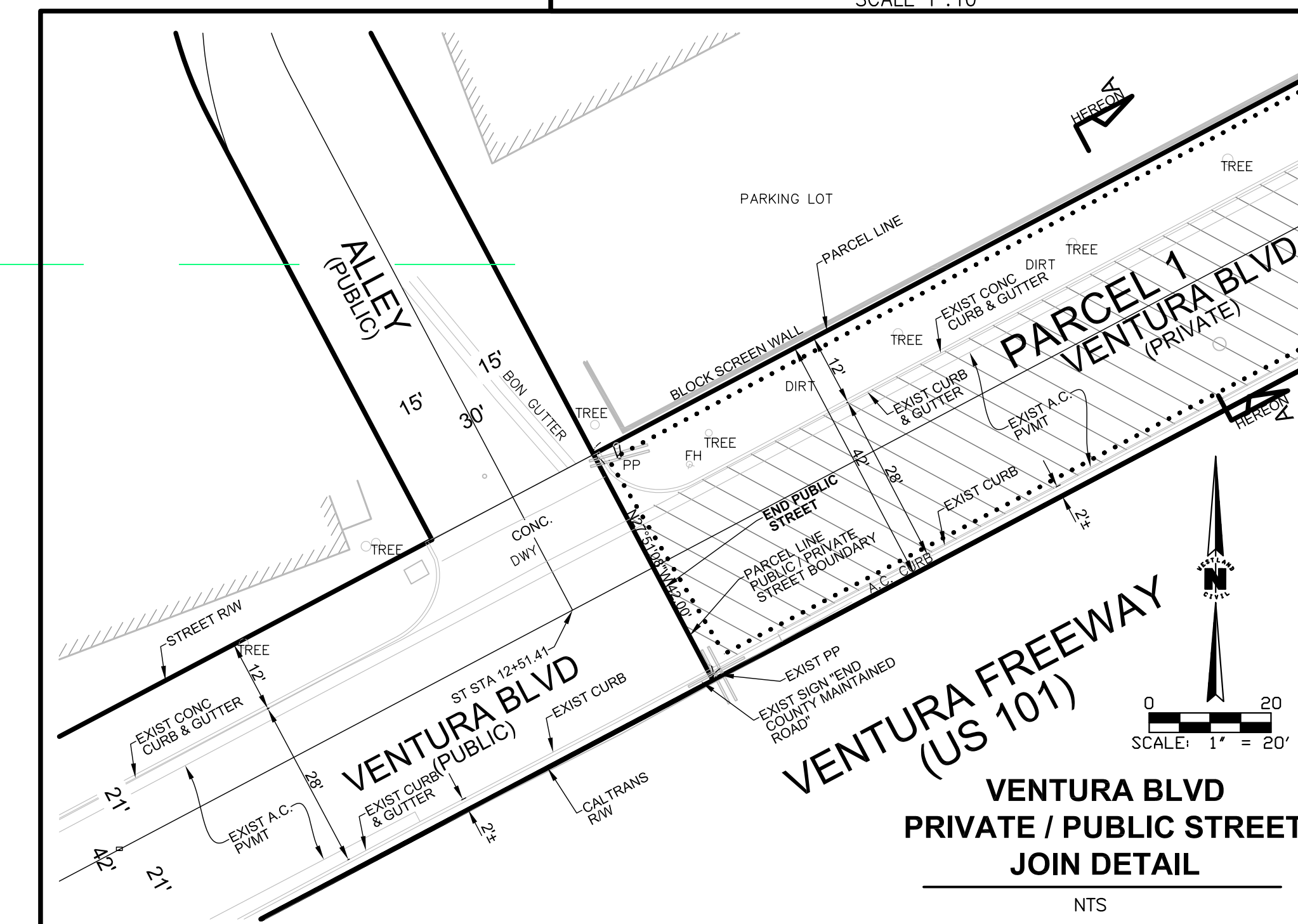
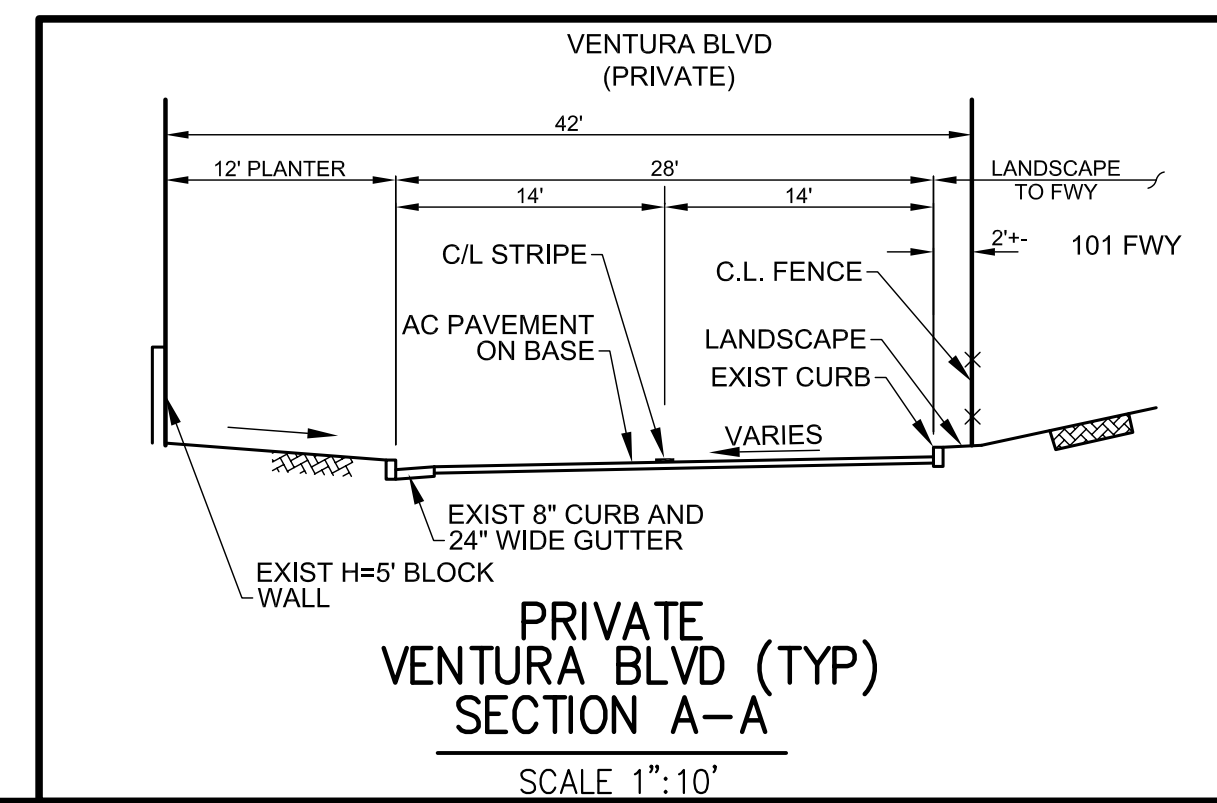
NOTE:
1. ALL IMPROVEMENTS ARE UNDER CONSTRUCTION PER GRADING PERMIT NO 20073000356 AND BUILDING PERMIT 200821000839.

