





11620 Wilshire Boulevard, Suite 610 Los Angeles, CA 90024

REVISION	DATE
 LADBS & LA COUNTY CORR.	02.06.24
 BID ADDENDUM 'A'	04/15/24
 BID ADDENDUM 'B'	04/23/24
 BID ADDENDUM 'C'	06/21/24

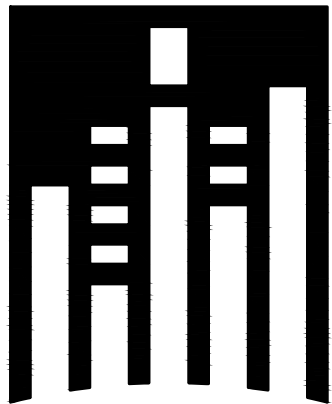


REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024




















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DESIGN
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SHEET NO.

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

SYMBOLS

	SHT. NO.		ROOM NAME
	EXTERIOR ELEV.		ROOM NUMBER
	DET. NO.		DOOR NUMBER
	SHT. NO.		WINDOW NUMBER
	INTERIOR ELEV.		WALL TYPE
	DET. NO.		SECTION DESIGNATION SHEET NUMBER
	DETAIL NUMBER		KEY NOTE
	SHEET NUMBER		MATERIAL FINISH
	GRID LINE		

