

REPORT TO THE REGIONAL PLANNING COMMISSION

DATE ISSUED: January 2, 2025

HEARING DATE: January 15, 2025 AGENDA ITEM: 7

PROJECT NUMBER: PRJ2021-001327-(5)

PERMIT NUMBER(S): Minor Conditional Use Permit (“MCUP”) No. RPPL2021003527
Administrative Housing Permit No. RPPL2021003544

SUPERVISORIAL DISTRICT: 5

PROJECT LOCATION: 2214 Windsor Avenue, Altadena

OWNER: KT and KT Investments, LLC

APPLICANT: Kluger Architects

PUBLIC MEETINGS HELD: 1 OF 5

INCLUSIONARY HOUSING ORDINANCE (IHO): The Project is subject to the IHO.

CASE PLANNER: Diana Gonzalez, Principal Planner
dgonzalez@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2021-001327-(5), MCUP Number RPPL2021003527 and Administrative Housing Permit No. RPPL2021003544, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING, FIND THAT THE PROJECT IS STATUTORILY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES, AND APPROVE MINOR CONDITIONAL USE PERMIT NUMBER RPPL2021003527 AND ADMINISTRATIVE HOUSING PERMIT NUMBER RPPL2021003544 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION

A. Entitlement(s) Requested

- MCUP to authorize the construction of a mixed-use residential and commercial development with an affordable housing set-aside in the C-M (“Commercial-Manufacturing”) Zone pursuant to Los Angeles County Code (“County Code”) Section 22.20.030.C (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R). The application was submitted on April 1, 2021 and deemed complete on April 5, 2021. At the time the application was deemed complete, a MCUP was required for a mixed-use development in the C-M Zone.
- Administrative Housing Permit to provide an 11% density bonus, including six affordable housing set-aside units (five apartment units restricted to extremely low-income households earning up to 30% of the Area Median Income (“AMI”) and one apartment unit restricted to very low-income households earning up to 50% AMI), four waivers related to building height, building stories, the number of compact parking spaces, and floor area ratio, and to monitor the proposed six affordable apartment units during the applicable affordability term.

B. Project

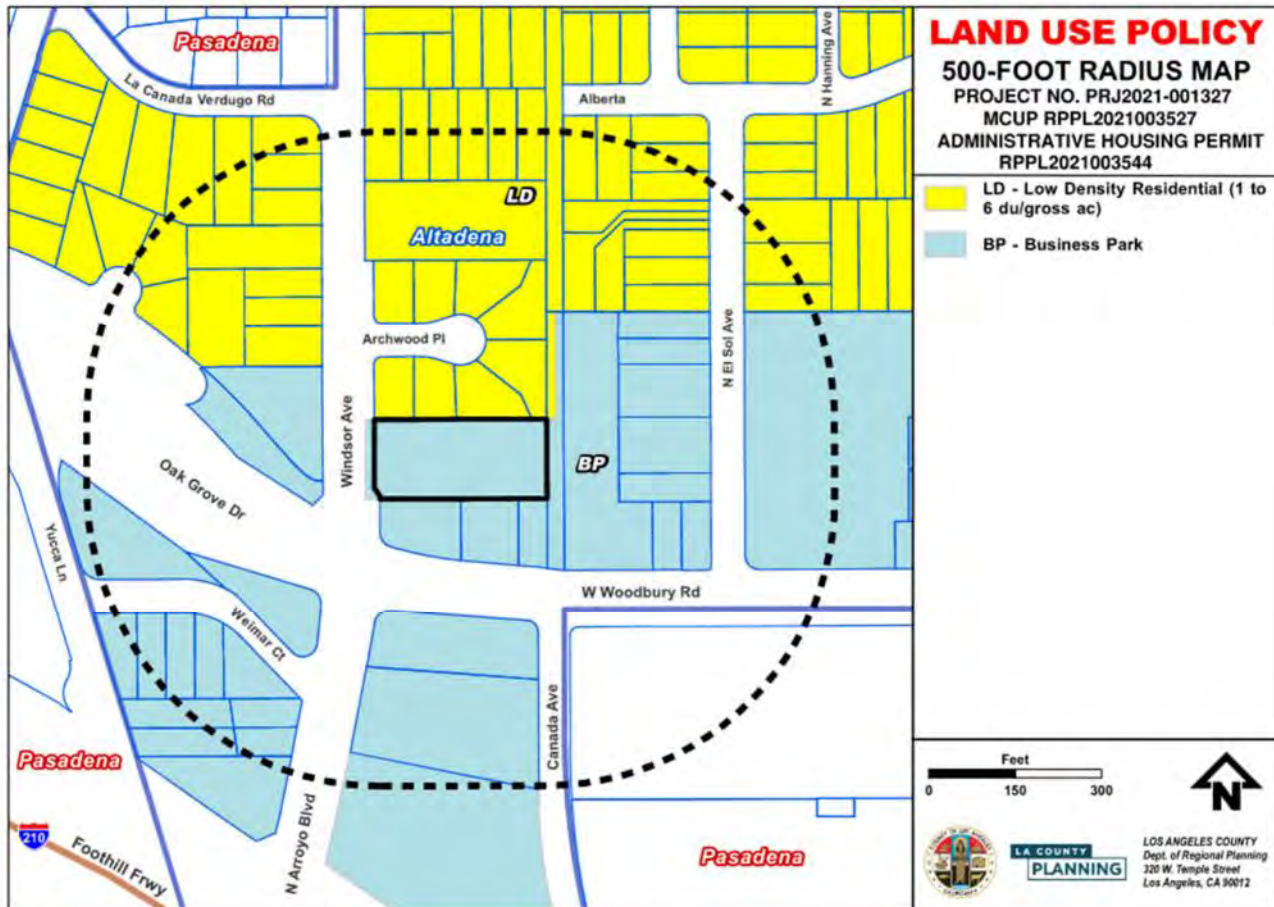
The applicant, Kluger Architects (“Applicant”) is requesting a MCUP to authorize the construction of a three-story, 42,524-square-foot mixed-use residential and commercial development with an affordable housing set-aside (“Project”), with related Administrative Housing Permit RPPL2021003544. The Project will include 2,122 square feet of ground floor retail space, a 639 square-foot ground floor temporary leasing office, 80 parking spaces in a ground floor garage, and 54 apartment units on the second and third floors. Of the 54 apartment units, 30 will be studios units, 14 will be one-bedroom units, and 10 will be two-bedroom units. Five units will be restricted to extremely low-income households earning up to 30 percent of the AMI; one unit will be restricted to very low-income households earning up to 50 percent AMI; and one unit will be reserved as a manager’s unit. 68 of the parking spaces will be reserved for the residential component, 10 of the spaces for the retail component, and two spaces for the temporary leasing office. An access driveway from Windsor Avenue is provided along the southern portion of the Project Site. In addition, the Project will include 41 bicycle parking spaces. 9 short-term and 20 long-term spaces will be located on the ground floor and 6 long-term spaces will be located on both the second and third floors. The Project also includes 7,571 square feet of landscaped open space, including 24 new trees from the County’s Tree Species List.

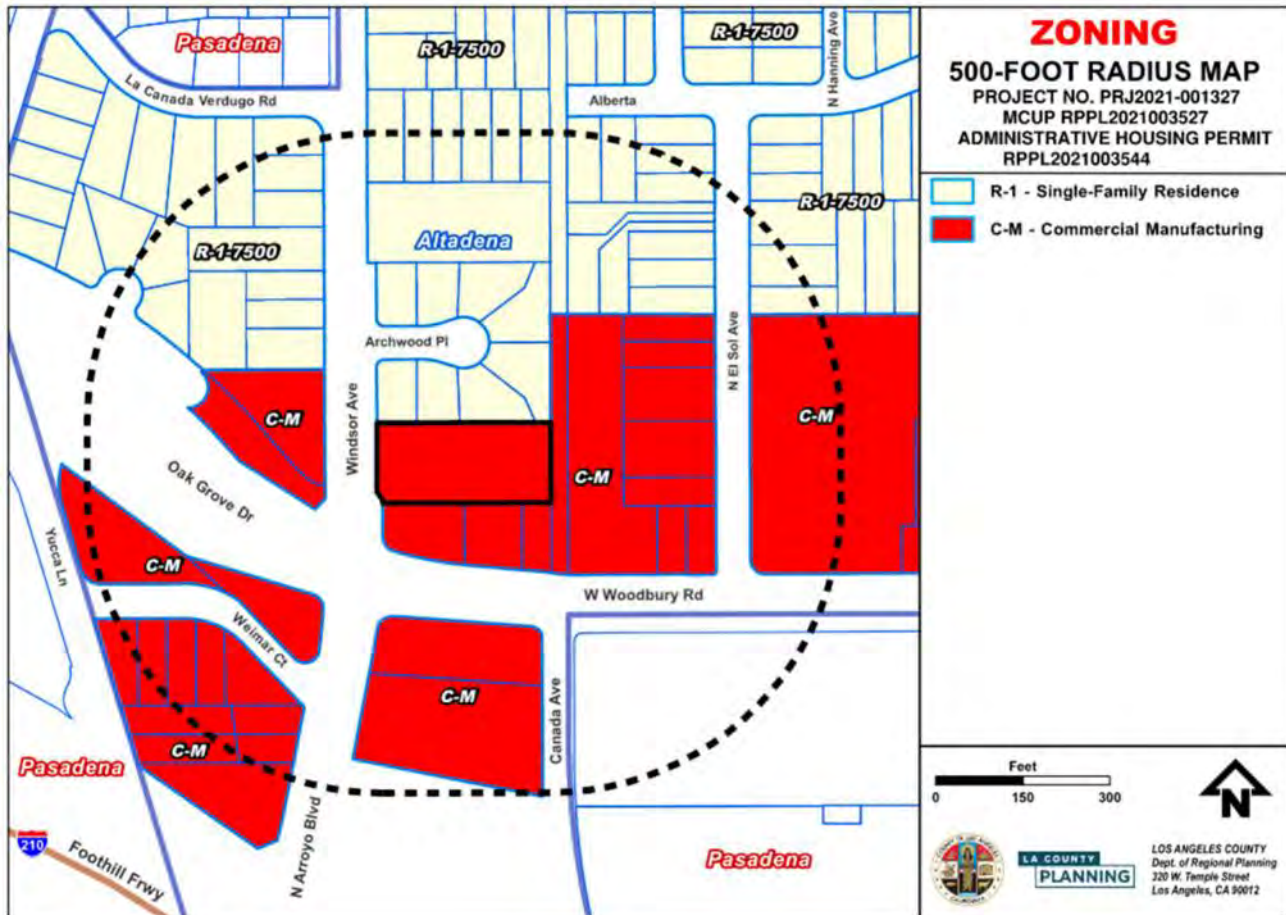
The approximately 41,386 square-foot (.95 net acre) rectangular Project Site is currently vacant, except for an existing storage shed to be demolished. The Project Site is bounded to the north by a cul-de-sac on Archwood Place, to the east by N. El Sol Avenue, to the west by Windsor Avenue, and to the south by W. Woodbury Road. The Project Site is 0.1 miles from the Interstate 210 Freeway and 0.6 miles from the nearest bus station at the intersection of W Woodbury Rd and Lincoln Ave.

SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	ALTADENA COMMUNITY PLAN LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	BP (Business Park)	C-M	Vacant (storage shed to be demolished)
NORTH	LD (Low Density Residential, Maximum Density of Six Du/ Gross Acre)	R-1-7500 (Single-Family Residence, 7,500-Square-Foot Minimum Required Lot Area)	Single-family residences
EAST	BP	C-M	Business park, retail businesses
SOUTH	BP	C-M and City of Pasadena	Automobile repair shop, child care center, California Highway Patrol office, Pasadena Unified School District Service Center
WEST	BP	C-M	Office buildings, multi-family residences





PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
42	Zone 2 and Zone 3	September 6, 1927
5541	R2	May 9, 1950
880154z	C-M	September 13, 1988

B. Previous Cases

CASE NO.	REQUEST	DATE OF ACTION
RCOC-201200147	Certificate of Compliance	April 2, 2013
RPP-201200916	Plot Plan for office building	May 20, 2013
RPPL2016002126	Zoning Conformance Review for block wall	May 12, 2016
RPPL2017006279	Site Plan Review for office building	December 3, 2018

C. Violations

There are no records of any violations on the subject property.

ANALYSIS

A. Land Use Compatibility

The Altadena Community Plan (“Community Plan”) land use designation for the Project Site is BP (“Business Park”). Per the Los Angeles County General Plan (“General Plan”), this designation allows mixed-use developments at a residential density of 20 to 50 dwelling units per net acre. A maximum of 48 units are allowed on the 0.95 net acre Project Site. A density bonus of 11% is being requested for a unit total of 54 (47 baseline units + 1 managers unit + 6 bonus units). The BP designation is intended for uses that “are clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The proposed mixed-use development provides ground floor retail space and multi-family residential apartment units. The Department of Public Works and the Department of Public Health reviewed the Project and determined that neither use would generate pollution or odors. The Project provides 7,571 square feet of landscaped open space, including 4,764 square feet adjacent to Windsor Avenue and the single-family residences to the north, and a 2,807-square-foot landscaped interior courtyard. Additionally, 24 new trees will be provided on site.

There is an existing pattern of single-family residential development to the north of the Project Site, and multifamily residential development, commercial businesses, and office buildings to the east, west, and south of the Project Site. Therefore, the Project is consistent with surrounding development pattern. The Project will provide additional neighborhood-serving retail while introducing multi-family housing near existing retail and amenities.

While the Project Site is adjacent to an automobile repair shop, the application for the Project was deemed complete on April 5, 2021, prior to the adoption of the Green Zones Ordinance. Therefore, the requirements of Chapter 22.134 (Sensitive Uses Adjacent to Industrial, Recycling or Solid Waste, or Vehicle-Related Uses) do not apply.

B. Neighborhood Impact (Need/Convenience Assessment)

The Project will add 54 dwelling units—including five units restricted to extremely low-income households earning up to 30 percent AMI, and one unit restricted to very low income households earning up to 50 percent AMI—to the existing housing stock in the Altadena community. The Project will introduce additional retail options for Altadena residents and will contribute to a mixed-income neighborhood with a diversity of housing types. The Project will develop an underutilized parcel in an urbanized area served by existing public services and infrastructure. The Project Site is a 15-minute walk from a neighborhood-serving commercial corridor along Lincoln Avenue to the east. The Project also employs smart growth principles because it will be constructed near existing

employment opportunities, retail, and amenities, and will contribute to an appropriate jobs-housing balance in the Altadena community.

The Project will accommodate 54 households and provide retail employment opportunities and new retail services for the community. Designated off-street parking spaces are provided, including 68 spaces for residential tenants, 10 spaces for retail employees and customers, and two spaces for the temporary leasing office. Additionally, 32 long-term bicycle parking spaces and nine short-term bicycle parking spaces are provided. The Department of Public Works Traffic Safety and Mobility Division reviewed the Project and determined that based on the Project density, affordability, and location near existing and planned bicycle facilities, the Project's Vehicles Miles Traveled ("VMT") will have a less than significant impact on traffic. As a condition of approval, the Project must unbundle residential parking costs from property costs at a fee of no less than \$100 per month per parking space to ensure affordable rental costs for the apartment units and the use of parking spaces by those who need it.

C. Design Compatibility

The Applicant is requesting four waivers of development standards in exchange for setting aside six income-restricted dwelling units. The four requested waivers are:

- A 10-foot increase in allowable height for a maximum height of 45 feet instead of the maximum height of 35 feet specified in the Altadena Community Standards District ("CSD").
- An increase in the maximum number of building stories, for a maximum of three stories instead of the maximum two stories as specified in the Community Plan.
- An increase in maximum Floor Area Ratio ("FAR") of 1.03 instead of the maximum FAR of 1 specified in the Community Plan.
- Providing 42.5 percent of required parking spaces as compact spaces, instead of the maximum 40 percent as specified in County Code Section 22.112.070 (Required Parking Spaces).

The Project complies with all other CSD development standards related to architectural design. The building is designed to meet the requirements of County Code Section 22.306.060 (Community Wide Development Standards). All building elevations are architecturally treated in a consistent manner. Metal awnings are architecturally compatible with the building in color and style. Mechanical equipment does not interfere with the architectural details or overall design. Transformers are located underground and are not visible from the public right of way. Rooftop mechanical equipment is screened by parapet walls. Fencing will be constructed of iron with wood-textured metal panels. The ground floor façade along Windsor Avenue is comprised of clear glass storefront windows; 86.9 percent of façade length is windows, in excess of the required 55 percent, and 77

percent of the total façade area is windows, in excess of the required 40 percent. More than 50 percent of the building frontage of upper stories is differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials. The landscaped interior pedestrian courtyard is paved with permeable paver tiles.

Additionally, the building is designed to meet the requirements of County Code Section 22.306.070 (Zone Specific Development Standards). One building identification sign and one freestanding sign are proposed, each with a maximum letter height of 12 inches. Sign colors and materials are harmonious with the building design. The Project includes the following seven architectural elements from Table 22.306.070-G – Architectural Elements: awnings, balconies, benches and seating for pedestrians, decorative iron fences, decorative iron grilles, pedestrian-accessible plazas, and raised planters. Parking entrances are located adjacent to the driveway along the south side of the building, and do not occupy the building frontage. The parking area is screened by masonry walls, decorative metal screens, and landscaping. The trash and recycling room is located within the building and is not visible from the exterior. Therefore, the Project is consistent with all CSD design standards.

Furthermore, the Project complies with all requirements of Section 22.140.350 (Mixed Use Developments in Commercial Zones). As noted above, the ground floor parking area is screened from public view with walls, decorative metal screens, and landscaping. Separate commercial and residential parking spaces are provided and clearly designated. Trash and recycling is located in a convenient location for both commercial and residential tenants and is not visible from the street. Commercial and residential uses are not located on the same floor. The ground floor is devoted to the commercial use, temporary leasing office, and parking, while the upper floors are devoted solely to the residential use. Therefore, the Project is consistent with all design standards for mixed-use developments in commercial zones.

Overall, the Project design is compatible with its surroundings. The Project's retail use is oriented towards Windsor Avenue, in line with the surrounding existing commercial uses. The Project also includes a landscaped plaza with seating along Windsor Ave. The plaza and retail uses will serve both the Project's residents and residents from the surrounding communities. Furthermore, the Project has been designed to minimize impacts to the surrounding residential communities. The driveway runs along the southern lot line, away from the single-family residences to the north and adjacent to the commercial uses to the south. Furthermore, fifteen 24" box trees will be installed along the northern edge of the Project site and an existing evergreen hedge will remain to create a vegetative buffer between the Project and the single-family residences to the north.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and the Community Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The Project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

FINDINGS

The Applicant is required to substantiate all facts identified by Section 22.158.050 (Findings and Decision) of the County Code. The Findings with Applicant’s responses is attached (Exhibit E – Applicant’s Findings). Staff is of the opinion that the applicant has met the findings.

ENVIRONMENTAL ANALYSIS

Staff recommends that the Project qualifies for an Exemption for Residential or Mixed-Use Housing Projects pursuant to California Public Resources Code (“PRC”) section 21159.25 as the Project consists of a mix of multi-family residential and non-residential uses with at least two-thirds of the development’s square footage designated for the residential use and the Project is substantially surrounded (75%) by urban uses. Furthermore, the Project qualifies for this exemption because it meets the following conditions specified in PRC section 21159.25(b):

1. The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations.

The Community Plan’s BP land use designation is intended for uses that are “clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The Project shall be maintained neat and orderly per the Conditions of Approval. None of the Project’s uses are anticipated to generate pollution or obtrusive odors. The Project includes 7,571 square feet of attractively landscaped open space, including 24 new 15-gallon trees. Finally, several design features have been incorporated into the Project to enhance its visual attractiveness (e.g. upper stories are differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials).

Per the General Plan, the BP land use category allows mixed-use developments with a residential density of 20 to 50 dwelling units per net acre and a FAR cap of 1.0. The Project proposes a residential density of 56.8 units per net acre and a FAR of 1.03. In compliance with County Code Section 22.120.050 - Affordable Housing though, the Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% which results

in a residential density of 56.8 units per net acre. Furthermore, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in maximum FAR from 1 to 1.03. With the requested density bonus and waiver, the project is found to be consistent with the goals and policies of the Community Plan and the BP land use designation.

The Project supports General Plan Policy LU 4.1, as it promotes infill development. It also supports General Plan Policy LU 5.2, as it will provide additional retail to meet regional and local needs. Further, it supports Housing Element Policy 3.1, as it promotes mixed-income neighborhoods with a diversity of housing types. In addition, it supports the Community Plan’s Policy 1.1 (Land Use Mix) as it provides for new development that is compatible with and compliments existing uses. It also supports Community Plan Policy 3.1 (Commercial Development- Community-wide Commercial) as the Project can help enhance the economic viability of the commercial development in the area by infilling a vacant and under-utilized parcel.

The Project is consistent with the C-M zoning classification. At the time the application was deemed complete, a MCUP was the required entitlement for a mixed-use development in the C-M Zone, pursuant to County Code Section 22.20.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R). Further, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in building height, an increase in the number of building stories, an increase in maximum FAR, and an increase in the percentage of compact parking spaces. With the requested waivers, the Project is consistent with all standards for required yards, height, lot coverage, parking, bicycle parking, landscaping, tree planting, and mixed- use developments in commercial zones, as well as Community Standards District, Altadena Community Plan, and inclusionary housing requirements.

2. The Project’s density is greater than the average density of the residential properties within 1,500 feet of the project site and the Project contains six or more residential units.

The density of the proposed Project is 56.8 units per acre which is greater than the average density of the residential properties within 1,500 feet of the Project Site. Furthermore, the Project contains more than 6 units.

3. The Project is within the unincorporated County and the Project Site is less than five acres and substantially surrounded by qualified urban uses.

The Project Site is located in unincorporated Altadena. It is less than five acres in size and is substantially surrounded by qualified urban uses, including single-family residences and commercial developments to the north, commercial developments to

the east, commercial developments and institutional uses to the south, and multifamily residences and office buildings to the west.

4. The Project site has no value as habitat for endangered, rare, or threatened species.

The Project Site is currently vacant, except for a storage shed to be demolished. The only vegetation at the Project Site is an evergreen hedge along the perimeter. It is surrounded by residential, commercial, and institutional uses. The Project Site and its surroundings are not within a Significant Ecological Area or an area of critical environmental sensitivity such as the Santa Monica Mountains Coastal Zone. No natural open space exists in the immediate vicinity of the Project Site.

5. Approval of the Project would not result in any significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

The Project Site is located along Windsor Avenue, within 0.6 miles of the nearest bus stop located at the intersection of W Woodbury Rd and Lincoln Ave. Windsor Avenue is part of a proposed Class II Bike Path in the Master Plan of Bikeways. The Project will provide nine short-term and 32 long-term bicycle parking spaces, which supports bicycling as an alternative means of transportation. During construction, all activities will comply with the Noise Control Ordinance and adhere to applicable Air Quality Management District regulations. Once established, the mixed-use development will not generate significant noise. The Project will comply with the County's Low Impact Development Ordinance, thereby minimizing greenhouse gas emissions. The Project also includes 7,571 square feet of landscaping and 24 new trees, which will sequester carbon, improve air quality, and provide habitat. The property is served by Pasadena Water and Power and Los Angeles County Sanitation District No. 17, and thus will not have a significant impact on water quality.

6. The Project site can be adequately served by all required utilities and public services.

The Project site will be adequately served by all required utilities and public services.

7. The Project is located on a site that is a legal parcel wholly within the boundaries of an urbanized area or urban cluster, as designated by the United States Census Bureau.

The Project site meets this locational criteria.

No exceptions to the Residential or Mixed-Use Housing Exemption apply to the Project Site. Per PRC section 21159.25(c), PRC section 21159.25(b) does not apply to a project if:

1. The cumulative impact of successive projects of the same type in the same place over time is significant.

There is no potential for cumulative impact of successive projects of the same type in the same place over time, as the proposed Project is a mixed-use development with ground-floor retail, and the use is not anticipated to change or expand once established.

2. There is a reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances.

There is no reasonable possibility that the Project will have a significant impact on the environment due to unusual circumstances, as the Project is residential and retail-oriented in nature.

3. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

The Project is not located adjacent to an officially designated state scenic highway and will not result in damage to scenic resources.

4. The project is located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The Project is not located on a site included on any of CalEPA's "Cortese List" compiled pursuant to Section 65962.5 of the Government Code.

5. The project may cause a substantial adverse change in the significance of a historical resource.

The Project is not located near a historic resource and as a result will not cause a substantial adverse change in the significance of a historical resource.

None of the conditions specified in PRC section 21159.25(c) apply to the proposed Project, and the Project is eligible for this exemption.

COMMENTS RECEIVED

A. County Department Comments and Recommendations

1. The Department of Public Works, in a letter dated September 16, 2024, recommended that the Project proceed to public hearing with required conditions of approval.
2. The Fire Department, in a letter dated January 16, 2024, recommended that the Project proceed to public hearing with no conditions.
3. The Department of Public Health, in a letter dated March 3, 2022, recommended approval of the Project with required conditions of approval.

B. Other Agency Comments and Recommendations

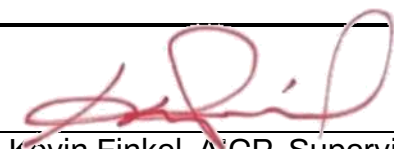
Staff has not received any comments at the time of report preparation.

C. Public Comments

The Applicant presented the Project before the Altadena Town Council (“ATC”) Land Use Committee on August 3, 2021 and September 7, 2021. On September 22, 2021, the ATC provided a letter recommending that the Project proceed to public hearing with suggested conditions of approval. In addition, prior to the publication of the staff report, one public comment was received in opposition to the Project. The individual expressed concerns over traffic safety, a lack of sufficient parking, absence of other 3-story buildings within the vicinity, and the need for more affordable housing units.

Report


Reviewed By:



Kevin Finkel, AICP, Supervising Planner

Report

Approved By:



for Mitch Glaser

Mitch Glaser, AICP, Assistant Deputy Director

LIST OF ATTACHED EXHIBITS

EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant’s Findings
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Public Correspondence

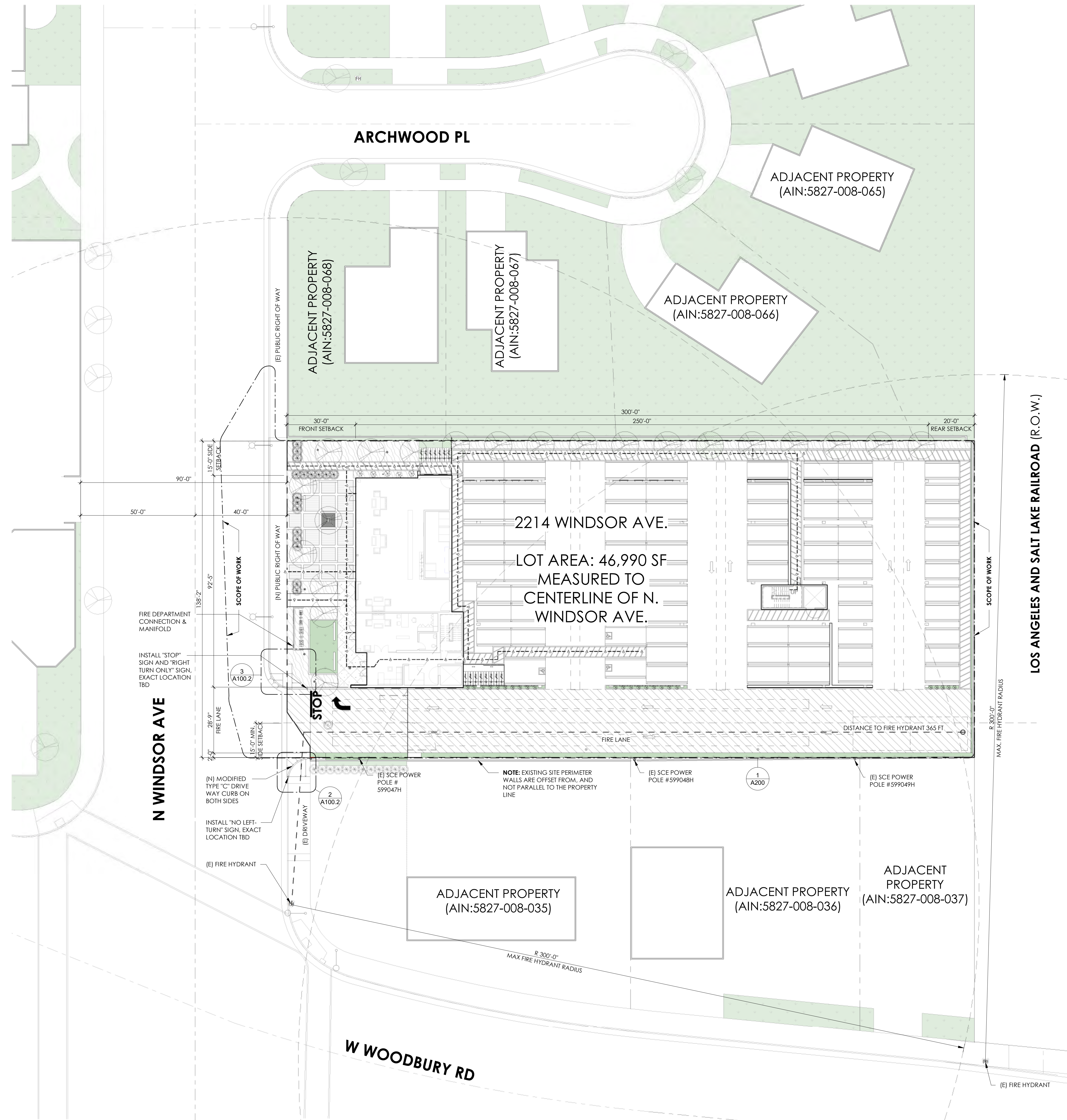


WINDSOR MIXED-USE

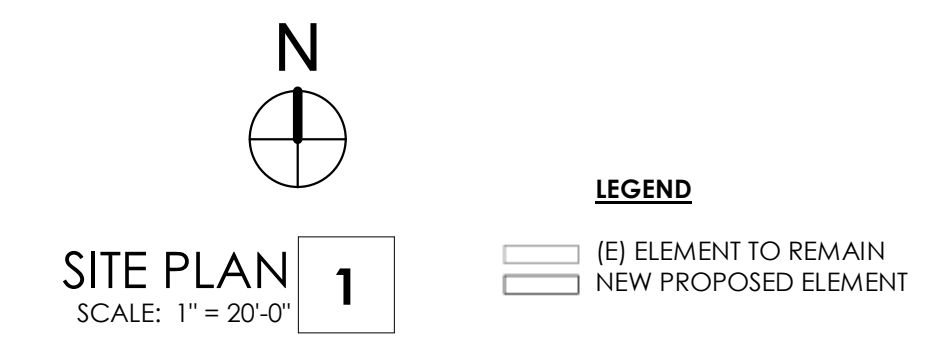
MULTI FAMILY

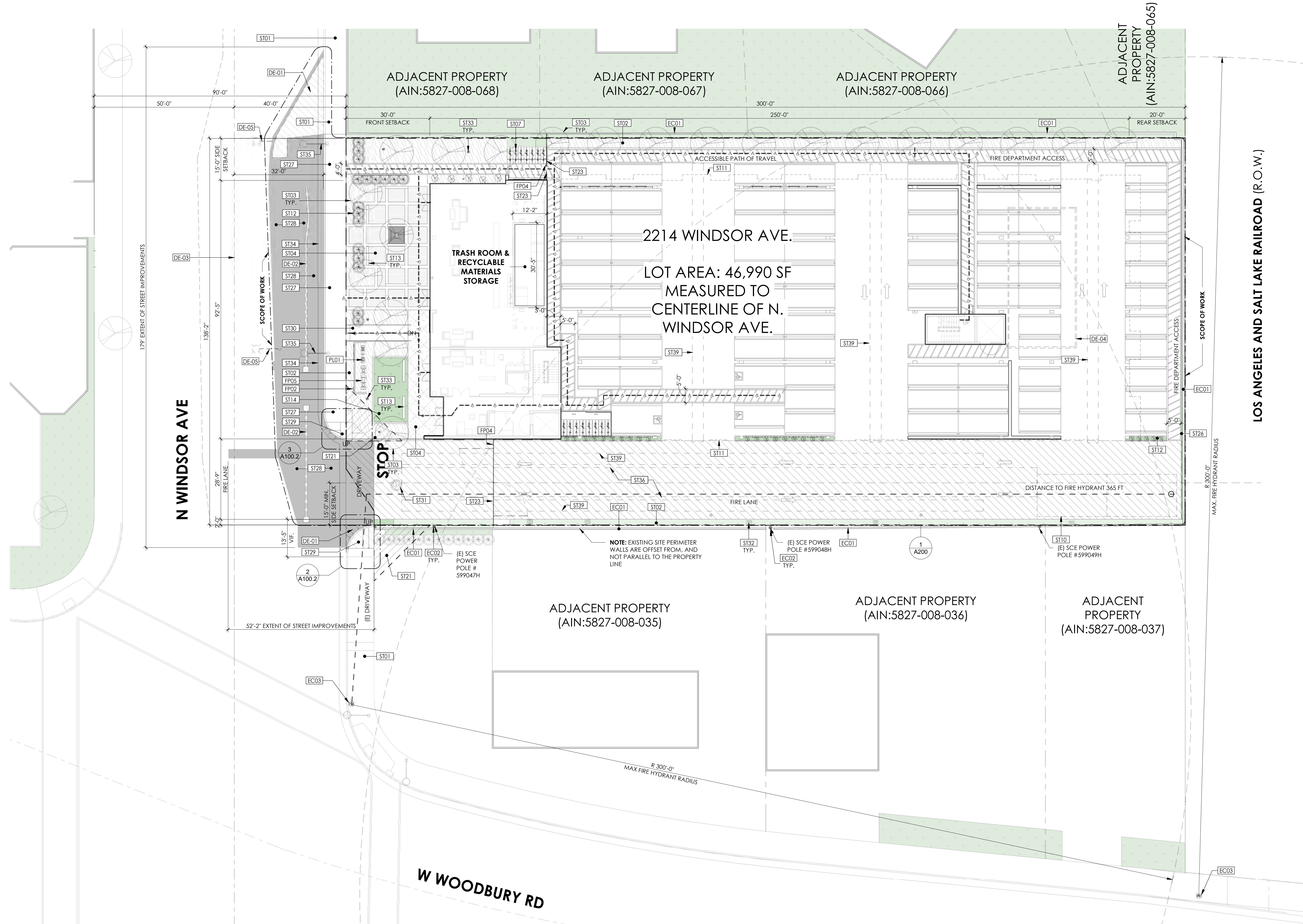
2214 WINDSOR AVE.
ALTADENA, CA 91001

COVER SHEET A000



GROSS BUILDING AREA CALCULATIONS ACCOUNTED FOR F.A.R	
DESCRIPTION	GROSS AREA
GROUND LEVEL	
TEMPORARY LEASING OFFICE	639 SF
ELEV. 1	113 SF
ELEV. 2	113 SF
RESIDENTIAL LOBBY	524 SF
STAIRS 1	177 SF
STAIRS 2	194 SF
RETAIL	2,122 SF
TRASH ROOM & RECYCLABLE MATERIALS STORAGE	353 SF
	4,233 SF
SECOND LEVEL	
CORRIDOR	991 SF
1 BED	5,370 SF
2 BED	5,049 SF
STUDIO	7,638 SF
	19,048 SF
THIRD LEVEL	
CORRIDOR	1,091 SF
STORAGE	92 SF
1 BED	5,370 SF
2 BED	5,049 SF
STUDIO	7,641 SF
	19,242 SF
TOTAL GROSS AREA	42,524 SF
GROSS AREA CALCULATIONS EXCLUDED FROM F.A.R.	
DESCRIPTION	GROSS AREA
GROUND LEVEL	
COMMON OPEN SPACE	4,744 SF
PARKING GARAGE	23,072 SF
	27,816 SF
SECOND LEVEL	
COMMON OPEN SPACE	2,807 SF
ELEC. RM.	62 SF
ELEV. RM.	92 SF
BALCONY	909 SF
JULIET BALCONY	60 SF
PATIO	272 SF
BICYCLE PARKING	49 SF
	4,250 SF
THIRD LEVEL	
UN ENCLOSED EXTERIOR DECK	1,318 SF
ELEC. RM.	62 SF
BALCONY	998 SF
JULIET BALCONY	60 SF
PATIO	183 SF
BICYCLE PARKING	49 SF
	2,670 SF
ROOF LEVEL	
ELEV. RM.	69 SF
	69 SF
TOTAL GROSS AREA	34,825 SF
FAR CALCULATION	
= TOTAL GROSS BUILDING AREA / TOTAL LOT AREA	
= 42,524 SF / 46,990 SF	
= .91	





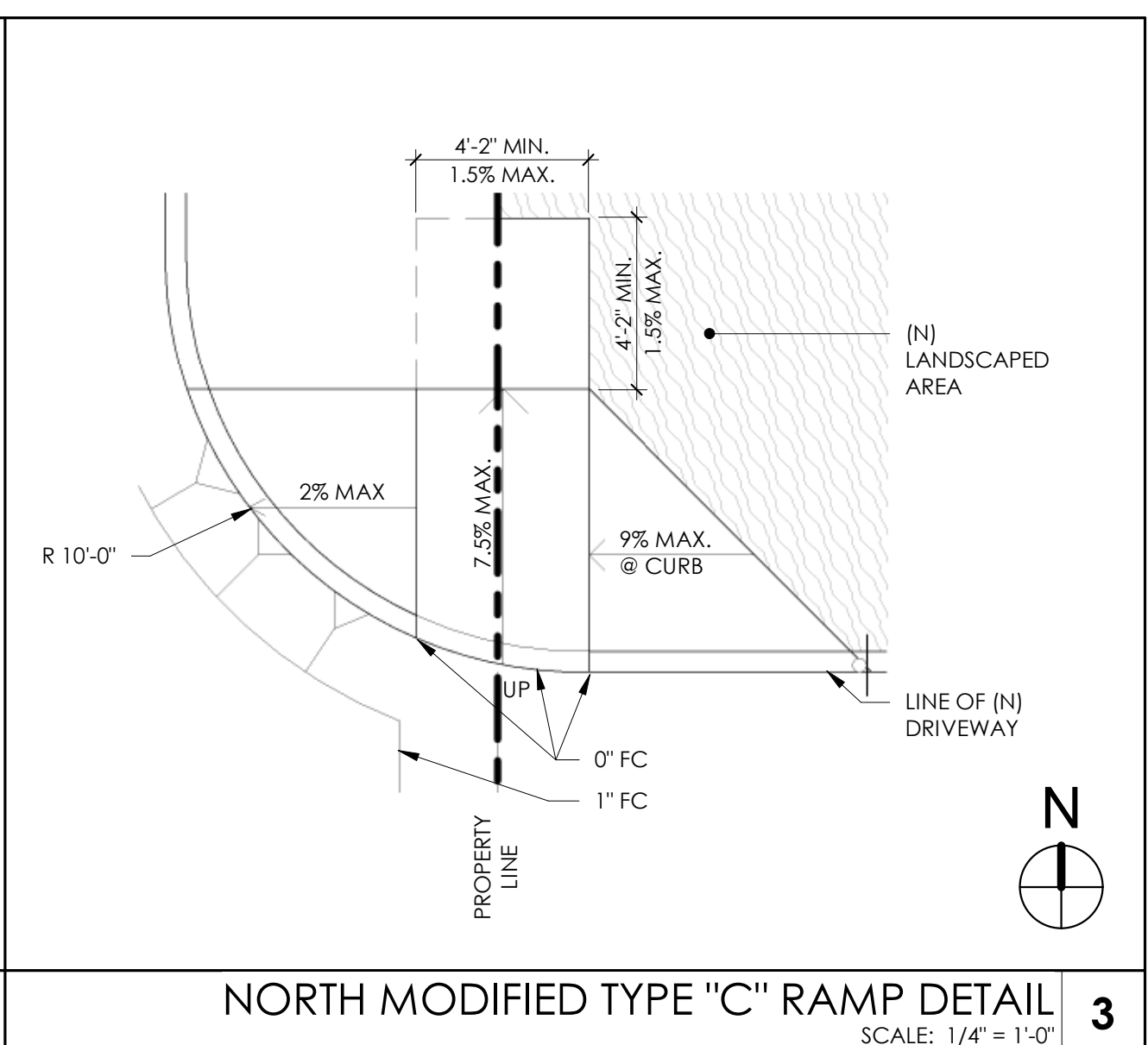
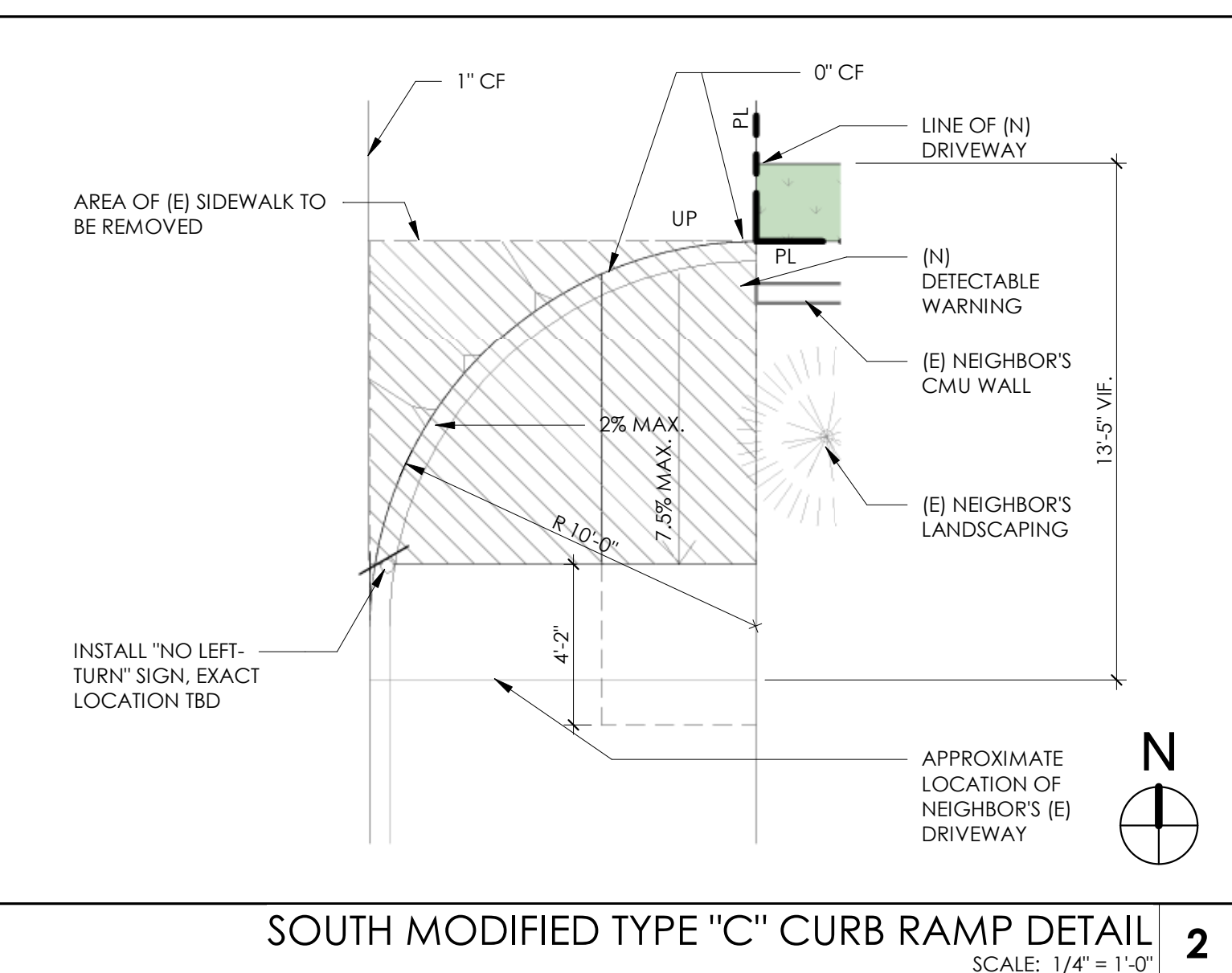
GROSS BUILDING AREA CALCULATIONS ACCOUNTED FOR F.A.R.	
DESCRIPTION	GROSS AREA
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TEMPORARY LEASING OFFICE	639 SF
ELEV. 1	113 SF
ELEV. 2	113 SF
RESIDENTIAL LOBBY	524 SF
STAIRS 1	177 SF
STAIRS 2	194 SF
RETAIL	2,122 SF
TRASH ROOM & RECYCLABLE MATERIALS STORAGE	353 SF
	4,233 SF
SECOND LEVEL	
CORRIDOR	991 SF
1 BED	5,370 SF
2 BED	5,049 SF
STUDIO	19,048 SF
THIRD LEVEL	
CORRIDOR	1,091 SF
STORAGE	92 SF
1 BED	5,370 SF
2 BED	5,049 SF
STUDIO	7,641 SF
	19,242 SF
TOTAL GROSS AREA	42,524 SF

GROSS AREA CALCULATIONS EXCLUDED FROM F.A.R.	
DESCRIPTION	GROSS AREA
GROUND LEVEL	
COMMON OPEN SPACE	4,744 SF
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UN ENCLOSED EXTERIOR DECK	1,318 SF
ELEC. RM.	62 SF
BALCONY	998 SF
JULIET BALCONY	60 SF
PATIO	183 SF
BICYCLE PARKING	49 SF
	2,670 SF
ROOF LEVEL	
ELEV. RM.	69 SF
	69 SF
TOTAL GROSS AREA	34,825 SF

FAR CALCULATION = TOTAL GROSS BUILDING AREA / TOTAL LOT AREA
 = 42,524 SF / 46,990 SF
 FAR = .91

KEYNOTES

KEYNOTE	DESCRIPTION
DE-01	(E) PORTION OF SIDEWALK TO BE REMOVED & RE-PAVED. SEE SITE PLAN & CIVIL PLANS
DE-02	(E) BLOCK WALLS TO BE REMOVED
DE-03	(E) CENTER LINE OF STREET TO BE RECONFIGURED PER SITE PLAN
DE-04	(E) SHED TO BE REMOVED
DE-05	(E) LIGHT POST TO BE REMOVED & (E) POWER LINES TO BE ROUTED UNDERGROUND
ECO1	EXISTING MASONRY WALL TO REMAIN
ECO2	EXISTING POWER LINE. OWNER TO CLEAR POWER LINE CABLES FROM OBSTRUCTING FIRE LANE. SEE SITE PLAN
ECO3	EXISTING FIRE HYDRANT TO REMAIN
FP02	(N) FIRE DEPARTMENT CONNECTION & MANIFOLD
FP04	(N) FIRE DEPARTMENT APPROVED KNOX BOX
FP05	(N) FIRE BACKFLOW PREVENTER. SEE CIVIL PLANS
FP01	DOMESTIC WATER BACKFLOW PREVENTER
ST01	(E) SIDEWALK
ST02	(N) LANDSCAPED AREA PER LANDSCAPE PLANS
ST03	(N) TREES PER LANDSCAPE PLAN
ST04	(N) PAVED AREA PER LANDSCAPE PLANS
ST07	(N) SHORT-TERM BICYCLE PARKING, 5 RESIDENTIAL; 2 RETAIL
ST10	(N) TWO IN-GROUND TRANSFORMERS UNDER PAVEMENT
ST11	OVERHEAD BUILDING OUTLINE
ST12	(N) RAISED PLANTERS PER LANDSCAPE PLANS
ST13	(N) BENCHES PER LANDSCAPE PLANS
ST14	(N) ARTIFICIAL TURF PER LANDSCAPE PLANS
ST21	10 FT X 10 FT PEDESTRIAN SIGHT TRIANGLE IN ACCORDANCE W/ LACC 22.306.020.
ST23	(N) IRON FENCE & GATE W/ WOOD-TEXTURED METAL SCREENING - TO BE LEFT OPEN DURING BUSINESS HOURS
ST26	VINES LANDSCAPING PER LANDSCAPING PLAN
ST27	(N) STREET IMPROVEMENT SIDEWALK
ST28	AREA OF (N) STREET PAVEMENT IMPROVEMENT. SEE CIVIL PLANS
ST29	(N) DRIVEWAY
ST30	(N) ACCESSIBLE RAMP. 1:12 SLOPE MAX.
ST31	(N) UTILITY MANHOLE. SEE CIVIL PLANS
ST32	(N) STORM WATER DRAIN INLET. SEE CIVIL PLANS
ST33	(N) AREA / PLANTER DRAIN. SEE CIVIL PLANS
ST34	(N) SITE GUTTERS. SEE CIVIL PLANS
ST35	(N) LIGHT POSTS PER CIVIL PLANS
ST36	(N) SHALLOW INFILTRATION TANK. SEE CIVIL PLANS
ST39	(N) DETENTION TANK PER CIVIL DRAWINGS.