LEGEND

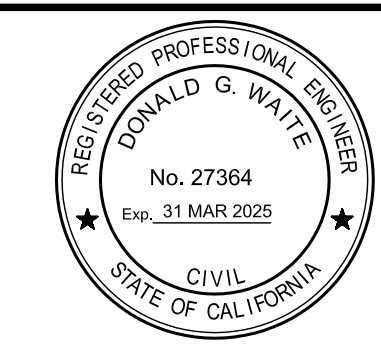
- PROPOSED LAND TO BE SUBDIVIDED FOR CONDO PURPOSES
- ② EXIST EASEMENT NO. SEE DESCRIPTION ON SHEET 1.

NOTES:

1. SEE LEGAL DESCRIPTION AND EASEMENT LEGEND ON SHEET 5.
2. ALL BOUNDARY MONUMENT WILL BE SET PRIOR TO RECORDING OF FINAL MAP.
3. SEE EXHIBIT MAP SHEET 1 FOR PROPOSED CONCEPT GRADING AND FIRE ACCESS.
4. THE PRESENT ZONING FOR THE SUBJECT PROPERTY IS "M-1" (LIGHT INDUSTRIAL ZONE).
5. WATER PURVEYOR IS LVMWD.
6. SEWER PURVEYOR IS LVMWD.
7. PUBLIC SEWER WILL BE UTILIZED.
8. ALL EASEMENTS TO REMAIN UNLESS OTHERWISE NOTED.
9. LAND USE CATEGORY COMMERCIAL.