CONSULTANT INFORMATION

ARCHITECT for Shell Building

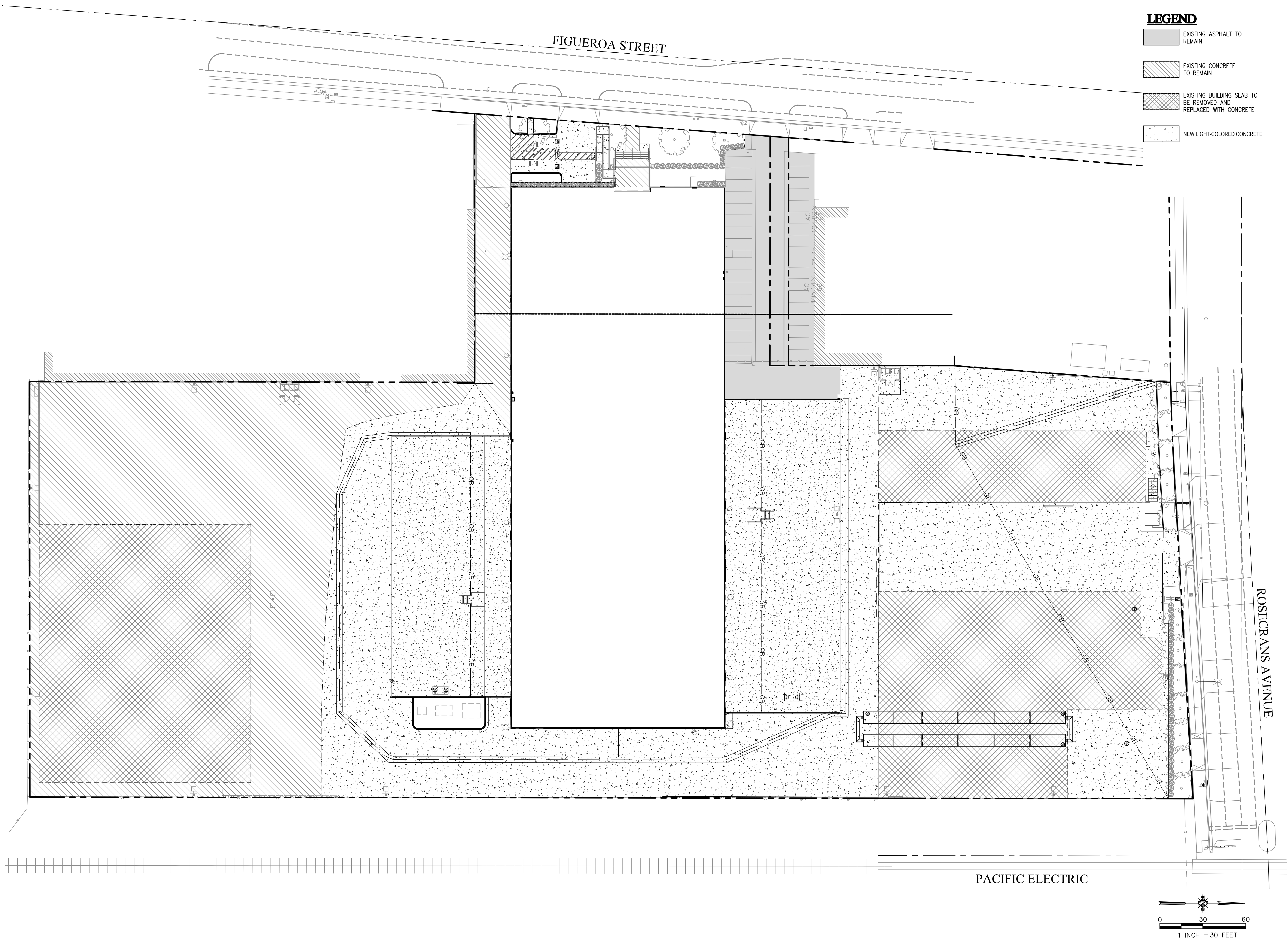
LANDSCAPE ENGINEER

CIVIL ENGINEER

BUILDING DEPARTMENT

LOS ANGELES COUNTY

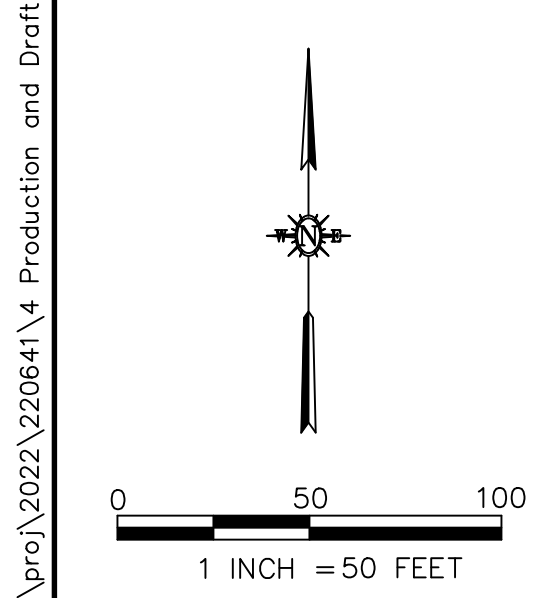
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LEGEND

- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE TO REMAIN
- EXISTING BUILDING SLAB TO BE REMOVED AND REPLACED WITH CONCRETE
- NEW LIGHT-COLORED CONCRETE

SHEET 1 OF 1	REXFORD INDUSTRIAL 400 ROSECRANS PAVING PLAN ROSECRANS AND FIGUEROA GARDENA, CA	DRAWN BY JTR CHECKED BY SUJ DATE 01/19/2024 SCALE 1" = 30' CA JOB NO. 220641	CANNON 16842 Von Kaman Avenue, Suite 150 Irvine, CA 92606 P 949.253.1111 F 949.753.0775	REV. NO.	DATE	REVISED	DESTROY ALL PRINTS BEARING EARLIER DATE	REV. BY	CDD/ARD BY