NOTE: DRAINAGE IMPROVEMENTS ARE NOT TO BE MAINTAINED BY THE COUNTY FLOOD CONTROL DISTRICT

LEGEND

(E) ELEMENT TO REMAIN
(E) ELEMENT TO BE REMOVED/DEMOLISHED
(N) ELEMENT

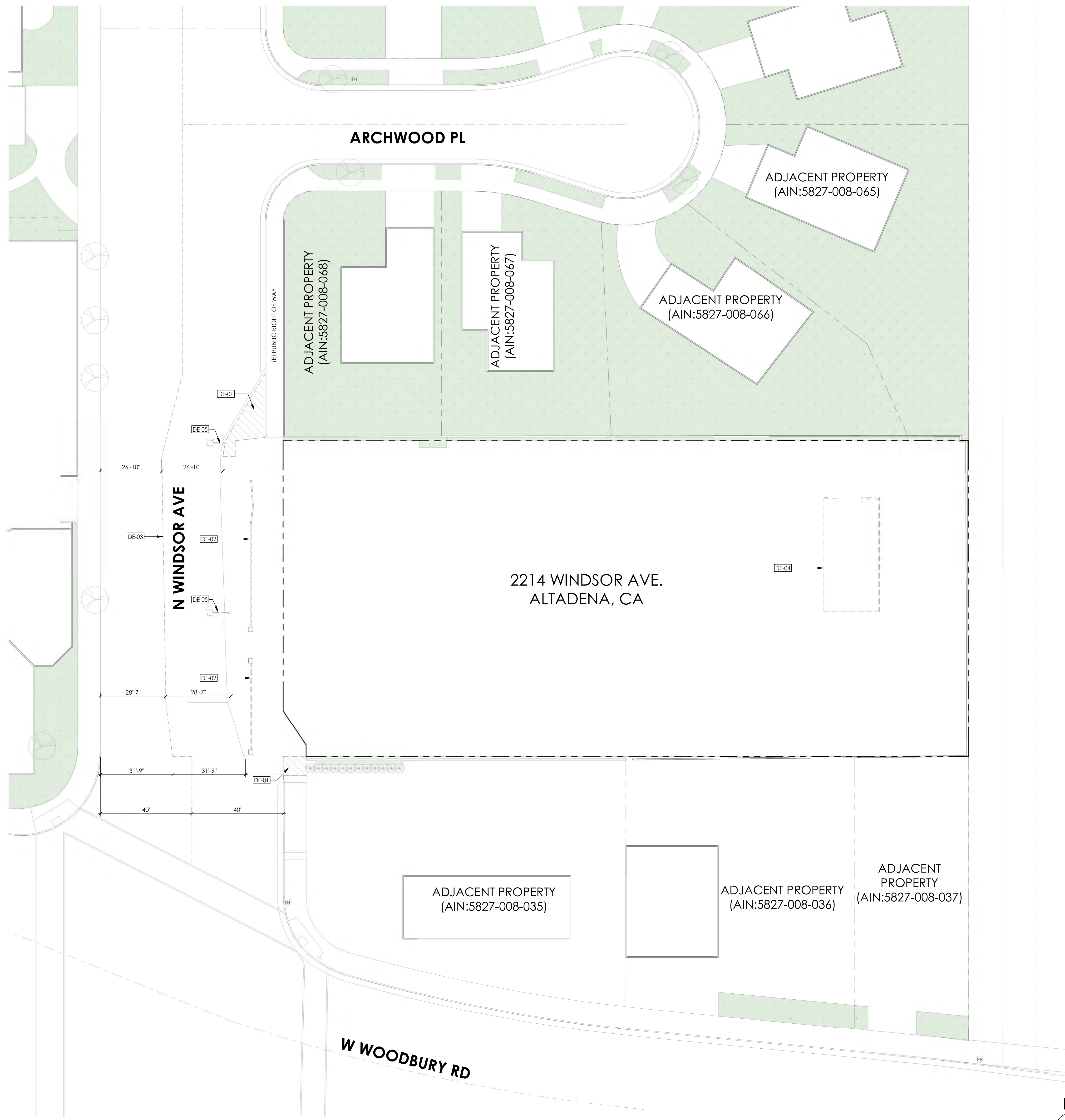
SITE PLAN FOR DPW
 SCALE: 1/16" = 1'-0"
 1

WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
 ALTADENA, CA 91001

SITE PLAN FOR DWP A100.2

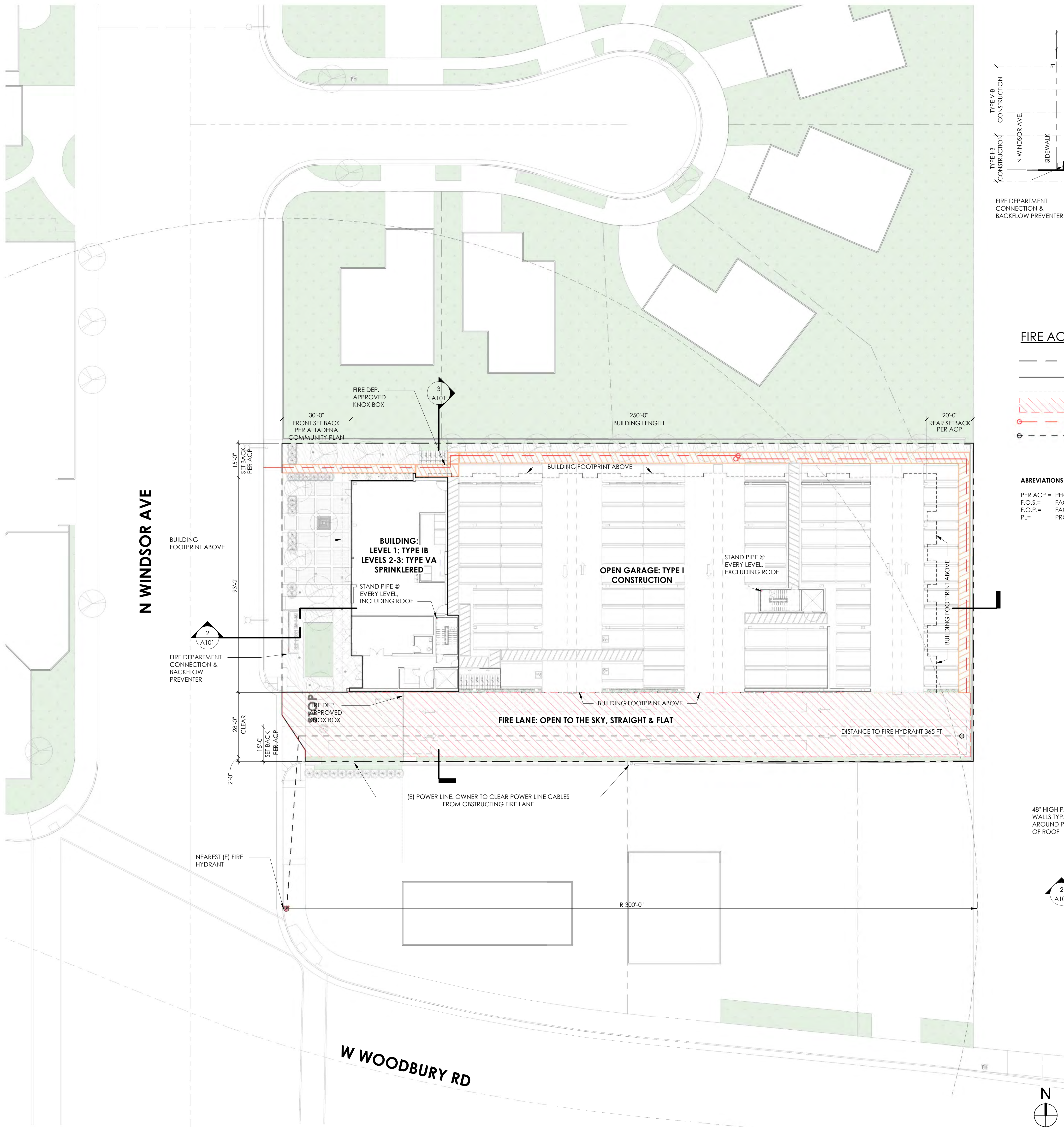




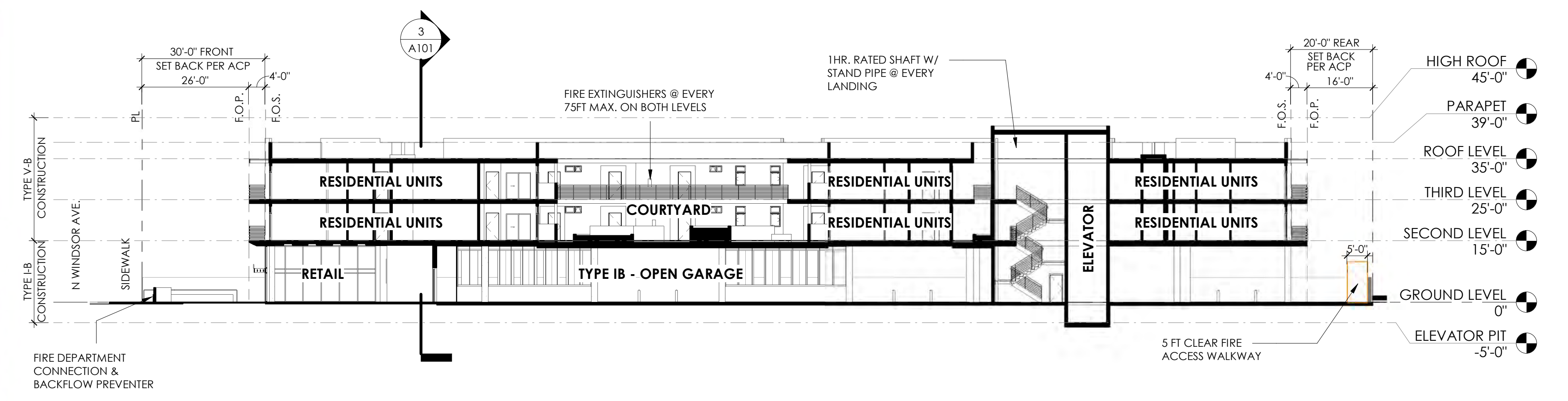
KEYNOTES	
KEYNOTE	DESCRIPTION
DE-01	(E) PORTION OF SIDEWALK TO BE REMOVED & RE-PAVED. SEE SITE PLAN & CIVIL PLANS
DE-02	(E) BLOCK WALLS TO BE REMOVED
DE-03	(E) CENTER LINE OF STREET TO BE RECONFIGURED PER SITE PLAN
DE-04	(E) SHED TO BE REMOVED
DE-05	(E) LIGHT POST TO BE REMOVED & (E) POWER LINES TO BE ROUTED UNDERGROUND

LEGEND	
	(E) ELEMENT TO REMAIN
	(E) ELEMENT TO BE REMOVED/DEMOLISHED

DEMO SITE PLAN 1
 SCALE: 1" = 20'-0"



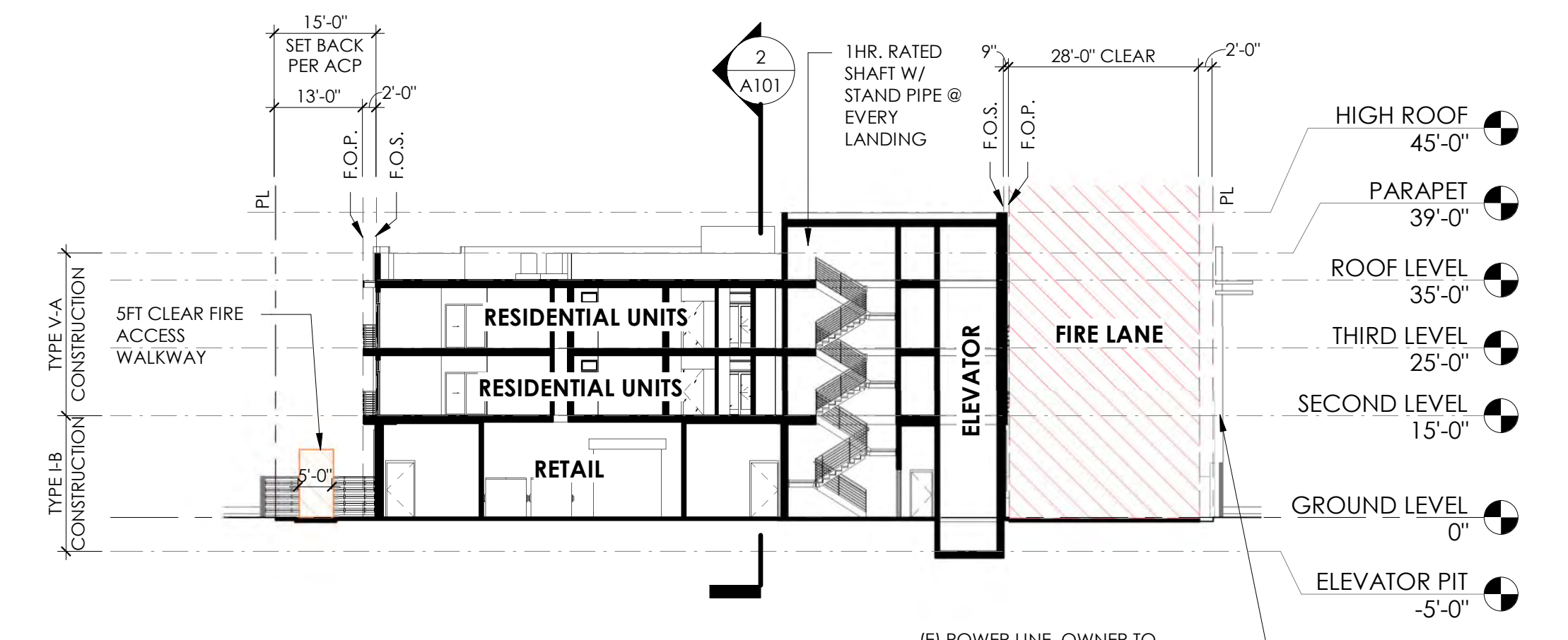
FIRE ACCESS SITE PLAN 1
SCALE: 1" = 20'-0"



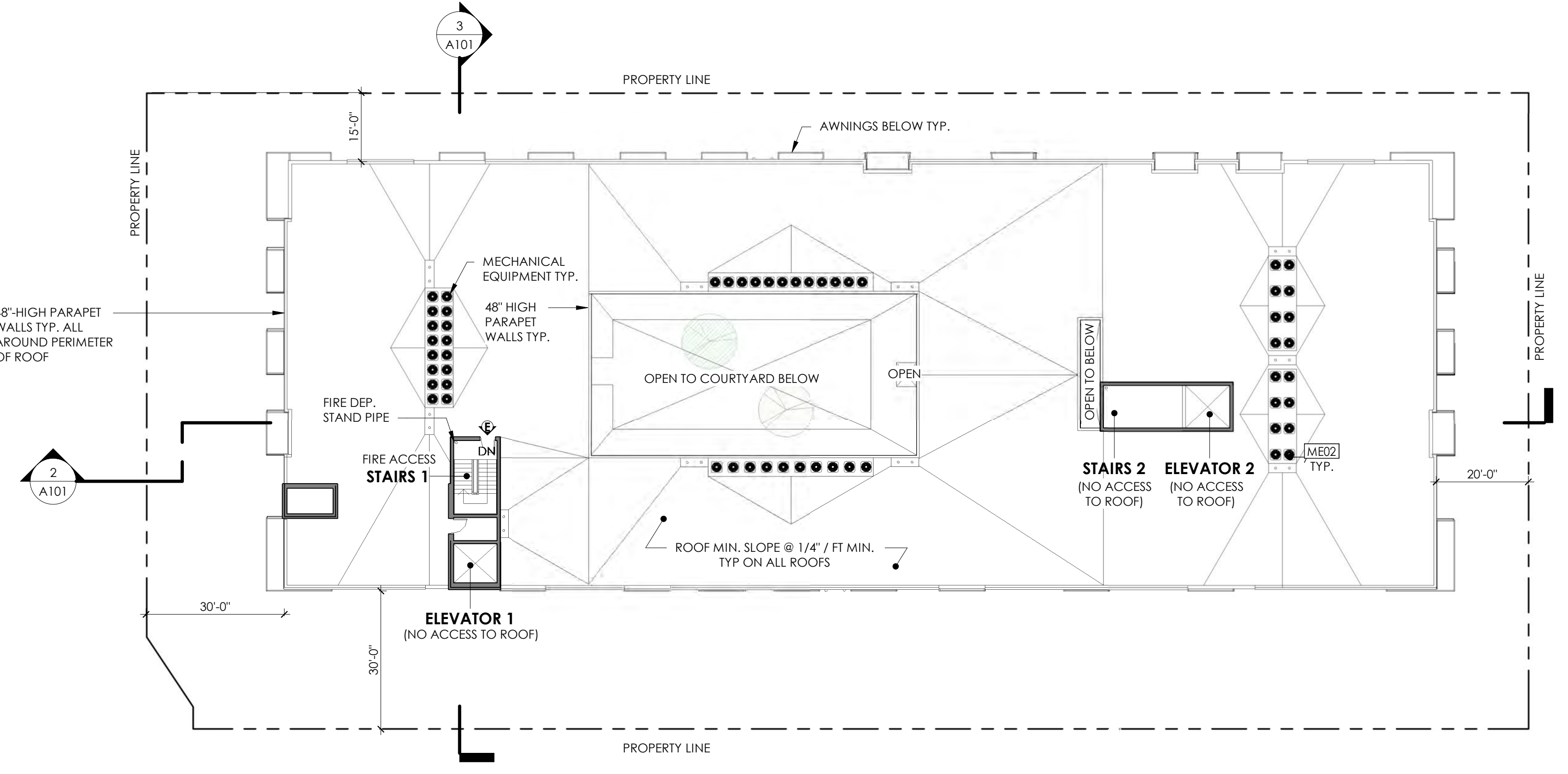
FIRE ACCESS LONG SECTION 2
SCALE: 1" = 20'-0"

FIRE ACCESS LEGEND

- PROPERTY LINE
 - BUILDING FOOTPRINT
 - BUILDING FOOTPRINT ABOVE
 - FIRE LANE
 - FIRE HOSE - 200 FT LENGTH
 - DISTANCE TO (E) FIRE HYDRANT
 - ⊕ (E) FIRE HYDRANT
 - 5 FT CLEAR FIRE DEPARTMENT WALKING ACCESS
- ABBREVIATIONS**
- PER ACP = PER ALTADENA COMMUNITY PLAN
 - F.O.S. = FACE OF STRUCTURE
 - F.O.P. = FACE OF PROJECTIONS
 - PL = PROPERTY LINE

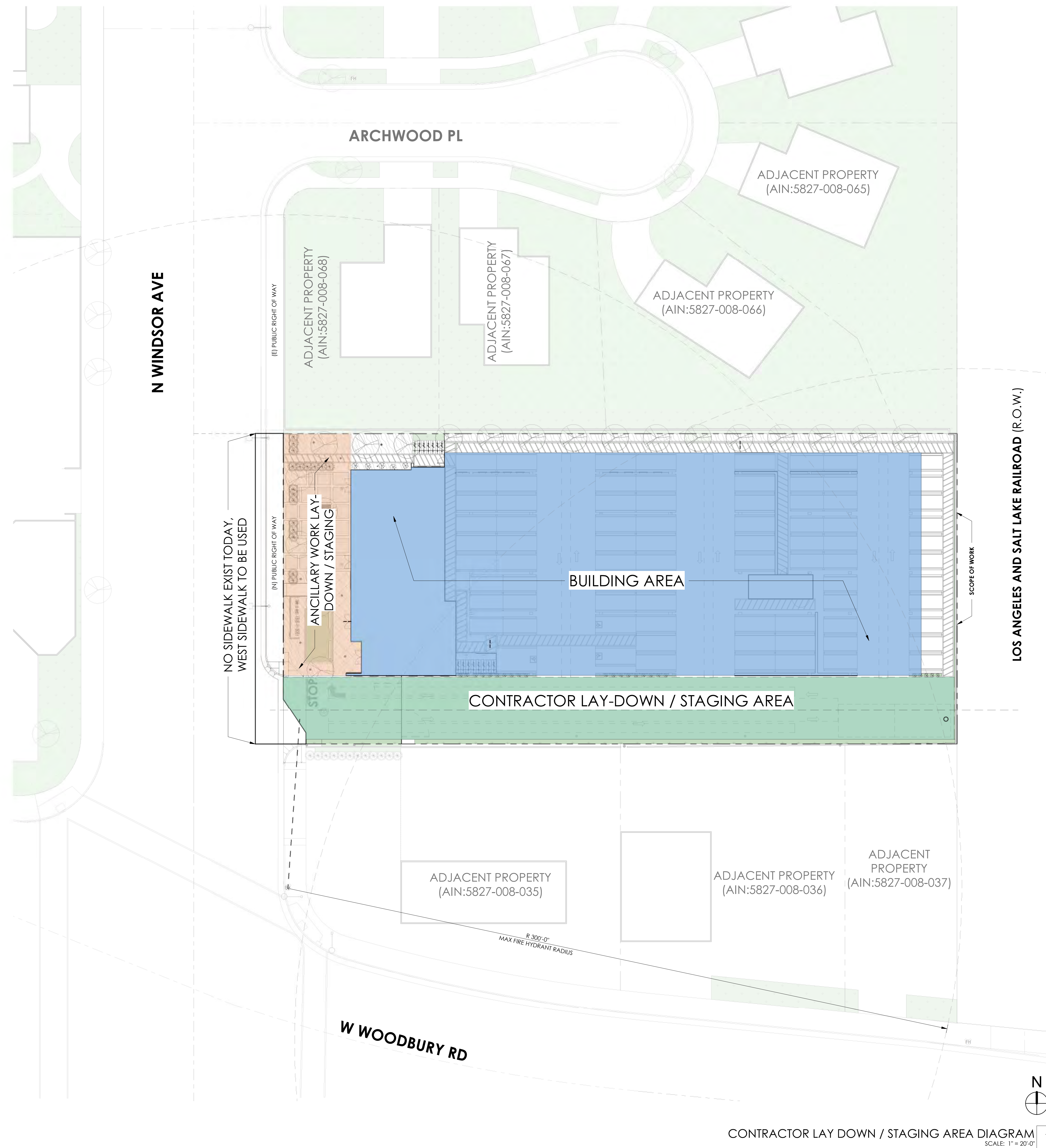


FIRE ACCESS SHOT SECTION 3
SCALE: 1" = 20'-0"



ROOF LEVEL-FIRE ACCESS DIAGRAM 4
SCALE: 1" = 20'-0"

FIRE DEPARTMENT ACCESS PLANS & SECTIONS A101

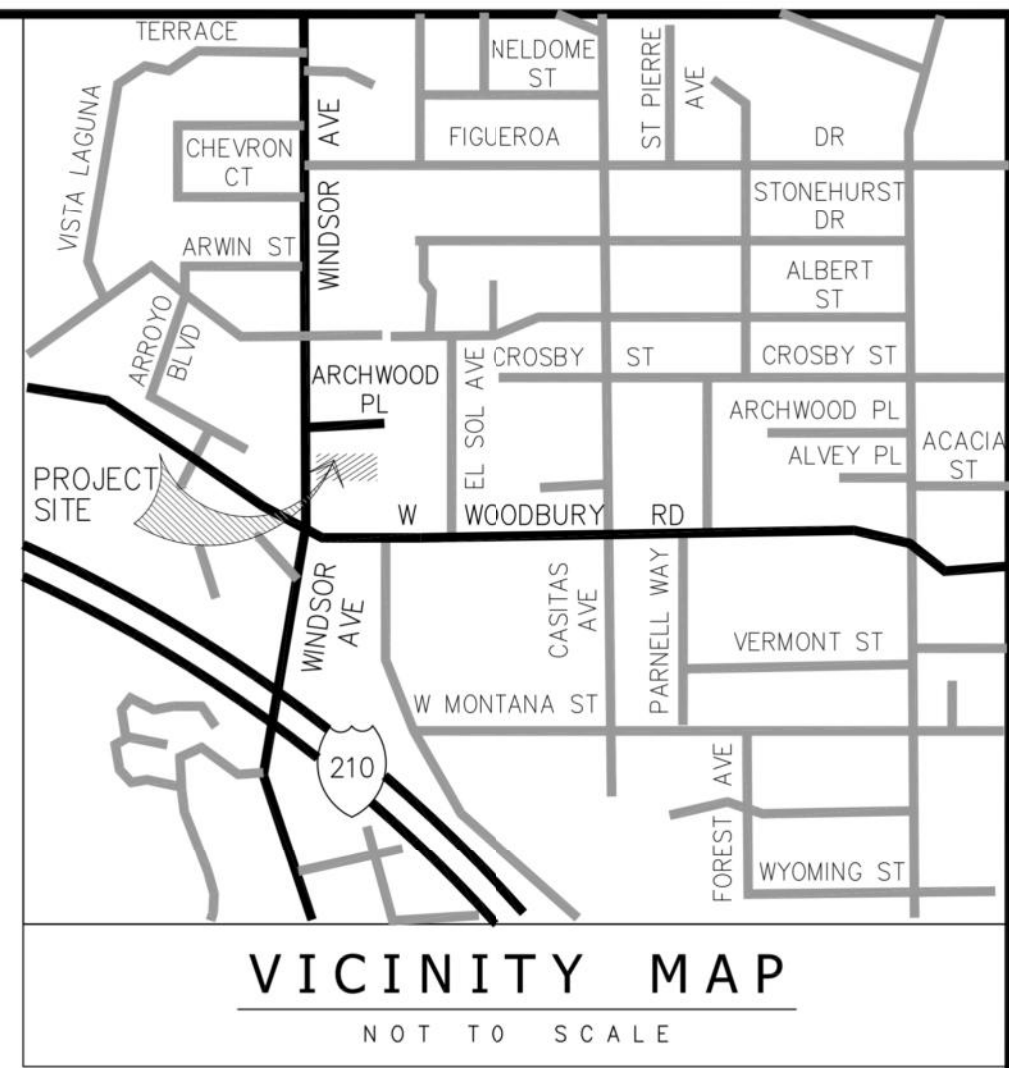
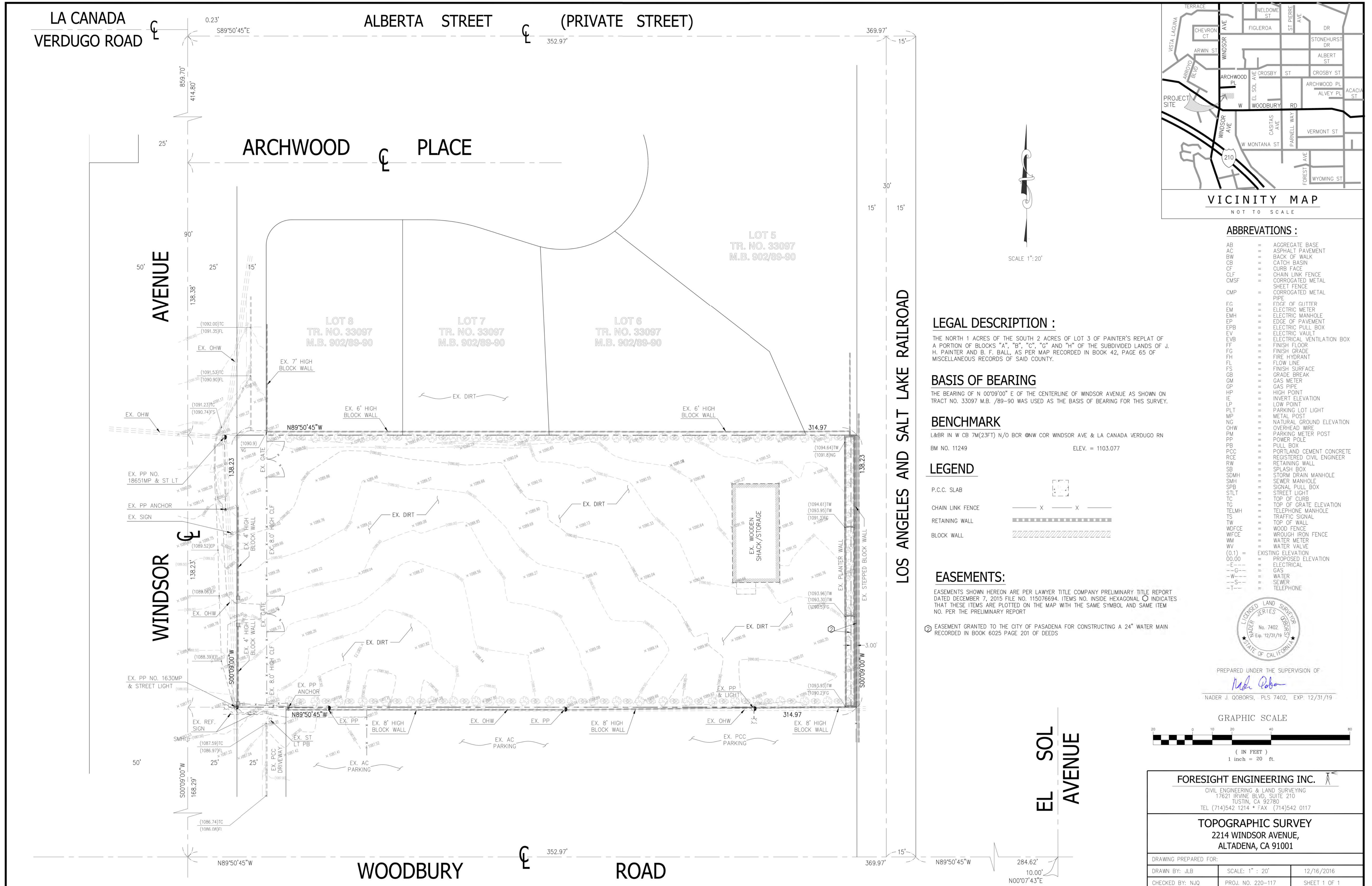


CONTRACTOR LAY-DOWN / STAGING AREA

SITE PLAN A101.1

WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
ALTADENA, CA 91001



ABBREVIATIONS :

AB	AGGREGATE BASE
AC	ASPHALT PAVEMENT
BW	BACK OF WALK
CB	CATCH BASIN
CF	CURB FACE
CLF	CHAIN LINK FENCE
CMSF	CORROGATED METAL SHEET FENCE
CMP	CORROGATED METAL PIPE
FC	FACE OF CURTIER
EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
EPB	ELECTRIC PULL BOX
EY	ELECTRIC YARD
EVB	ELECTRICAL VENTILATION BOX
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISH SURFACE
GB	GRADE BREAK
GM	GAS METER
GP	GAS PIPE
HP	HIGH POINT
IE	INVERT ELEVATION
LP	LOW POINT
PLT	PARKING LOT LIGHT
MP	METAL POST
NG	NATURAL GROUND ELEVATION
OHW	OVERHEAD WIRE
PP	PARKING METER POST
PP	POWER POLE
PB	PULL BOX
PCC	PORTLAND CEMENT CONCRETE
RCE	REGISTERED CIVIL ENGINEER
RW	RETAINING WALL
SB	SPLASH BOX
SDMH	STORM DRAIN MANHOLE
SMH	SEWER MANHOLE
SPB	SIGNAL PULL BOX
STLT	STREET LIGHT
TC	TOP OF CURB
TG	TOP OF GRATE ELEVATION
TELH	TELEPHONE MANHOLE
TS	TRAFFIC SIGNAL
TW	TOP OF WALL
WFCE	WOOD FENCE
WIFCE	WROUGH IRON FENCE
WM	WATER METER
WV	WATER VALVE
(0.1)	EXISTING ELEVATION
00.00	PROPOSED ELEVATION
-E-	ELECTRICAL
-G-	GAS
-W-	WATER
-S-	SEWER
-T-	TELEPHONE

LEGAL DESCRIPTION :

THE NORTH 1 ACRES OF THE SOUTH 2 ACRES OF LOT 3 OF PAINTER'S REPLAT OF A PORTION OF BLOCKS "A", "B", "C", "G" AND "H" OF THE SUBDIVIDED LANDS OF J. H. PAINTER AND B. F. BALL, AS PER MAP RECORDED IN BOOK 42, PAGE 65 OF MISCELLANEOUS RECORDS OF SAID COUNTY.