LOS ANGELES DEPARTMENT OF REGIONAL PLANNING
7/24/24
EXHIBIT MAP PM073305

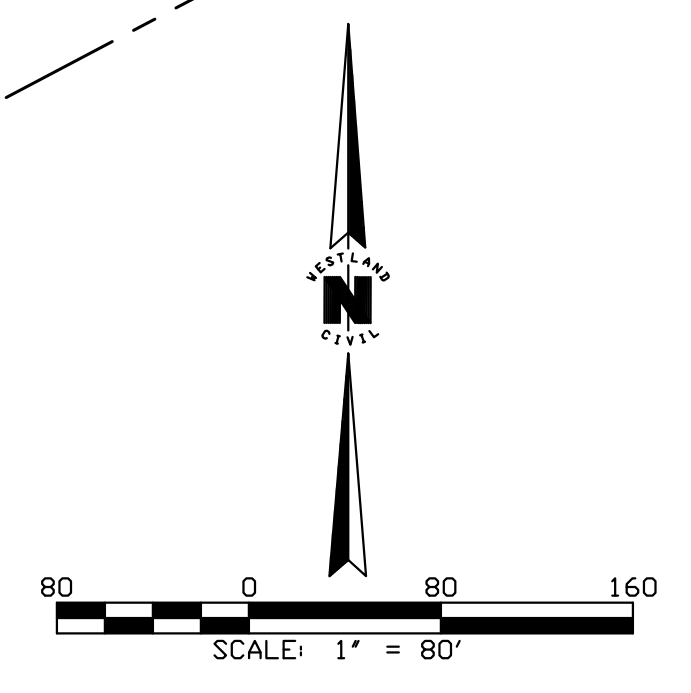


PROP PARCEL 1 BOUNDARY / EASEMENT MAP

PREPARED BY: ID# Westcord.Calabasas/TentPM
WESTLAND CIVIL, INC.
CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS
101 HOODENAMP RD, SUITE 216, THOUSAND OAKS, CA, 91360
(805) 495-1330 FAX: (805) 446-9125
DONALD G. WAITE 06/04/2024 DATE

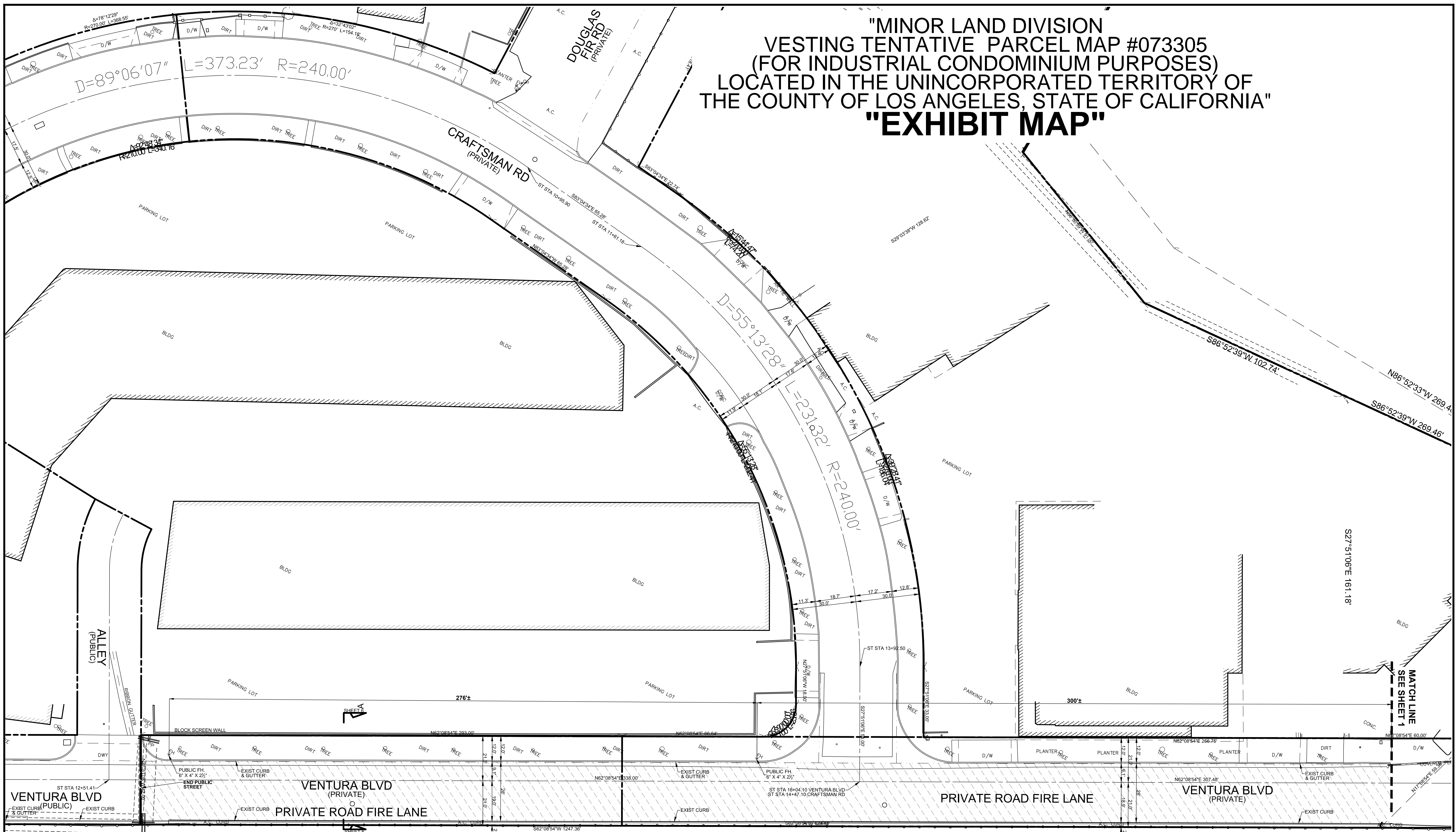
PREPARED FOR:
CALABASAS AUTO PARK, LLC
951 S Westlake Blvd #101,
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ATTN: Mr. Tony Principe