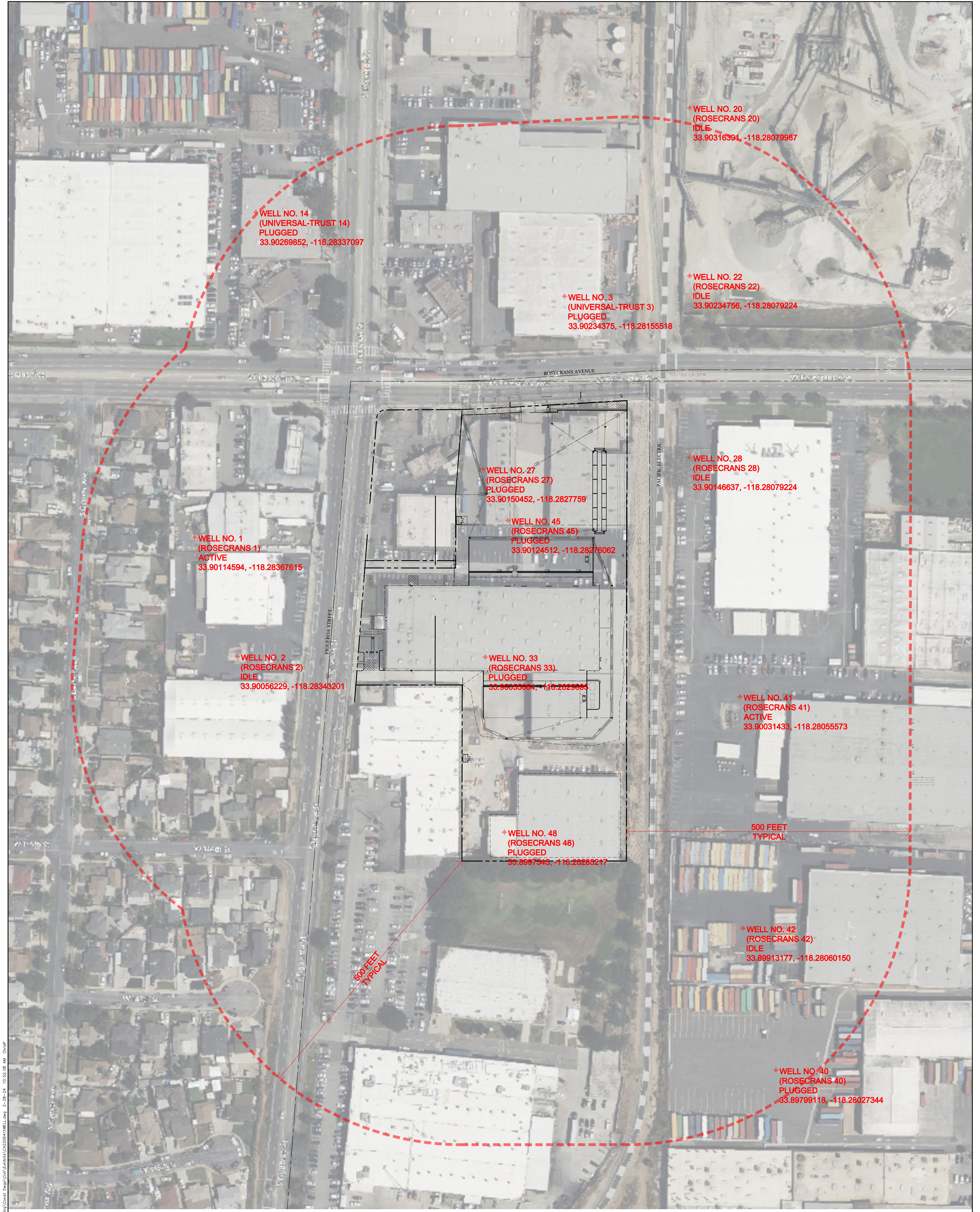


REXFORD INDUSTRIAL
400 ROSECRANS
CONTEXTUAL SITE PLAN
ROSECRANS AND FIGUEROA
GARDENA, CA

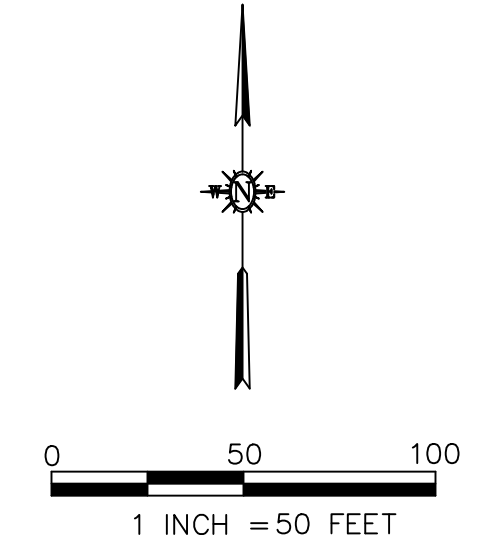
DRAWN BY	JTR	DATE	2/28/2024
CHECKED BY		SCALE	1" = 50'
		CA JOB NO.	220641

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NOTE:
OIL WELL LOCATIONS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS; AND THEREFORE LOCATIONS ARE APPROXIMATE. CANNON MAKES NO GUARANTEE OF THE ACCURACY AND COMPLETENESS OF THIS EXHIBIT. SATELLITE IMAGERY IS FOR REFERENCE ONLY AND IS NOT ACCURATE.