BASIS OF BEARING

THE BEARING OF N 00°09'00" E OF THE CENTERLINE OF WINDSOR AVENUE AS SHOWN ON TRACT NO. 33097 M.B. /89-90 WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

BENCHMARK

L&BR IN W CB 7M(23FT) N/O BCR @NW COR WINDSOR AVE & LA CANADA VERDUGO RN
BM NO. 11249 ELEV. = 1103.077

LEGEND

- P.C.C. SLAB
- CHAIN LINK FENCE
- RETAINING WALL
- BLOCK WALL

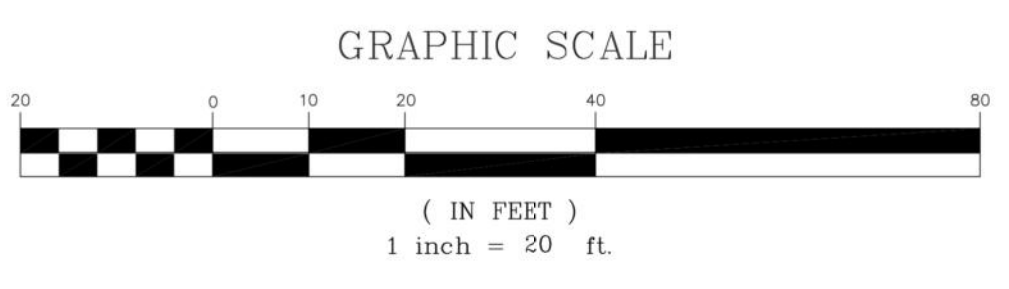
EASEMENTS:

EASEMENTS SHOWN HEREON ARE PER LAWYER TITLE COMPANY PRELIMINARY TITLE REPORT DATED DECEMBER 7, 2015 FILE NO. 115076694. ITEMS NO. INSIDE HEXAGONAL O INDICATES THAT THESE ITEMS ARE PLOTTED ON THE MAP WITH THE SAME SYMBOL AND SAME ITEM NO. PER THE PRELIMINARY REPORT

O EASEMENT GRANTED TO THE CITY OF PASADENA FOR CONSTRUCTING A 24" WATER MAIN RECORDED IN BOOK 6025 PAGE 201 OF DEEDS



PREPARED UNDER THE SUPERVISION OF
Nader J. Coborski
NADER J. COBORSKI, PLS 7402, EXP. 12/31/19



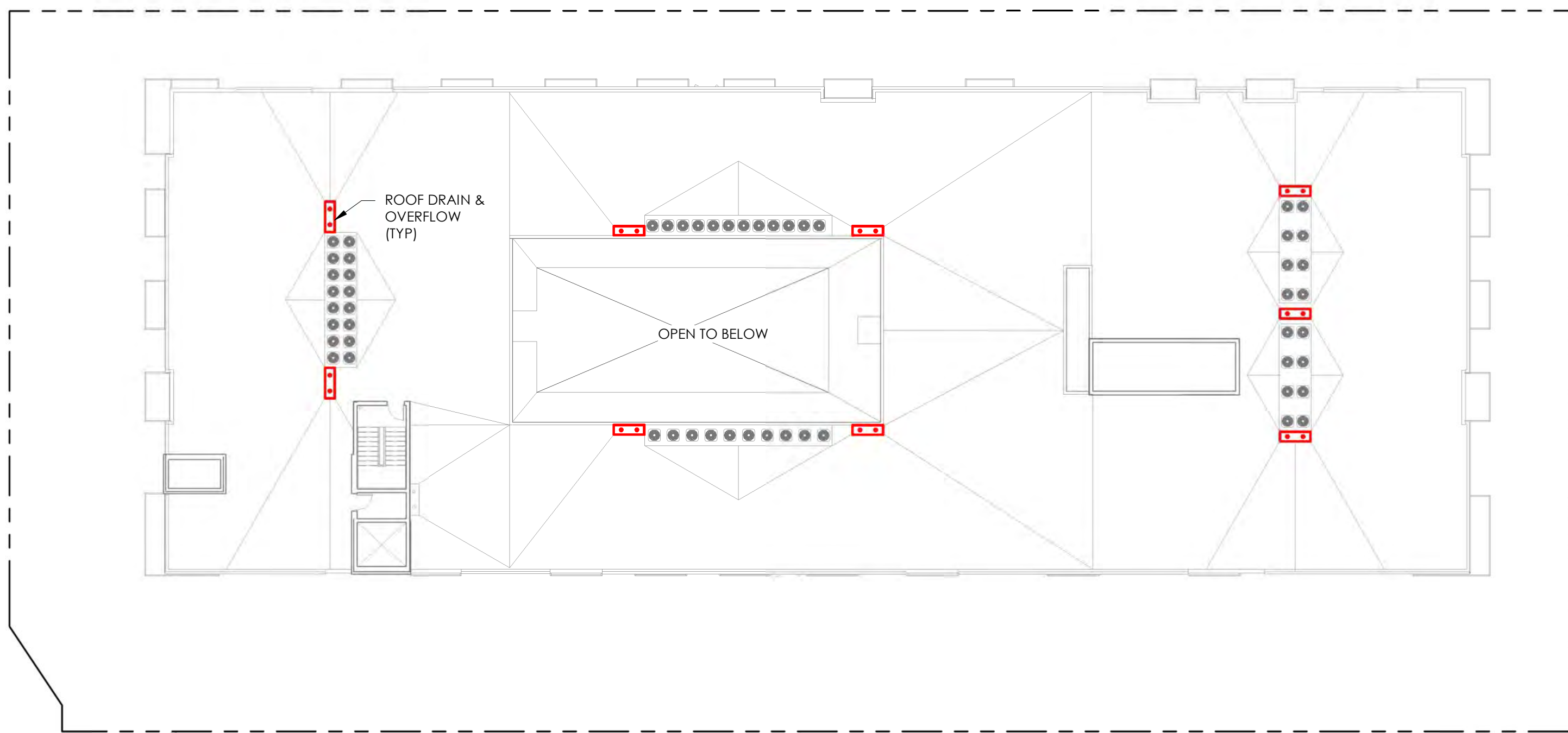
FORESIGHT ENGINEERING INC.
CIVIL ENGINEERING & LAND SURVEYING
17621 IRVINE BLVD., SUITE 210
TUSTIN, CA 92780
TEL (714)542-1214 * FAX (714)542-0117

TOPOGRAPHIC SURVEY
2214 WINDSOR AVENUE,
ALTADENA, CA 91001

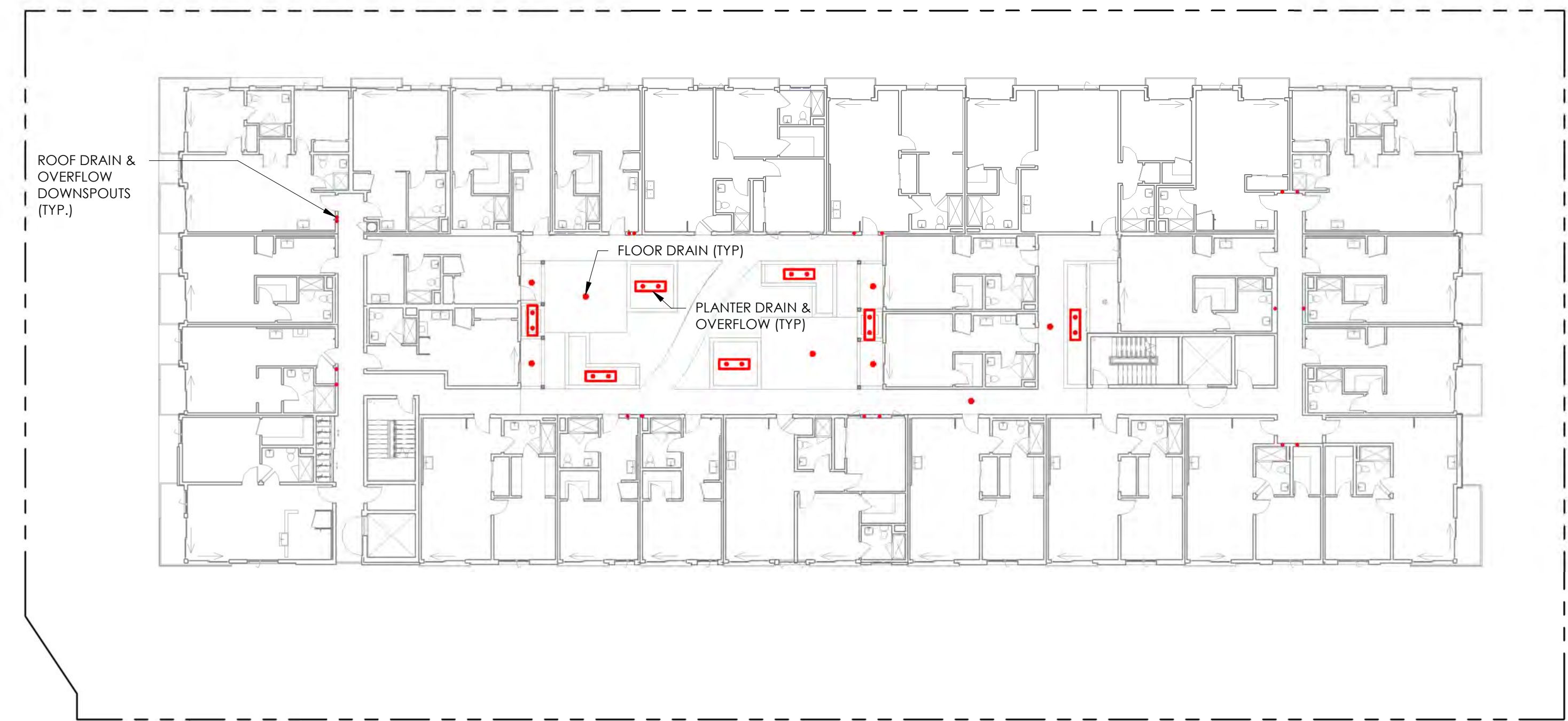
DRAWING PREPARED FOR:
DRAWN BY: JLB SCALE: 1" = 20' 12/16/2016
CHECKED BY: NJQ PROJ. NO. 220-117 SHEET 1 OF 1

EXISTING SITE TOPOGRAPHICAL SURVEY (FOR REFERENCE ONLY) 1

EXISTING SITE TOPOGRAPHICAL SURVEY (FOR REFERENCE ONLY) A103



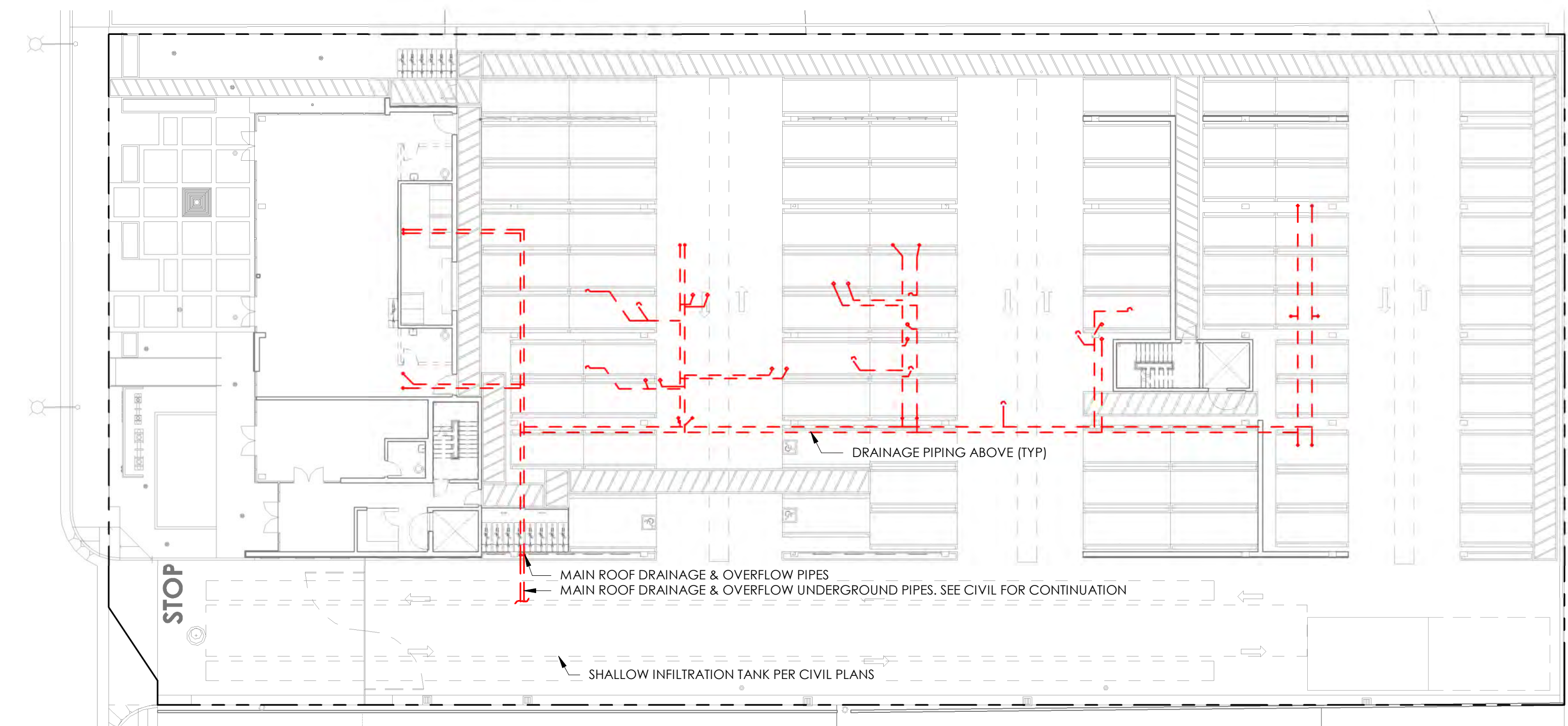
ROOF DRAINAGE DIAGRAM - ROOF LEVEL
SCALE: 1" = 20'-0" **4**



ROOF DRAINAGE DIAGRAM - LEVEL 2
SCALE: 1" = 20'-0" **2**

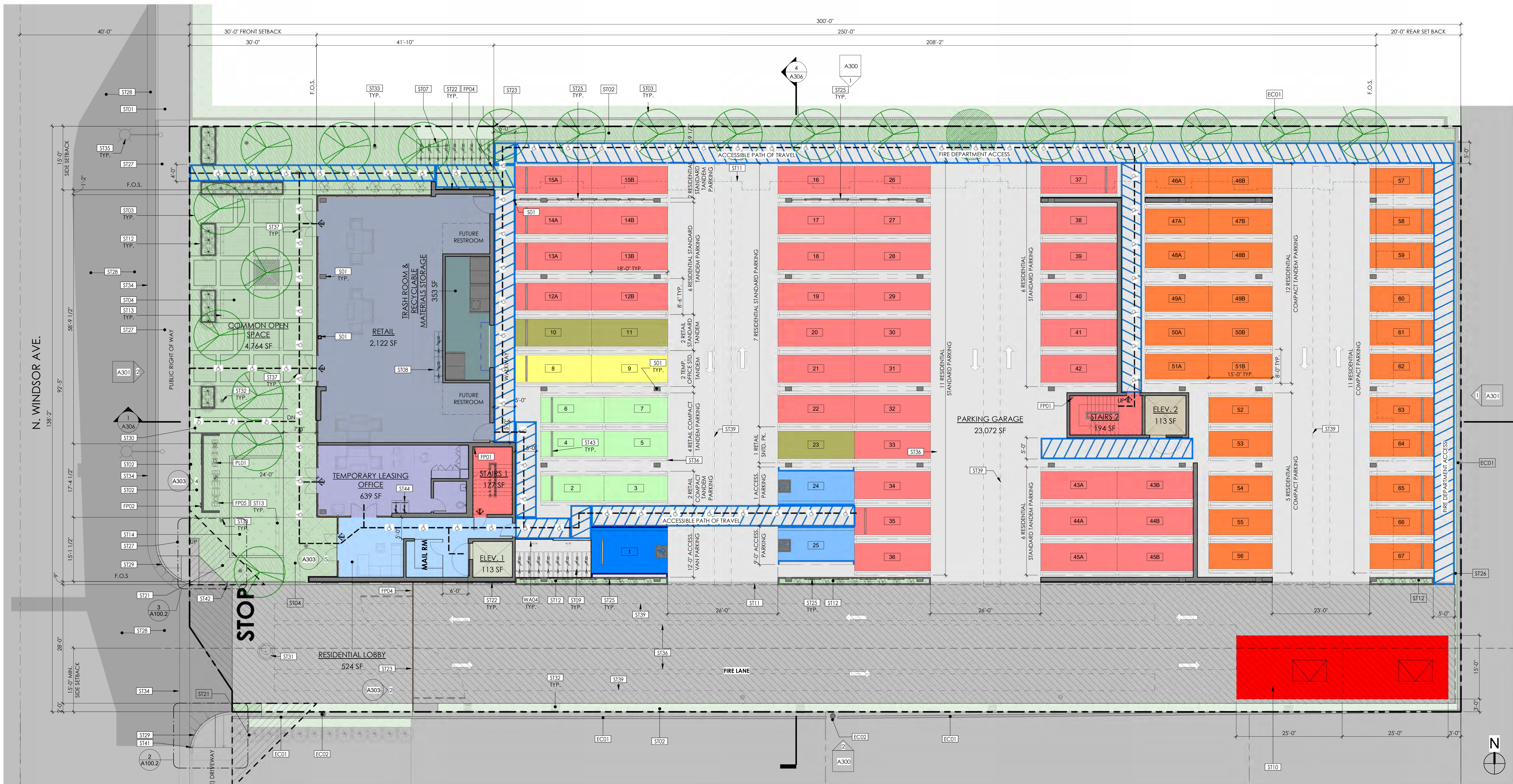


RESIDENTIAL LEVEL 3
SCALE: 1" = 20'-0" **3**



ROOF DRAINAGE DIAGRAM - LEVEL 1
SCALE: 1" = 20'-0" **1**

SCHMATIC ROOF DRAINAGE DIAGRAMS A104



GROUND LEVEL 1
SCALE: 1" = 10'-0"

PARKING STALL LEGEND		SPACES COLOR LEGEND		BICYCLE PARKING PROVIDED		REQUIRED PARKING CALCULATION		VEHICLE PARKING PROVIDED		GROUND LEVEL GROSS AREA SCHEDULE		KEYNOTES		KEYNOTES	
				TYPE		COUNT		TYPE		AREA DESCRIPTION		KEYNOTE		KEYNOTE	
	12'-0" x 18'-0"		COMMON OPEN SPACE	GROUND LEVEL		RETAIL:	1 STALL / 250 SF X 2,122 SF = 8.49 =	8 STALLS	ACCESSIBLE PARKING	COMMON OPEN SPACE	4,764 SF	EC01	EXISTING MASONRY WALL TO REMAIN	ST28	AREA OF (N) STREET PAVEMENT IMPROVEMENT. SEE CIVIL PLANS
	9'-0" x 18'-0"		ELEV. 1	RESIDENTIAL LONG-TERM BICYCLE PARKING	16	TEMPORARY OFFICE:	1 STALL / 400 SF X 639 SF = 1.60	2 STALLS	ACCESSIBLE RESIDENTIAL PARKING 9'-0" X 18'-0"	ELEV. 2	113 SF	EC02	EXISTING POWER LINE. OWNER TO CLEAR POWER LINE CABLES FROM OBSTRUCTING FIRE LANE. SEE SITE PLAN	ST29	(N) DRIVEWAY
	8'-6" x 18'-0"		ELEV. 2	RESIDENTIAL SHORT-TERM BICYCLE PARKING	5	RESIDENTIAL:	1 STALL / STUDIO X 30 STUDIOS =	30 STALLS	VAN-ACCESSIBLE PARKING 9'-0" X 18'-0"	PARKING GARAGE	23,072 SF	FP01	COMBINATION STANDPIPE W/ FIRE HOSE VALVE + MAIN SPRINKLER RISER	ST30	(N) ACCESSIBLE RAMP. 1:12 SLOPE MAX.
	8'-6" x 18'-0"		PARKING GARAGE	RETAIL LONG-TERM BICYCLE PARKING	2	1 STALL / 1-BEDROOM X 14 1-BEDROOM =	14 STALLS	20 STALLS	RESIDENTIAL COMPACT PARKING - 8'-0" X 15'-0"	RESIDENTIAL LOBBY	524 SF	FP02	(N) STORM WATER DRAIN INLET. SEE CIVIL PLANS	ST31	(N) UTILITY MANHOLE. SEE CIVIL PLANS
	8'-0" x 15'-0"		RESIDENTIAL LOBBY	TEMP OFFICE LONG-TERM BICYCLE PARKING	2	2 STALLS / 2-BEDROOM X 10 2-BEDROOM =	20 STALLS	20 STALLS	RESIDENTIAL STANDARD PARKING - 8'-6" X 18'-0"	RETAIL	2,122 SF	FP04	(N) FIRE DEPARTMENT APPROVED KNOX BOX	ST32	(N) FIRE DEPARTMENT CONNECTION & MANIFOLD
	8'-0" x 18'-0"		RETAIL	TEMP OFFICE SHORT-TERM BICYCLE PARKING	2	TOTAL =	74 STALLS	74 STALLS	STAIRS 1	STAIRS 1	177 SF	FP05	(N) FIRE BACKFLOW PREVENTER. SEE CIVIL PLANS	ST33	(N) AREA / PLANTER DRAIN. SEE CIVIL PLANS
	8'-0" x 15'-0"		STAIRS 1	SECOND LEVEL		ACCESSIBLE PARKING PER CBC TABLE 11B-208.2:	3 STALLS: 51 TO 75 STALLS	3 STALLS	STAIRS 2	STAIRS 2	194 SF	FP05	(N) FIRE BACKFLOW PREVENTER. SEE CIVIL PLANS	ST34	(N) SITE GUTTERS. SEE CIVIL PLANS
			STAIRS 2	RESIDENTIAL LONG-TERM BICYCLE PARKING	6	NO VISITORS PARKING REQUIRED PER MIXED USE INCENTIVE			TRASH ROOM & RECYCLABLE MATERIALS STORAGE	TRASH ROOM & RECYCLABLE MATERIALS STORAGE	353 SF	PL01	DOMESTIC WATER BACKFLOW PREVENTER	ST35	(N) LIGHT POSTS PER CIVIL PLANS
			TEMPORARY LEASING OFFICE	THIRD LEVEL					TEMP OFFICE	TEMP OFFICE	639 SF	S01	STRUCTURAL COLUMN	ST36	(N) SHALLOW INFILTRATION TANK. SEE CIVIL PLANS
			TRASH ROOM & RECYCLABLE MATERIALS STORAGE	GRAND TOTAL	41				RETAIL COMPACT PARKING - 8'-0" X 15'-0"	MAIL RM	113 SF	S01	(E) SIDEWALK	ST37	(N) CLEAN OUT PER CIVIL PLANS
									RETAIL STANDARD PARKING - 8'-6" X 18'-0"	ELEV. 1	113 SF	ST01	(N) LANDSCAPED AREA PER LANDSCAPE PLANS	ST39	(N) DETENTION TANK PER CIVIL DRAWINGS.
									TEMP OFFICE STANDARD PARKING - 8'-6" X 18'-0"	MAIL RM	113 SF	ST02	(N) TREES PER LANDSCAPE PLANS	ST41	INSTALL (N) "NO LEFT-TURN" SIGN. EXACT LOCATION TBD
									GRAND TOTAL: 80	ELEV. 2	113 SF	ST03	(N) PAVED AREA PER LANDSCAPE PLANS	ST42	INSTALL (N) "STOP" SIGN AND "RIGHT TURN ONLY" SIGN. EXACT LOCATION TBD
										STAIRS 2	194 SF	ST04	(N) SHORT-TERM BICYCLE PARKING. 5 RESIDENTIAL; 2 RETAIL; 2 TEMP OFFICE	ST43	PROVIDE WHEEL STOPS FOR ALL PARKING STALLS ADJACENT TO THE ACCESSIBLE PATH OF TRAVEL.
										STAIRS 2	194 SF	ST07	(N) RAISED PLANTERS PER LANDSCAPE PLANS	ST44	TEMPORARY OFFICE LONG TERM BICYCLE PARKING
										STAIRS 2	194 SF	ST08	(N) BENCHES PER LANDSCAPE PLANS	WAD4	BICYCLE CAGE FRAMING W/ DOUBLE SLIDING GATE
										STAIRS 2	194 SF	ST09	(N) ARTIFICIAL TURF PER LANDSCAPE PLANS		
										STAIRS 2	194 SF	ST10	(N) TWO IN-GROUND TRANSFORMERS UNDER PAVEMENT OVERHEAD BUILDING OUTLINE		
										STAIRS 2	194 SF	ST11	(N) RAISED PLANTERS PER LANDSCAPE PLANS		
										STAIRS 2	194 SF	ST12	(N) BENCHES PER LANDSCAPE PLANS		
										STAIRS 2	194 SF	ST13	(N) ARTIFICIAL TURF PER LANDSCAPE PLANS		
										STAIRS 2	194 SF	ST14	10 FT X 10 FT PEDESTRIAN SIGHT TRIANGLE IN ACCORDANCE W/ LACC 22.506.020.		
										STAIRS 2	194 SF	ST22	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 1		
										STAIRS 2	194 SF	ST23	(N) IRON FENCE & GATE W/ WOOD-TEXTURED METAL SCREENING - TO BE LEFT OPEN DURING BUSINESS HOURS		
										STAIRS 2	194 SF	ST25	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 2		
										STAIRS 2	194 SF	ST26	VINES LANDSCAPING PER LANDSCAPING PLAN		
										STAIRS 2	194 SF	ST27	(N) STREET IMPROVEMENT SIDEWALK		

GROUND FLOOR PLAN A200



SPACES COLOR LEGEND

- 1 BED
- 2 BED
- BALCONY
- BICYCLE PARKING
- COMMON OPEN SPACE
- CORRIDOR
- ELEC. RM.
- ELEV. RM.
- JULIET BALCONY
- PATIO
- STUDIO

SECOND LEVEL UNIT SCHEDULE

KEYNOTES		SECOND LEVEL UNIT SCHEDULE	
KEYNOTE	DESCRIPTION	UNIT NUMBER	GROSS AREA
FP01	COMBINATION STANDPIPE W/ FIRE HOSE VALVE + MAIN SPRINKLER RISER		
FP03	RECESSED FIRE EXTINGUISHER		
W&D1	TRASH CHUTE	1 BED	
SED4	GAS GRILL W/ 1-HR TIMER	201	811 SF
ST03	(N) TREES PER LANDSCAPE PLAN	209	753 SF
ST04	(N) PAVED AREA PER LANDSCAPE PLANS	215	759 SF
ST12	(N) RAISED PLANTERS PER LANDSCAPE PLANS	216	724 SF
ST13	(N) BENCHES PER LANDSCAPE PLANS	217	774 SF
ST14	(N) ARTIFICIAL TURF PER LANDSCAPE PLANS	218	774 SF
ST18	42" HIGH METAL GUARDRAIL	222	774 SF
ST20	LONG-TERM VERTICAL RESIDENTIAL BICYCLE PARKING	7	5,370 SF
ST24	42" HIGH METAL GUARDRAIL W/ WOOD-TEXTURED METAL SCREENING	2 BED	
ST25	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 2	204	914 SF
W&D4	BICYCLE CAGE FRAMING W/ DOUBLE SLIDING GATE	208	1,027 SF
		210	1,170 SF
		212	912 SF
		219	1,027 SF
		5	5,049 SF
		STUDIO	
		202	537 SF
		203	537 SF
		205	533 SF
		206	569 SF
		207	505 SF
		211	565 SF
		213	537 SF
		214	537 SF
		220	465 SF
		221	465 SF
		223	448 SF
		224	429 SF
		225	457 SF
		226	457 SF
		227	601 SF
		15	7,638 SF
		Grand total: 27	18,057 SF

LEVEL 2 FLOOR PLAN A201

WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
ALTADENA, CA 91001



SPACES COLOR LEGEND

- 1 BED
- 2 BED
- BALCONY
- BICYCLE PARKING
- CORRIDOR
- ELEC. RM.
- JULIET BALCONY
- PATIO
- STORAGE
- STUDIO
- UN ENCLOSED EXTERIOR DECK

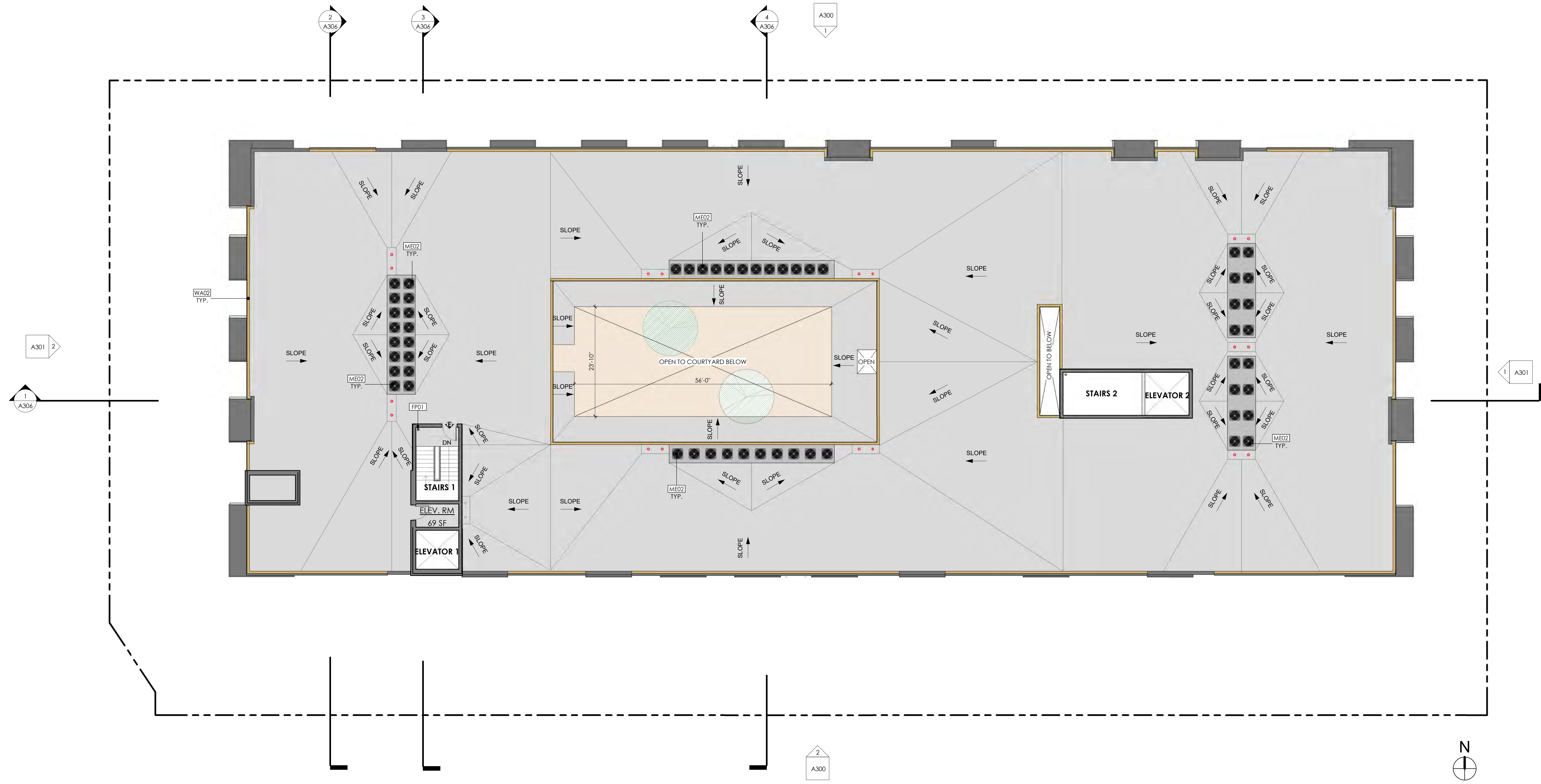
KEYNOTES		THIRD LEVEL UNIT SCHEDULE		
KEYNOTE	DESCRIPTION	UNIT NUMBER	GROSS AREA	AFFORDABLE UNIT
FP01	COMBINATION STANDPIPE W/ FIRE HOSE VALVE + MAIN SPRINKLER RISER			
FP03	RECESSED FIRE EXTINGUISHER			
W&D1	WASHING MACHINE			
ST18	42" HIGH METAL GUARDRAIL			
ST20	LONG-TERM VERTICAL RESIDENTIAL BICYCLE PARKING			
ST24	42" HIGH METAL GUARDRAIL W/ WOOD-TEXTURED METAL SCREENING			
W&D4	BICYCLE CAGE FRAMING W/ DOUBLE SLIDING GATE			
		1 BED		
		301	811 SF	No
		309	753 SF	No
		315	759 SF	No
		316	724 SF	No
		317	774 SF	No
		318	774 SF	No
		322	774 SF	No
		2 BED		
		304	914 SF	No
		308	1,027 SF	No
		310	1,170 SF	No
		312	912 SF	No
		319	1,027 SF	No
		STUDIO		
		302	537 SF	No
		303	537 SF	No
		305	533 SF	No
		306	569 SF	No
		307	505 SF	No
		311	565 SF	No
		313	537 SF	No
		314	537 SF	No
		320	465 SF	No
		321	465 SF	No
		323	429 SF	Yes
		324	451 SF	Yes
		325	457 SF	No
		326	457 SF	No
		327	601 SF	No
		15-STUDIO UNITS TOTAL	7,641 SF	
		Grand total:	18,049 SF	

LEVEL 3 FLOOR PLAN A202

WINDSOR MIXED USE MULTI-FAMILY

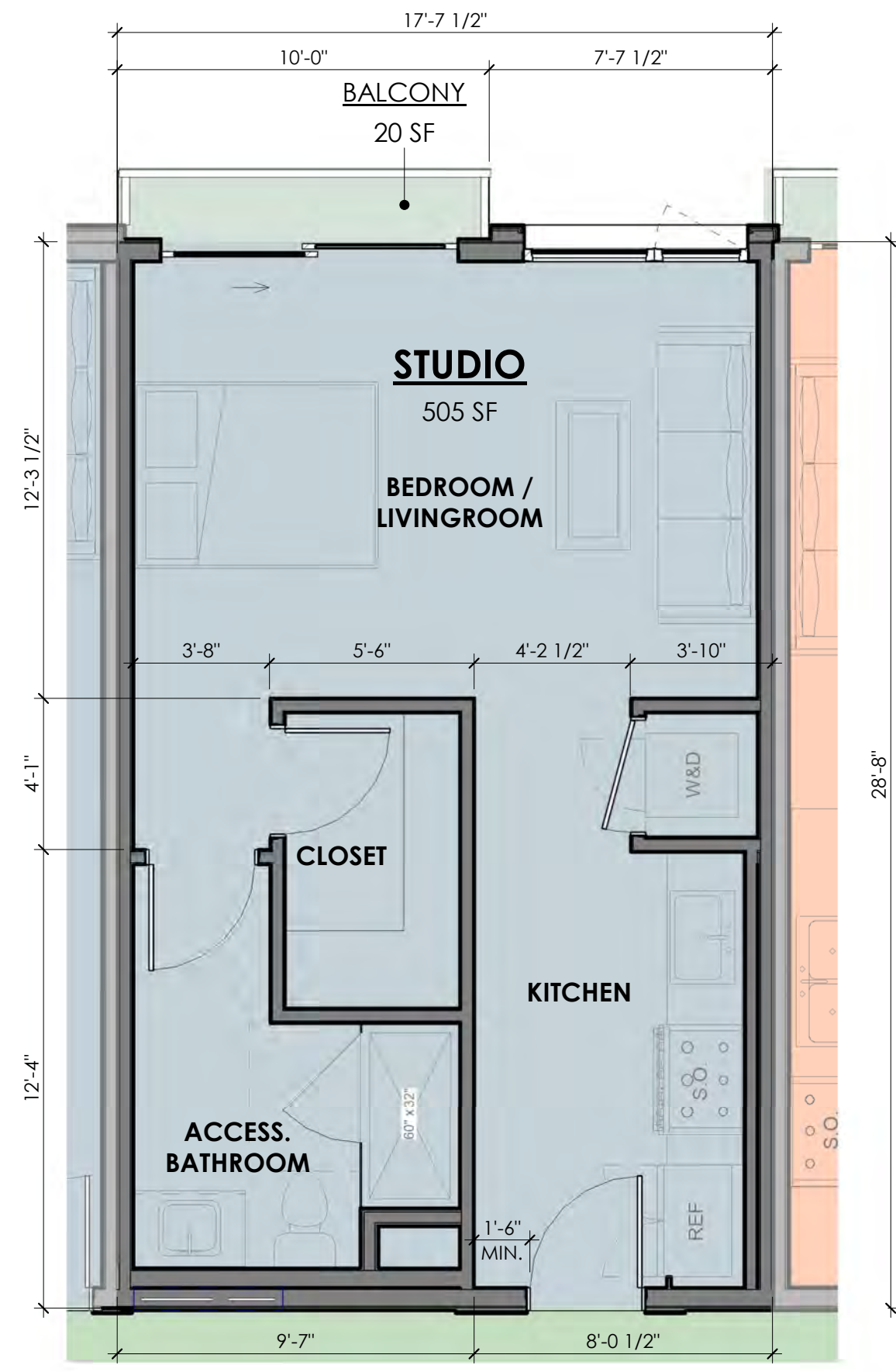
2214 WINDSOR AVE.
ALTADENA, CA 91001



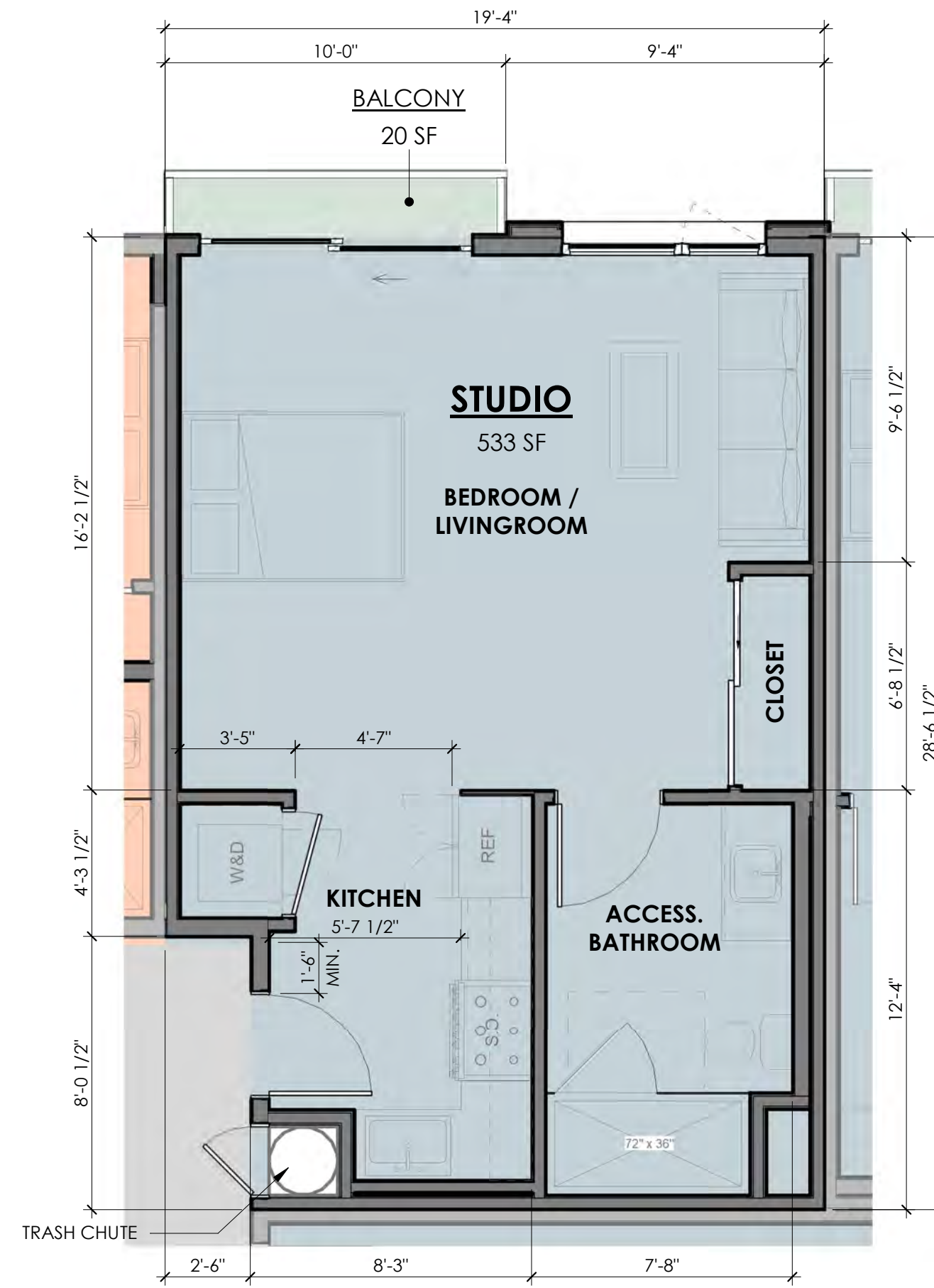


ROOF LEVEL 1
SCALE: 1" = 10'-0"

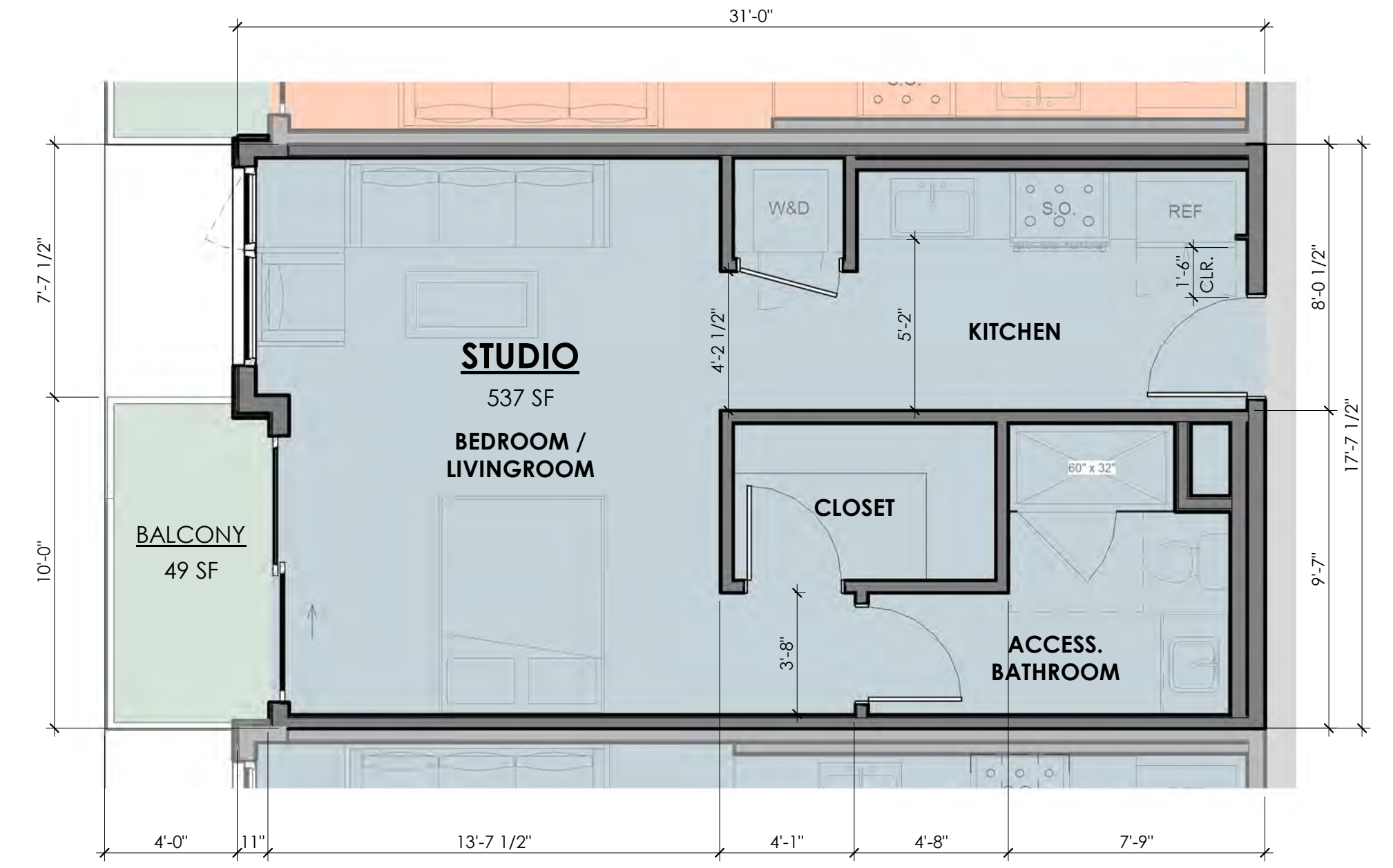
KEYNOTES	
KEYNOTE	DESCRIPTION
FP01	COMBINATION STANDPIPE W/ FIRE HOSE VALVE + MAIN SPRINKLER RISER
ME02	MECHANICAL UNITS
WAG2	PARAPET WALLS



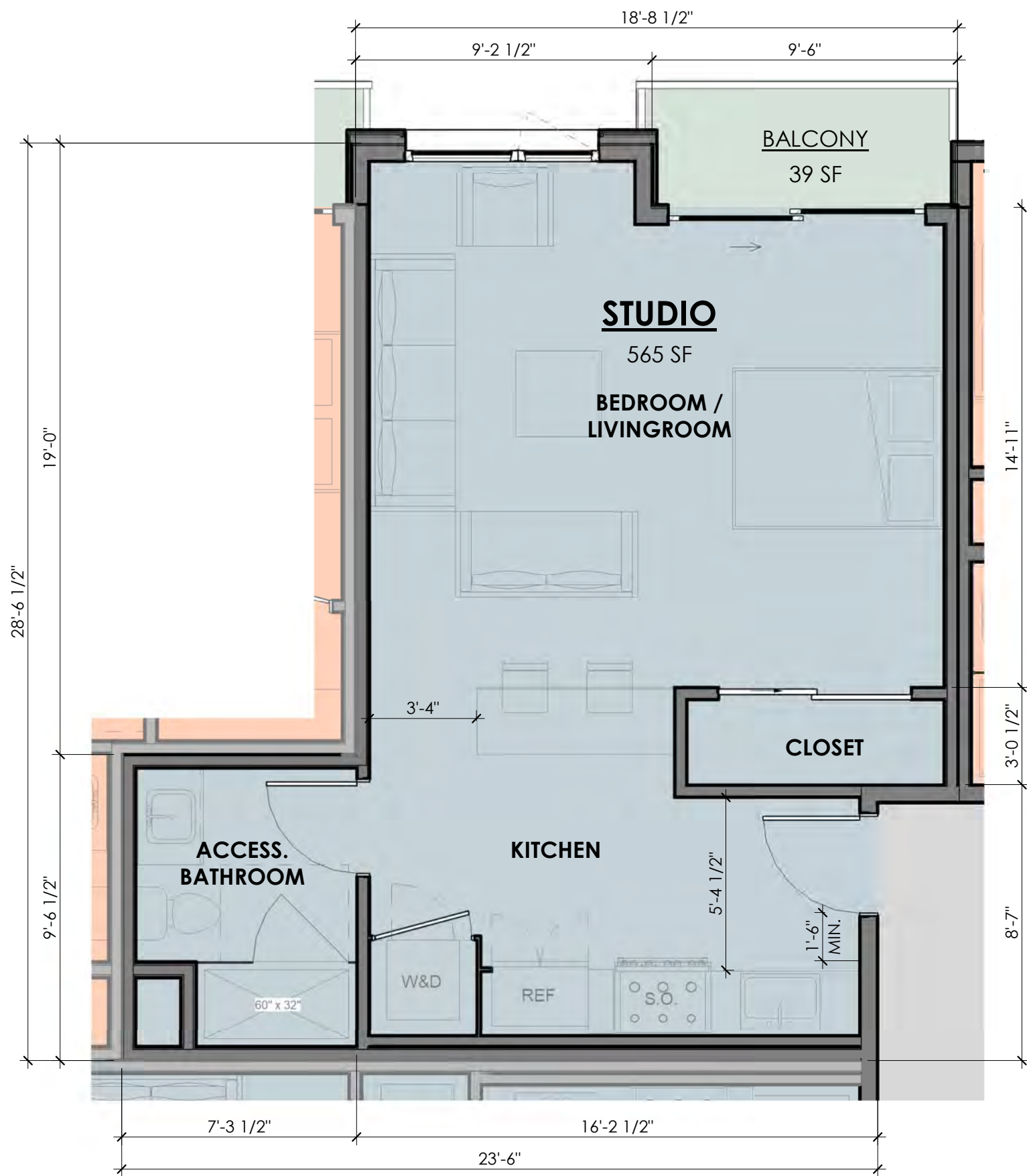
STUDIO TYPE E - UNITS 207 & 307
SCALE: 1/4" = 1'-0" **6**