DESIGNED BY: MN
CHECKED BY: DW
DRAWN BY: MN
SCALE:
SHEET NO.
6 of 7

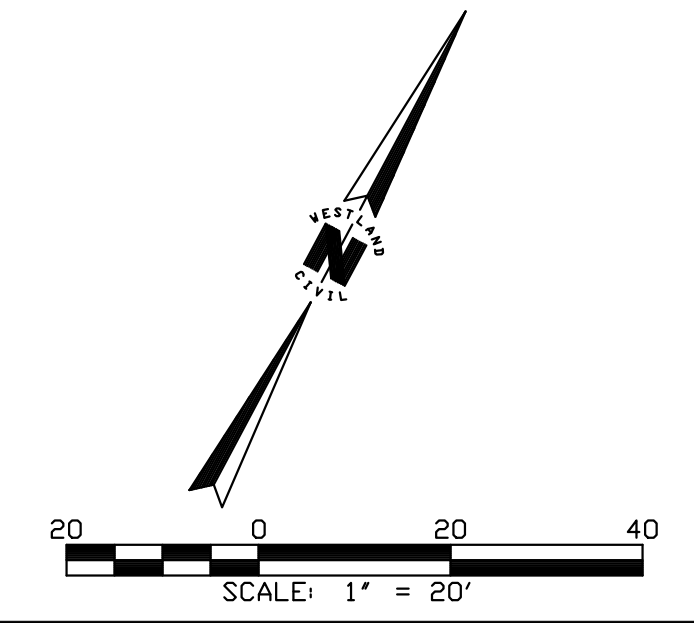


06/04/2024

"MINOR LAND DIVISION
 VESTING TENTATIVE PARCEL MAP #073305
 (FOR INDUSTRIAL CONDOMINIUM PURPOSES)
 LOCATED IN THE UNINCORPORATED TERRITORY OF
 THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA"
"EXHIBIT MAP"



**LOS ANGELES DEPARTMENT OF
 REGIONAL PLANNING
 7/24/24
 EXHIBIT MAP PM073305**



LEGEND
 FIRE DEPT VEHICULAR ACCESS ROAD



PREPARED BY: ID#: Westcord.Calabasas/TentPM
WESTLAND CIVIL, INC.
 CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS
 101 HODGENS CAMP RD, SUITE 216, THOUSAND OAKS, CA, 91360
 (805) 495-1330 FAX: (805) 446-9125
 06/04/2024
 DONALD G. WAITE DATE

**PROP PARCEL 1
 SITE GRADING / DRAINAGE
 AND FIRE ACCESS PLAN**

PREPARED FOR:
CALABASAS AUTO PARK, LLC
 951 S Westlake Blvd #101,
 Westlake Village, CA 91361
 PH: (805) 497-4557
 ATTN: Mr. Tony Principe

DESIGNED BY: _____
 CHECKED BY: _____
 DRAWN BY: _____
 SCALE: _____
 SHEET NO.
7 OF 7

07/05/2024