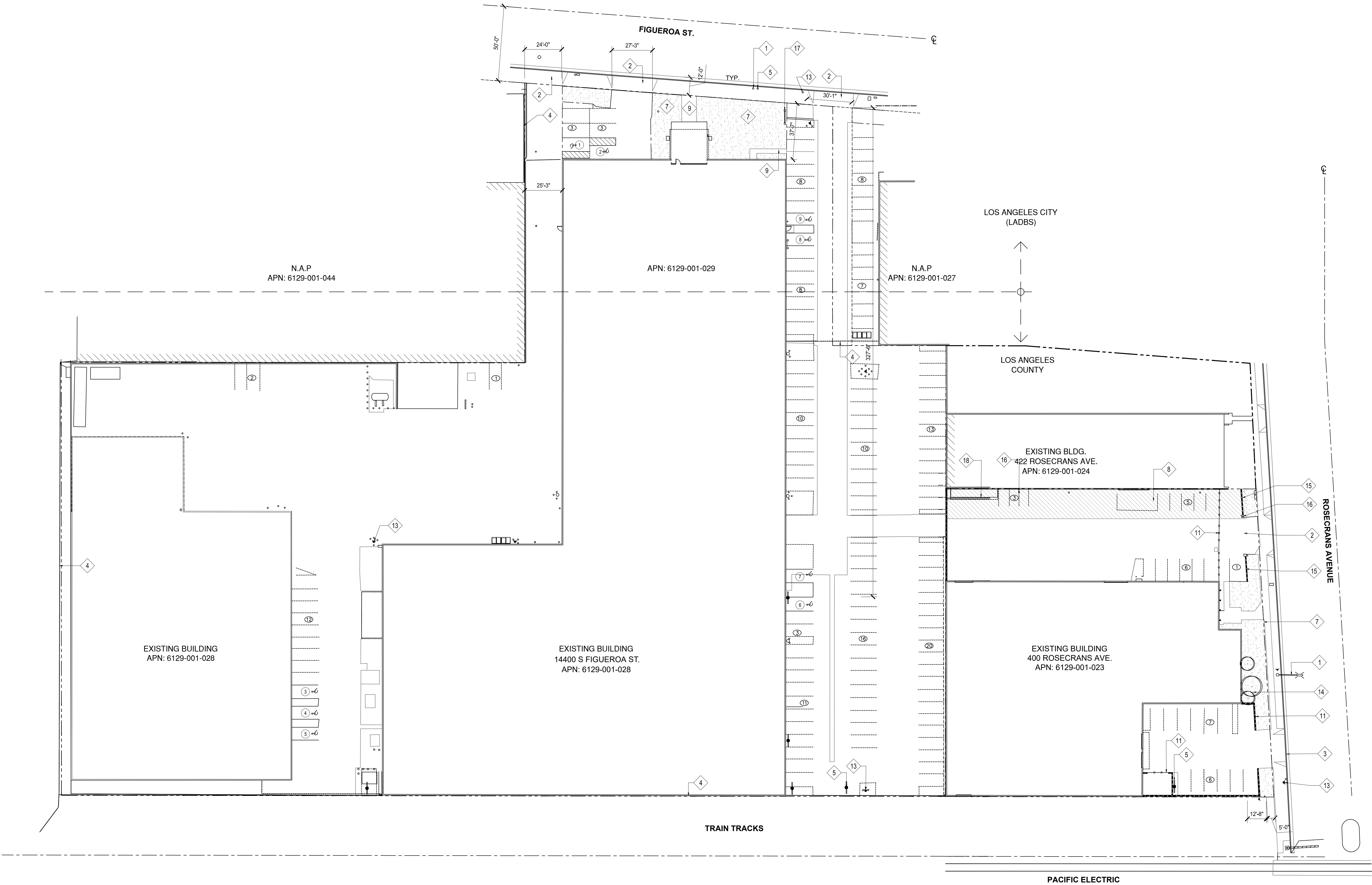
REXFORD INDUSTRIAL
400 ROSECRANS
OIL WELL LOCATIONS
ROSECRANS AND FIGUEROA
GARDENA, CA

DRAWN BY	JTR	DATE	2/28/2024
CHECKED BY		SCALE	1" = 50'
CA JOB NO.	220841		

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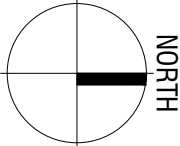
16842 Von Kaman Avenue, Suite 150
Irvine, CA 92606
P 949.753.1111 F 949.753.0775

KEYNOTES		LEGEND
<div><div>1</div>EXISTING LIGHT POLE</div> <div><div>2</div>EXISTING DRIVEWAY</div> <div><div>3</div>EXISTING DRIVEWAY TO BE CLOSED OFF</div> <div><div>4</div>EXISTING FENCE</div> <div><div>5</div>EXISTING POWER POLE</div> <div><div>6</div>PARKING STALLS</div> <div><div>7</div>EXISTING LANDSCAPE</div> <div><div>8</div>20' WIDE EXISTING ACCESS EASEMENT (TBD) WITH AN AREA OF APPROX. 4,160 SF.</div> <div><div>9</div>EXISTING PATHWAY</div>	<div><div>10</div>EXISTING CONCRETE SHEAR WALL</div> <div><div>11</div>EXISTING GATE</div> <div><div>12</div>EXISTING DRIVEWAY TO EXPAND</div> <div><div>13</div>EXISTING FIRE HYDRANT</div> <div><div>14</div>EXISTING TREES</div> <div><div>15</div>EXISTING SHORT WALL</div> <div><div>16</div>EXISTING SECURITY BOLLARD</div> <div><div>17</div>EXISTING SIGNAGE</div> <div><div>18</div>EXISTING SHED</div>	<div><div>#</div>INDICATES NUMBER OF PARKING STALLS</div> <div><div>---</div>EXISTING PROPERTY LINE</div> <div><div></div>INDICATES EXISTING ACCESS EASEMENT</div>