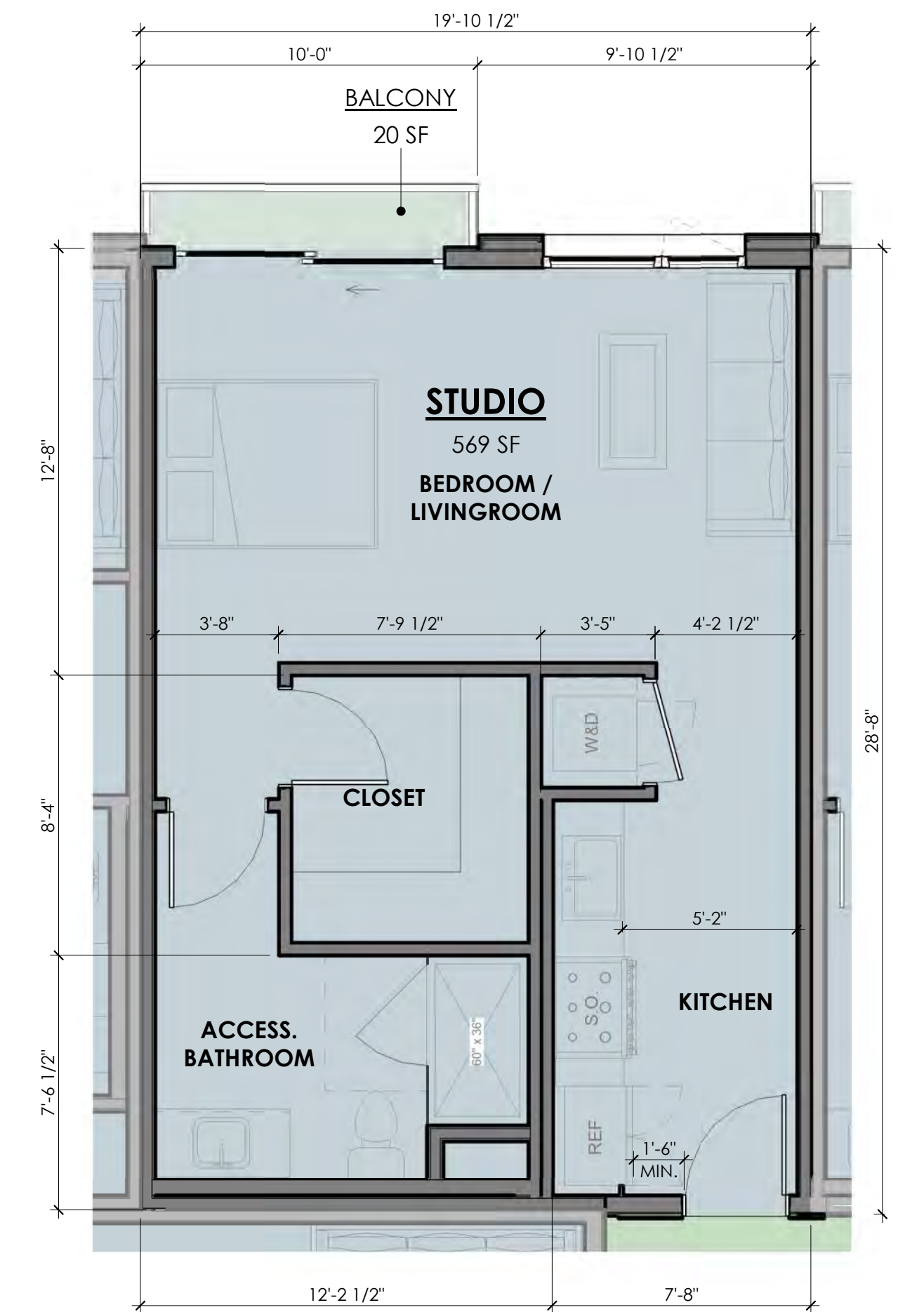
STUDIO TYPE C - UNITS 205 & 305
SCALE: 1/4" = 1'-0" **4**



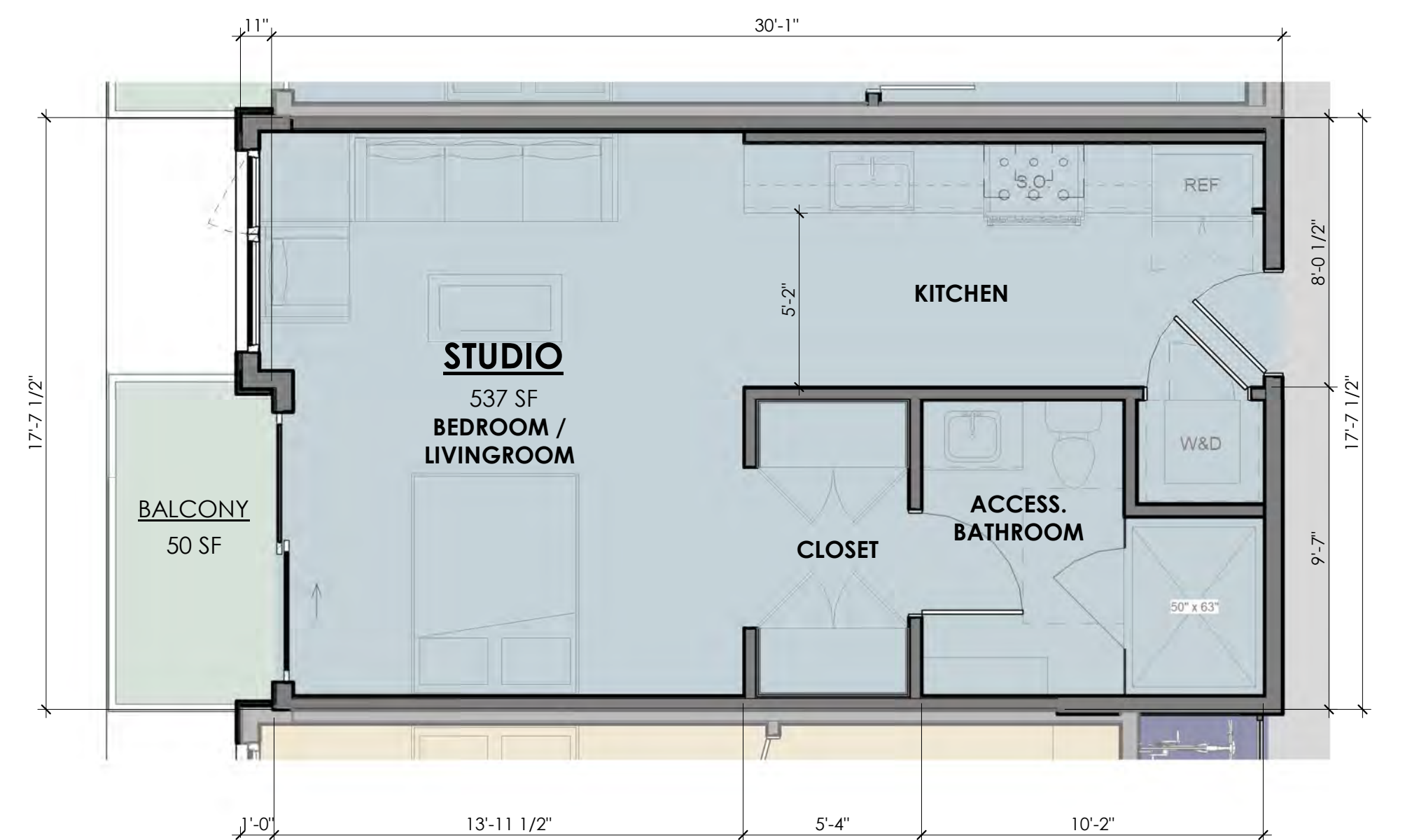
STUDIO TYPE B - UNITS 203, 213, 214, 303, 313, & 314
SCALE: 1/4" = 1'-0" **2**



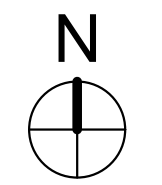
STUDIO TYPE F - UNITS 211 & 311
SCALE: 1/4" = 1'-0" **5**



STUDIO TYPE D-UNITS 206 & 306
SCALE: 1/4" = 1'-0" **3**



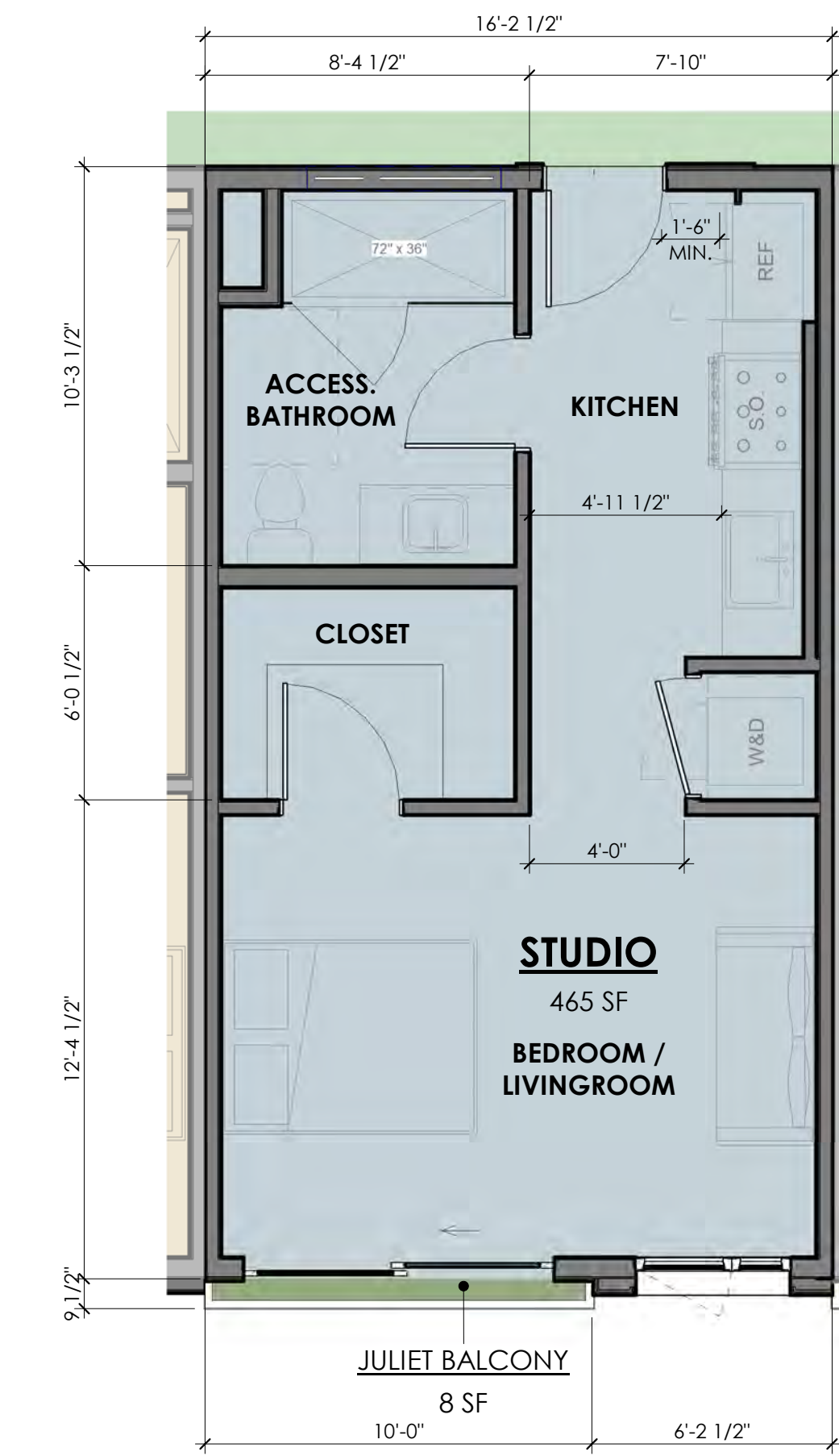
STUDIO TYPE A - UNITS 202 & 302
SCALE: 1/4" = 1'-0" **1**



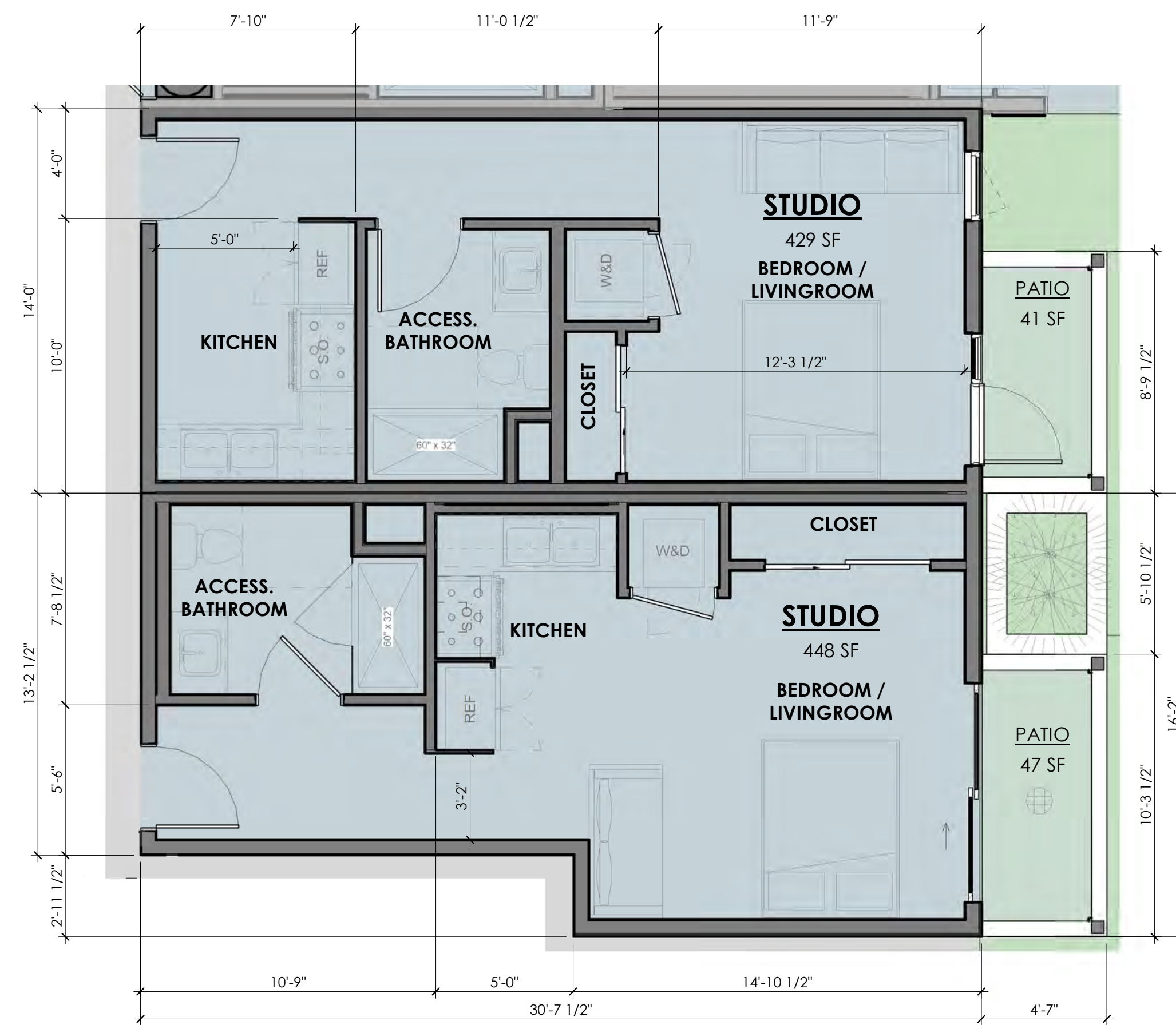
UNIT PLANS - STUDIOS **A220**



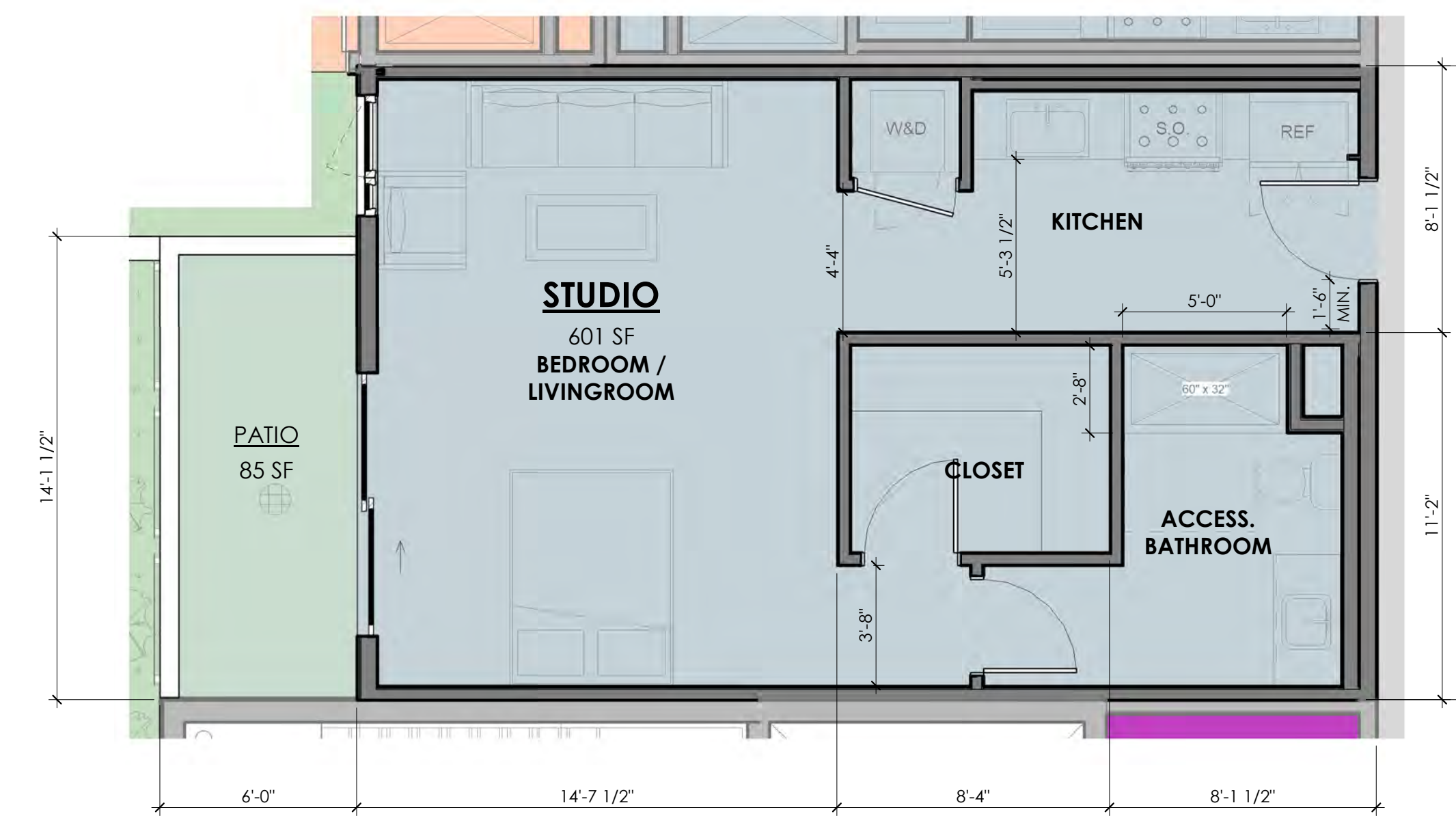
STUDIO TYPE L-UNITS 225, 226, 325, & 326
SCALE: 1/4" = 1'-0" **4**



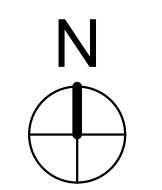
STUDIO TYPE H - UNITS 220, 221, 320, 321
SCALE: 1/4" = 1'-0" **2**

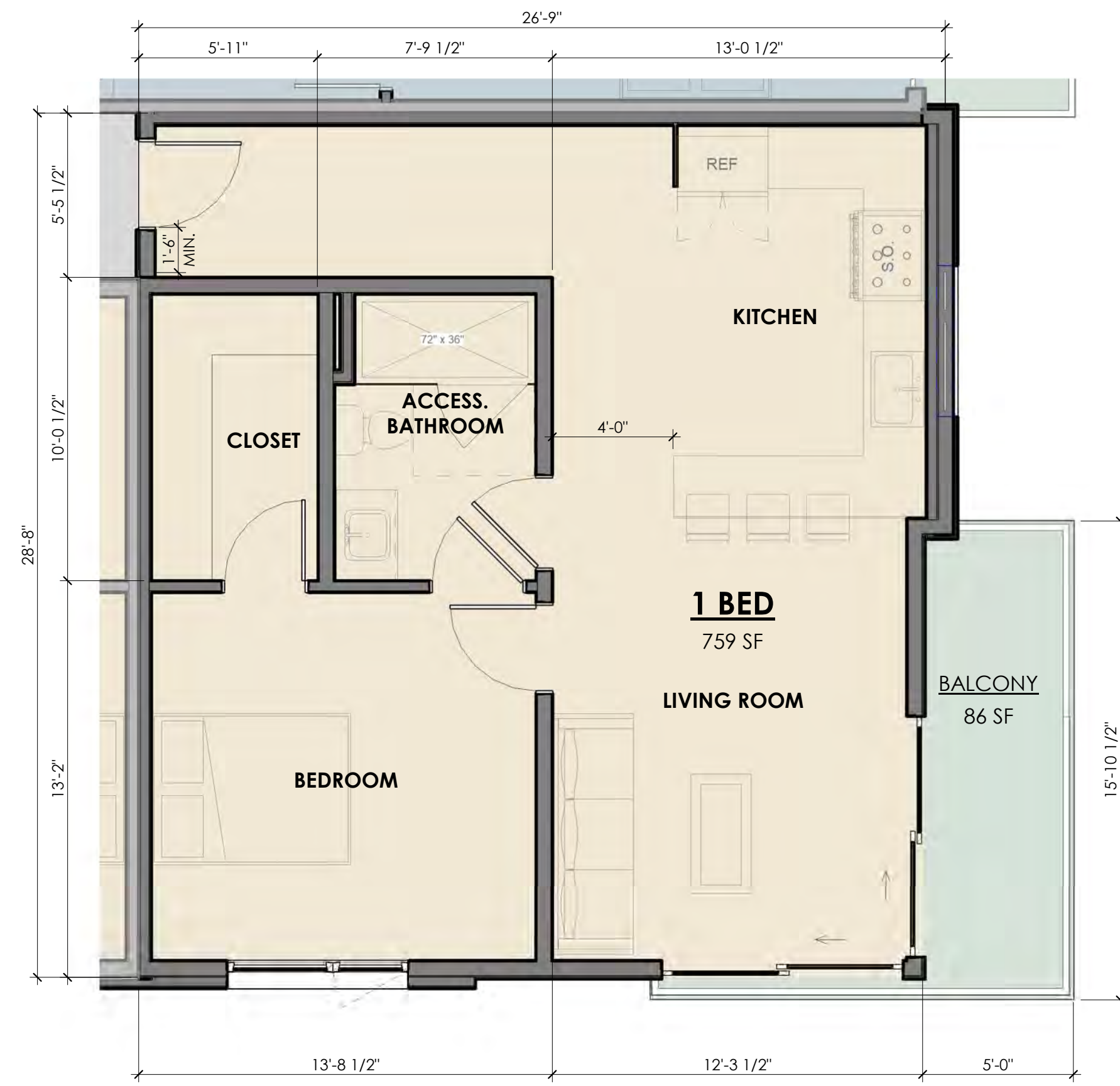


STUDIO TYPE J & K - UNITS 223, 224, 323, & 324
SCALE: 1/4" = 1'-0" **3**

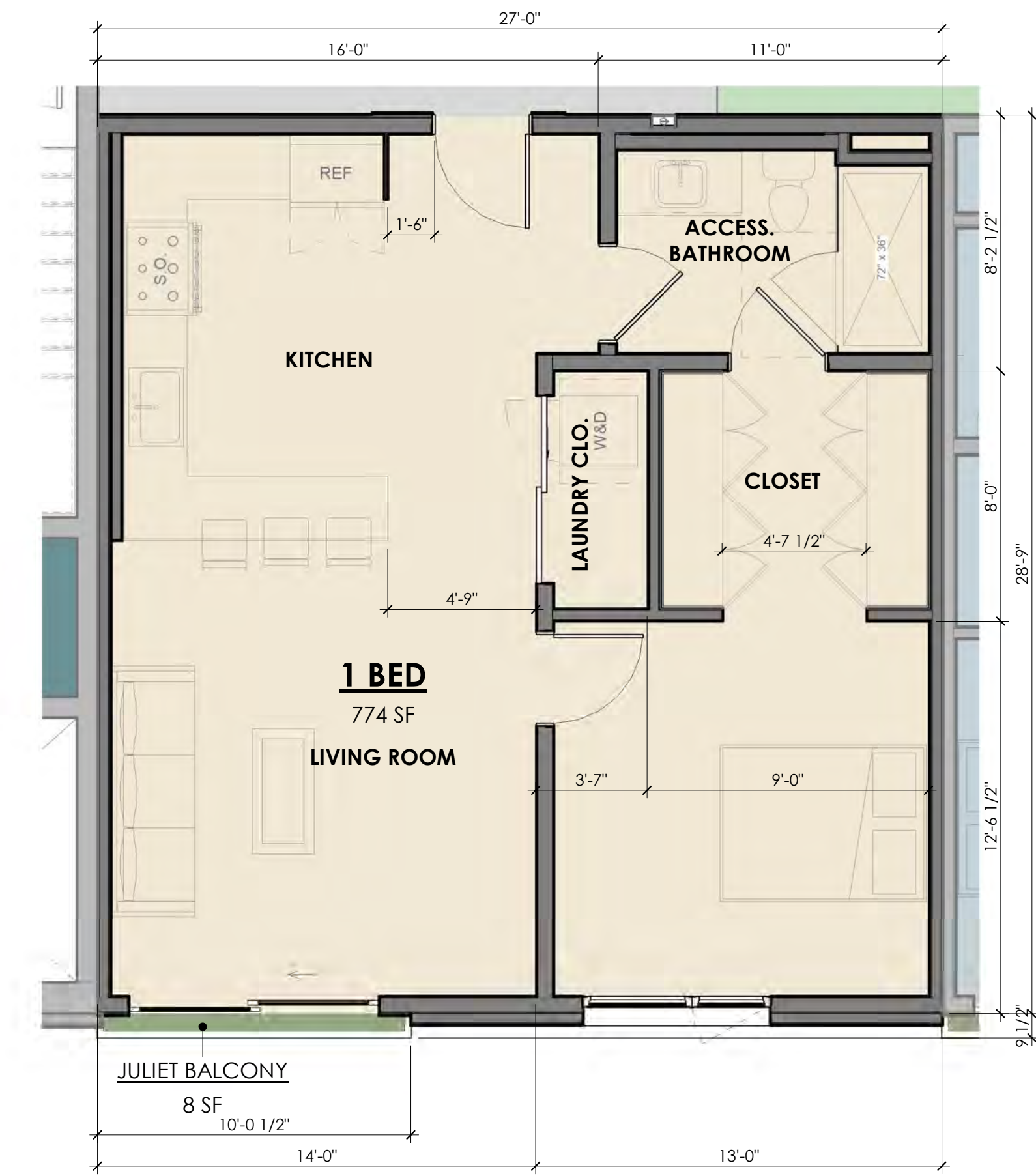


STUDIO TYPE G, UNITS 227 & 337
SCALE: 1/4" = 1'-0" **1**

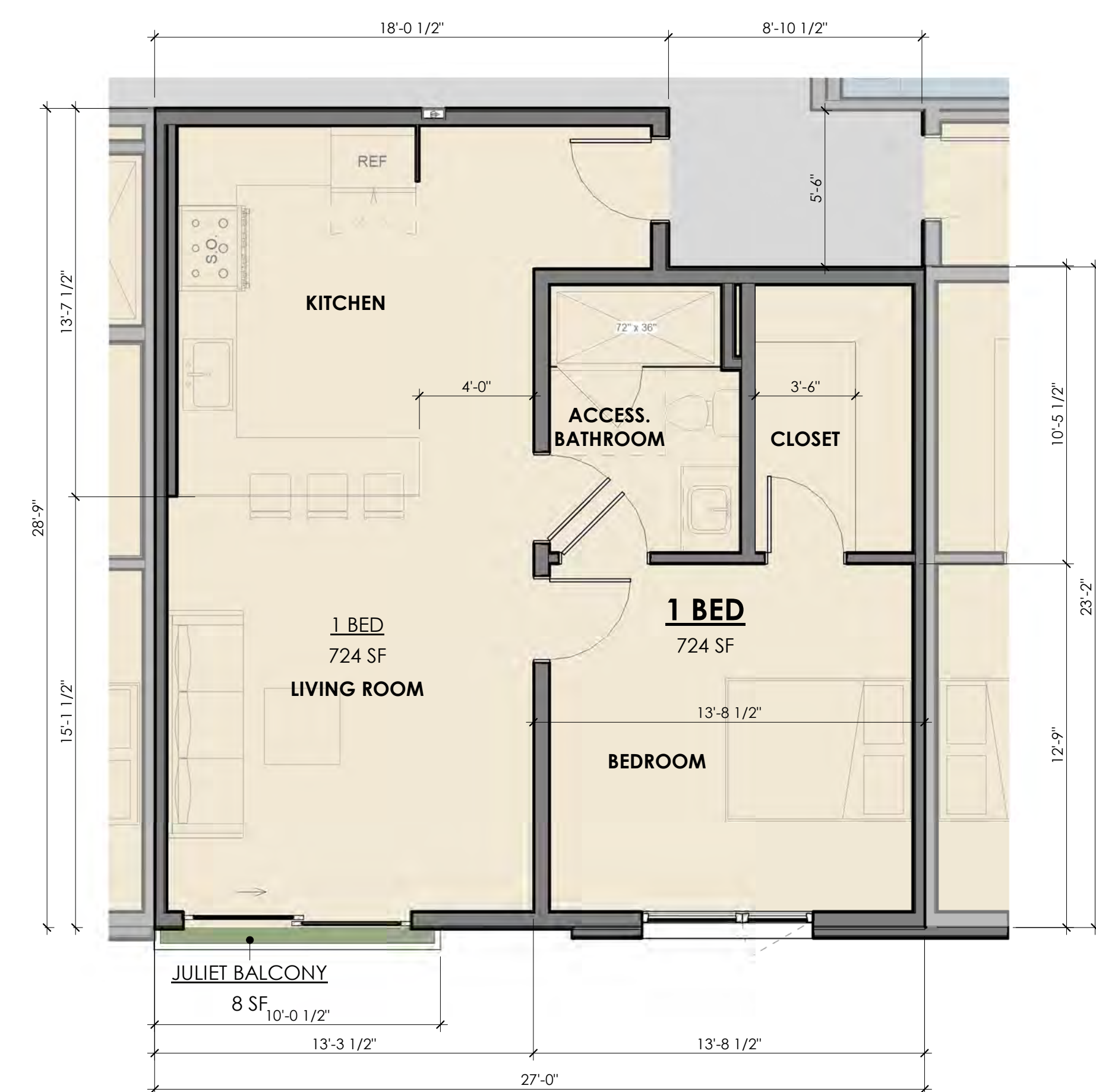




1 BED TYPE D - UNITS 215 & 315
SCALE: 1/4" = 1'-0" **4**



1 BED TYPE B - UNITS 217, 218, 222, 317, 318, & 322
SCALE: 1/4" = 1'-0" **2**

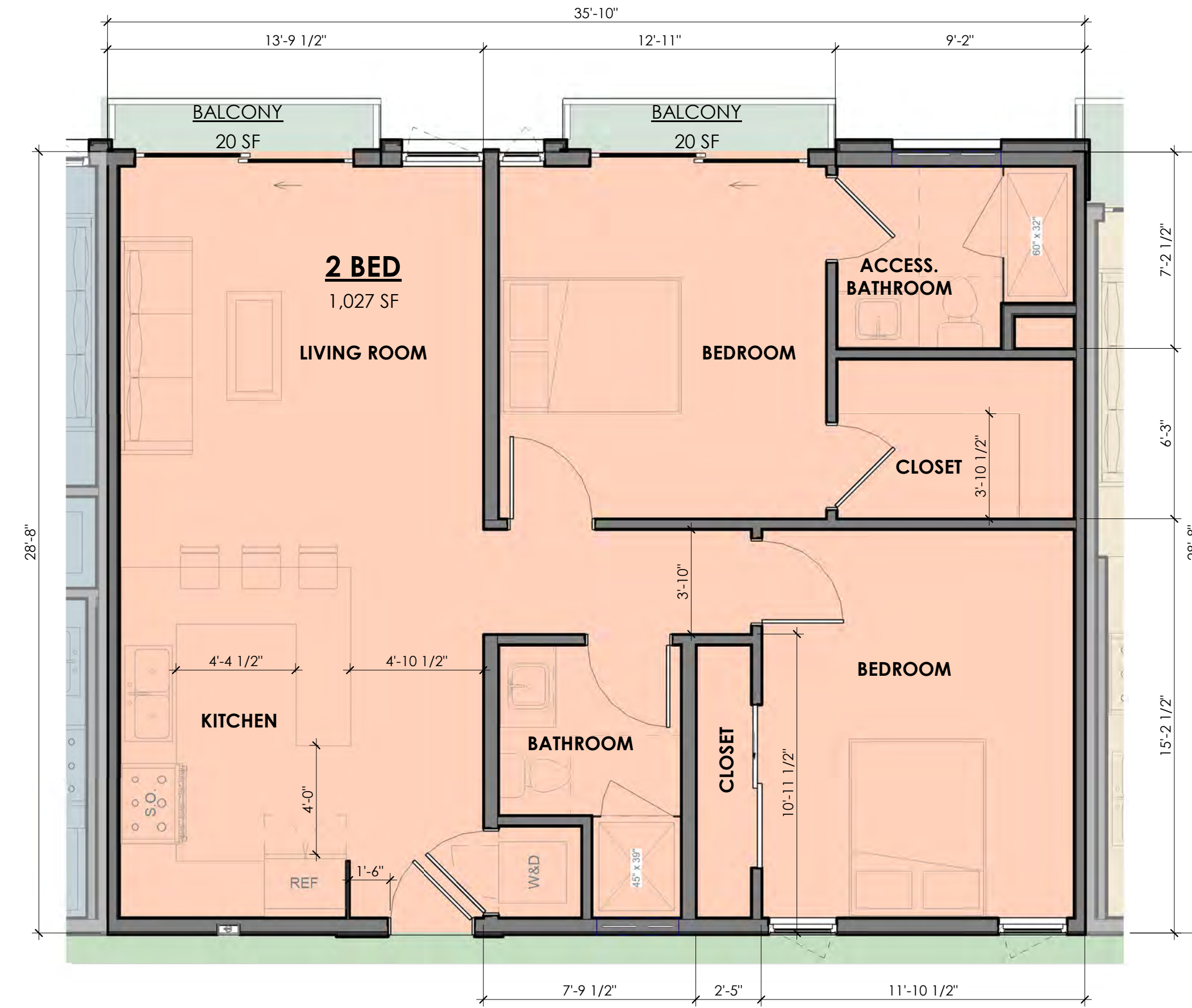


1 BED TYPE C - UNITS 216 & 316
SCALE: 1/4" = 1'-0" **3**

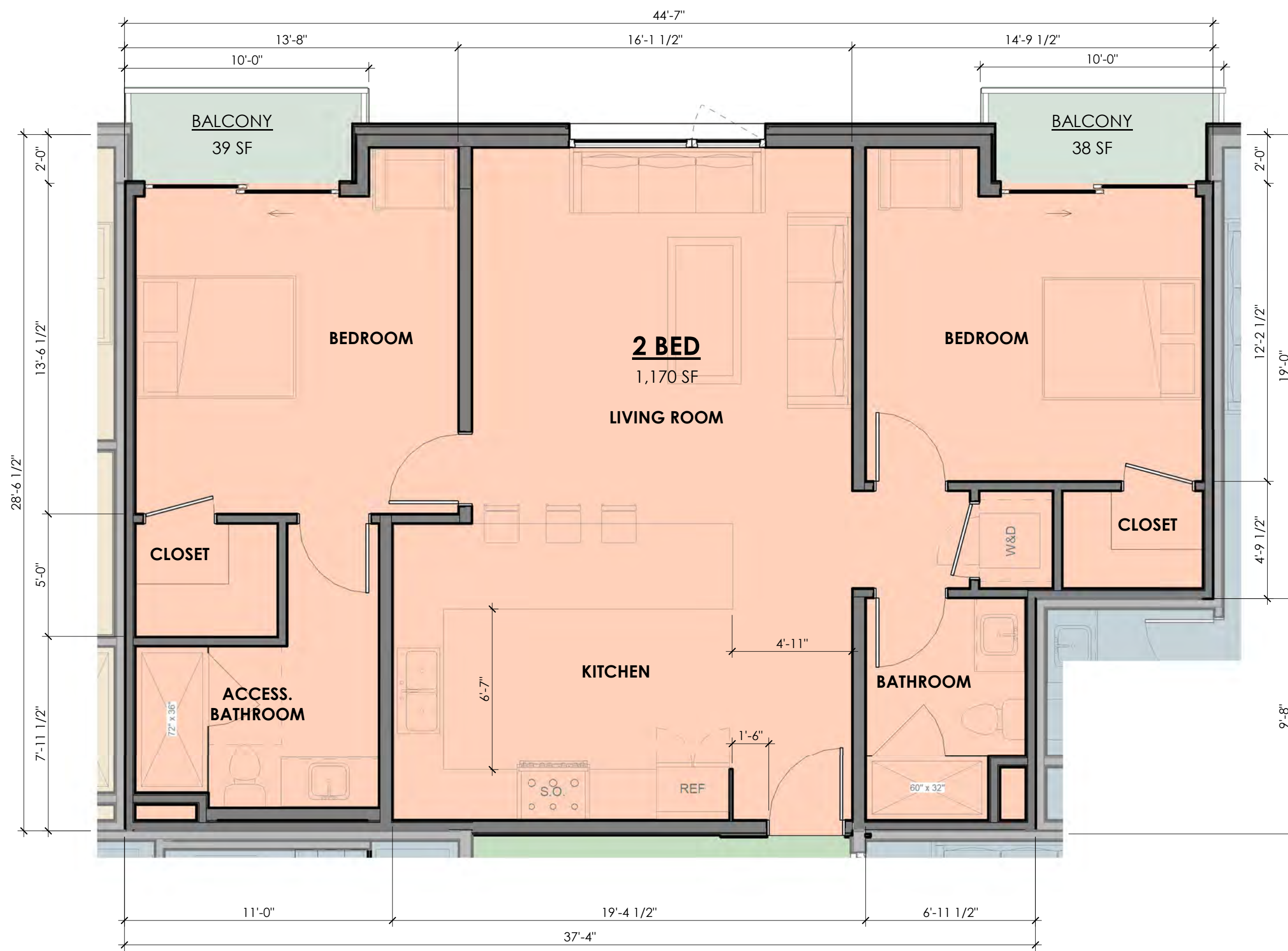


1-BED TYPE A - UNITS 201 & 301
SCALE: 1/4" = 1'-0" **1**

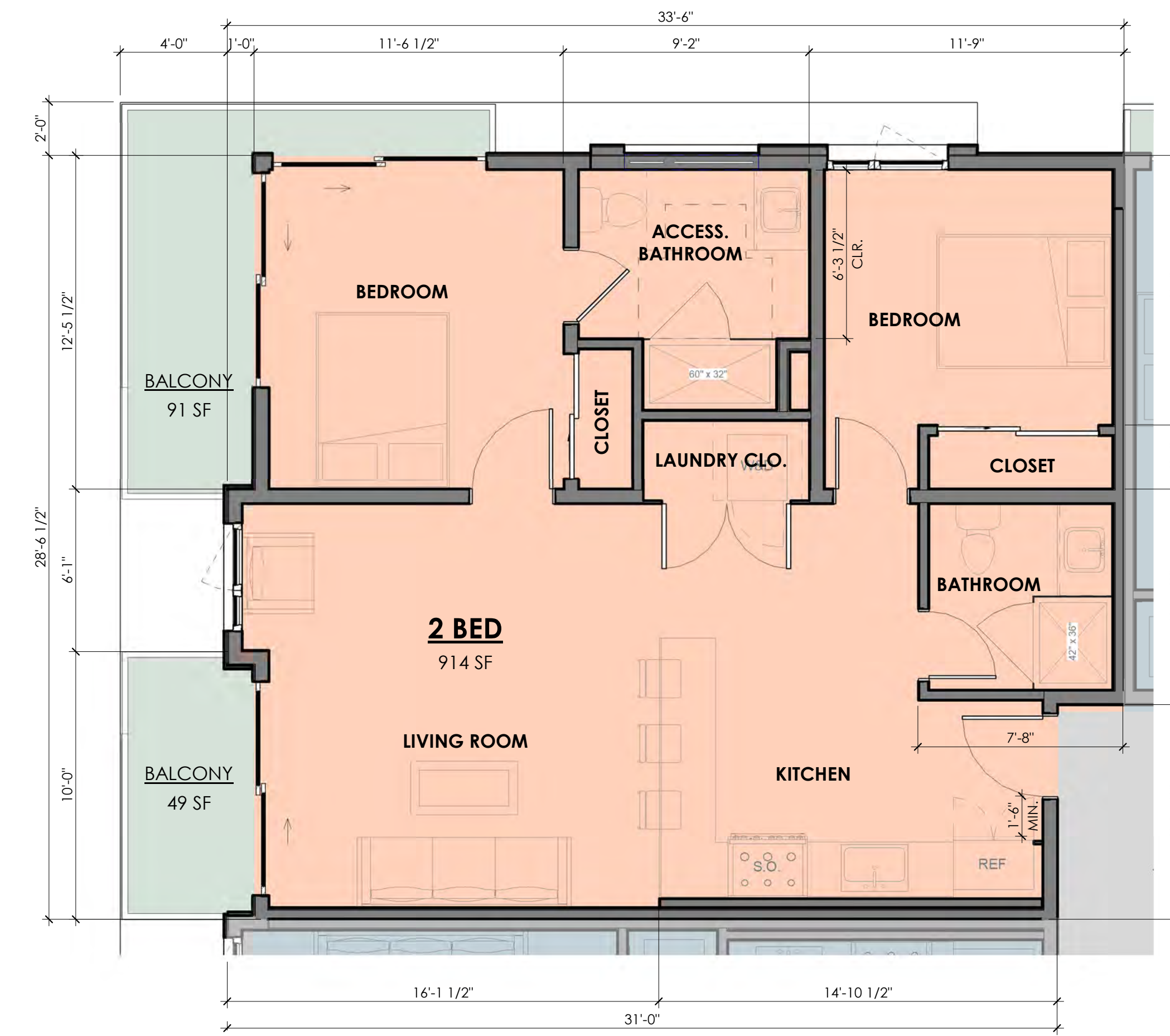
UNIT PLANS - 1 BEDROOMS A222



2 BED TYPE B - UNITS 208, 219, 308 & 319
SCALE: 1/4" = 1'-0" **2**



2 BED TYPE C - UNITS 210 & 310
SCALE: 1/4" = 1'-0" **3**



2-BED TYPE A UNITS 204, 212, 304, & 312
SCALE: 1/4" = 1'-0" **1**

UNIT PLANS - 2 BEDROOMS A223



NORTH (SIDE) ELEVATION 1
SCALE: 1" = 10'-0"