EXISTING CONDITIONS PLAN

1" = 30'-0"



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JOB NO.	CM220364
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CITY SUBMITTAL	10/25/23
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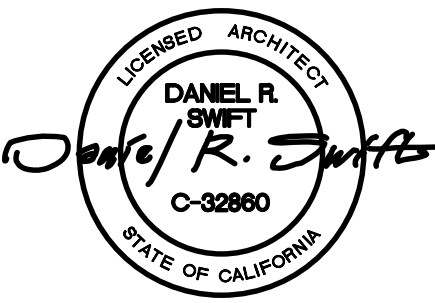
LADBS STAMP

CLIENT:

Rexford Industrial

PROJECT: **REXFORD INDUSTRIAL REALTY**
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: **REXFORD INDUSTRIAL REALTY**
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



DEMOLITION NOTES	KEYNOTES	LEGEND
<div>1. SEE SHEET AD000 FOR GENERAL DEMOLITION NOTES.</div> <div>2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.</div> <div>3. REMOVE ALL UNUSED OR ABANDONED DATA, ELECTRICAL CONDUITS, J-BOXES, PANELS, ETC. IN AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. PRESERVE ITEMS WHICH WILL REMAIN IN SERVICE.</div> <div>4. PATCH AND REPAIR EXISTING SLAB WHERE EXISTING WALLS ARE TO BE DEMOLISHED.</div> <div>5. WHERE EXISTING WALLS, CEILINGS, ETC. ARE DAMAGED DUE TO DEMOLITION OR NEW CONSTRUCTION, THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.</div> <div>6. REMOVE ANY NON ACCESSIBLE DOOR HARDWARE AND REPLACE, WITH LEVER TYPE.</div> <div>7. REMOVE ANY UNNECESSARY THERMOSTATS AND PATCH WALLS. RELOCATE AS NECESSARY.</div> <div>8. REMOVE ANY UNNECESSARY OR ABANDONED DUCTWORK WITHIN THE AFFECTED PORTIONS OF DEMOLITION.</div> <div>9. ALL FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS WILL REMAIN.</div> <div>10. INFORMATION PROVIDED ARE A RESULT OF LIMITED FIELD VERIFICATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING THE LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO DEMOLITION. NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS BEFORE PROCEEDING WITH WORK.</div> <div>11. SAWCUT EXISTING SLAB AT LOCATIONS WHERE NEW TOILETS & PLUMBING LINES WILL OCCUR. CONNECTION LOCATIONS TO EXISTING SEWER LINES TO BE VERIFIED IN FIELD. REFER TO PROPOSED FLOOR PLANS FOR NEW RESTROOM LAYOUTS.</div>	<div><div>1</div>REMOVE & RELOCATE (E) POWER POLE. VERIFY & COORDINATE WITH DRY UTILITY CONSULTANT</div> <div><div>2</div>(E) DRIVEWAY TO REMAIN</div> <div><div>3</div>(E) DRIVEWAY TO BE CLOSED OFF</div> <div><div>4</div>(E) FENCE TO DEMOLISH</div> <div><div>5</div>(E) FENCE TO REMAIN</div> <div><div>6</div>(E) SECURITY GATE TO DEMOLISH</div> <div><div>7</div>BLACK-OUT EXISTING (E) PARKING STRIPING. SEE SITE PLAN FOR NEW PARKING STRIPING/LAYOUT & PER CITY/COUNTY STANDARD</div> <div><div>8</div>REMOVE & REPLACE (E) LANDSCAPE AREA, SEE LANDSCAPE DWG.