SOUTH (SIDE) ELEVATION 2
SCALE: 1" = 10'-0"

KEYNOTES	
KEYNOTE	DESCRIPTION
EC01	EXISTING MASONRY WALL TO REMAIN
FI-01	EXTERIOR CEMENT PLASTER IN ACRYLIC FINISH
FI-02	FIBER CEMENT BOARD - SPRUCE
FI-03	FIBER CEMENT BOARD - BARK
FI-04	FIBER CEMENT BOARD - STOCK ILLUMINATION IN MULTI-COLOR - WARM EARTH TONES
FI-05	FIBER CEMENT BOARD - STOCK ILLUMINATION IN MULTICOLOR - VARIATIONS IN BEIGE
FI-06	STONE VENEER - COARSE CUT MADRONA
FI-08	ALUMINUM PANELS - LIGHT GRAY
FP02	(N) FIRE DEPARTMENT CONNECTION & MANIFOLD
RF-01	METAL TRELLIS W/ SOLID COVER
RF-02	METAL TRELLIS W/ OPEN COVER
S01	STRUCTURAL COLUMN
ST02	(N) LANDSCAPED AREA PER LANDSCAPE PLANS
ST03	(N) TREES PER LANDSCAPE PLAN
ST07	(N) SHORT-TERM BICYCLE PARKING, 5 RESIDENTIAL; 1 RETAIL
ST12	(N) RAISED PLANTERS PER LANDSCAPE PLANS
ST22	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 1
ST23	(N) IRON FENCE & GATE W/ WOOD-TEXTURED METAL SCREENING - TO BE LEFT OPEN DURING BUSINESS HOURS
ST24	42" HIGH METAL GUARDRAIL W/ WOOD-TEXTURED METAL SCREENING
ST25	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 2
WA01	CLEAR GLASS STOREFRONT SYSTEM
WA04	BICYCLE CAGE FRAMING W/ DOUBLE SLIDING GATE
WI-01	LOW-E DOUBLE PANE WINDOWS - OPERABLE WHERE SHOWN

EXTERIOR ELEVATIONS - NORTH & SOUTH A300



WEST (FRONT) ELEVATION 2
SCALE: 1" = 10'-0"



EAST (REAR) ELEVATION 1
SCALE: 1" = 10'-0"



PERCENTAGE OF LENGTH OF FRONT FACADE THAT IS GLASS DOORS OR WINDOWS:
 $(45.29 + 36.83) / 94.54 = 82.12 / 94.54 = 86.9\%$ (55% REQUIRED)

PERCENTAGE OF TOTAL AREA OF FRONT FACADE THAT IS GLASS DOORS OR WINDOWS:
 $(578 \text{ SF} + 479 \text{ SF}) / 1,370 \text{ SF} = 77\%$ (40% REQUIRED)

FRONT FACADE FENESTRATION DIAGRAM 3
SCALE: 1" = 10'-0"

KEYNOTES	
KEYNOTE	DESCRIPTION
EC01	EXISTING MASONRY WALL TO REMAIN
EC02	EXISTING POWER LINE. OWNER TO CLEAR POWER LINE CABLES FROM OBSTRUCTING FIRE LANE. SEE SITE PLAN
FI-01	EXTERIOR CEMENT PLASTER IN ACRYLIC FINISH
FI-02	FIBER CEMENT BOARD - SPRUCE
FI-03	FIBER CEMENT BOARD - BARK
FI-04	FIBER CEMENT BOARD - STOCK. ILLUMINATION IN MULTI-COLOR - WARM EARTH TONES
FI-06	STONE VENEER. COARSE CUT MADRONA
RF-01	METAL TRELLIS W/ SOLID COVER
RF-02	METAL TRELLIS W/ OPEN COVER
S01	STRUCTURAL COLUMN
SE03	RETAIL TENANT SIGNAGE 12" MAX. TO COMPLY W/ LACC 22.114 & 22.306.070. UNDER SEPARATE PERMIT
SE05	LEASING OFFICE SIGNAGE PLACED ON TRELLIS. 12" MAX. TO COMPLY W/ LACC 22.114 & 22.306.070. UNDER SEPARATE PERMIT
ST02	(N) LANDSCAPED AREA PER LANDSCAPE PLANS
ST07	(N) SHORT-TERM BICYCLE PARKING. 5 RESIDENTIAL: 1 RETAIL
ST12	(N) RAISED PLANTERS PER LANDSCAPE PLANS
ST23	(N) IRON FENCE & GATE W/ WOOD-TEXTURED METAL SCREENING - TO BE LEFT OPEN DURING BUSINESS HOURS
ST24	42" HIGH METAL GUARDRAIL W/ WOOD-TEXTURED METAL SCREENING
WA01	CLEAR GLASS STOREFRONT SYSTEM
WI-01	LOW-E DOUBLE PANE WINDOWS - OPERABLE WHERE SHOWN

EXTERIOR ELEVATIONS - EAST & WEST A301

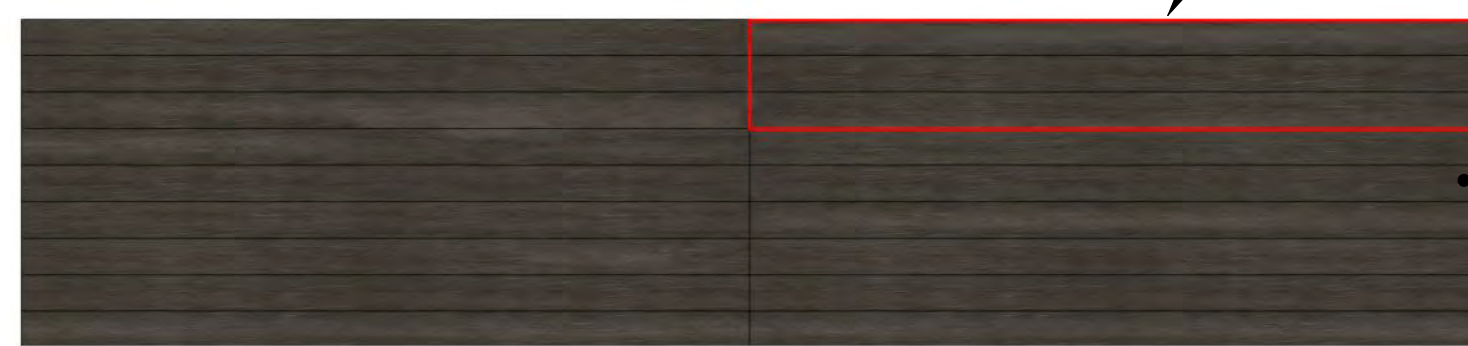
TABLE 22.306.070-G: ARCHITECTURAL ELEMENTS	
Arcading or arched passageways	Decorative iron fences
Arche	Decorative iron grilles
Awnings	Forecourt, accessible to pedestrians
Balconies	Outdoor dining
Bay windows	Plazas, accessible to the public
Benches or seating for pedestrians	Raised planters
Colonnades	Recessed upper floor loggias or pergolas
Courtyards, accessible to pedestrians	Tile or masonry water fountains



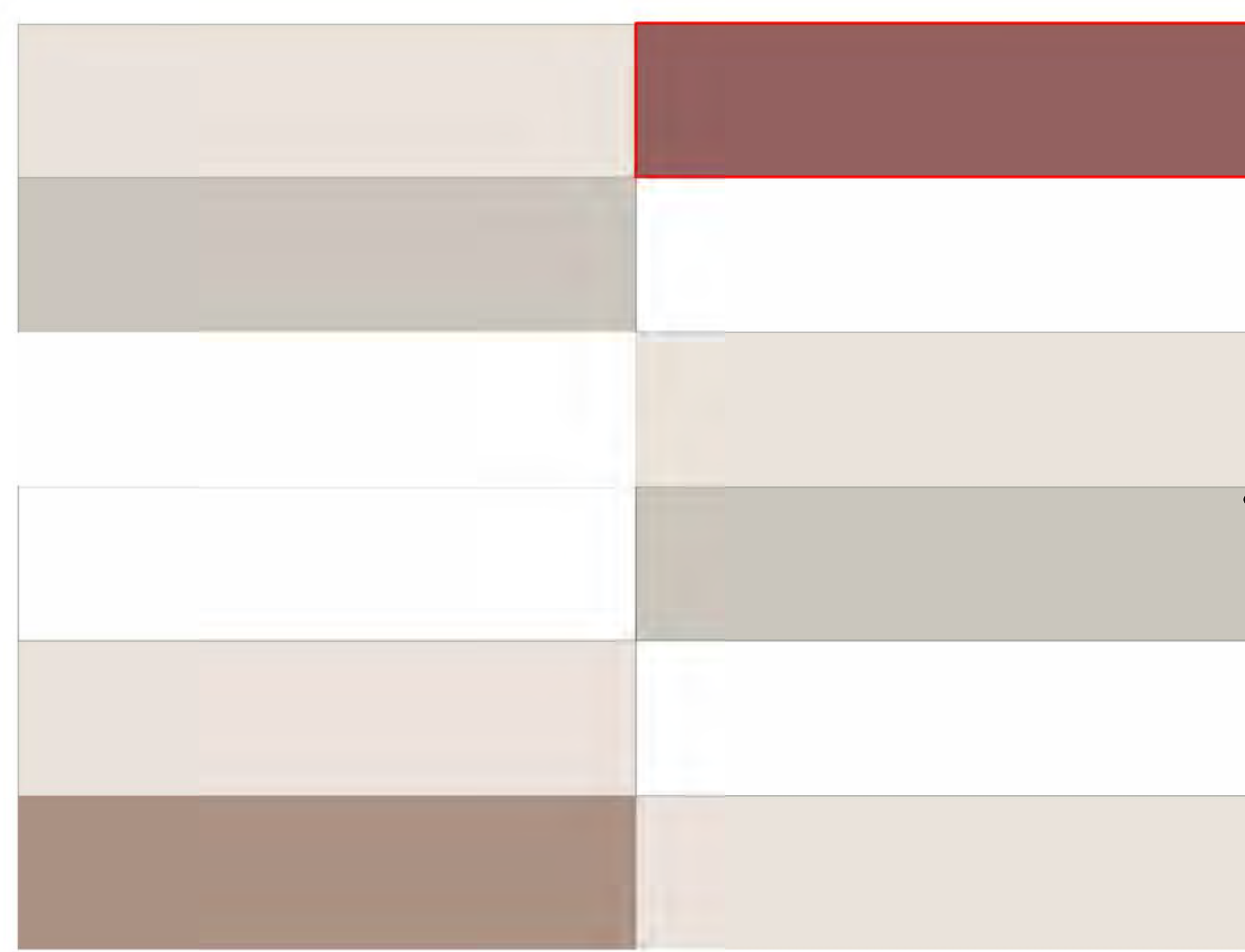
- 7 ARCHITECTURAL ELEMENS ARE REQUIRED PER 22.306.070.D.3.g.viii:
- 3 FOR THE FIRST 50FT OF FRONTAGE + 1/20 FT ADDITIONAL FRONTAGE
- TOTAL FRONTAGE: 92'-5"



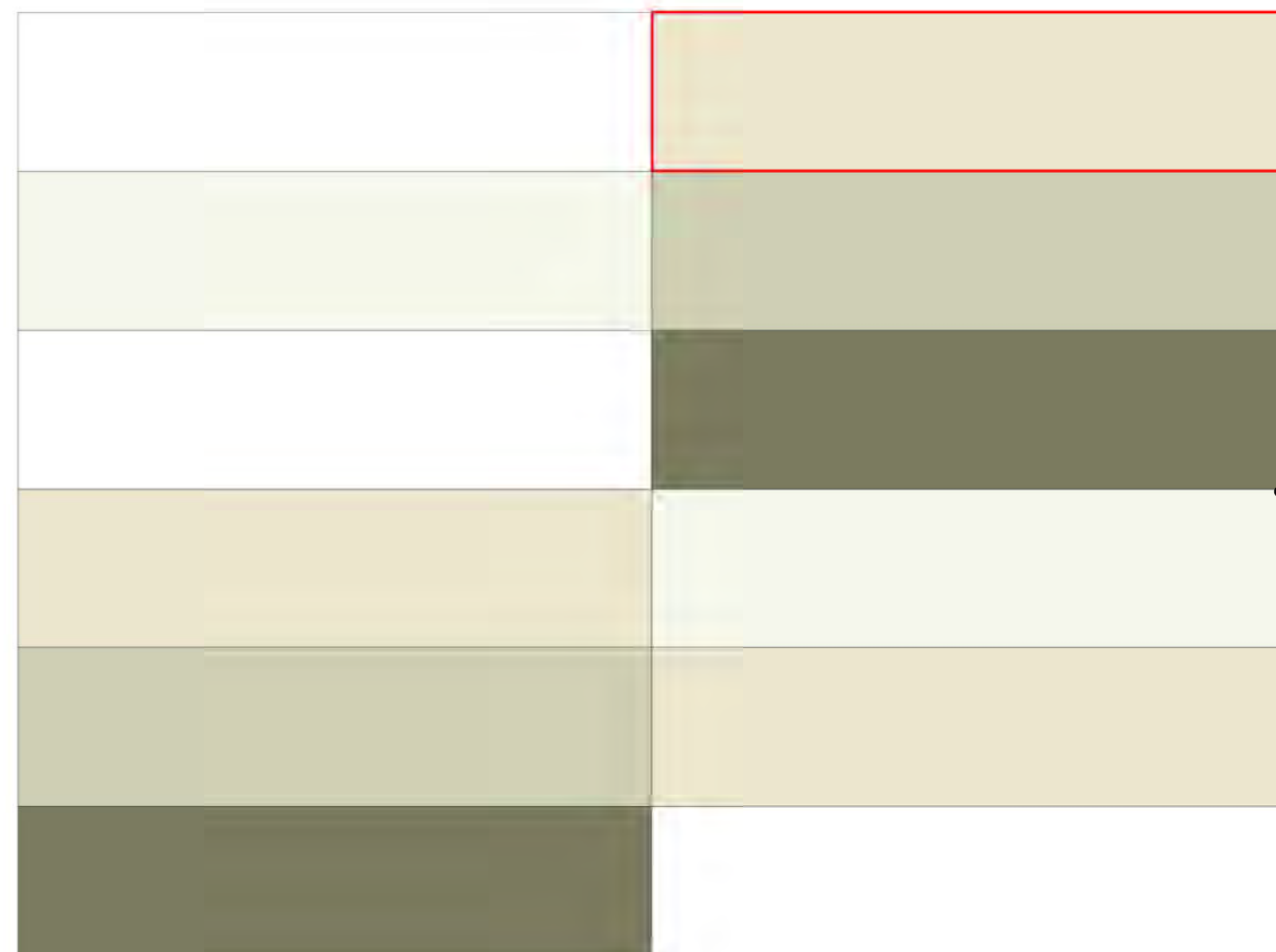
KEYNOTE: FI-02
DESCRIPTION: FIBER CEMENT BOARD
FINISH/COLOR: SPRUCE
UNIT SIZE: PANELS: 18" H X 72" W



KEYNOTE: FI-03
DESCRIPTION: FIBER CEMENT BOARD
FINISH/COLOR: BARK
UNIT SIZE: PANELS: 18" H X 72" W



KEYNOTE: FI-04
DESCRIPTION: FIBER CEMENT BOARD
FINISH/COLOR: MULTI-COLOR - WARM TONES
UNIT SIZE: PANELS: 18" H X 72" W



KEYNOTE: FI-05
DESCRIPTION: FIBER CEMENT BOARD
FINISH/COLOR: MULTI-COLOR - TONES IN BEIGE
UNIT SIZE: PANELS: 18" H X 72" W



KEYNOTE: FI-01
DESCRIPTION: EXTERIOR CEMENT PLASTER IN ACRYLIC
FINISH/COLOR: OFF WHITE
UNIT SIZE: PANELS: 18" H X 72" W



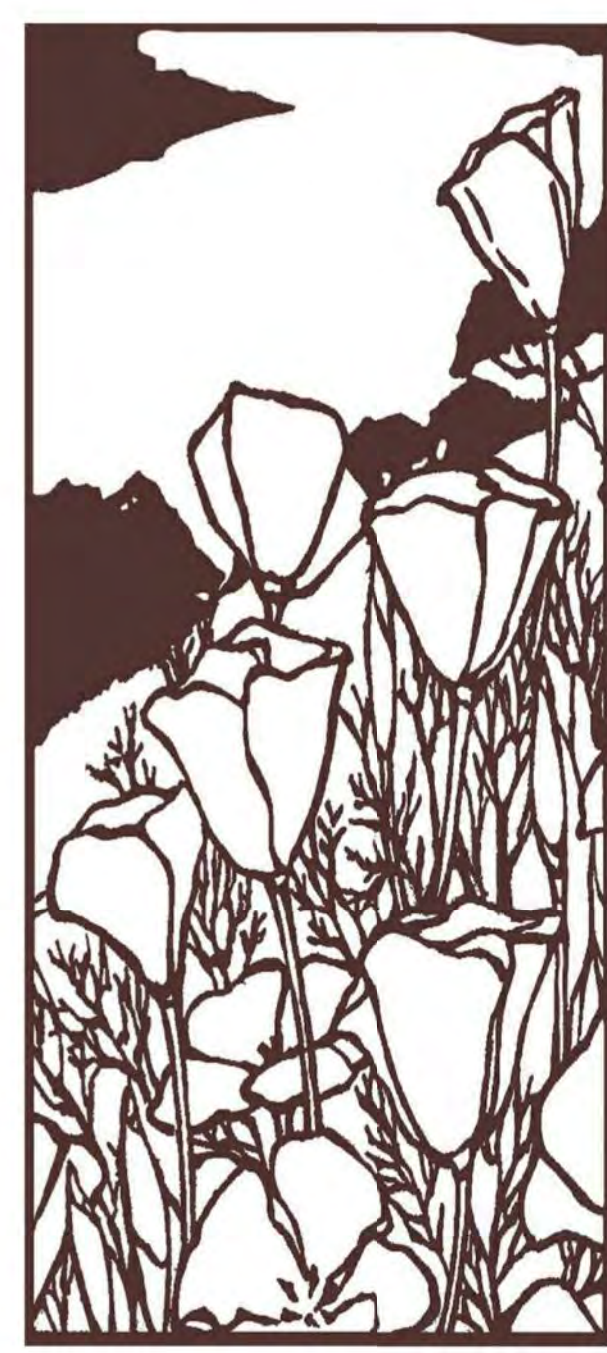
KEYNOTE: FI-06
DESCRIPTION: STONE VENEER
FINISH/COLOR: CUT COARSE MADRONA
UNIT SIZE: VARIES. H & W RANGE = 3" TO 9"; DEPTH RANGE: 1/4"-2.5"



KEYNOTE: FI-08
DESCRIPTION: ALUMINUM PANELS
FINISH/COLOR: LIGHT GRAY
UNIT SIZE: APPROX. 2FT X 4FT



KEYNOTE: ST-22
DESCRIPTION: DECORATIVE IRON GRILL CALIFORNIA
POPPIE DESIGN 1
FINISH/COLOR: BRONZE
UNIT SIZE: 4' W X 9' H



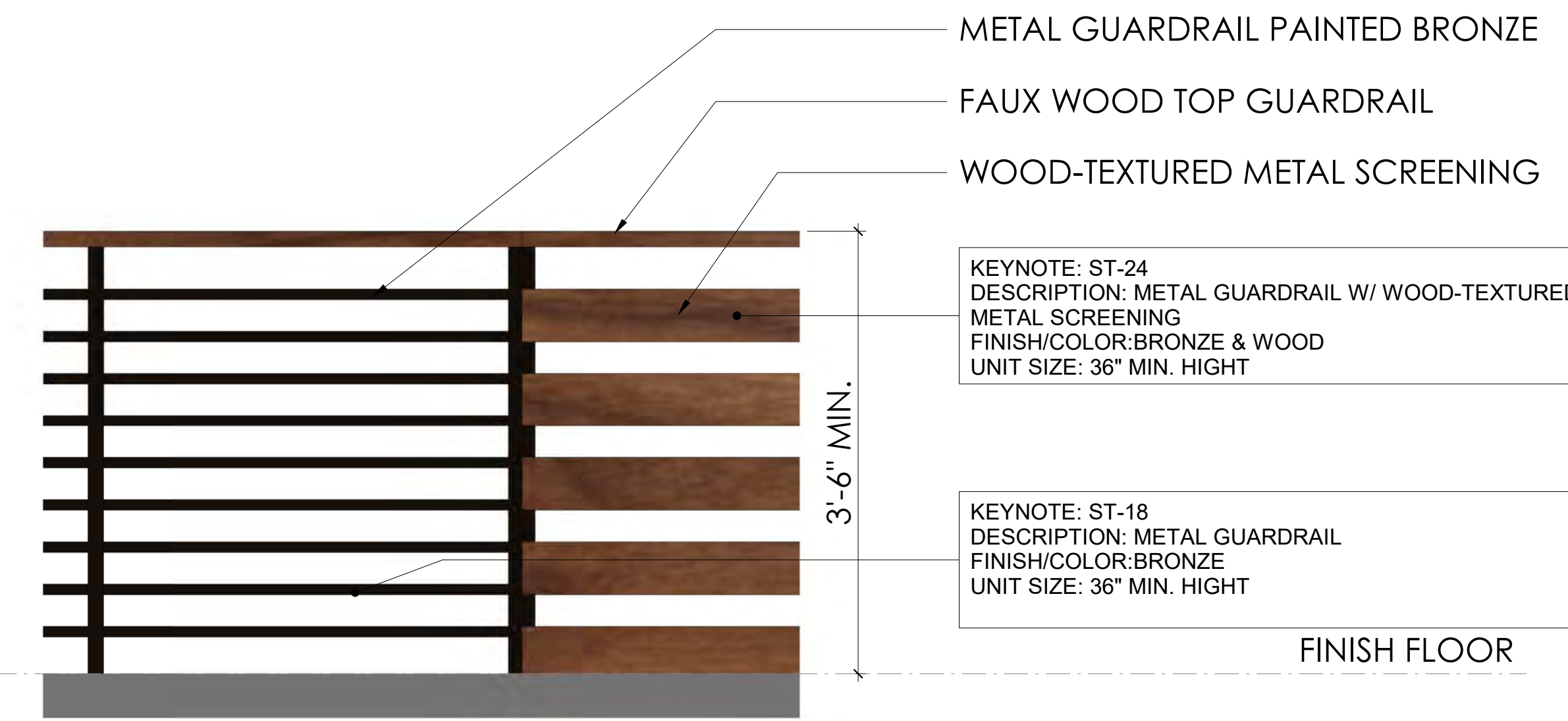
KEYNOTE: ST-25
DESCRIPTION: DECORATIVE IRON GRILL CALIFORNIA
POPPIE DESIGN 2
FINISH/COLOR: BRONZE
UNIT SIZE: 4' W X 9' H



MATERIALS PALLET 1



IRON FENCE/GATE DETAIL 2
SCALE: 1" = 1'-0"



BALCONY ELEVATION DETAIL 3
SCALE: 1" = 1'-0"

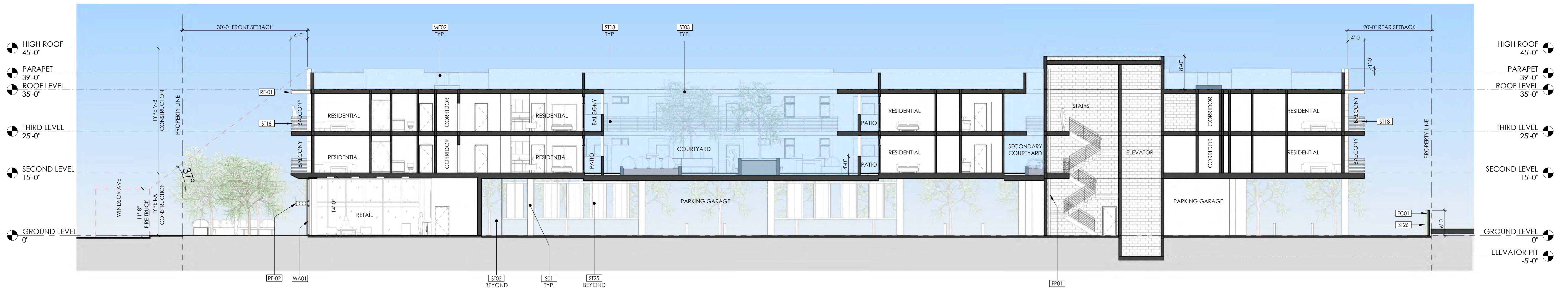


BUILDING IDENTIFICATION SIGNAGE 4
SCALE: 1/2" = 1'-0"



RESIDENTIAL ENTRY SIGNAGE DETAIL 5
SCALE: 3/8" = 1'-0"

MATERIALS PALLET & DETAILS A303



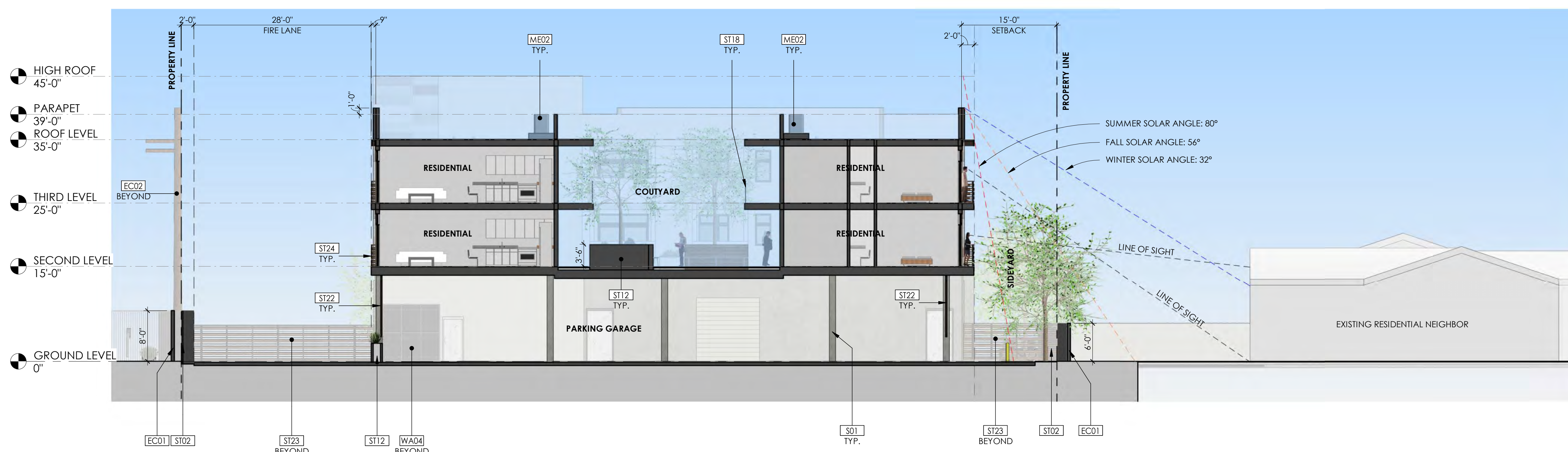
SECTION 1
SCALE: 1" = 10'-0"



SECTION 3
SCALE: 1" = 10'-0"

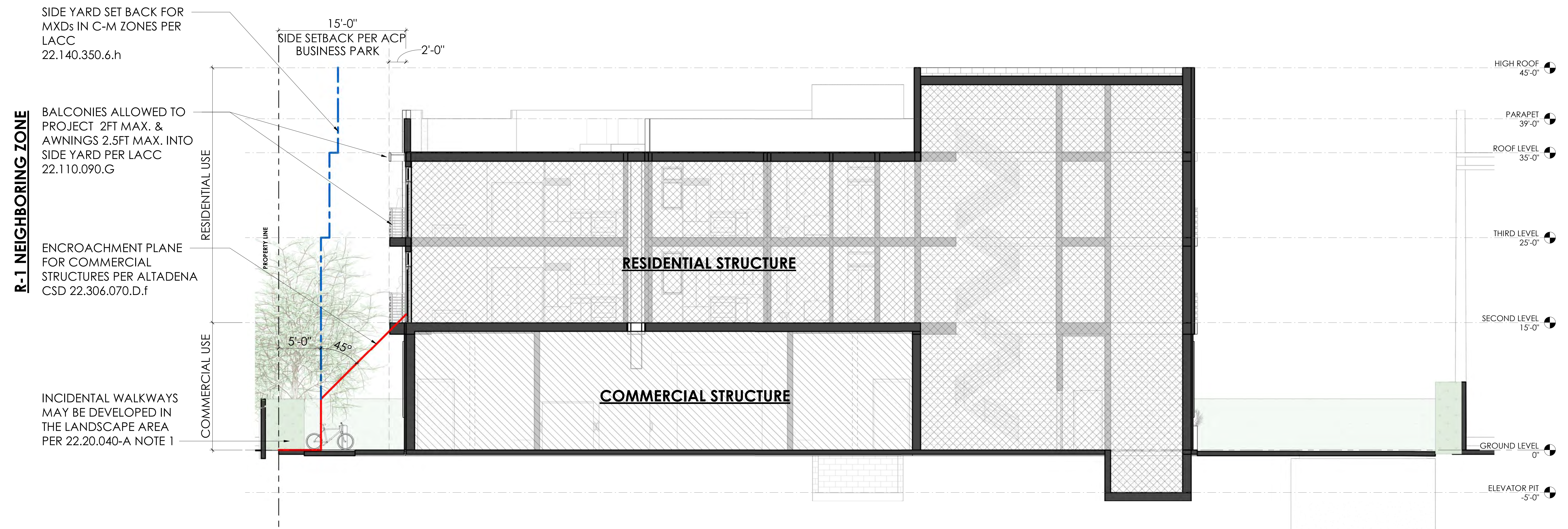


SECTION 2
SCALE: 1" = 10'-0"



SECTION 4
SCALE: 1" = 10'-0"

KEYNOTES	
KEYNOTE	DESCRIPTION
EC01	EXISTING MASONRY WALL TO REMAIN
EC02	EXISTING POWER LINE. OWNER TO CLEAR POWER LINE CABLES FROM OBSTRUCTING FIRE LANE. SEE SITE PLAN
FP01	COMBINATION STANDPIPE W/ FIRE HOSE VALVE + MAIN SPRINKLER RISER
ME01	TRASH CHUTE
ME02	MECHANICAL UNITS
RF-01	METAL TRELLIS W/ SOLID COVER
RF-02	METAL TRELLIS W/ OPEN COVER
S01	STRUCTURAL COLUMN
ST02	(N) LANDSCAPED AREA PER LANDSCAPE PLANS
ST03	(N) TREES PER LANDSCAPE PLAN
ST07	(N) SHORT-TERM BICYCLE PARKING, 5 RESIDENTIAL: 1 RETAIL
ST12	(N) RAISED PLANTERS PER LANDSCAPE PLANS
ST18	42" HIGH METAL GUARDRAIL
ST22	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 1
ST23	(N) IRON FENCE & GATE W/ WOOD-TEXTURED METAL SCREENING - TO BE LEFT OPEN DURING BUSINESS HOURS
ST24	42" HIGH METAL GUARDRAIL W/ WOOD-TEXTURED METAL SCREENING
ST25	DECORATIVE IRON GRILL W/ CALIFORNIA POPPY FLOWER - DESIGN 2
ST26	VINES LANDSCAPING PER LANDSCAPING PLAN
WA01	CLEAR GLASS STOREFRONT SYSTEM
WA04	BICYCLE CAGE FRAMING W/ DOUBLE SLIDING GATE



SIDE YARD BUFFER COMPLIANCE DIAGRAM 1
SCALE: 3/16" = 1'-0"

CODE REFERENCES

22.306.070.D.f. ACSD-RESIDENTIAL BUFFER FOR PARKING LOTS & COMMERCIAL STRUCTURES

WHEN A PARKING LOT OR COMMERCIAL STRUCTURE IS ADJACENT TO A SIDE YARD OR REAR YARD OF A RESIDENTIAL ZONED LOT, THE FOLLOWING DEVELOPMENT STANDARDS SHALL APPLY.

i. LANDSCAPING. A FIVE FOOT LANDSCAPED BUFFER SHALL BE PROVIDED

ii. ENCROACHMENT PLANE. A 45-DEGREE ENCROACHMENT PLANE SHALL BE REQUIRED FOR NEW CONSTRUCTION. THE ENCROACHMENT PLANE SHALL EXTEND FROM A SIX FOOT HEIGHT AT THE EDGE OF THE REQUIRED LANDSCAPED BUFFER PURSUANT TO SUBSECTION D.3.F.i ABOVE ADJACENT TO THE SIDE YARD OR REAR YARD OF A RESIDENTIALLY ZONED LOT. EXCLUDING LANDSCAPING, NO PORTION OF A STRUCTURE SHALL EXTEND BEYOND THE ENCROACHMENT PLANE.

22.14.030 - C. **COMMERCIAL PARKING LOT OR BUILDING.** A LOT, BUILDING, AREA, OR STRUCTURE ESTABLISHED OR OPERATED AS A BUSINESS PROVIDED OFF STREET PARKING FOR A FEE OR CHARGE.

22.14.130 - M. **MIXED USE DEVELOPMENT.** A DEVELOPMENT THAT COMBINES RESIDENTIAL AND COMMERCIAL USES, UNLESS OTHERWISE SPECIFIED.

22.20.040 DEVELOPMENT STANDARDS FOR COMMERCIAL ZONES.

TABLE 22.20.040-A: DEVELOPMENT STANDARDS FOR COMMERCIAL ZONES - YARD DEPTH FOR C-M SEE SECTION 22.20.050.A.

NOTE 1 (IN TABLE): REQUIRED LANDSCAPING SHALL CONSIST OF LAWN, SHRUBBERY, FLOWERS, OR TREES, AND SHALL BE CONTINUOUSLY MAINTAINED IN GOOD CONDITION. **INCIDENTAL WALKWAYS** MAY BE DEVELOPED IN THE LANDSCAPED AREA.

22.20.050 DEVELOPMENT STANDARDS FOR ZONES C-H, C-1, C-3, AND C-M

TABLE 22.20.050-A: MINIMUM YARD DEPTHS FOR COMMERCIAL ZONES - MIXED USE - INTERIOR SIDE & REAR - SEE SECTION 22.140.350.A.6.h

22.140.350 - MIXED USE DEVELOPMENTS IN COMMERCIAL ZONES.

22.140.350.A.6.h - REQUIRED INTERIOR SIDE AND REAR YARDS. INTERIOR SIDE AND REAR YARDS ABUTTING LOTS ZONED RESIDENTIAL OR AGRICULTURAL SHALL HAVE THE MINIMUM DEPTHS AS FOLLOWS:

ii. IN ZONES C-3 & C-M

(1) INTERIOR SIDE YARD: FIVE FEET WHERE NO BUILDING EXCEEDS TWO STORIES IN HEIGHT; OR FIVE FEET PLUS ONE FOOT FOR EACH STORY THAT EXCEEDS TWO STORIES, EXCEPT THE MAXIMUM REQUIRED SIDE YARD DEPTH IS 16 FT.

22.110.070 FENCES AND WALLS

22.110.070.B.2 **INTERIOR SIDE AND REAR YARDS.** FENCES AND WALLS WITHIN A REQUIRED INTERIOR SIDE YARD OR REAR YARD SHALL NOT EXCEED SIX FEET IN HEIGHT

22.110.090 PROJECTIONS INTO YARDS.

22.110.090.B. **AWNINGS AND CANOPIES.** AWNINGS AND CANOPIES MAY PROJECT A MAXIMUM DISTANCE OF TWO AND ONE HALF FEET INTO A REQUIRED INTERIOR SIDE YARD AND FIVE FEET INTO A REQUIRED FRONT, REAR, AND CORNER SIDE YARD.

22.110.090.G. **STAIRWAYS AND BALCONIES.** STAIRWAYS AND BALCONIES ABOVE THE LEVEL OF THE FIRST FLOOR MAY PROJECT A MAXIMUM DISTANCE OF TWO FEET INTO A REQUIRED INTERIOR OR CORNER SIDE YARD, OR FOUR FEET INTO A REQUIRED FRONT OR REAR YARD.



PERSPECTIVE SECTION A308

WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
ALTADENA, CA 91001



WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
ALTADENA, CA 91001



WEST PERSPECTIVE
SCALE: 4



EAST PERSPECTIVE
SCALE: 3



NORTH PERSPECTIVE
SCALE: 2



SOUTH PERSPECTIVE
SCALE: 1

EXTERIOR PERSPECTIVE VIEWS A311

WINDSOR MIXED USE MULTI-FAMILY

2214 WINDSOR AVE.
ALTADENA, CA 91001



NORTH WEST PERSPECTIVE
SCALE: 3



SOUTH WEST PERSPECTIVE
SCALE: 2



SOUTH EAST PERSPECTIVE
SCALE: 4



NORTH EAST PERSPECTIVE
SCALE: 1

EXTERIOR PERSPECTIVE VIEWS A312

WINDSOR MIXED USE MULTI-FAMILY

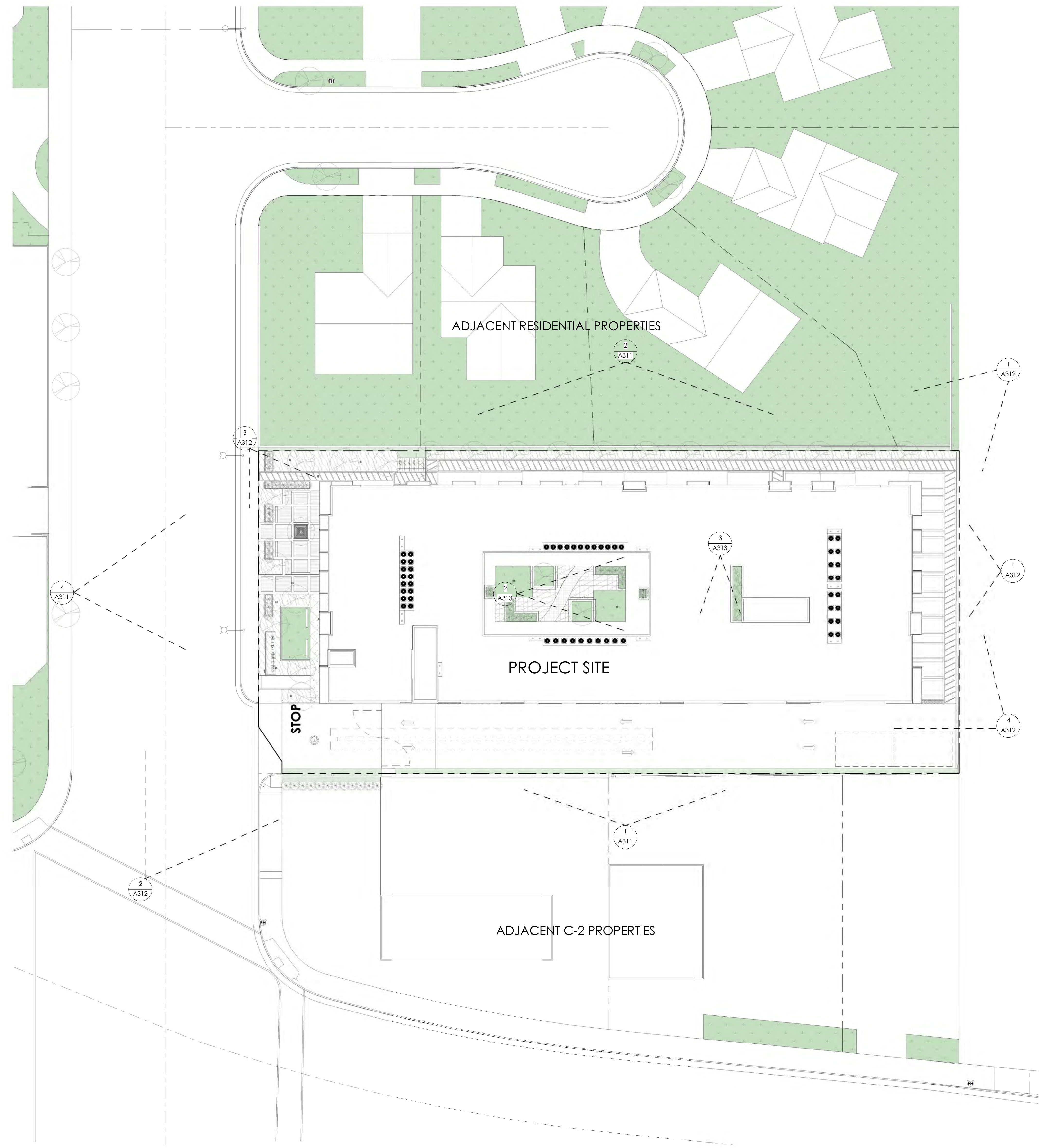
2214 WINDSOR AVE.
ALTADENA, CA 91001



BREEZEWAY
SCALE: 3



COURTYARD
SCALE: 2



RENDERINGS - INDEX PLAN 1
SCALE: 1" = 20'-0"

PERSPECTIVE VIEWS INDEX MAP & COURTYARD PERSPECTIVES A313



EXISTING SITE PHOTO SOUTH WEST
SCALE: 1 1/2" = 1'-0"
7



EXISTING SITE PHOTO - WEST
NTS 4



EXISTING SITE PHOTO - NORTH
NTS 6



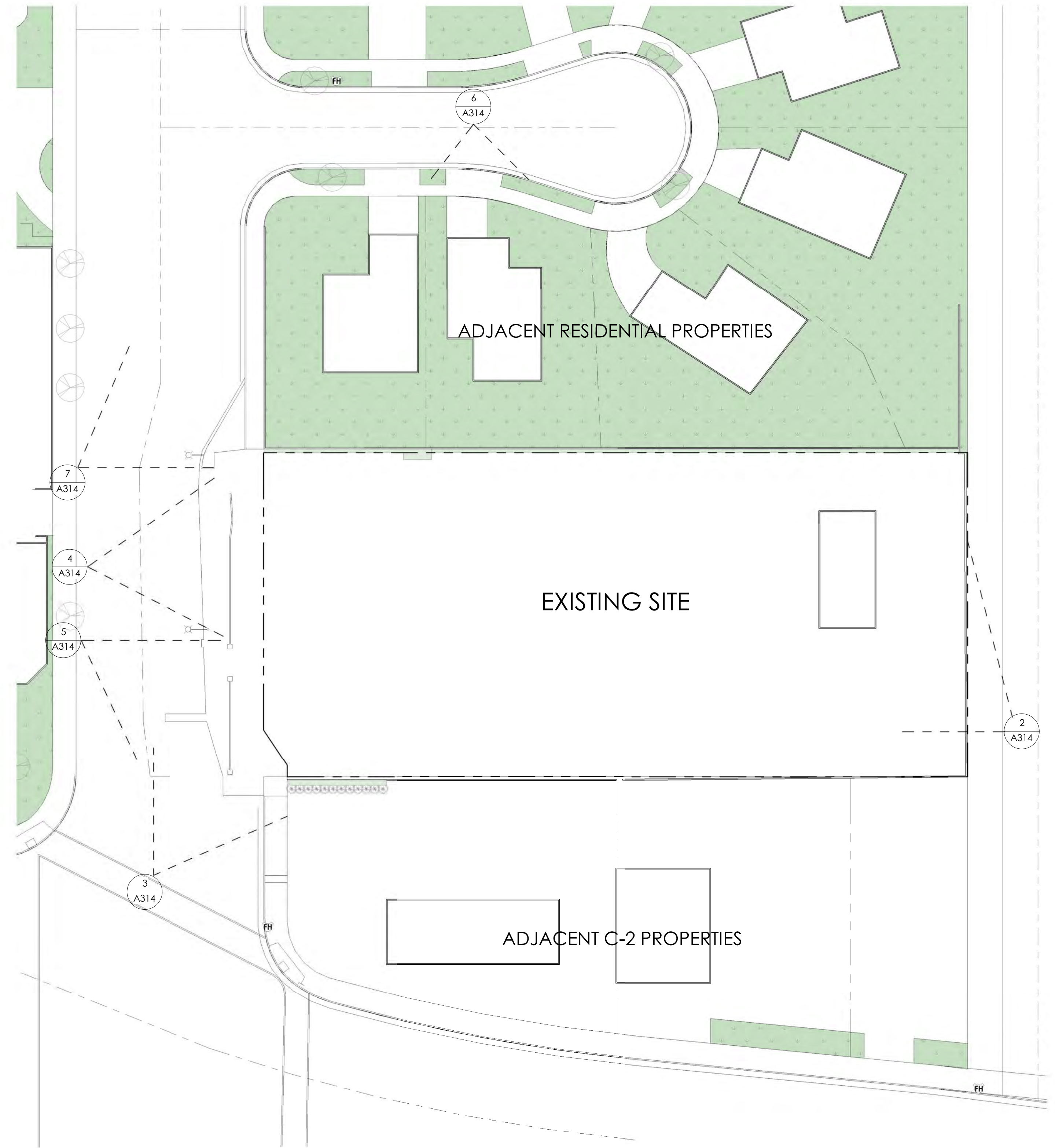
EXISTING SITE PHOTO - SOUTH WEST - CENTER OF STREET
NTS 3



EXISTING SITE PHOTO - NORTH WEST
NTS 5

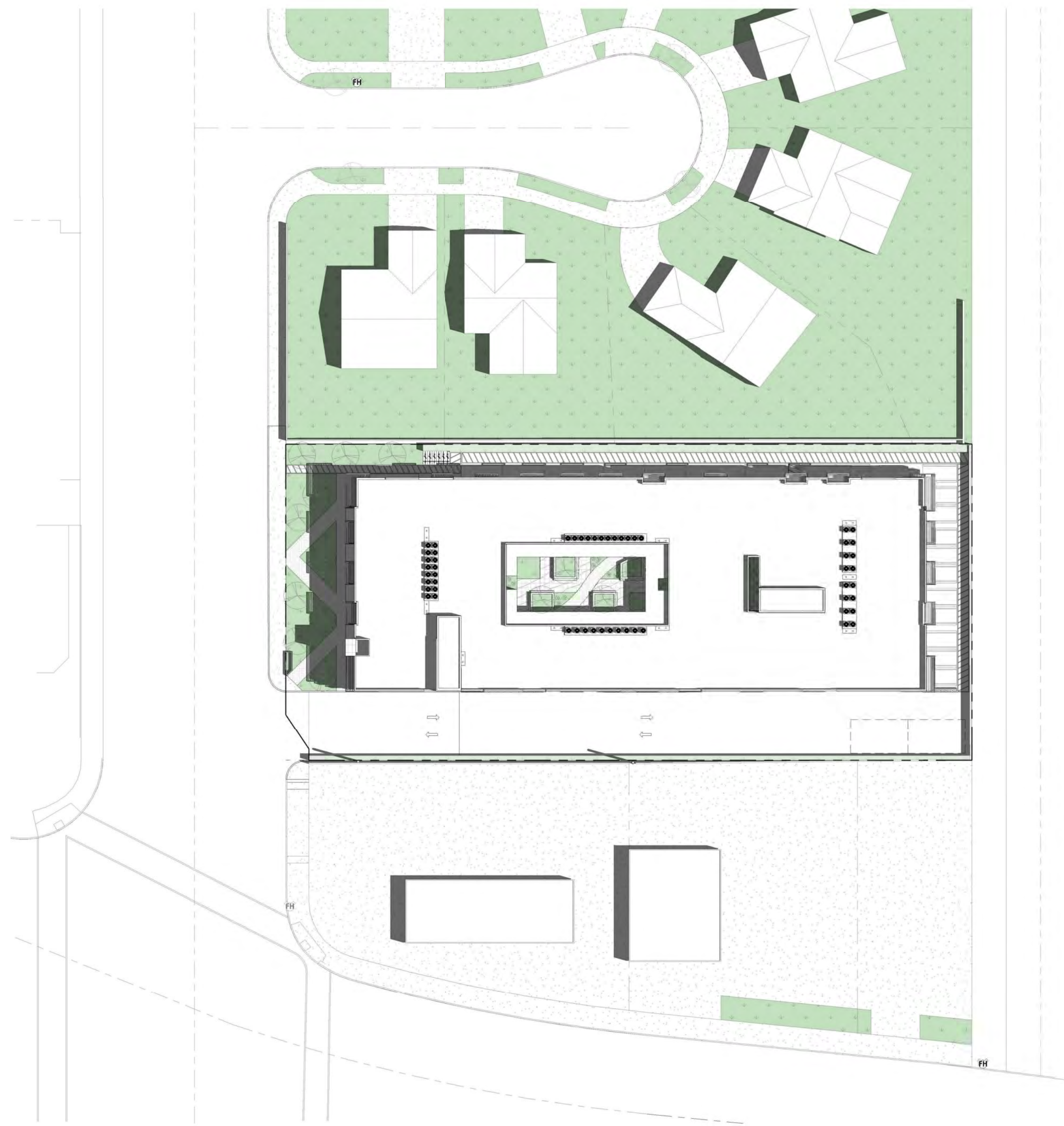


EXISTING SITE PHOTO - SOUTH EAST
NTS 2



EXISTING SITE PHOTOS - INDEX PLAN
SCALE: 1" = 30'-0"
1

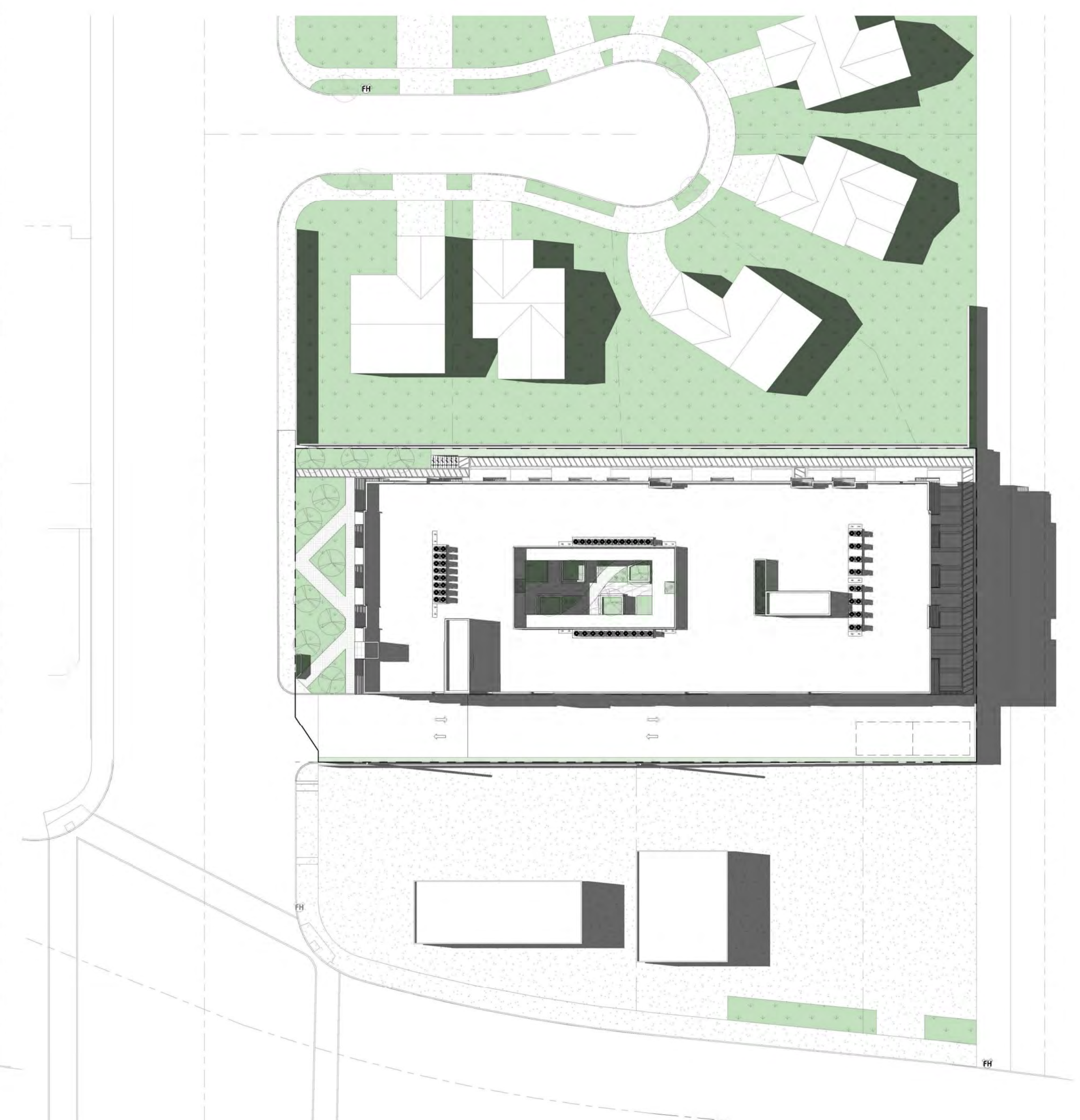
EXISTING SITE PHOTOS A314



SUMMER SOLSTICE 10 AM
NTS 1



SUMMER SOLSTICE 12 PM
NTS 2

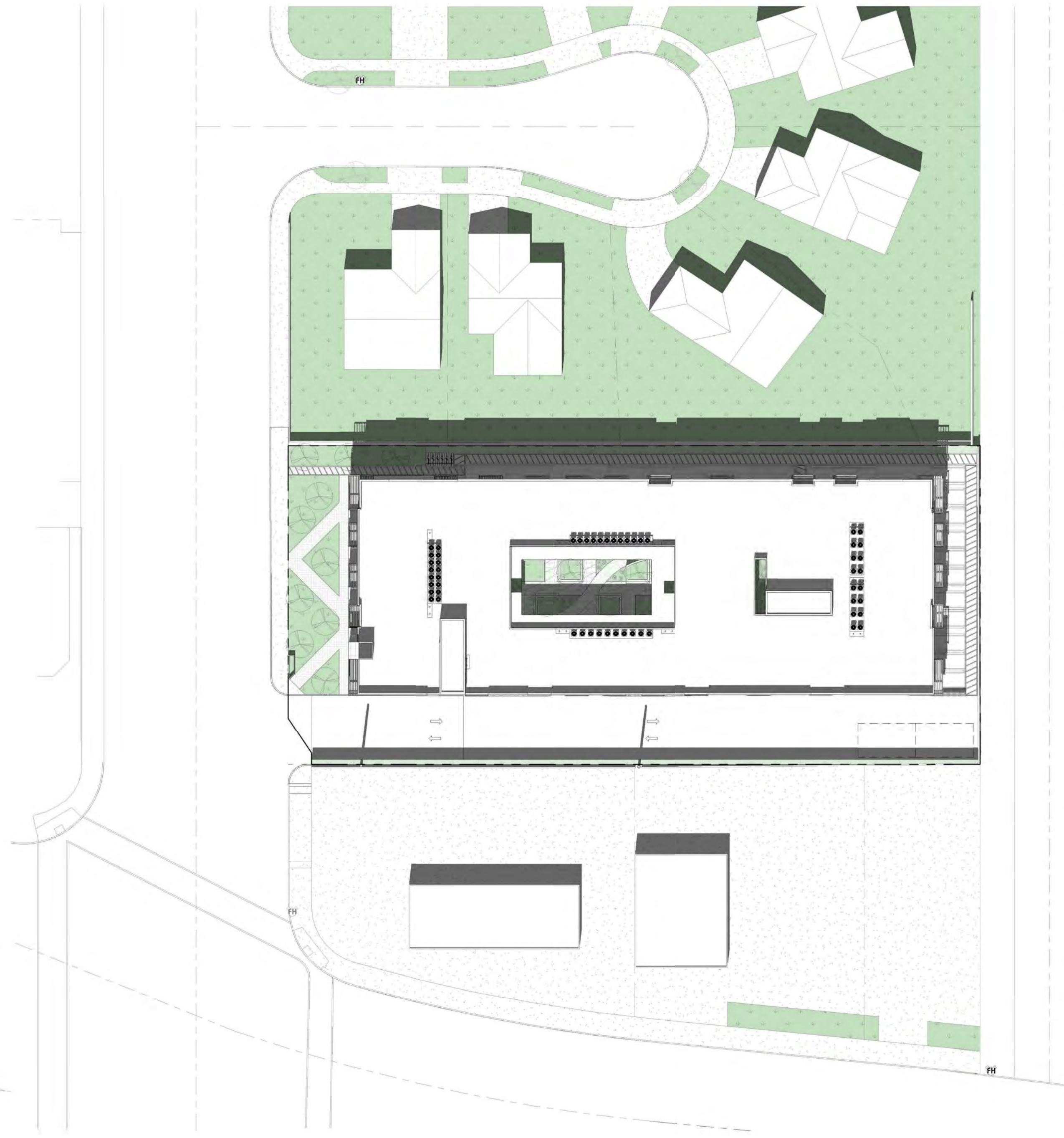


SUMMER SOLSTICE 4 PM
NTS 3

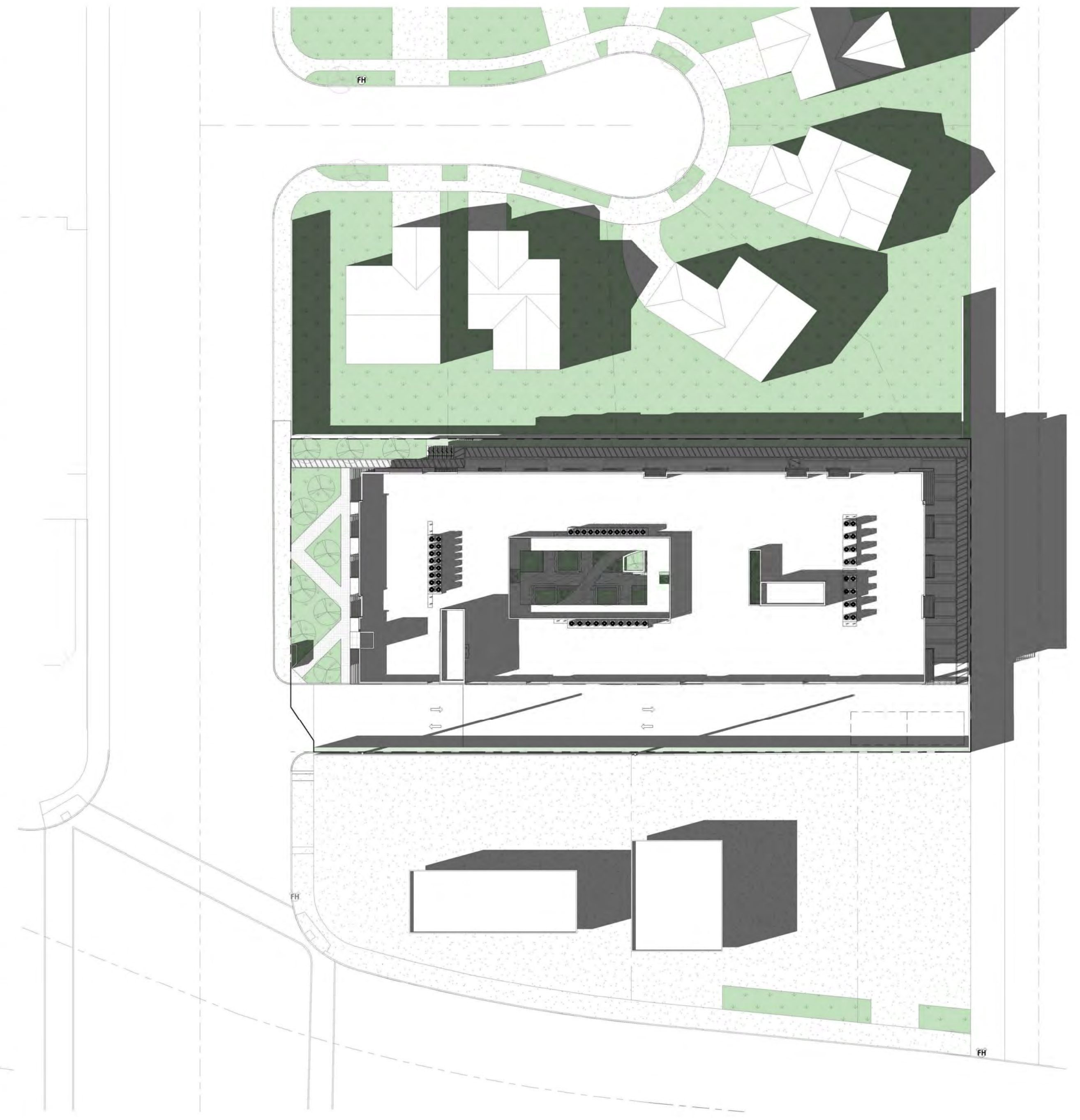
SOLAR STUDY - SUMMER SOLSTICE A320



FALL / SPRING EQUINOX 9 AM
NTS 1



FALL / SPRING EQUINOX 12 PM
NTS 2



FALL / SPRING EQUINOX 4 PM
NTS 3

SOLAR STUDY - FALL / SPRING EQUINOX A321

WINDSOR MIXED USE MULTI-FAMILY

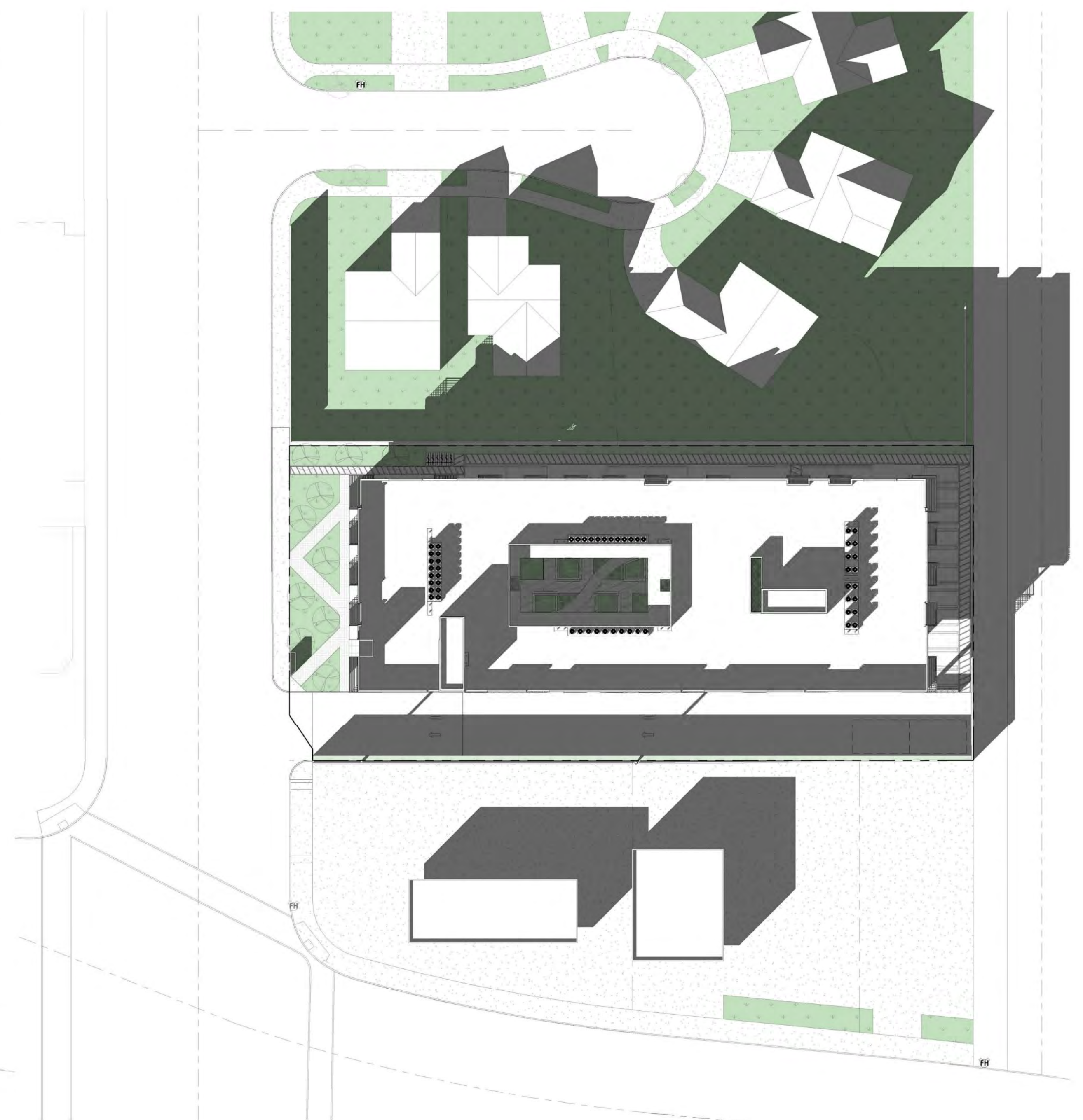
2214 WINDSOR AVE.
ALTADENA, CA 91001



WINTER SOLSTICE 10 AM 1
SCALE: 3/8" = 1'-0"



WINTER SOLSTICE 12 PM 2
SCALE: 3/8" = 1'-0"

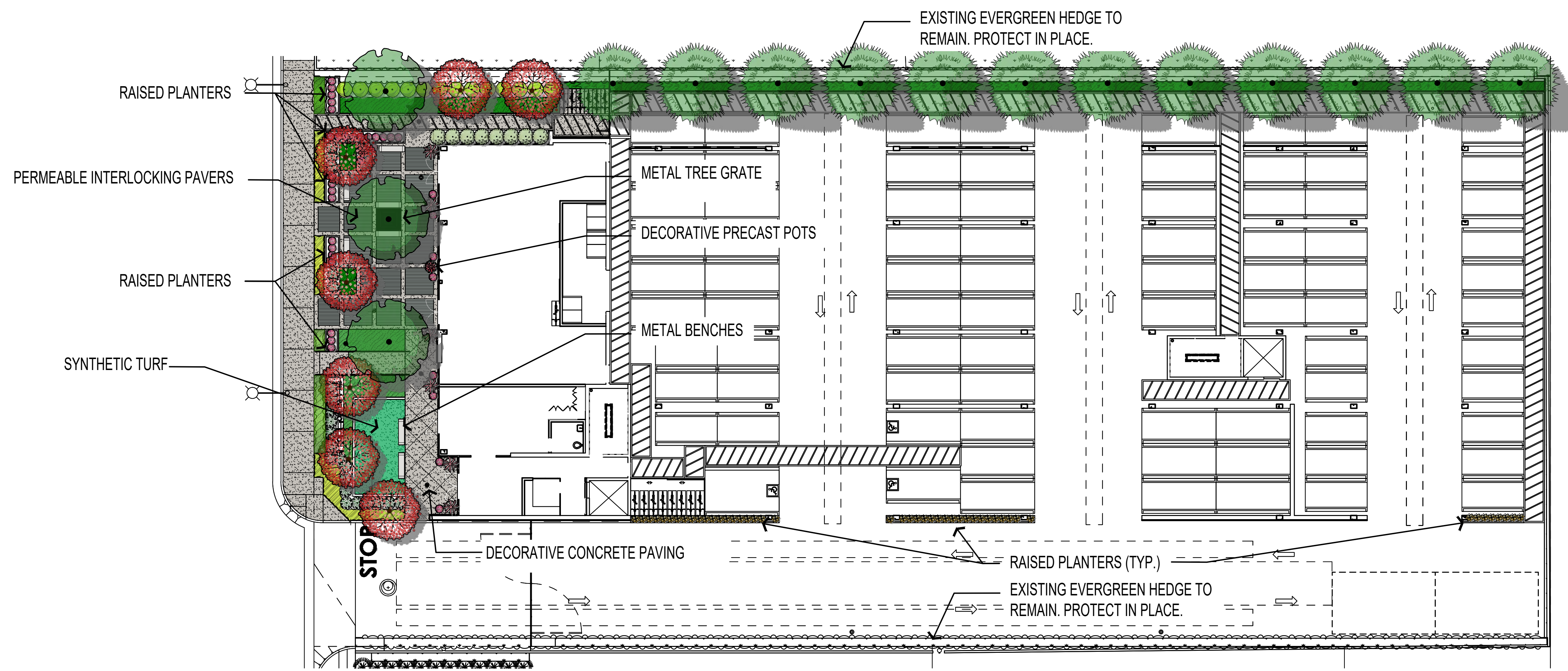


WINTER SOLSTICE 4 PM 3
SCALE: 3/8" = 1'-0"

SOLAR STUDY - WINTER SOLSTICE A322

WINDSOR MIXED USE MULTI-FAMILY

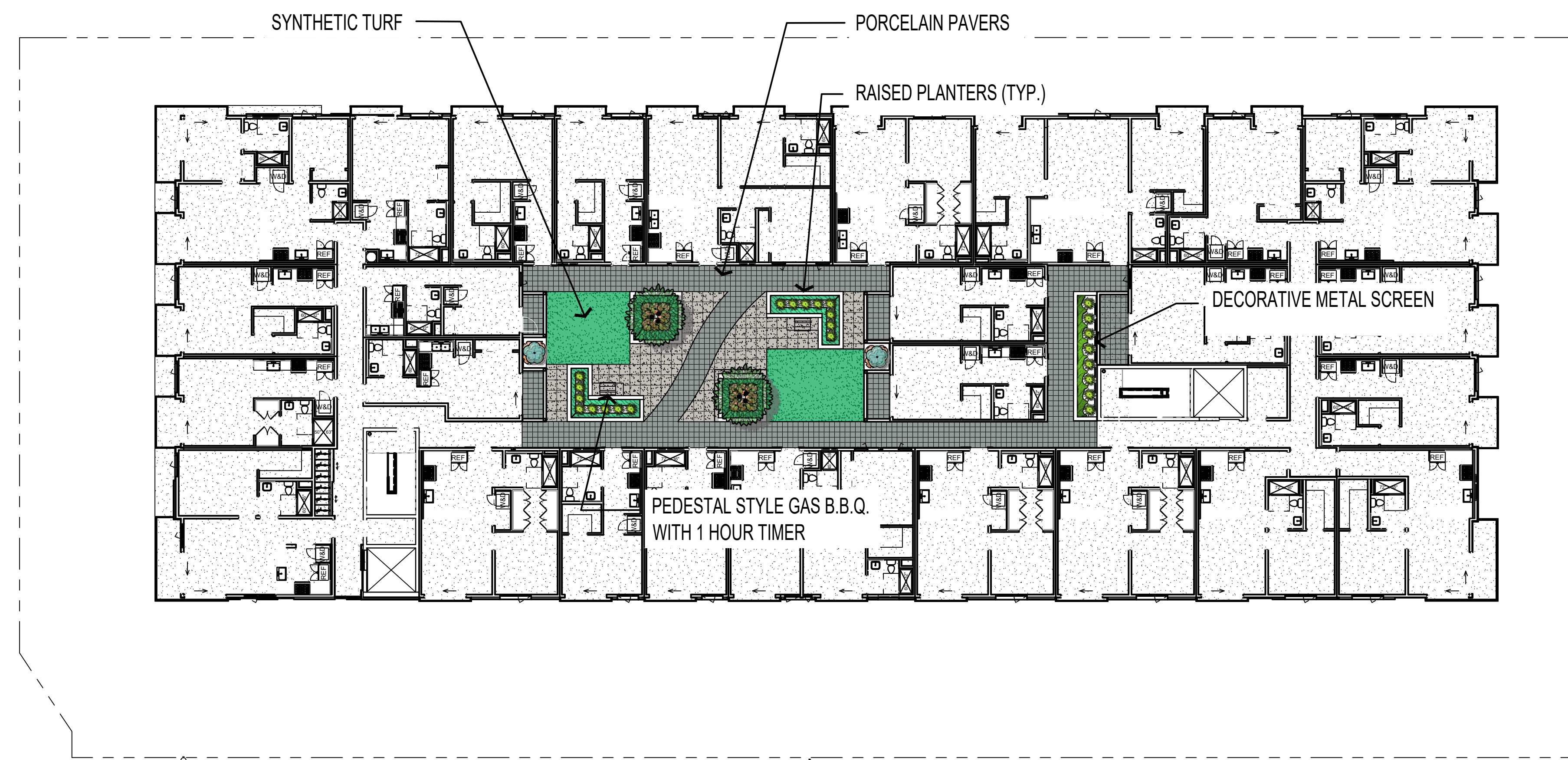
2214 WINDSOR AVE.
ALTADENA, CA 91001



LEVEL ONE

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	PE	QTY	REMARKS
TREES						
	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	24" Box		M	7	
	Eriobotrya deflexa / Bronze Loquat Multi-Trunk	24" Box		M	2	
	Lophostemon confertus / Brisbane Box	24" Box		M	3	
	Pinus canariensis / Canary Island Pine	24" Box		L	12	
SHRUBS						
	Aloe striata / Coral Aloe	5 Gal.		VL	47	
	Dianella revoluta 'Variegated' / Variegated Flax Lily	5 Gal.		L	24	
	Nandina domestica 'Nana Purpurea' / Dwarf Purple Heavenly Bamboo	5 Gal.		L	24	
	Podocarpus macrophyllus 'Maki' / Maki Podocarpus	24" Box		M	2	
	Rhaphiolepis indica 'Dwarf Pink' / Dwarf Pink Indian Hawthorn	5 Gal.		M	8	
	Rosa x 'Iceburg' / Iceburg White Rose	5 Gal.		L	22	
	Xylosma congestum 'Compacta' / Compact Xylosma	15 gal.		L	14	
POTTED PLANTS						
	Anigozanthos x 'Bush Blaze' / Kangaroo Paw	5 Gal.		L	36	
	Cordyline banksii 'Sprlecpink' TM / Electric Pink Cordyline	15 Gal.		L	6	
	Hesperaloe parviflora 'Straight Up Red' / Straight Up Red Yucca	15 Gal.		L	2	
SHRUB AREAS						
	Carissa macrocarpa 'Green Carpet' / Green Carpet Natal Plum	1 Gal.		L	30" o.c.	184
	Ficus religiosa 'Nitida' / Cuban Laurel	Existing			48" o.c.	93
	Hemerocallis x 'Betty Woods' / Betty Woods Daylily	1 Gal.			24" o.c.	48
	Rosa Meidland series 'White' / White Meidland Rose	1 Gal.			30" o.c.	28
	Trachelospermum jasminoides / Chinese Star Jasmine	1 Gal.			24" o.c.	32
SYNTHETIC TURF						
	Synthetic Turf / SyntheticTurf	SYNTHETIC TURF				761 sf



LEVEL TWO

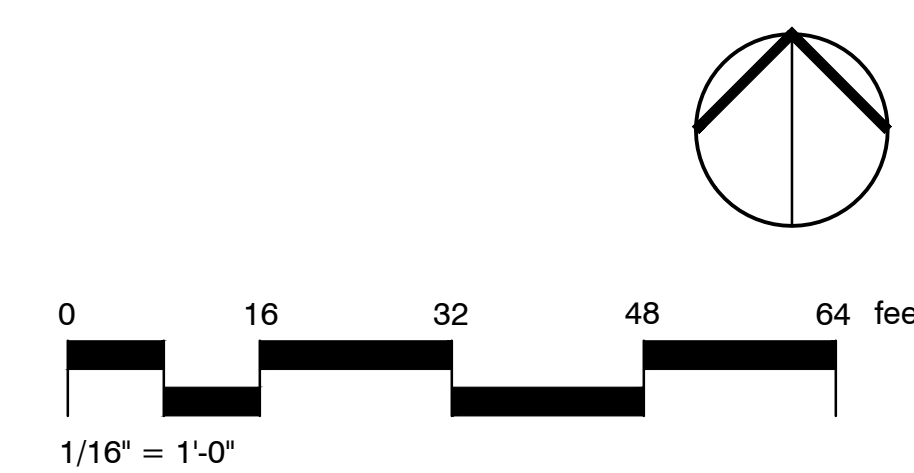
NOTES:

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE COUNTY OF LOS ANGELES

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO THE COUNTY OF LOS ANGELES DESIGN GUIDELINES, CODES AND REGULATIONS.

ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION.

ALL LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED.





PROJECT NUMBER PRJ2021-001327-(5) **HEARING DATE** January 15, 2025

REQUESTED ENTITLEMENT(S)
Minor Conditional Use Permit (“MCUP”) No. RPPL2021003527
Administrative Housing Permit No. RPPL2021003544

PROJECT SUMMARY

OWNER / APPLICANT

KT and KT Investments, LLC / Kluger Architects

MAP/EXHIBIT DATE

2/15/24

PROJECT OVERVIEW

A MCUP and Administrative Housing Permit is requested to authorize the construction of a three-story, 42,524-square-foot mixed-use residential and commercial development with 2,122 square feet of ground floor retail space, 639 square feet of temporary leasing office space, and 54 apartment units, including 5 units restricted to extremely low income households earning up to 30% of the Area Median Income (“AMI”), and 1 unit restricted to very low income households earning up to 50% AMI. The Project includes 80 parking spaces on the ground floor, 41 bicycle parking spaces, 7,571 square feet of landscaped open space, and 24 new trees.

LOCATION

2214 Windsor Avenue, Altadena

ACCESS

Windsor Avenue

ASSESSORS PARCEL NUMBER(S)

5827-008-072

SITE AREA

.95 Acres

GENERAL PLAN / LOCAL PLAN

Altadena Community Plan

ZONED DISTRICT

Altadena

LAND USE DESIGNATION

BP (Business Park)

ZONE

C-M (Commercial Manufacturing)

PROPOSED UNITS

54

MAX DENSITY/UNITS

48 (11% Density Bonus Proposed)

COMMUNITY STANDARDS DISTRICT

Altadena Community Standards District

ENVIRONMENTAL DETERMINATION (CEQA)

The project qualifies for an Exemption for Residential or Mixed-Use Housing Projects pursuant to California Public Resources Code section 21159.25.

KEY ISSUES

- Consistency with the Altadena Community Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Chapter 22.120 (Density Bonus)
 - Chapter 22.121 (Inclusionary Housing)
 - Chapter 22.160 (Conditional Use Permits, Minor)
 - Chapter 22.166 (Housing Permits)
 - Chapter 22.306 (Altadena Community Standards District)
 - Section 22.20.050 (Development Standards for Zones C-H, C-1, C-2, C-3, and C-M)
 - Section 22.140.350 (Mixed Use Developments in Commercial Zones)

CASE PLANNER:

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**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING
FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
PROJECT NO. PRJ2021-001327-(5)
MINOR CONDITIONAL USE PERMIT NO. RPPL2021003527
ADMINISTRATIVE HOUSING PERMIT NO. RPPL2021003544**

RECITALS

1. **HEARING DATE(S).** The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly-noticed public hearing on January 15, 2025, in the matter of Minor Conditional Use Permit No. RPPL2021003527 (“MCUP”) and Administrative Housing Permit No. RPPL2021003544. The MCUP and Administrative Housing Permit are referred to collectively as the “Project Permits.”
2. **HEARING PROCEEDINGS.** *Reserved.*
3. **ENTITLEMENT(S) REQUESTED.** The permittee, Kluger Architects (“permittee”), requests the Project Permits to authorize construction of a mixed-use residential and commercial development with an affordable housing set-aside (“Project”) on a property located at 2214 Windsor Avenue in the unincorporated community of Altadena (“Project Site”).
4. **ENTITLEMENT REQUIRED.** The MCUP is a request to authorize the construction of a mixed-use residential and commercial development in the C-M (“Commercial Manufacturing”) Zone pursuant to Los Angeles County Code (“County Code”) Section 22.20.030.C. (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, and C-R). The application was submitted on April 1, 2021 and deemed complete on April 5, 2021. At the time the application was deemed complete, a MCUP was the required entitlement for a mixed-use development in the C-M Zone.
5. **ENTITLEMENT REQUIRED.** The Administrative Housing Permit is a request to provide an 11% density bonus, including six affordable housing set-aside units (five apartment units restricted to extremely low-income households earning up to 30% of the Area Median Income (“AMI”) and one apartment unit restricted to very low-income households earning up to 50% AMI), four waivers, and to monitor the proposed six affordable apartment units during the applicable affordability term. The requested waivers are:
 - A 10-foot increase in allowable height for a maximum height of 45 feet instead of the maximum height of 35 feet specified in the Altadena Community Standards District (“CSD”).
 - An increase in the maximum number of building stories, for a maximum of three stories instead of the maximum two stories as specified in the Altadena Community Plan (“Community Plan”).

- An increase in maximum Floor Area Ratio (“FAR”) of 1.03 instead of the maximum FAR of 1 specified in the Community Plan.
- Providing 42.5 percent of required parking spaces as compact spaces, instead of the maximum 40 percent as specified in County Code Section 22.112.070 (Required Parking Spaces).

6. **LOCATION.** The Project is located at 2214 Windsor Avenue within the Altadena Zoned District and the West San Gabriel Valley Planning Area.

7. PREVIOUS ENTITLEMENT(S).

CASE NO.	REQUEST	DATE OF ACTION
RCOC-201200147	Certificate of Compliance	April 2, 2013
RPP-201200916	Plot Plan for office building	May 20, 2013
RPPL2016002126	Zoning Conformance Review for block wall	May 12, 2016
RPPL2017006279	Site Plan Review for office building	December 3, 2018

8. **LAND USE DESIGNATION.** The Project Site is located within the BP (“Business Park”) land use category of the Community Plan Land Use Policy Map.

9. **ZONING.** The Project Site is located in the Altadena Zoned District and is currently zoned C-M. The application was submitted on April 1, 2021 and deemed complete on April 5, 2021. At the time of application submittal, a MCUP was the required entitlement for a mixed-use development in the C-M Zone, pursuant to Section 22.20.030.C.

10. SURROUNDING LAND USES AND ZONING

LOCATION	LAND USE POLICY	ZONING	EXISTING USES
NORTH	LD (Low Density Residential – maximum density of six dwelling units per gross acre)	R-1-7500 (Single-Family Residence, 7,500 Square Foot Minimum Required Lot Area)	Single-family residences
EAST	BP	C-M	Business park, retail businesses
SOUTH	BP	C-M and City of Pasadena	Automobile repair shop, child care center, California Highway Patrol office, Pasadena Unified School

			District Service Center
WEST	BP	C-M	Office buildings, multi-family residences

11. PROJECT AND SITE PLAN DESCRIPTION.

A. Existing Site Conditions

The Project Site is .95 net acres in size and consists of one legal lot. The Project Site is rectangular in shape with generally flat topography and is currently undeveloped except for a storage shed to be demolished.

B. Site Access

The Project Site is accessible via Windsor Avenue to the west. Primary access to the Project Site will be via an entrance/exit from Windsor Avenue.

C. Site Plan

The site plan depicts the Project Site with the proposed three-story, 45-foot-tall, 42,524-square-foot mixed-use residential and commercial development. The development will include 2,122 square feet of ground floor retail space, a 639-square-foot ground floor temporary leasing office (both fronting Windsor Avenue), 80 parking spaces in a ground floor garage, and 54 apartment units on the second and third floors. An access driveway from Windsor Avenue is provided along the southern portion of the Project Site. In addition, the Project will include 41 bicycle parking spaces. 29 bicycle parking spaces will be placed on the ground floor within the garage, retail space, and office, as well as just outside the northern edge of the building. 6 bicycle parking spaces will be placed within the second floor and an additional 6 on the third floor. The Project contains 7,571 square feet of landscaped open space, including an approximately 4,764-square-foot common open space plaza with landscaping and seating opportunities between the street and the building. Finally, 24 new trees from the County’s Tree Species List will be planted at the Project Site.

D. Affordable Housing

The Project will contain a total of 54 apartment units including 30 studio units, 14 one-bedroom units, and 10 two-bedroom units. Of this total, five units will be restricted to extremely low-income households earning up to 30 percent of the Area Median Income (“AMI”); one unit will be restricted to very low income households earning up to 50 percent AMI; and one unit will be reserved as a manager’s unit. Pursuant to County Code Section 22.121.050.E., the affordability term for rental affordable housing set-aside units shall be in perpetuity.

E. Parking

The Project provides 80 parking spaces on the ground floor. 68 of the parking spaces will be reserved for the residential component (including 2 accessible spaces); 10 of the spaces will be reserved for the retail component (including one

accessible space), and two spaces for the temporary leasing office. Of the non-accessible spaces, 43 spaces are standard sized (including 10 tandem spaces) and 34 spaces are compact sized (including 18 tandem spaces).

12. CEQA DETERMINATION. Prior to the Commission’s public hearing on the Project, Los Angeles County Department of Regional Planning (“LA County Planning”) staff determined that the Project qualifies for an Exemption for Residential or Mixed-Use Housing Projects pursuant to California Public Resources Code (“PRC”) section 21159.25 as the Project consists of a mix of multi-family residential and non-residential uses with at least two-thirds of the development’s square footage designated for the residential use and the Project is substantially surrounded (75%) by urban uses. Furthermore, the Project qualifies for this exemption because it meets the following conditions specified in PRC section 21159.25(b):

- A. The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations.

The Community Plan’s BP land use designation is intended for uses that are “clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The Project shall be maintained neat and orderly per the Conditions of Approval. None of the Project’s uses are anticipated to generate pollution or obtrusive odors. The Project includes 7,571 square feet of attractively landscaped open space, including 24 new 15-gallon trees. Finally, several design features have been incorporated into the Project to enhance its visual attractiveness (e.g. upper stories are differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials).

Per the General Plan, the BP land use category allows mixed-use developments with a residential density of 20 to 50 dwelling units per net acre and a FAR cap of 1.0. The Project proposes a residential density of 56.8 units per net acre and a FAR of 1.03. In compliance with County Code Section 22.120.050 - Affordable Housing though, the Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% which results in a residential density of 56.8 units per net acre. Furthermore, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in maximum FAR from 1 to 1.03. With the requested density bonus and waiver, the project is found to be consistent with the goals and policies of the Community Plan and the BP land use designation.