</div> <div><div>9</div>20' WIDE EXISTING ACCESS EASEMENT (TBD) WITH AN AREA OF APPROX. 4,160 SF.</div> <div><div>10</div>(E) PATHWAY TO REMAIN</div> <div><div>11</div>(E) UTILITY METER TO BE REMOVED</div> <div><div>12</div>REMOVE (E) FIRE HYDRANT & PROTECTIVE BOLLARDS. VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR THE EXACT NEW LOCATION</div> <div><div>13</div>(E) PATHWAY TO DEMOLISH</div> <div><div>14</div>(E) EXISTING TREES TO REMOVE</div> <div><div>15</div>(E) SIGNAGE TO REMAIN</div> <div><div>17</div>(E) DRIVEWAY TO BE EXPANDED</div> <div><div>18</div>(E) FIRE DEPARTMENT CONNECTION</div> <div><div>19</div>(E) GAS METER WITH PROTECTIVE BOLLARDS TO REMAIN</div> <div><div>20</div>(E) FIRE RISER & P.I.V. WITH PROTECTIVE BOLLARDS TO REMAIN</div> <div><div>21</div>(E) FIRE RISER TO REMAIN, MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS</div> <div><div>22</div>(E) FIRE RISER & P.I.V. TO REMAIN, MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS</div> <div><div>23</div>REMOVE (E) POLES (QTY. 3) & OVERHEAD PIPE/CONDUIT</div> <div><div>24</div>REMOVE (E) PROPANE TANK (ALL ITS ACCESSORIES), A.C. PAVING, CMU WALL & PROTECTIVE BOLLARDS</div> <div><div>25</div>REMOVE (E) PARTIAL HT. CONC. TILT UP WALL & PROTECTIVE BOLLARDS</div> <div><div>26</div>(E) P.I.V. WITH PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>27</div>(E) UTILITY BOX, INCLUDING ACCESSORIES & PROTECTIVE BOLLARDS</div> <div><div>28</div>(E) PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>29</div>(E) TRANSFORMER, CONCRETE PAD & PROTECTIVE BOLLARDS TO BE REMOVED</div> <div><div>30</div>(E) FLAGPOLE TO BE REMOVED</div> <div><div>31</div>(E) CANOPY & CANOPY PILASTER/SUPPORT TO BE REMOVED</div> <div><div>32</div>(E) POWER POLE TO REMAIN</div> <div><div>33</div>(E) FIRE HYDRANT WITH PROTECTIVE BOLLARDS TO REMAIN, VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR</div> <div><div>34</div>(E) STREET LIGHT POLE</div> <div><div>35</div>(E) PUBLIC FIRE HYDRANT</div>	<div><div><div></div></div>EXISTING PROPERTY LINE</div> <div><div><div></div></div>INDICATES EXISTING BUILDINGS TO BE DEMOLISHED, INCLUDING CONCRETE SLAB</div> <div><div><div></div></div>INDICATES EXISTING LANDSCAPE TO BE REMOVED</div> <div><div><div></div></div>INDICATES EXISTING A.C./CONCRETE PAVING TO BE REMOVED</div> <div><div><div></div></div>EXISTING TO BE DEMOLISHED</div>