The Project supports General Plan Policy LU 4.1, as it promotes infill development. It also supports General Plan Policy LU 5.2, as it will provide additional retail to meet regional and local needs. Further, it supports Housing Element Policy 3.1, as it promotes mixed-income neighborhoods with a diversity of housing types. In addition, it supports the Community Plan’s Policy 1.1 (Land Use Mix) as it provides for new development that is compatible with and compliments existing uses. It also

supports Community Plan Policy 3.1 (Commercial Development- Community-wide Commercial) as the Project can help enhance the economic viability of the commercial development in the area by infilling a vacant and under-utilized parcel. The Project is consistent with the C-M zoning classification. At the time the application was deemed complete, a MCUP was the required entitlement for a mixed-use development in the C-M Zone, pursuant to County Code Section 22.20.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R). Further, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in building height, an increase in the number of building stories, an increase in maximum FAR, and an increase in the percentage of compact parking spaces. With the requested waivers, the Project is consistent with all standards for required yards, height, lot coverage, parking, bicycle parking, landscaping, tree planting, and mixed- use developments in commercial zones, as well as Community Standards District, Altadena Community Plan, and inclusionary housing requirements.

- B. The Project’s density is greater than the average density of the residential properties within 1,500 feet of the project site and the Project contains six or more residential units.

The density of the proposed Project is 56.8 units per net acre which is greater than the average density of the residential properties within 1,500 feet of the Project Site. Furthermore, the Project contains more than 6 units.

- C. The Project is within the unincorporated County and the Project Site is less than five acres and substantially surrounded by qualified urban uses.

The Project Site is located in unincorporated Altadena. It is less than five acres in size and is substantially surrounded by qualified urban uses, including single-family residences and commercial developments to the north, commercial developments to the east, commercial developments and institutional uses to the south, and multifamily residences and office buildings to the west.

- D. The Project site has no value as habitat for endangered, rare, or threatened species.

The Project Site is currently vacant, except for a storage shed to be demolished. The only vegetation at the Project Site is an evergreen hedge along the perimeter. It is surrounded by residential, commercial, and institutional uses. The Project Site and its surroundings are not within a Significant Ecological Area or an area of critical environmental sensitivity such as the Santa Monica Mountains Coastal Zone. No natural open space exists in the immediate vicinity of the Project Site.

- E. Approval of the Project would not result in any significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

The Project Site is located along Windsor Avenue, within 0.6 miles of the nearest bus stop located at the intersection of W Woodbury Rd and Lincoln Ave. Windsor Avenue is part of a proposed Class II Bike Path in the Master Plan of Bikeways. The Project will provide nine short-term and 32 long-term bicycle parking spaces, which supports bicycling as an alternative means of transportation. During construction, all activities will comply with the Noise Control Ordinance and adhere to applicable Air Quality Management District regulations. Once established, the mixed-use development will not generate significant noise. The Project will comply with the County's Low Impact Development Ordinance, thereby minimizing greenhouse gas emissions. The Project also includes 7,571 square feet of landscaping and 24 new trees, which will sequester carbon, improve air quality, and provide habitat. The property is served by Pasadena Water and Power and Los Angeles County Sanitation District No. 17, and thus will not have a significant impact on water quality.

- F. The Project site can be adequately served by all required utilities and public services.

The Project site will be adequately served by all required utilities and public services.

- G. The Project is located on a site that is a legal parcel wholly within the boundaries of an urbanized area or urban cluster, as designated by the United States Census Bureau.

The Project site meets this locational criteria.

No exceptions to the Residential or Mixed-Use Housing Exemption apply to the Project Site. Per PRC section 21159.25(c), PRC section 21159.25(b) does not apply to a project if:

- A. The cumulative impact of successive projects of the same type in the same place over time is significant.

There is no potential for cumulative impact of successive projects of the same type in the same place over time, as the proposed Project is a mixed-use development with ground-floor retail, and the use is not anticipated to change or expand once established.

- B. There is a reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances.

There is no reasonable possibility that the Project will have a significant impact on the environment due to unusual circumstances, as the Project is residential and retail-oriented in nature.

- C. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

The Project is not located adjacent to an officially designated state scenic highway and will not result in damage to scenic resources.

- D. The project is located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The Project is not located on a site included on any of CalEPA's "Cortese List" compiled pursuant to Section 65962.5 of the Government Code.

- E. The project may cause a substantial adverse change in the significance of a historical resource.

The Project is not located near a historic resource and as a result will not cause a substantial adverse change in the significance of a historical resource.

None of the conditions specified in PRC section 21159.25(c) apply to the proposed Project. Therefore, the conditions of PRC section 21159.25(c) do not preclude the Project's exemption eligibility per PRC section 21159.25(b).

13. COMMUNITY OUTREACH. The Permittee presented the Project before the Altadena Town Council ("ATC") Land Use Committee on August 3, 2021 and September 7, 2021. On September 22, 2021, the ATC provided a letter recommending that the Project proceed to public hearing with suggested conditions of approval.

14. PUBLIC COMMENTS. Prior to the publication of the staff report, one public comment was received in opposition to the Project. The individual expressed concerns over traffic safety, a lack of sufficient parking, absence of other 3-story buildings within the vicinity, and the need for more affordable housing units.

15. AGENCY RECOMMENDATIONS.

- A. Los Angeles County Department of Public Works: Recommended clearance to public hearing with conditions in a letter dated September 16, 2024.
- B. Los Angeles County Fire Department: Recommended clearance to public hearing with no conditions in a letter dated January 16, 2024.
- C. Los Angeles County Department of Public Health: Recommended clearance to public hearing with conditions in a letter dated March 3, 2022.

16. LEGAL NOTIFICATION. The Commission finds that pursuant to Section 22.222.120 of the County Code, the community was properly notified of the public hearing by mail, newspaper (*Pasadena Star News*), and property posting. Additionally, the Project was noticed and case materials were available on LA County Planning's website. On November 26, 2024, a total of 182 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 1,000-foot radius from the Project Site, as well as 7 notices to those on the courtesy mailing list for the Altadena Zoned District and to any additional interested parties. On December 5, 2024, revised Notices of Public Hearing were mailed to the 182 property owners and the 7 recipients from the courtesy mailing list. The revised Notices of Public Hearing were issued to correct the hearing date on the notices mailed November 26, 2024. The notices mailed on November 26, 2024 had an incorrect hearing date of January 15, 2024. The notices mailed on December 5, 2024 corrected the hearing date to January 15, 2025.

GENERAL PLAN CONSISTENCY FINDINGS

17. LAND USE POLICY. The Commission finds that the Project is consistent with the goals and policies of the Community Plan because the BP land use category designation is intended for uses that are “clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The Project shall be maintained neat and orderly per the Conditions of Approval. None of the Project's uses are anticipated to generate pollution or obtrusive odors. The Project includes 7,571 square feet of attractively landscaped open space, including 24 new 15-gallon trees. Finally, several design features have been incorporated into the Project to enhance its visual attractiveness (e.g. upper stories are differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials).

Per the General Plan, the BP land use category allows mixed-use developments with a residential density of 20 to 50 dwelling units per net acre and a FAR cap of 1.0. The Project proposes a residential density of 56.8 units per net acre and a FAR of 1.03. In compliance with County Code Section 22.120.050 - Affordable Housing though, the Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% which results in a residential density of 56.8 units per net acre. Furthermore, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in maximum FAR from 1 to 1.03. With the requested density bonus and waiver, the project is found to be consistent with the goals and policies of the Community Plan and the BP land use designation.

18. GOALS AND POLICIES. The Commission finds that the Project promotes the following goals and policies of the Land Use Element of the Los Angeles County General Plan (“General Plan”) and the Community Plan:

General Plan

Policy LU 4.1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.

The Project Site is currently vacant and is in an urban area served by existing public services and infrastructure. It is within walking distance of an existing retail corridor along Lincoln Avenue and a nearby bus stop at the intersection of W Woodbury Rd and Lincoln Ave. The area surrounding the Project Site is characterized by a mix of single- and multi-family residences, offices, and retail. The Project will contribute to the cohesiveness of the block and provide additional neighborhood-serving retail opportunities while introducing multi-family housing near retail and amenities. The Project qualifies as infill development and therefore will not consume raw, undeveloped land, contribute to sprawl, or negatively impact the County's natural resources.

Policy LU 5.2: Encourage a diversity of commercial and retail services, and public facilities at various scales to meet regional and local needs.

The Project will include 2,122 square feet of retail space on the ground floor, as well as a 639-square-foot temporary leasing office which will eventually be converted into additional retail space. Retail space will be occupied by neighborhood-serving businesses and will expand the diversity of commercial and retail services available to residents of the Project, residents in the vicinity of the Project Site, the broader community, and visitors to Altadena.

Housing Element, Policy 3.1: Promote mixed income neighborhoods and a diversity of housing types throughout the unincorporated areas to increase housing choices for all economic segments of the population.

The housing stock in the vicinity of the Project Site is a mix of single- and multifamily residences. Upon completion, the Project will add 54 apartment units including five units restricted to extremely low income households earning up to 30 percent AMI, and one unit restricted to very low income households earning up to 50 percent AMI. Therefore, the Project will accommodate residents of various income levels and expand multi-family housing opportunities in the Altadena community.

Community Plan

Policy 1.1, Land Use Mix: Provide for new development which is compatible with and compliments existing uses.

The Project is a new 42,524-square-foot mixed-use residential and commercial development which is compatible with, and compliments existing uses. The Project includes 2,761 square feet of commercial space which will serve the surrounding communities together with nearby commercial uses to the south, west, and east of the Project Site. The Project also includes a landscaped plaza with seating along Windsor Ave. The plaza compliments existing nearby residential uses, providing open space for both the Project's residents and residents from the surrounding communities. Furthermore, design features have been incorporated into the Project to ensure

compatibility with the existing surrounding residential uses. The driveway will run along the southern lot line, away from the single-family residences to the north and adjacent to the commercial uses to the south. Furthermore, fifteen 24” box trees will be installed along the northern edge of the Project site and an existing evergreen hedge will remain to create a vegetative buffer between the Project and the single-family residences.

Policy 3.1, Commercial Development- Community-wide Commercial: Enhance the physical character and economic viability of existing commercial centers and districts by providing for infill and intensification of vacant and under-utilized parcels, adaptive reuse of vacant structures, and rehabilitation of deteriorated structures.

The Project Site is currently vacant and qualifies as infill development. The Project will bring new residents to the community along with patrons for the commercial uses. The residents and patrons can take advantage of existing commercial establishments to the south, west, and east of the Project Site which can help enhance the economic viability of commercial development within the area.

ZONING CODE CONSISTENCY FINDINGS

19. **PERMITTED USE IN ZONE.** The Commission finds that the Project is permitted in the C-M zone. At the time the application was deemed complete, mixed-use developments were permitted in such zone with a MCUP pursuant to County Code Section 22.20.030.C – Land Use Regulation for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R.
20. **REQUIRED YARDS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.140.350 – Mixed-Use Developments in Commercial Zones. As the Project Site is adjacent to R-1-7500 zoned properties to the north, an interior side yard of six feet is required for a three-story building. A 15-foot interior side yard setback is provided. Additionally, a 15-foot rear setback is required. The proposed rear setback is 20 feet.
21. **HEIGHT.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.306.060 – Community-wide Development Standards for the Altadena Community Standards District (“CSD”) and the Community Plan. The maximum allowable height of any structure in a Commercial zone within the CSD is 35 feet and, per the Community Plan, two stories. However, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the permittee is requesting two height related waivers, including a ten-foot increase in allowable height for a maximum height of 45 feet to the top of the elevator shafts, and one additional story for a total of three stories. With the requested waivers, the Project is consistent with height requirements.
22. **FLOOR AREA RATIO.** The Commission finds that the Project is consistent with the standard identified in Community Plan. The maximum allowable FAR in the BP land use designation is 1.0. As the lot is approximately 41,386 square feet and the building

area is 42,524, the proposed FAR is 1.03. Pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting a waiver to increase the maximum FAR from 1 to 1.03. With the requested waiver, the project is found to be consistent with FAR requirements.

23. LOT COVERAGE. The Commission finds that the Project is consistent with the standard identified in the Community Plan. The maximum allowable lot coverage is 60 percent. As the net lot size is approximately 41,386 square feet and building footprint is 23,882 square feet, the proposed lot coverage for the Project is 58 percent.

24. PARKING. The Commission finds that the Project is consistent with the standard identified in County Code Section 22.120.080 – Parking. The residential use requires one standard space for every studio or one-bedroom unit, and 1.5 standard spaces for every two-bedroom unit. The Project includes 30 studio units, 14 one-bedroom units, and 10 two-bedroom units. Therefore, at least 59 residential parking spaces are required. The Project provides 68 residential parking spaces, including 2 ADA accessible spaces. The temporary leasing office use requires one space for each 400 square feet of office space. The temporary leasing office is 639 square feet. Therefore, at least two office parking spaces are required. The Project provides two office parking spaces. Additionally, the retail use requires one space for each 250 square feet of retail space. The retail use has a square footage of 2,122 square feet. Therefore, at least eight retail parking spaces are required. The Project includes 10 retail parking spaces, including one ADA accessible space. Out of the 80 total parking spaces, 34 spaces, or 42.5 percent, are compact spaces. This exceeds the maximum allowable 40 percent for compact parking, pursuant to 22.112.070 – Required Parking Spaces. However, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the permittee is requesting a waiver to increase the percentage of compact parking from 40 percent to 42.5 percent. With the requested waiver, the Project is consistent with parking requirements. Furthermore, no loading spaces are required per County Code Section 22.112.120.

25. BICYCLE PARKING. The Commission finds that the Project is consistent with the standard identified in County Code Section 22.112.100 – Bicycle Parking Spaces and Bicycle Facilities. The multi-family residential use requires one short-term bicycle parking space for each ten dwelling units, and one long-term bicycle parking space for each two dwelling units. The residential use has 54 dwelling units, which requires at least five short-term spaces and 27 long-term spaces to be provided based on the applicable ratio. The Project includes five short-term spaces and 28 long-term spaces dedicated to the residential use. The temporary leasing office use requires one short-term bicycle parking space and one long-term bicycle parking space for each 8,000 square feet of retail space, with a minimum of two short-term and two long-term spaces. The office use has a square footage of 639 square feet, which requires two short-term and two long-term spaces based on the applicable ratio. Two short-term and two long-term spaces are dedicated to the office use. The retail use requires one short-term bicycle parking space and one long-term bicycle parking space for each 5,000 square feet of retail space, with a minimum of two short-term and two long-term spaces. The retail use has a square footage of 2,122 square feet, which requires two

short-term and two long-term spaces based on the applicable ratio. The Project includes two short-term spaces and two long-term spaces, consistent with this requirement. The Project includes a total of 41 bicycle spaces (9 short-term and 32 long-term).

26. **SIGNS.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.306.070.D – Zone Specific Development Standards for All Commercial Zones in the CSD. The maximum allowable letter height for all signage is 18 inches. One building identification sign and one freestanding sign are proposed, each with a maximum letter height of 12 inches. Sign colors and materials are harmonious with the building design.

27. **COMMUNITY STANDARDS DISTRICT.** The Commission finds that the Project is consistent with the CSD's standards identified in County Code 22.306.060 – Community Wide Development Standards and 22.306.070 – Zone Specific Development Standards. All building elevations are architecturally treated in a consistent manner. Metal awnings are architecturally compatible with the building in color and style. Mechanical equipment does not interfere with the architectural details or overall design. Transformers are located underground and are not visible from the public right of way. Rooftop mechanical equipment is screened by parapet walls. Fencing will be constructed of iron with wood-textured metal panels. The ground floor façade along Windsor Avenue is comprised of clear glass storefront windows; 86.9 percent of façade length is windows, in excess of the required 55 percent, and 77 percent of the total façade area is windows, in excess of the required 40 percent. More than 50 percent of the building frontage of upper stories is differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials. The landscaped interior pedestrian courtyard is paved with permeable paver tiles. The Project includes the following seven architectural elements from Table 22.306.070-G – Architectural Elements: awnings, balconies, benches and seating for pedestrians, decorative iron fences, decorative iron grilles, pedestrian-accessible plazas, and raised planters. Parking entrances are located adjacent to the driveway along the south side of the building, and do not occupy the building frontage. The parking area is screened by masonry walls, decorative metal screens, and landscaping. The trash and recycling room is located within the building and is not visible from the exterior.

28. **MIXED USE DEVELOPMENTS IN COMMERCIAL ZONES.** The Commission finds that the Project is consistent with the standards identified in Section 22.140.350 – Mixed Use Developments in Commercial Zones. At least two-thirds of the square footage of the mixed-use development is designated for residential uses. There are five pedestrian accessible entrances to the building which front and are directly accessible to pedestrians on Windsor Ave. The ground floor parking area is screened from public view with walls, decorative metal screens, and landscaping. Separate commercial and residential parking spaces are provided and clearly designated. Trash and recycling are located in a convenient location for both commercial and residential tenants and is not visible from the street. Commercial and residential uses are not located on the same floor with all residential units located above the ground floor on levels two and three. The ground floor is devoted to the commercial use and parking, while the upper

floors are devoted solely to the residential use. As deemed in the Conditions of Approval, hours of operations for the commercial uses shall be limited to 7:00 am to 10:00 pm daily.

29. **SENSITIVE USES.** The Commission finds that the standards identified in County Code Section 22.134.030 – Development Standards for Sensitive Uses do not apply to the Project. The Project Site is adjacent to an automobile repair shop. However, the application was deemed complete on April 5, 2021, prior to the adoption of the Green Zones Ordinance and the codification of these standards.
30. **PROJECTIONS INTO YARDS.** The Commission finds that the Project is consistent with the standards identified in County Code Section 22.110.090 – Projections into Yards. Balconies above the first floor project a maximum distance of two feet into the side yards, and a maximum of four feet into the required front and rear yards. The balconies are not closer than three feet to any lot or highway line; are open and unenclosed; and are uncovered, except for awnings at the roof level. The awnings are not closer than two and one-half feet to any lot or highway line, and do not extend more than one foot on either side of the balcony windows and doors.
31. **LANDSCAPING.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.20.040 – Development Standards for Commercial Zones. A total of 7,571 square feet, or approximately 18 percent of the net lot area is landscaped, which exceeds the minimum 10 percent required.
32. **TREE PLANTING.** The Commission finds that the Project is consistent with the standard identified in County Code Section 22.126.030 – Tree Planting Requirements. The Project includes 24 new trees from the County’s Tree Species List, which exceeds the required three trees per 10,000 square feet of developed lot area for mixed-use developments.
33. **INCLUSIONARY UNITS.** The Commission finds that the Project is consistent with the Inclusionary Housing Ordinance. The Project includes rental units and is located within the San Gabriel Valley Submarket Area. A minimum 10 percent set-aside, or five units, is required at an average affordability of 40 percent AMI or below. The Project provides six units (a 12.77% set-aside), of which five units restricted to extremely low income households earning up to 30 percent AMI, and one unit restricted to very low income households earning up to 50 percent AMI, consistent with this requirement.

MINOR CONDITIONAL USE PERMIT FINDINGS

34. **The Commission finds that the proposed use will be consistent with the adopted General Plan for the area.**
Per the General Plan, the BP land use category allows mixed-use developments with a residential density of 20 to 50 dwelling units per net acre and a FAR cap of 1.0. The Project proposes a residential density of 56.8 units per net acre and a FAR of 1.03. In compliance with County Code Section 22.120.050 – Affordable Housing though, the

Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% which results in a residential density of 56.8 units per net acre. Furthermore, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in maximum FAR from 1 to 1.03. With the requested density bonus and waiver, the project is found to be consistent with the goals and policies of the Community Plan and the BP land use designation.

Furthermore, the General Plan serves as the foundation for the Community Plan which designates a land use category of BP to the Project Site. Per the Community Plan, the BP land use category is intended for uses that are “clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The Project shall be maintained neat and orderly per the Conditions of Approval. None of the Project’s uses are anticipated to generate pollution or obtrusive odors. The Project includes 7,571 square feet of attractively landscaped open space, including 24 new 15-gallon trees. Finally, several design features have been incorporated into the Project to enhance its visual attractiveness (e.g. upper stories are differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials). The Project is therefore also consistent with the Community Plan.

- 35. The Commission finds that the proposed use at the site will not adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area; will not be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and will not jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare.** The Project is the construction of a mixed-use commercial and residential development, to include a 2,122-square-foot retail space and 639-square-foot temporary leasing office on the ground floor and 54 multi-family residential units on the second and third floors. The mixed-use development is compatible with surrounding land uses and existing development patterns. The Project’s retail use is oriented towards Windsor Avenue, in line with the surrounding existing commercial uses. The Project also includes a landscaped plaza with seating along Windsor Ave which will serve both the Project’s residents and residents from the surrounding communities. Furthermore, the Project has been designed to minimize impacts to the surrounding residential communities. The driveway runs along the southern lot line, away from the single-family residences to the north and adjacent to the commercial uses to the south. Furthermore, fifteen 24” box trees will be installed along the northern edge of the Project site and an existing evergreen hedge will remain to create a vegetative buffer between the Project and the single-family residences to the north. Conditions of Approval related to upkeep of the Project Site, including the building façade, driveway, and landscaping, hours of operations for future retail tenants, as well as required unbundling of parking from apartment units in the development, further mitigate any adverse impacts.
- 36. The Commission finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is**

otherwise required in order to integrate said use with the uses in the surrounding area. The Project Site is of an adequate size and shape to accommodate the 45-foot-tall, 42,524-square-foot mixed-use development, as well as 80 parking spaces to serve the residential, temporary leasing office, and retail uses. With the requested waivers, all Project features comply with development standards for required yards, walls, fences, parking, landscaping, and other development features, including all development standards in the CSD, pursuant to County Code Chapter 22.306. As a result, the Project is compatible and well-integrated with surrounding commercial and residential uses.

37. The Commission finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required. The Project Site is adequately served by Windsor Avenue, which is 90 feet wide. The Department of Public Works Traffic Safety and Mobility Division reviewed the Project and determined that based on the Project density, affordability, and location near existing and planned bicycle facilities, the Project's Vehicles Miles Traveled will have a less than significant impact on traffic. The Project will provide nine short-term and 32 long-term bicycle parking spaces, which supports bicycling as an alternative means of transportation. Additionally, the Project is 0.6 miles from the nearest bus station, located at the intersection of W Woodbury Rd and Lincoln Ave. The Project will be serviced by existing water and sewer lines.

38. The Commission finds that since the Project is a mixed-use development which includes a residential use, it is not necessary to set an expiration date for the MCUP.

ADMINISTRATIVE HOUSING PERMIT FINDINGS

39. The Commission finds that the application meets all requirements for an Administrative Housing Permit as the requested waivers:

- **Do not physically preclude the construction of the project at the densities or with the incentives permitted by Chapter 22.120 (Density Bonus);**
- **Do not have a specific adverse impact upon public health and safety, or the physical environment, or any real property that is listed in the California Register of Historical Resources, or the waiver or reduction would have a specific adverse impact for which there is a feasible method to satisfactorily mitigate or avoid the specific adverse impact and;**
- **Are not contrary to State or federal law.**

The permittee requests four waivers:

- A 10-foot increase in allowable height;
- An increase in the maximum number of building stories to three stories;

- An increase in maximum FAR; and
- An increase in allowed compact parking spaces to 42.5 percent of required parking spaces.

These waivers do not physically preclude the construction of the Project at the densities or with the incentives permitted Chapter 22.120 - Density Bonus. In compliance with County Code Section 22.120.050 - Affordable Housing, the Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% for a total of 54 units. The waivers help the Project accommodate the 54 units. Also, these waivers do not adversely impact public health and safety, or the physical environment, or any real property that is listed in the California Register of Historical Resources. The impacts of these waivers on the surrounding communities have been satisfactorily mitigated. The Project provides more parking than is required. The driveway is placed along the southern lot line, away from the single-family residences to the north and adjacent to the commercial uses to the south. Furthermore, fifteen 24" box trees will be installed along the northern edge of the Project site and an existing evergreen hedge will remain to create a vegetative buffer between the Project and the single-family residences to the north. Furthermore, no historic resources are located near the Project site. Finally, none of the waivers are conflict with State or federal law.

40. The Commission's decision on an Administrative Housing Permit is final and is not subject to Chapter 22.240 (Appeals).

ENVIRONMENTAL FINDINGS

41. The Commission finds that the Project qualifies for an Exemption for Residential or Mixed-Use Housing Projects pursuant to California Public Resources Code ("PRC") section 21159.25 as the Project consists of a mix of multi-family residential and non-residential uses with at least two-thirds of the development's square footage designated for the residential use and the Project is substantially surrounded (75%) by urban uses. Furthermore, the Project qualifies for this exemption because it meets the following conditions specified in PRC section 21159.25(b):

- The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The Project's density is greater than the average density of the residential properties within 1,500 feet of the project site and the Project contains six or more residential units.
- The Project is within the unincorporated County and the Project Site is less than five acres and substantially surrounded by qualified urban uses.
- The Project site has no value as habitat for endangered, rare, or threatened species.
- Approval of the Project would not result in any significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

- The Project site can be adequately served by all required utilities and public services.
- The Project is located on a site that is a legal parcel wholly within the boundaries of an urbanized area or urban cluster, as designated by the United States Census Bureau.

The Commission further finds that no exceptions to the Residential or Mixed-Use Housing Exemption apply to the Project Site. Per PRC section 21159.25(c), PRC section 21159.25(b) does not apply to a project if:

- The cumulative impact of successive projects of the same type in the same place, over time is significant.
- There is a reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances.
- The project may result in damage to scenic resources within a state scenic highway.
- The project is located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.
- The project may cause a substantial adverse change in the significance of a historical resource.

None of the above-mentioned conditions specified in PRC section 21159.25(c) apply to the proposed Project. Therefore, the conditions of PRC section 21159.25(c) do not preclude the Project's exemption eligibility per PRC section 21159.25(b).

ADMINISTRATIVE FINDINGS

42. PUBLIC MEETINGS. The Commission finds that pursuant to SB 330 (The Housing Crisis Act), the number of publicly held meetings do not exceed the five-meeting limit. One meeting occurred on the following date:

- Regional Planning Commission meeting held on January 15, 2025.

43. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Operations and Major Projects Section, LA County Planning.

BASED ON THE FOREGOING, THE COMMISSION CONCLUDES THAT:

Regarding the MCUP:

- A. The proposed use with the attached conditions will be consistent with the adopted General Plan and the Community Plan.

- B. The proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- D. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.
- E. The Project is a mixed-use development which includes a residential use, it is not necessary to set an expiration date for the MCUP.

Regarding the Administrative Housing Permit:

- A. The requested waivers:
 - Do not physically preclude the construction of the project at the densities or with the incentives permitted by Chapter 22.120 (Density Bonus);
 - Do not have a specific adverse impact upon public health and safety, or the physical environment, or any real property that is listed in the California Register of Historical Resources, or the waiver or reduction would have a specific adverse impact for which there is a feasible method to satisfactorily mitigate or avoid the specific adverse impact;
 - Are not contrary to State or federal law.
- B. The decision on an Administrative Housing Permit is final and is not subject to Chapter 22.240 (Appeals).

THEREFORE, THE COMMISSION:

1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to California PRC section 21159.25 (Residential or Mixed-Use Housing Exemption); and
2. Approves **MINOR CONDITIONAL USE PERMIT NO. RPPL2021003527 and ADMINISTRATIVE HOUSING PERMIT NO. RPPL2021003544**, subject to the attached conditions.

ACTION DATE: January 15, 2025

**PROJECT NO. RPPL2021003527
MINOR CONDITIONAL USE PERMIT NO. RPPL2021003527
ADMINISTRATIVE HOUSING PERMIT NO. RPPL2021003544**

**EXHIBIT C
FINDINGS
PAGE 19 OF 19**

KAF:DG

January 15, 2025

c: Zoning Enforcement, Building and Safety

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING**

**CONDITIONS OF APPROVAL
PROJECT NO. PRJ2021-001327-(5)
MINOR CONDITIONAL USE PERMIT NO. RPPL2021003527
ADMINISTRATIVE HOUSING PERMIT NO. RPPL2021003544**

PROJECT DESCRIPTION

The project is the construction of a mixed-use residential and commercial development subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "Permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the Permittee, and the owner of the subject property if other than the Permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 6, and until all required monies have been paid pursuant to Condition No. 8. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 7 shall be effective immediately upon the date of final approval of this grant by the County.
3. The Permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the Permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the Permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the Permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to Permittee or Permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the Permittee shall deposit additional funds sufficient to bring

the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the Permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the Permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Prior to the use of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk (i.e. Recorder's Office). In addition, upon any transfer or lease of the property during the term of this grant, the Permittee, or the owner of the subject property if other than the Permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the Permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the Permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum **\$1,764**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **four (4)** inspections, including one inspection concurrent with the issuance of a Certificate of Occupancy, and three additional inspections as needed. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the Permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts

necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$441.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. Prior to the issuance of any building permit(s), the Permittee shall remit all applicable library facilities mitigation fees to the County Librarian and pay the fees in effect at the time of payment, pursuant to Chapter 22.264 of the County Code. Questions regarding fee payment can be directed to the County Librarian at (562) 940-8430. The Permittee shall provide proof of payment upon request from LA County Planning.
10. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
11. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
12. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
13. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of Regional Planning ("Director").
14. The Permittee shall maintain the subject property in a neat and orderly fashion. The Permittee shall maintain free of litter all areas of the premises over which the Permittee has control.
15. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the Permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

16. The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, a modified Exhibit "A" shall be submitted to Regional Planning by **March 17, 2025**.
17. In the event that subsequent revisions to the approved Exhibit "A" are submitted, the Permittee shall submit **one (1) digital copy** of the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

PROJECT SITE-SPECIFIC CONDITIONS

18. This grant shall authorize the construction of a mixed-use residential and commercial development in the C-M Zone.
19. The Permittee shall provide vehicle parking as required by the County Code. The residential use requires one standard space for every studio or one-bedroom unit, and one-and-a-half standard spaces for every two-bedroom unit. The Project includes 30 studio units, 14 one-bedroom units, and 10 two-bedroom units. Therefore, at least 59 residential parking spaces are required. The Project provides 68 residential parking spaces, including 2 ADA accessible spaces. The temporary leasing office use requires one space for each 400 square feet of office space. The temporary leasing office is 639 square feet. Therefore, at least two office parking spaces are required. The Project provides two office parking spaces. Additionally, the retail use requires one space for each 250 square feet of retail space. The retail use has a square footage of 2,122 square feet. Therefore, at least eight retail parking spaces are required. The Project includes 10 retail parking spaces, including one ADA accessible space. Out of the 80 total parking spaces, 34 spaces, or 42.5 percent, are compact spaces. This exceeds the maximum allowed 40 percent for compact parking. However, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the Permittee is requesting a waiver to increase the percentage of compact parking from 40 percent to 42.5 percent. With the requested waiver, the Project is consistent with parking requirements.

If the residential or commercial use substantially changes its mode or character of operation or if the Permittee changes the use or occupancy or otherwise modifies the subject property so as to provide less parking than the minimum requirement, the Permittee shall submit an application for a Minor Parking Deviation, Parking Permit, Variance, or other applicable permit, as determined by the Director, within 90 days of such occurrence.

20. The Permittee shall provide separate commercial and residential parking spaces. Spaces shall be separately designated by signage, striping, pavement marking, and/or physical separation.

21. Tandem parking spaces shall only be designated for and utilized by the residential use.
22. The Permittee shall unbundle residential parking costs from property costs at a fee of no less than \$100 per month per parking space. Any reduction in the fee of less than \$100 per month per parking space or bundling residential parking costs with property costs shall require the Permittee to submit a revised traffic impact analysis for review and approval to the satisfaction of the Department of Public Works.
23. The Permittee shall provide bicycle parking as required by the County Code. The multi-family residential use requires one short-term bicycle parking space for each ten dwelling units, and one long-term bicycle parking for each two dwelling units. The residential use has 54 dwelling units which requires at least five short-term spaces and 27 long-term spaces to be provided based on the applicable ratio. The Project includes five short-term spaces and 28 long-term spaces dedicated to the residential use. The temporary leasing office use requires one short-term bicycle parking space and one long-term bicycle parking space for each 8,000 square feet of retail space, with a minimum of two short-term and two long-term spaces. The office use has a square footage of 639 square feet, which requires two short-term and two long-term spaces based on the applicable ratio. Two short-term and two long-term spaces are dedicated to the office use. The retail use requires one short-term bicycle parking space and one long-term bicycle parking space for each 5,000 square feet of retail space, with a minimum of two short-term and two long-term spaces. The retail use has a square footage of 2,122 square feet, which requires two short-term and two long-term spaces based on the applicable ratio. The Project includes two short-term spaces and two long-term spaces, consistent with this requirement.

If the Permittee alters the property with an addition of more than 15,000 square feet of floor area so as to provide less parking than the minimum requirement, the Permittee shall submit an application for a Parking Permit, Variance, or other applicable permit, as determined by the Director, within 90 days of such occurrence.

24. The driveway, ground-floor parking garage, and sidewalk frontage in front of the property shall be continually well-maintained and free of litter, debris, household furniture, or any other items.
25. The building shall be repaired as necessary to replace damaged awnings, windows, and signage, and faded or peeling paint.
26. The Permittee shall maintain trees and landscaping as depicted on the approved Exhibit "A." The landscaping along the northern edge of the Project Site shall be designed to create a vegetative buffer between the Project site and the single-family residences to the north. During the life of the project, if landscaping needs to be replaced, replacement specimens shall be native and/or non-invasive and drought tolerant and shall maintain the vegetative buffer along the northern edge of the

property. Landscaping and required trees shall be maintained through regular pruning, weeding, fertilizing, litter removal, and replacement of plants as necessary.

27. The on-site commercial spaces shall not be occupied by any use noted as prohibited in County Code Section 22.140.350.A.5.
28. All tenants of the on-site commercial spaces shall be limited to operating hours of no earlier than 7:00 a.m. and no later than 10:00 p.m. as described in County Code Section 22.140.350.A.7.
29. The following operating activities shall be prohibited:
 - a. Storage or shipping of flammable liquids or hazardous materials beyond that normally associated with a residential use; and
 - b. Welding, machining, or open flame work.
30. The permittee shall record with the Registrar-Recorder/County Clerk an agreement that the mixed use development will be maintained in accordance with County Code Section 22.140.350 as a covenant running with the land for the benefit of the County. The covenant shall also declare that any violation thereof shall be subject to Enforcement Procedures.
31. The permittee shall enter into and record a covenant and agreement with the County, as described in Section 22.166.070 (Covenant and Agreement), to ensure the continued affordability of the income-restricted units, and where applicable, require a monitoring fee, pursuant to Subsection B.3.b (Housing Permit Monitoring Fees) of Section 22.250.010.
32. Inoperable vehicles shall not be stored on the property or in parking spaces.
33. The Permittee shall comply with all conditions set forth in the attached County Public Works Department letters dated September 16, 2024.
34. The Permittee shall comply with all conditions set forth in the attached County Public Health Department letter dated March 3, 2022.

Attachments:

Exhibit D-1 Public Works Department Letter dated September 16, 2024

Exhibit D-2 Public Health Department Letter dated March 3, 2022



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

September 16, 2024

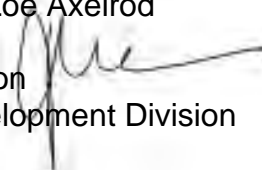
IN REPLY PLEASE

REFER TO FILE:

LD-4

TO: Kevin Finkel
Operations and Major Projects
Department of Regional Planning

Attention Zoe Axelrod

FROM: James Chon 
Land Development Division

CONDITIONAL USE PERMIT - MINOR (RPPL2021003527)
2214 WINDSOR AVENUE
ASSESSOR'S MAP BOOK 5827, PAGE 8, PARCEL 72
UNINCORPORATED ALTADENA

As requested, Public Works reviewed the zoning permit application and site plan for the proposed project. The project proposes the construction of a new 3-story, mixed-use building that includes a temporary leasing office, retail space, surface parking on the ground level, and 54 residential units on levels 2 and 3.

- Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.
- Public Works has comments on the submitted documents; therefore, a Public Hearing shall **NOT** be scheduled until the comments have been addressed.

Additional information needs to be shown on the site plan.

1. Street

- 1.1. Prior to issuance of a grading or building permit, submit street improvement plans to Public Works, through the EPIC-LA portal under "Public Improvement Plans: Street Plans," that reflects the following for review and approval:

Be advised that we currently have no known County construction project within the limits of your project. Should a County project be scheduled and constructed ahead of the applicant's development, a pavement moratorium may be imposed that would restrict any pavement work for two years. Exceptions could be made if acceptable rehabilitation measures are provided. The applicant is encouraged to monitor <https://pw.lacounty.gov/gmed/lacroads/Find.aspx> periodically to determine if any future County projects have been scheduled or to determine whether a pavement moratorium currently exist along streets fronting the project location.

- 1.1.1. Construct driveway approaches on Windsor Avenue to meet current Americans with Disabilities Act guidelines.
- 1.1.2. Close all unused driveways with standard curb, gutter, and sidewalk.
- 1.1.3. Construct curb, gutter, base, pavement, and sidewalk along the property frontage on Windsor Avenue. The top of curb shall be located 32 feet from the street centerline.
- 1.1.4. Construct transitions for curb, gutter, pavement, and sidewalk at the southwest corner of the lot to join the existing improvement.
- 1.1.5. Relocate any affected utilities. Show the existing utilities and their dispositions.
- 1.1.6. Repair any improvements damaged during construction.
- 1.1.7. Underground all new utility lines <50kV.
- 1.1.8. Provide and maintain 10' x 10' pedestrian sight triangles from all driveways to the back of the sidewalk. This means there shall be no solid structures such as fences, walls, or landscaping more than 3.5 feet high within the pedestrian sight triangles.
- 1.1.9. Execute an Agreement to Improve for the street improvements.
- 1.1.10. Plant street trees along the property frontage on Windsor Avenue. Contact Public Works, Road Maintenance Division (Maintenance District 514 office), at (310) 649 5123 to obtain the desirable tree species.

1.1.11. The traffic circulation within the parking area may impede vehicles entering a full-parking lot from easily exiting the parking area if there are multiple vehicles in que. Consider reducing the parking stalls at the end of the parking lot to create a turnaround area for vehicles needing to exit.

1.2. Prior to issuance of a Certificate of Occupancy, construct all required street improvements.

For questions regarding the street conditions, please contact Ambria Vasquez of Public Works, Land Development Division, at (626) 458-4921 or avasquez@pw.lacounty.gov.

2. Geology

2.1. Prior to issuance of a grading or building permit, comply with the approved geotechnical report.

For questions regarding the geology condition, please contact Geir Mathisen of Public Works, Geotechnical and Materials Engineering Division, at (626) 458-7951 or gmathisen@pw.lacounty.gov.

3. Traffic

3.1. Prior to issuance of a Certificate of Occupancy:

3.1.1. Comply with all the mitigations identified in the approved Transportation Impact Analysis.

3.1.2. Comply with the approved Signing and Striping Plan.

For questions regarding the traffic conditions, please contact Suen Lau of Public Works, Traffic Safety and Mobility Division, at (626) 300-4837 or slau@pw.lacounty.gov.

4. Drainage

4.1. Prior to issuance of a Certificate of Occupancy, comply with the approved hydrology study and Low-Impact Development Plan.

For questions regarding the drainage condition, please contact Christian Ascencio of Public Works, Land Development Division, at (626) 458-4921 or cascencio@pw.lacounty.gov.

5. Sewer

- 5.1. Prior to issuance of a Certificate of Occupancy, comply with the approved Sewer Area Study.

For questions regarding the sewer condition, please contact Nikko Pajarillaga of Public Works, Land Development Division, at (626) 458-4915 or npajarillaga@pw.lacounty.gov.

6. Water

- 6.1. A water system maintained by the water purveyor, with appurtenant facilities to serve all buildings in the land division, must be provided. The system shall include fire hydrants of the type and location (both on-site and off-site) as determined by the Fire Department. The water mains shall be sized to accommodate the total domestic and fire flows.
- 6.2. The Will Serve letter issued by Pasadena Water and Power, dated December 21, 2023, will expire on December 1, 2024. It shall be sole responsibility of the applicant to renew the aforementioned Will Serve letter upon expiration and abide by all requirements of the water purveyor.
- 6.3. Prior to obtaining the building permit from the Building and Safety office:
- 6.3.1. Submit landscape and irrigation plans for each open space lot in the land division with landscape area greater than 500 square feet in accordance with the Water Efficient Landscape Ordinance.
- 6.3.2. If recycled water is available, the irrigation systems shall be designed and operated in accordance with all local and State codes as required per Section 7105.6.3, Chapter 71, of Title 26 Building Code.

For questions regarding the water conditions, please contact Ms. Vasquez of Public Works, Land Development Division, at (626) 458-4921 or avasquez@pw.lacounty.gov.

Kevin Finkel
September 16, 2024
Page 5

7. Streetlighting

7.1. Prior to issuance of a Certificate of Occupancy, comply with the streetlighting conditions, per the attached Public Works, Traffic Safety and Mobility Division, memo dated March 14, 2022.

For questions regarding the streetlighting condition, please contact Whitley Huy of Public Works, Traffic Safety and Mobility Division, at (626) 300-4761 or whuy@pw.lacounty.gov.

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or egerlits@pw.lacounty.gov.

DK:la

P:\dpub\SUBPCHECK\Plan Checking Files\CUP\RPPL2021003527 - 2214 Windsor Avenue\2024-09-05 Submittal\DPW_Cleared_2024-09-05_RPPL2021003527.docx

Attach.

1.1.11. The traffic circulation within the parking area may impede vehicles entering a full-parking lot from easily exiting the parking area if there are multiple vehicles in que. Consider reducing the parking stalls at the end of the parking lot to create a turnaround area for vehicles needing to exit.

1.2. Prior to issuance of a Certificate of Occupancy, construct all required street improvements.

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BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/



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Kathryn Barger
Fifth District

March 3, 2022

TO: Kevin Finkel
Supervising Regional Planner
Department of Regional Planning

Attention: Becky Cho

FROM: Gary Hirschtick 
Director, Environmental Protection Branch
Department of Public Health

**SUBJECT: CONDITIONAL USE PERMIT (CUP) - MINOR
CASE: RPPL2021003527
2214 WINDSOR AVENUE ALTADENA CA 91001**

Thank you for the opportunity to review the application and CUP request for the subject property. The project proposes a new 3-story mixed use building that includes a temporary leasing office, retail space, surface parking on the ground level and 54 residential units on level 2 and 3.

This approval is conditioned by the proposed use of public water and public sewer. The applicant provided a Water Will Serve letter from Pasadena Water and Power dated June 8, 2021 and a Sewer Will Serve letter from the Los Angeles County Sanitation Districts dated June 16, 2021. Any change of methods for the provision of potable water and sewage disposal shall invalidate this approval.

Kevin Finkel
March 3, 2022
Page 2 of 2

- Public Health recommends the approval of this subject project.
- Public Health does not recommend the approval of this subject project.

If you have any other questions or require additional information, please contact Isabella Kwok of Public Health, Land Use Program at (626) 430-5380 or ikwok@ph.lacounty.gov.

GH:ick
DPH_CLEARED_2214 WINDSOR AVE ALTADENA CA 91001_RPPL2021003527_03.03.2022



Los Angeles County
Department of Regional Planning



Planning for the Challenges Ahead

MINOR CONDITIONAL USE PERMIT FINDINGS

Pursuant to Section 22.160.050 (Findings and Conditions), the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

B.1 The proposed use will be consistent with the adopted General Plan for the area.

The proposed project is consistent with setbacks, heights, number of stories, parking requirements, open-space requirements, and required number of trees for an Affordable Housing Mixed Use Development in a Business Park Zone in accordance with Altadena Community Plan and LA County Zoning.

B.2 The requested use at the location proposed will not:

- a. Adversely affect the health, peace, comfort, or welfare of persons residing or working in the surrounding area;
- b. Be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; and
- c. Jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare.

The proposed project intends to preserve the current state of health, peace, comfort, or welfare of persons in the surrounding area and will most likely increase the value of the neighboring communities by providing more housing units, and retail. The project provides adequate parking and should not increase any parking needs outside of the site.

B.3 The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

The proposed project's parcel is 46,990 SF and the proposed building size is 42,523 SF. The proposed site is indeed adequate in size and shape to accommodate yards, walls, fences, parking & loading, landscaping, and other development features.

Rev. 03/2019

B.4 The proposed site is adequately served:

- a. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of traffic such use would generate; and
- b. By other public or private service facilities as are required.

The proposed site is located right next to the exit of the 210 Freeway and the interception of Woodbury Rd & Windsor Ave. This highway and both streets are of sufficient width that could easily accommodate the kind and quantity of traffic that this project would generate. It is also adequately served by other public and private service facilities.

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE:	January 2, 2025
PROJECT NUMBER:	PRJ2021-001327-(5)
PERMIT NUMBER(S):	Minor Conditional Use Permit (“MCUP”) RPPL2021003527 Administrative Housing Permit No. RPPL2021003544
SUPERVISORIAL DISTRICT:	5
PROJECT LOCATION:	2214 Windsor Avenue, Altadena
OWNER:	KT and KT Investments, LLC
APPLICANT:	Kluger Architects
CASE PLANNER:	Diana Gonzalez, Principal Planner dgonzalez@planning.lacounty.gov

Los Angeles County (“County”) completed an initial review for the above-mentioned Project. Based on examination of the Project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (“CEQA”). The project qualifies for a Exemption for Residential or Mixed-Use Housing Projects pursuant to California Public Resources Code (“PRC”) section 21159.25 as the Project consists of a mix of multi-family residential and non-residential uses with at least two-thirds of the development’s square footage designated for the residential use and the Project is substantially surrounded (75%) by urban uses.

The Project is a mixed-use residential and commercial development with 2,122 square feet of ground floor retail space, a 639 square foot temporary leasing office on the ground floor, 80 parking spaces in a ground floor garage, and 54 apartment units on the second and third floors. Of the total, five units will be restricted to extremely low income households earning up to 30 percent of the Area Median Income (“AMI”); one unit will be restricted to very low income households earning up to 50 percent AMI; and one unit will be reserved as a manager’s unit. In addition, the Project will include 41 bicycle parking spaces, 7,571 square feet of landscaped open space, and 24 new trees from the County’s Tree Species List. The Project qualifies for an exemption under PRC section 21159.25 because it meets the following conditions specified in PRC section 21159.25(b):

1. The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations.

The Altadena Community Plan (“Community Plan”) land use designation for the Project Site is BP (“Business Park”). The BP land use designation is intended for uses that are “clean, non-polluting, attractively landscaped, visually attractive and do not emit obtrusive odors.” The Project shall be maintained neat and orderly per the Conditions of Approval. None of the Project’s uses are anticipated to generate pollution or obtrusive odors. The Project includes 7,571 square feet of attractively landscaped open space, including 24 new 15-gallon trees. Finally, several design features have been incorporated into the Project to enhance its visual attractiveness (e.g. upper stories are differentiated by recessed windows, balconies, awnings, and varied colors, patterns, and materials).

Per the County General Plan (“General Plan”), the BP land use category allows mixed-use developments with a residential density of 20 to 50 dwelling units per net acre and a Floor Area Ratio (“FAR”) cap of 1.0. The Project proposes a residential density of 56.8 units per net acre and a FAR of 1.03. In compliance with County Code Section 22.120.050 - Affordable Housing though, the Project includes a 12.77% affordable housing set-aside which allows for a maximum density bonus of 55%. The Project is requesting a density bonus of 11% which results in a residential density of 56.8 units per net acre. Furthermore, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in maximum FAR from 1 to 1.03. With the requested density bonus and waiver, the project is found to be consistent with the goals and policies of the Community Plan and the BP land use designation.

The Project supports General Plan Policy LU 4.1, as it promotes infill development. It also supports General Plan Policy LU 5.2, as it will provide additional retail to meet regional and local needs. Further, it supports Housing Element Policy 3.1, as it promotes mixed-income neighborhoods with a diversity of housing types. In addition, it supports the Community Plan’s Policy 1.1 (Land Use Mix) as it provides for new development that is compatible with and compliments existing uses. It also supports Community Plan Policy 3.1 (Commercial Development- Community-wide Commercial) as the Project can help enhance the economic viability of the commercial development in the area by infilling a vacant and under-utilized parcel.

The Project is consistent with the C-M zoning classification. At the time the application was deemed complete, a MCUP was the required entitlement for a mixed-use development in the C-M Zone, pursuant to County Code Section 22.20.030 (Land Use Regulations for Zones C-H, C-1, C-2, C-3, C-M, C-MJ, and C-R). Further, pursuant to County Code Section 22.166.040 – Administrative Housing Permit, the applicant is requesting four waivers, including an increase in building height, an increase in the

number of building stories, an increase in maximum FAR, and an increase in the percentage of compact parking spaces. With the requested waivers, the Project is consistent with all standards for required yards, height, lot coverage, parking, bicycle parking, landscaping, tree planting, and mixed-use developments in commercial zones, as well as Community Standards District, Altadena Community Plan, and inclusionary housing requirements.

2. The Project's density is greater than the average density of the residential properties within 1,500 feet of the project site and the Project contains six or more residential units.

The density of the proposed Project is 56.8 units per net acre which is greater than the average density of the residential properties within 1,500 feet of the Project Site. Furthermore, the Project contains more than 6 units.

3. The Project is within the unincorporated County and the Project Site is less than five acres and substantially surrounded by qualified urban uses.

The Project Site is located in unincorporated Altadena. It is less than five acres in size and is substantially surrounded by qualified urban uses, including single-family residences and commercial developments to the north, commercial developments to the east, commercial developments and institutional uses to the south, and multifamily residences and office buildings to the west.

4. The Project site has no value as habitat for endangered, rare, or threatened species.

The Project Site is currently vacant, except for a storage shed to be demolished, and does not contain any trees or vegetation. It is surrounded by residential, commercial, and institutional uses. The Project Site and its surroundings are not within a Significant Ecological Area or an area of critical environmental sensitivity such as the Santa Monica Mountains Coastal Zone. No natural open space exists in the immediate vicinity of the Project Site.

5. Approval of the Project would not result in any significant effects relating to transportation, noise, air quality, greenhouse gas emissions, or water quality.

The Project Site is located along Windsor Avenue, within 0.6 miles of the nearest bus stop located at the intersection of W Woodbury Rd and Lincoln Ave. Windsor Avenue is part of a proposed Class II Bike Path in the Master Plan of Bikeways. The Project will provide nine short-term and 32 long-term bicycle parking spaces, which supports bicycling as an alternative means of transportation. During construction, all activities will comply with the Noise Control Ordinance and adhere to applicable Air Quality Management District regulations. Once established, the mixed-use development will

not generate significant noise. The Project will comply with the County's Low Impact Development Ordinance, thereby minimizing greenhouse gas emissions. The Project also includes 7,571 square feet of landscaping and 24 new trees, which will sequester carbon, improve air quality, and provide habitat. The property is served by Pasadena Water and Power and Los Angeles County Sanitation District No. 17, and thus will not have a significant impact on water quality.

6. The Project site can be adequately served by all required utilities and public services.

The Project site will be adequately served by all required utilities and public services.

7. The Project is located on a site that is a legal parcel wholly within the boundaries of an urbanized area or urban cluster, as designated by the United States Census Bureau.

The Project site meets this locational criteria.

No exceptions to the Residential or Mixed-Use Housing Exemption apply to the Project Site. Per PRC section 21159.25(c), PRC section 21159.25(b) does not apply to a project if:

1. The cumulative impact of successive projects of the same type in the same place over time is significant.

There is no potential for cumulative impact of successive projects of the same type in the same place over time, as the proposed Project is a mixed-use development with ground-floor retail, and the use is not anticipated to change or expand once established.

2. There is a reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances.

There is no reasonable possibility that the Project will have a significant impact on the environment due to unusual circumstances, as the Project is residential and retail-oriented in nature.

3. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

The Project is not located adjacent to an officially designated state scenic highway and will not result in damage to scenic resources.

4. The project is located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The Project is not located on a site included on any of CalEPA's "Cortese List" compiled pursuant to Section 65962.5 of the Government Code.

5. The project may cause a substantial adverse change in the significance of a historical resource.

The Project is not located near a historic resource and as a result will not cause a substantial adverse change in the significance of a historical resource.

None of the conditions specified in PRC section 21159.25(c) apply to the proposed Project. Therefore, the conditions of PRC section 21159.25(c) do not preclude the Project's exemption eligibility per PRC section 21159.25(b).



AERIAL IMAGERY

SITE-SPECIFIC MAP

PROJECT NO. PRJ2021-001327

MCUP RPPL2021003527

ADMINISTRATIVE HOUSING PERMIT

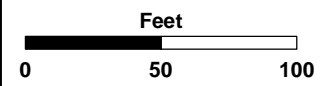
RPPL2021003544

Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2024

Windsor Ave

Archwood Pl

W Woodbury Rd



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

HALF-MILE RADIUS

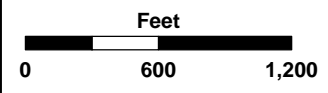
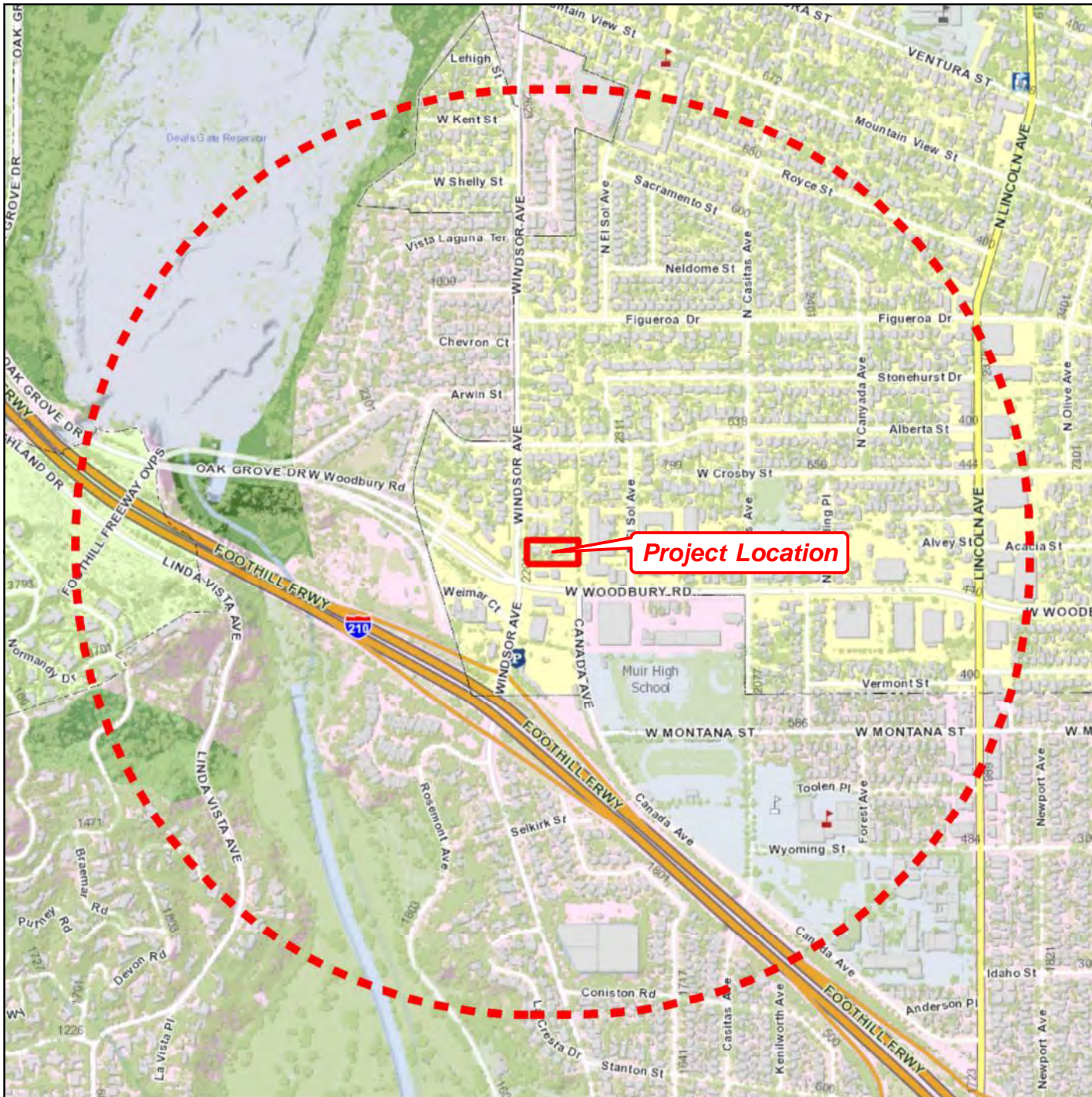
LOCATOR MAP

PROJECT NO. PRJ2021-001327

MCUP RPPL2021003527

ADMINISTRATIVE HOUSING PERMIT

RPPL2021003544



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

3-MILE RADIUS

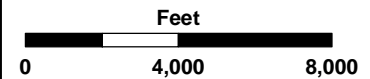
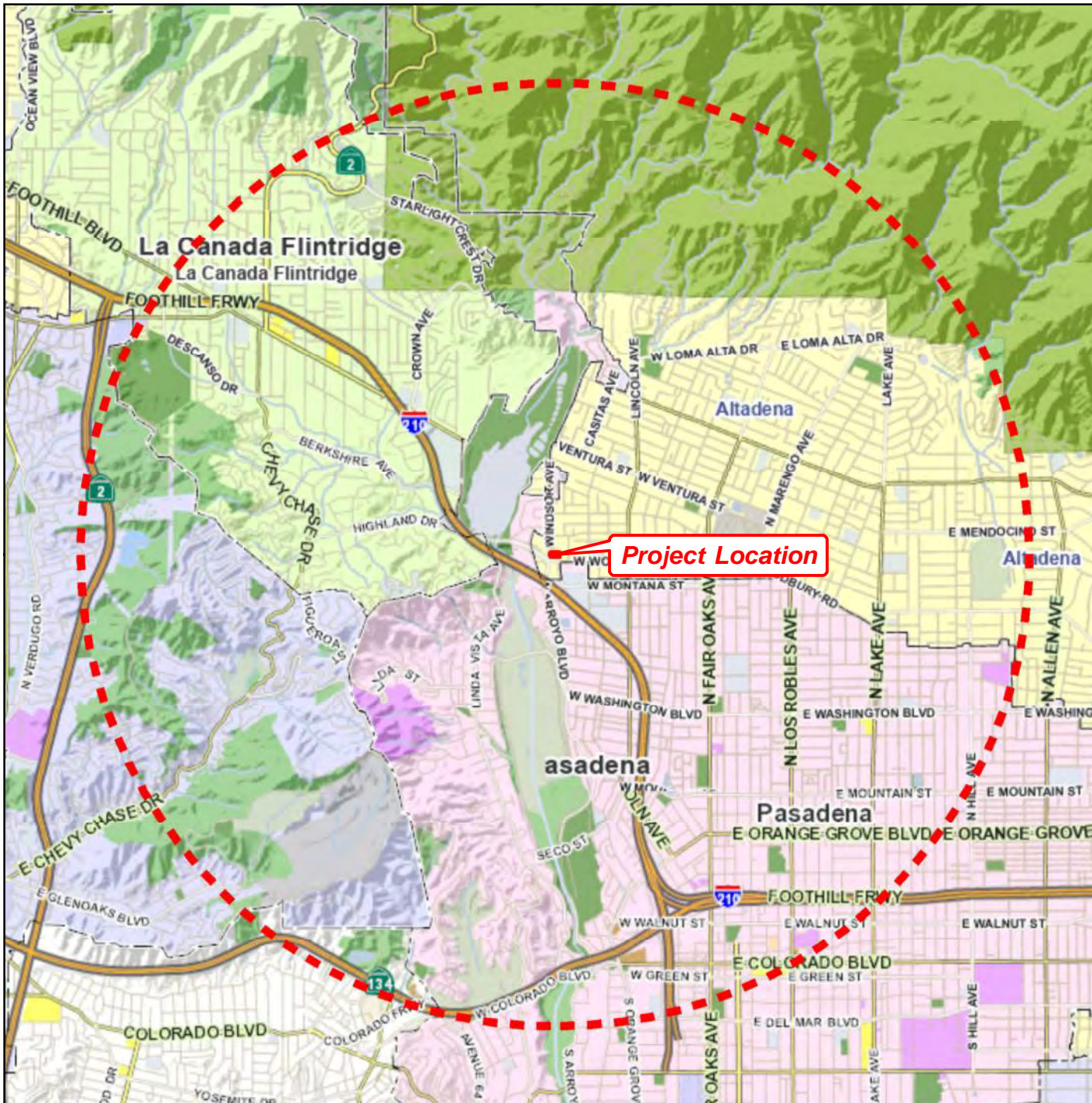
LOCATOR MAP

PROJECT NO. PRJ2021-001327

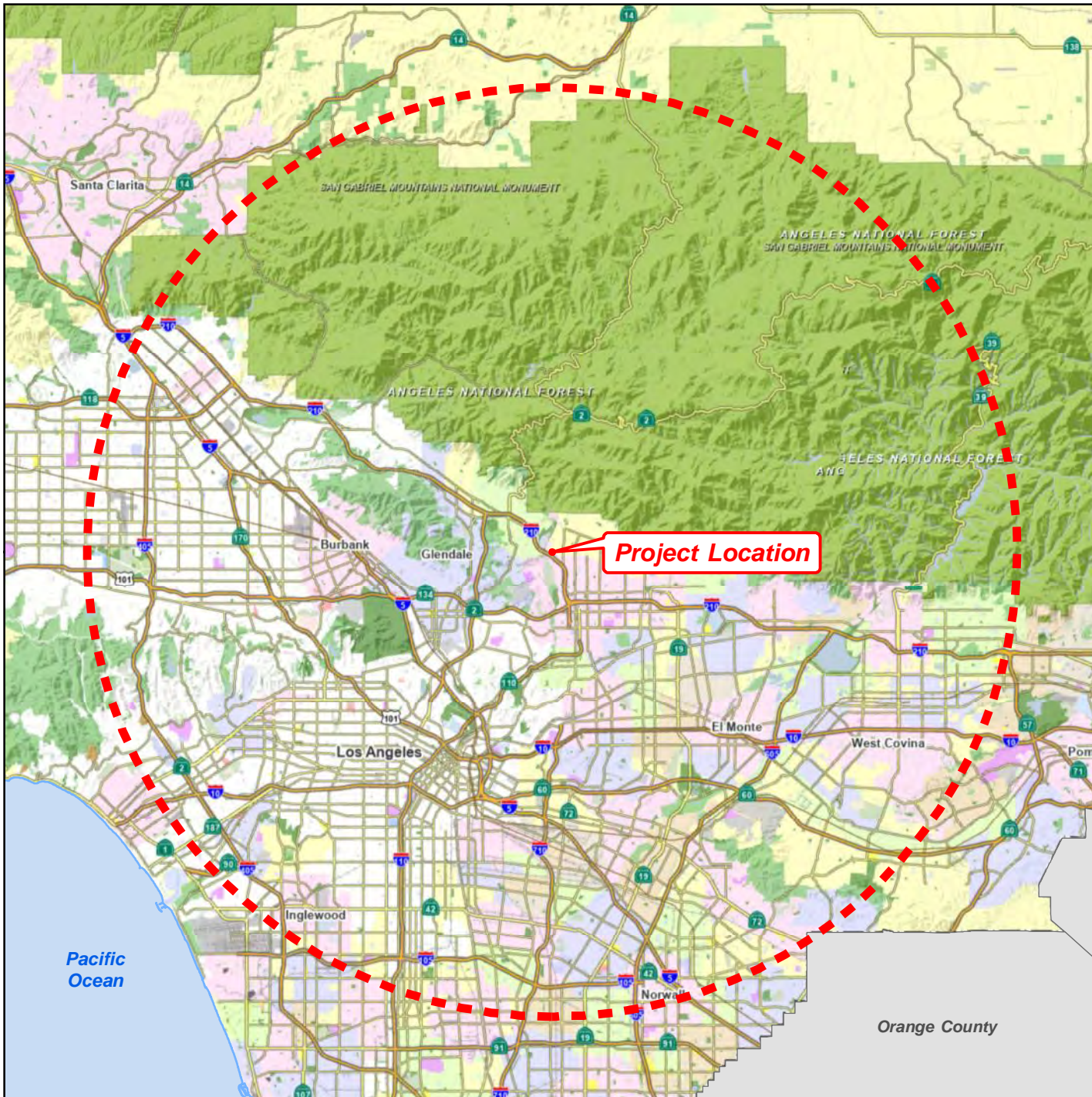
MCUP RPPL2021003527

ADMINISTRATIVE HOUSING PERMIT

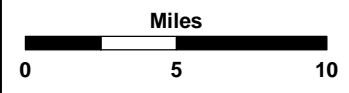
RPPL2021003544



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



**20-MILE RADIUS
LOCATOR MAP**
PROJECT NO. PRJ2021-001327
MCUP RPPL2021003527
ADMINISTRATIVE HOUSING PERMIT
RPPL2021003544



LOS ANGELES COUNTY
 Dept. of Regional Planning
 320 W. Temple Street
 Los Angeles, CA 90012

LAND USE POLICY


500-FOOT RADIUS MAP

PROJECT NO. PRJ2021-001327

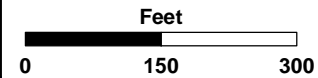
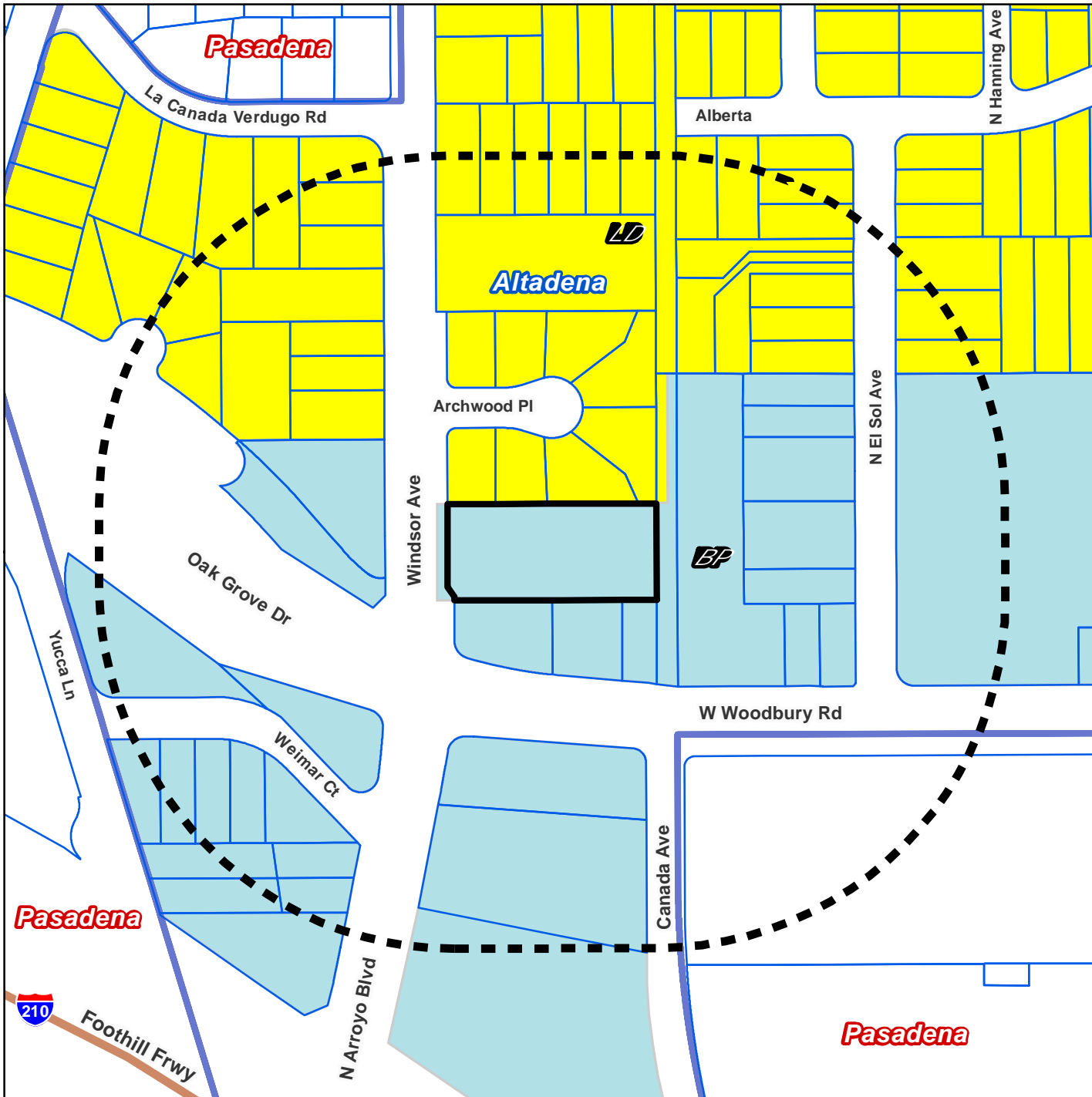
MCUP RPPL2021003527

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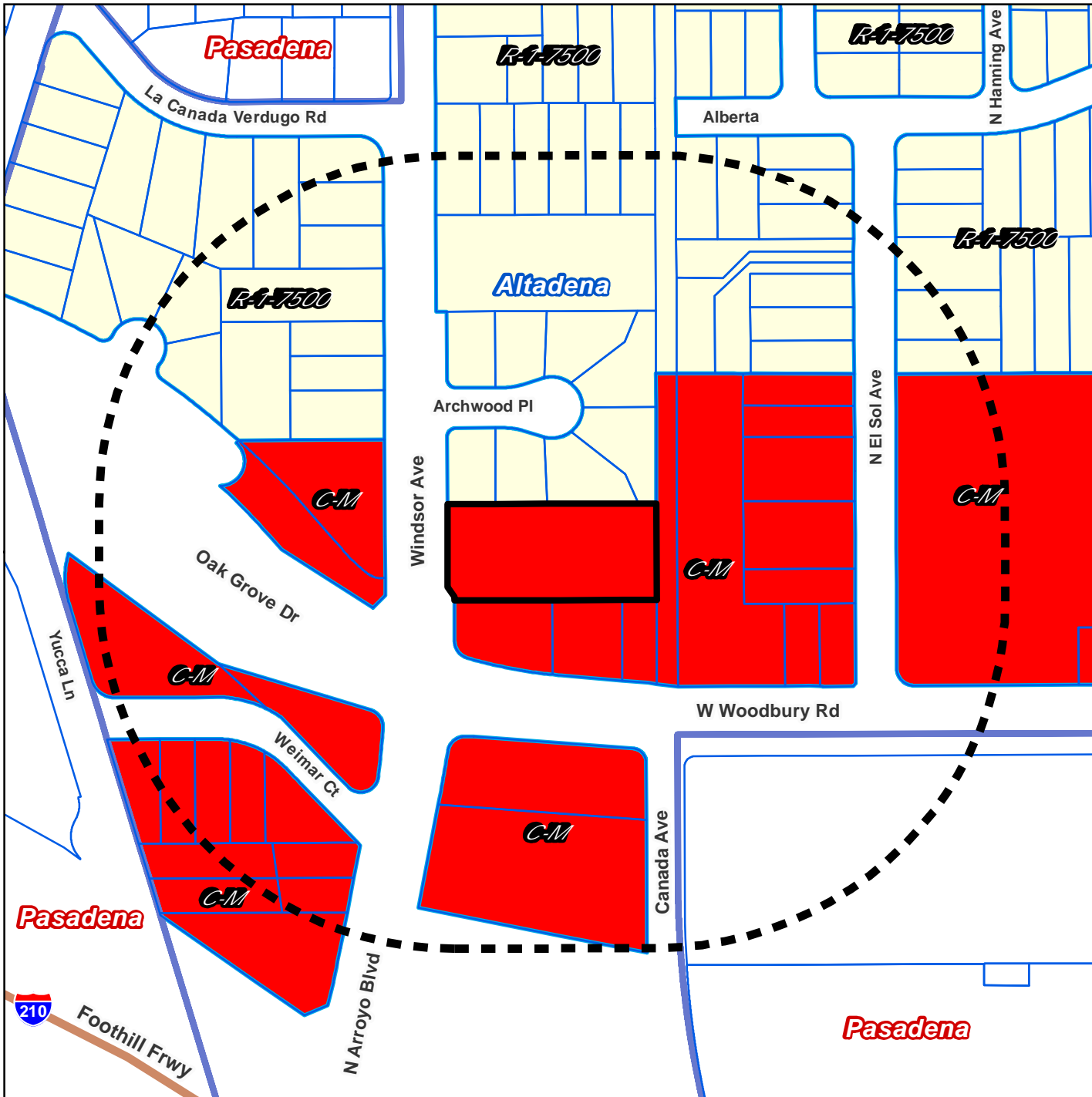
RPPL2021003544

 LD - Low Density Residential (1 to 6 du/gross ac)

 BP - Business Park



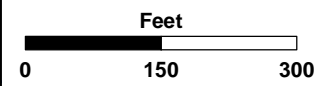
LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



ZONING

500-FOOT RADIUS MAP
 PROJECT NO. PRJ2021-001327
 MCUP RPPL2021003527
 ADMINISTRATIVE HOUSING PERMIT
 RPPL2021003544

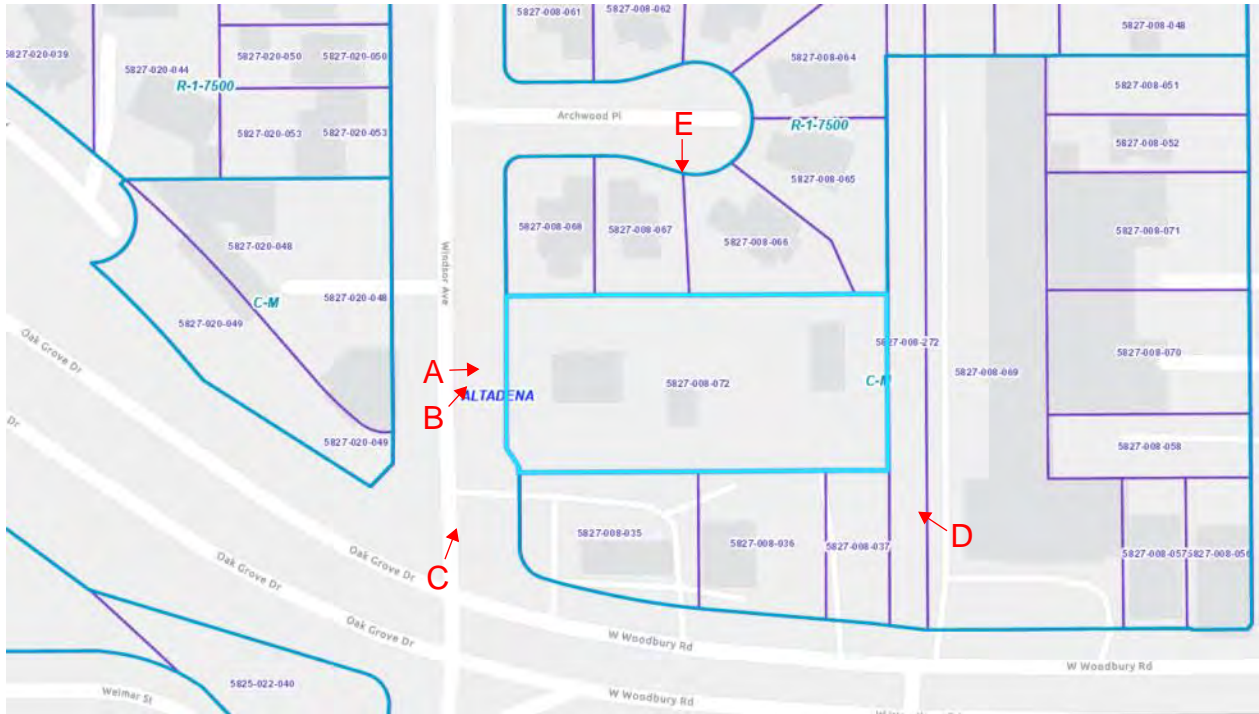
- R-1 - Single-Family Residence
- C-M - Commercial Manufacturing



LA COUNTY
PLANNING

LOS ANGELES COUNTY
 Dept. of Regional Planning
 320 W. Temple Street
 Los Angeles, CA 90012

2214 Windsor Ave Altadena Photo Brochure





Photograph A – Taken from Windsor Ave looking east towards the project site.



Photograph B – Taken from Windsor Ave looking northeast towards the residential neighborhood north of the project site.



Photograph C – Taken from the intersection of Windsor Ave and Oak Grove Dr looking northeast towards the project site.



Photograph D – Taken from 789 W Woodbury Rd looking northwest towards rear yard portion of the project site.



Photograph E – Taken from 835 Archwood Pl looking south towards the northern side yard portion of the project site.



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

September 16, 2024

IN REPLY PLEASE

REFER TO FILE: **LD-4**

TO: Kevin Finkel
Operations and Major Projects
Department of Regional Planning

Attention Zoe Axelrod

FROM: James Chon 
Land Development Division

CONDITIONAL USE PERMIT - MINOR (RPPL2021003527)
2214 WINDSOR AVENUE
ASSESSOR'S MAP BOOK 5827, PAGE 8, PARCEL 72
UNINCORPORATED ALTADENA

As requested, Public Works reviewed the zoning permit application and site plan for the proposed project. The project proposes the construction of a new 3-story, mixed-use building that includes a temporary leasing office, retail space, surface parking on the ground level, and 54 residential units on levels 2 and 3.

- Public Works recommends that the conditions shown below be applied to the project if ultimately approved by the advisory agency.
- Public Works has comments on the submitted documents; therefore, a Public Hearing shall **NOT** be scheduled until the comments have been addressed.

Additional information needs to be shown on the site plan.

1. Street

- 1.1. Prior to issuance of a grading or building permit, submit street improvement plans to Public Works, through the EPIC-LA portal under "Public Improvement Plans: Street Plans," that reflects the following for review and approval:

Be advised that we currently have no known County construction project within the limits of your project. Should a County project be scheduled and constructed ahead of the applicant's development, a pavement moratorium may be imposed that would restrict any pavement work for two years. Exceptions could be made if acceptable rehabilitation measures are provided. The applicant is encouraged to monitor <https://pw.lacounty.gov/gmed/lacroads/Find.aspx> periodically to determine if any future County projects have been scheduled or to determine whether a pavement moratorium currently exist along streets fronting the project location.

- 1.1.1. Construct driveway approaches on Windsor Avenue to meet current Americans with Disabilities Act guidelines.
- 1.1.2. Close all unused driveways with standard curb, gutter, and sidewalk.
- 1.1.3. Construct curb, gutter, base, pavement, and sidewalk along the property frontage on Windsor Avenue. The top of curb shall be located 32 feet from the street centerline.
- 1.1.4. Construct transitions for curb, gutter, pavement, and sidewalk at the southwest corner of the lot to join the existing improvement.
- 1.1.5. Relocate any affected utilities. Show the existing utilities and their dispositions.
- 1.1.6. Repair any improvements damaged during construction.
- 1.1.7. Underground all new utility lines <50kV.
- 1.1.8. Provide and maintain 10' x 10' pedestrian sight triangles from all driveways to the back of the sidewalk. This means there shall be no solid structures such as fences, walls, or landscaping more than 3.5 feet high within the pedestrian sight triangles.
- 1.1.9. Execute an Agreement to Improve for the street improvements.
- 1.1.10. Plant street trees along the property frontage on Windsor Avenue. Contact Public Works, Road Maintenance Division (Maintenance District 514 office), at (310) 649 5123 to obtain the desirable tree species.

1.1.11. The traffic circulation within the parking area may impede vehicles entering a full-parking lot from easily exiting the parking area if there are multiple vehicles in que. Consider reducing the parking stalls at the end of the parking lot to create a turnaround area for vehicles needing to exit.

1.2. Prior to issuance of a Certificate of Occupancy, construct all required street improvements.

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- 6.2. The Will Serve letter issued by Pasadena Water and Power, dated December 21, 2023, will expire on December 1, 2024. It shall be sole responsibility of the applicant to renew the aforementioned Will Serve letter upon expiration and abide by all requirements of the water purveyor.
- 6.3. Prior to obtaining the building permit from the Building and Safety office:
- 6.3.1. Submit landscape and irrigation plans for each open space lot in the land division with landscape area greater than 500 square feet in accordance with the Water Efficient Landscape Ordinance.
- 6.3.2. If recycled water is available, the irrigation systems shall be designed and operated in accordance with all local and State codes as required per Section 7105.6.3, Chapter 71, of Title 26 Building Code.

For questions regarding the water conditions, please contact Ms. Vasquez of Public Works, Land Development Division, at (626) 458-4921 or avasquez@pw.lacounty.gov.

Kevin Finkel
September 16, 2024
Page 5

7. Streetlighting

7.1. Prior to issuance of a Certificate of Occupancy, comply with the streetlighting conditions, per the attached Public Works, Traffic Safety and Mobility Division, memo dated March 14, 2022.

For questions regarding the streetlighting condition, please contact Whitley Huy of Public Works, Traffic Safety and Mobility Division, at (626) 300-4761 or whuy@pw.lacounty.gov.

If you have any questions or require additional information, please contact Ed Gerlits of Public Works, Land Development Division, at (626) 458-4953 or egerlits@pw.lacounty.gov.

DK:la

P:\dpub\SUBPCHECK\Plan Checking Files\CUP\RPPL2021003527 - 2214 Windsor Avenue\2024-09-05 Submittal\DPW_Cleared_2024-09-05_RPPL2021003527.docx

Attach.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: RPPL2021003527 PROJECT NUMBER: Mixed Use @ 2214
Windsor Ave
(Affordable)
CITY/COMMUNITY: Altadena STATUS: Cleared
PROJECT ADDRESS: 2214 Windsor Avenue DATE: 01/16/2024
Altadena, CA 91001

CONDITIONS

1. The proposed plans are cleared to proceed to public hearing.

For any questions regarding the report, please contact Joseph Youman at (323) 890-4243 or joseph.youman@fire.lacounty.gov.



BARBARA FERRER, Ph.D., M.P.H., M.Ed.
Director

MUNTU DAVIS, M.D., M.P.H.
County Health Officer

MEGAN McCLAIRE, M.S.P.H.
Chief Deputy Director

LIZA FRIAS, REHS
Director of Environmental Health

BRENDA LOPEZ, REHS
Assistant Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5374 • FAX (626) 813-3000

www.publichealth.lacounty.gov/eh/



BOARD OF SUPERVISORS

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Fifth District

March 3, 2022

TO: Kevin Finkel
Supervising Regional Planner
Department of Regional Planning

Attention: Becky Cho

FROM: Gary Hirschtick 
Director, Environmental Protection Branch
Department of Public Health

**SUBJECT: CONDITIONAL USE PERMIT (CUP) - MINOR
CASE: RPPL2021003527
2214 WINDSOR AVENUE ALTADENA CA 91001**

Thank you for the opportunity to review the application and CUP request for the subject property. The project proposes a new 3-story mixed use building that includes a temporary leasing office, retail space, surface parking on the ground level and 54 residential units on level 2 and 3.

This approval is conditioned by the proposed use of public water and public sewer. The applicant provided a Water Will Serve letter from Pasadena Water and Power dated June 8, 2021 and a Sewer Will Serve letter from the Los Angeles County Sanitation Districts dated June 16, 2021. Any change of methods for the provision of potable water and sewage disposal shall invalidate this approval.

Kevin Finkel
March 3, 2022
Page 2 of 2

- Public Health recommends the approval of this subject project.
- Public Health does not recommend the approval of this subject project.

If you have any other questions or require additional information, please contact Isabella Kwok of Public Health, Land Use Program at (626) 430-5380 or ikwok@ph.lacounty.gov.

GH:ick
DPH_CLEARED_2214 WINDSOR AVE ALTADENA CA 91001_RPPL2021003527_03.03.2022

Diana Gonzalez

From: Lukas Jaeggi <jaeggi68@yahoo.com>
Sent: Sunday, December 15, 2024 6:21 PM
To: Diana Gonzalez
Subject: Project No.: PRJ2021-001327-(5)

CAUTION: External Email. Proceed Responsibly.

Hi,
I have received a notice about a public hearing project in subject line. This project has been rejected in the past. How is this one different?

I also think that it is inappropriate to hold the hearing Downtown LA. That seems to be a way of limiting full in person participation of the community that is affected by this project.

My major concerns are: traffic safety at the corner of Windsor and Woodbury, and 80 parking spaces for 54 apartments, when most families have at least 2 cars, plus guests. Where will folk park, not to speak of the commercial space visitors. Also, there is no 3 story building anywhere close. Lastly, 6 affordable apartments out of 54 that is not what we need.

Thanks for your prompt response.

Best,
Lukas

Lukas Jaeggi
PhD, Licensed Psychologist, Board-Certified Art Therapist
(626) 215-1909



Altadena

Town Council

September 22, 2021

Becky Cho
Regional Planner
Foothills Development Services Section
Los Angeles County Department of Regional Planning
320 W. Temple St., 13th Floor
Los Angeles, CA 90012

RE: No: PRJ2021-001327 2214 N Windsor Ave. Altadena 91001

The above-mentioned project located at 2214 N Windsor Ave. The project is a request to add a mix-use component. Please accept this letter from the Altadena Town Council with the recommendation to move the project forward with the conditions listed below.

The project was presented at the Altadena Town Council Land Use Committee of August and September by Chuck Kluger of Kluger Architects. At the September meeting of the Land Use Committee it was recommended that the project be moved forward to the Altadena Town Council with added conditions to the project.

The project was presented to the Altadena Town Council at the September 21st meeting. The Council approved the request for a letter to be sent to Regional Planning with the following conditions:

1. That the architect, owner and contractor work with the County to complete a traffic study and that the project incorporate the findings.
2. That Sidewalks be put in place
3. That the architect, owner and contractor work with the County to accelerate the project delivery of the traffic signal that was already approved by the County for Windsor Ave.
4. That the architect, owner and contractor incorporate ways to reduce noise and traffic impacts to neighboring properties emanating from the building
5. That thought and consideration be given to changing the entrance and exit to the building to reduce the traffic impacts and increase the flow of traffic through the area. The back of the property is located against a County right of way used by the businesses in the area and should be considered for the residential and commercial use of this project.
6. That an active transportation design should be included with the traffic study.

Please also note that traffic safety is a concern for the community at the corner of Woodbury and Windsor.

Respectfully,

Veronica Jones
Altadena Town Council
Census Tract 4610

Copy: Chuck Kruger, Dr. Kevin Tyson, Juan Pablo, Diane Marcussen