17

(E) DRIVEWAY TO BE EXPANDED

18

(E) FIRE DEPARTMENT CONNECTION

19

(E) GAS METER WITH PROTECTIVE BOLLARDS TO REMAIN

21

(E) FIRE RISER & P.I.V. WITH PROTECTIVE BOLLARDS TO REMAIN

22

(E) FIRE RISER TO REMAIN. MODIFY AS REQUIRED TO ACCOMMODATE (N) 48" H. LOADING PLATFORM & REMOVE (E) PROTECTIVE BOLLARDS

23

REMOVE (E) POLES (QTY. 3) & OVERHEAD PIPE/CONDUIT

24

REMOVE (E) PROPANE TANK (ALL IT'S ACCESSORIES), A.C. PAVING, CMU WALL & PROTECTIVE BOLLARDS

25

REMOVE (E) PARTIAL HT. CONC. TILT UP WALL & PROTECTIVE BOLLARDS

26

(E) P.I.V. WITH PROTECTIVE BOLLARDS TO BE REMOVED

27

(E) UTILITY BOX, INCLUDING ACCESSORIES & PROTECTIVE BOLLARDS

28

(E) PROTECTIVE BOLLARDS TO BE REMOVED

29

(E) TRANSFORMER, CONCRETE PAD & PROTECTIVE BOLLARDS TO BE REMOVED

30

(E) FLAGPOLE TO BE REMOVED

31

(E) CANOPY & CANOPY PILASTERS/SUPPORT TO BE REMOVED

32

(E) POWER POLE TO REMAIN

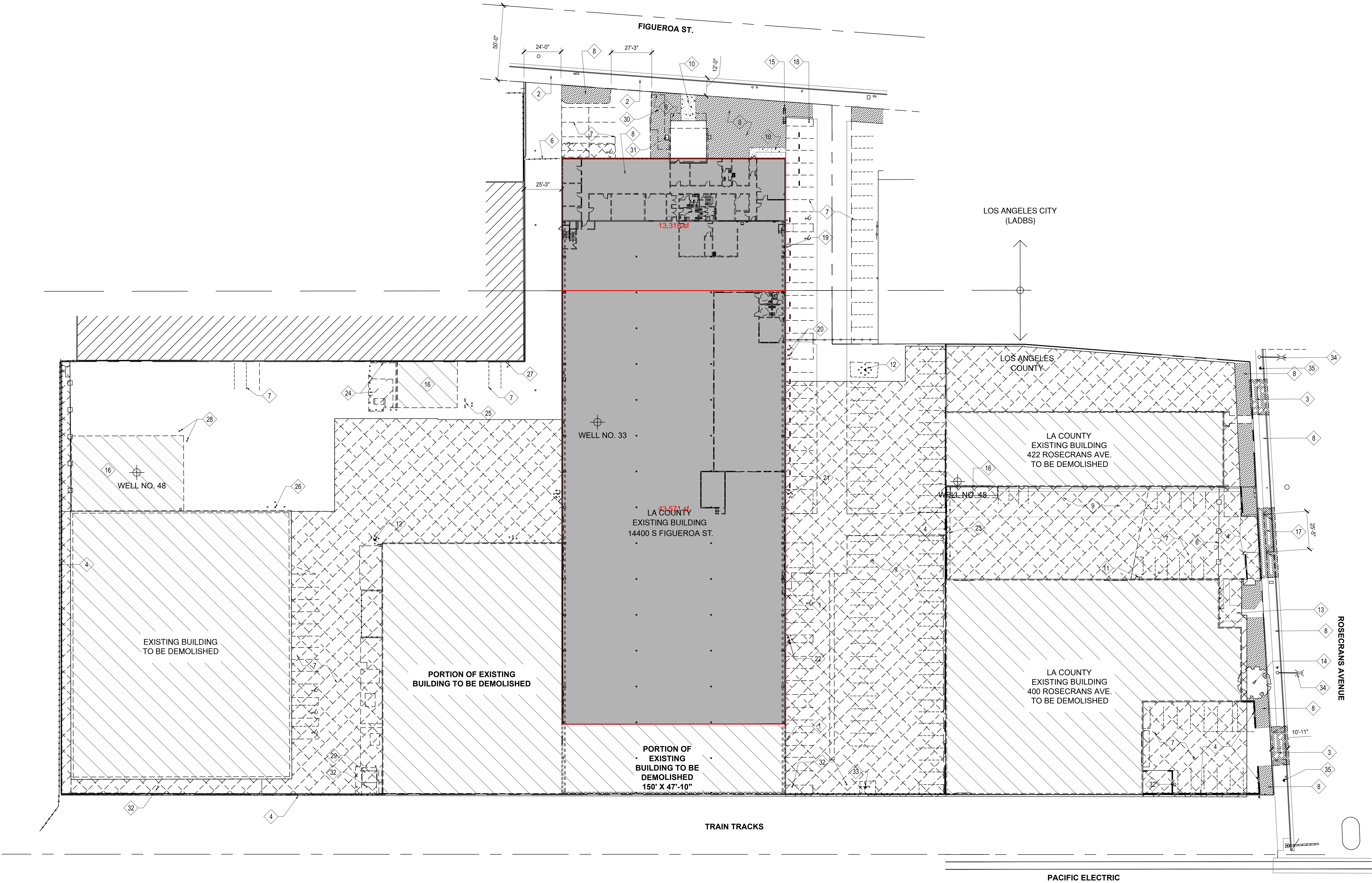
33

(E) FIRE HYDRANT WITH PROTECTIVE BOLLARDS TO REMAIN. VERIFY & COORDINATE WITH FIRE PROTECTION CONTRACTOR

34

(E) STREET LIGHT POLE

35

(E) PUBLIC FIRE HYDRANT

DEMOLITION SITE PLAN
SCALE: 1"=30'-0"

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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
PC LADBS & COUNTY PC CORR.	02.06.24
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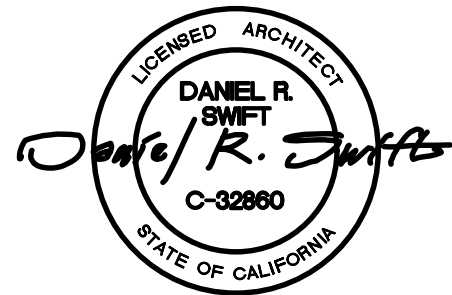
LADBS STAMP

CLIENT:



PROJECT: REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
DEMO SITE PLAN

SHEET NO.
AD001











February 06, 2024

SUBMITTAL SET
02/06/2024

SITE PLAN NOTES	KEYNOTES	
<ol style="list-style-type: none"> SEE GENERAL NOTES FOR ADDITIONAL INFO. ALL DIMENSIONS ARE TO FACE OF CONCRETE CURB, FACE OF CONCRETE PANEL, OR TO GRID-LINE U.N.O. SITE DIMENSIONS ARE FOR REFERENCE ONLY. ALL STANDARD PARKING STALLS SHALL BE STRIPED PER COUNTY STANDARDS. CONTRACTOR SHALL CONFIRM FINAL STRIPING CONFIGURATION WITH CURRENT COUNTY STANDARDS PRIOR TO PAINTING. SEE SPECIFIC DETAILS FOR ACCESSIBLE STALL DIMENSIONS. WALK SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL HAVE A MEDIUM BROOM OR EXPOSED AGGREGATE FINISH WITH A SLIP RESISTANCE EQUAL TO A MED. SALT FINISH U.N.O. WALK SURFACES WITH A SLOPE OF GREATER THAN 6% GRADIENT SHALL BE SLIP RESISTANT PER DISABLED ACCESS STANDARDS. ACCESSIBLE WALK CROSS SURFACE SLOPES SHALL NOT EXCEED 1/4" PER FOOT OR 2%. ANY ABRUPT LEVEL CHANGES SHALL BE LESS THAN OR EQUAL TO 1/2" ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE OF LESS THAN OR EQUAL TO 1:2. LEVEL CHANGES OF 1/4" MAX MAY BE VERTICAL. IF LEVEL CHANGES ARE GREATER THAN 1/2", THEY MUST COMPLY WITH THE REQUIREMENTS OF CURB RAMPS. ALL UNDERGROUND PIPING SUBJECT TO CORROSION SHALL BE WRAPPED WITH PROTECTIVE COATINGS. PROPERTY LINE MEETS & BOUNDS WHICH MAY BE SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. PROVIDE CONCRETE WHEEL STOPS AT ALL STALLS. SEE CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION "PROJECT TO COMPLY WITH APPLICABLE CSD AND GREEN ZONES DEVELOPMENT AND PERFORMANCE STANDARDS. SEE SHEETS G001-003 FOR ADDITIONAL INFORMATION "PERIMETER IDENTIFICATION SIGN" - PROVIDE A PERMANENT SIGN BETWEEN 4 & 9 SQ. FT. TO INCLUDE: <ul style="list-style-type: none"> HOURS OF OPERATION. TELEPHONE NO. OF THE FACILITY REPRESENTATIVE AND EMERGENCY CONTACT INFORMATION FOR REPORTING ANY PROBLEMS WHICH MAY OCCUR RELATED TO THE OPERATION OF THE FACILITY 24 HOURS A DAY, SEVEN DAYS A WEEK. THE BUSINESS NAME UNLESS THE PROPERTY CONTAINS A SEPARATE BUSINESS SIGN THAT IS CLEARLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. THE SIGN SHALL INCLUDE INSTRUCTION FOR REPORTING VIOLATIONS TO REGIONAL PLANNING AND TO AOMD WHERE A USE IS ALSO REGULATED BY AOMD. INFORMATION FOR REPORTING VIOLATIONS SHALL INCLUDE THE FOLLOWING TEXT, OR APPROPRIATE TEXT AS UPDATED. <ol style="list-style-type: none"> TO REPORT A VIOLATION TO THE LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING, CALL 213-974-6455 MONDAY - THURSDAY, 7AM - 6PM, DIAL 2-1-1 AT ANY TIME OR EMAIL ZONINGENFORCEMENT@PLANNING.LACOUNTY.GOV AND TO REPORT A VIOLATION TO SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), CALL 1-800-CUTSMOG, VISIT https://link.edsignplot.com/s/3b5e4da5/qaspygwgnkyvwdjrcilna7u?http://www.aqmd.gov/ 	<ol style="list-style-type: none"> NEW TRASH ENCLOSURE, UNDER SEPARATE SUBMITTAL & PLAN CHECK. NEW STOREFRONT ENTRY, SEE ENLARGED FLOOR PLAN A102 (E) STREET LIGHT POLE TO REMAIN, PROTECT IN PLACE (E) DRIVEWAY TO REMAIN EXISTING FIRE SPRINKLER RISER, PIV W/ PROTECTIVE BOLLARD, COORDINATE WITH THE CONSTRUCTION OF NEW CONCRETE LOADING DOCK PLATFORM & MOIFY AS REQUIRED NEW PAINTED 6'0" X 4'-0" H. CONC. FILLED STEEL PIPE BOLLARD, SEE (E) POWER POLE TO REMAIN, PROTECT IN PLACE - WITH NEW PROTECTIVE BOLLARDS WHERE OCCURS. NEW TRANSFORMER PROPOSED LOCATION NEW PARKING STALLS, PER COUNTY OR CITY STANDARD - NEW TRAILER STORAGE (E) LANDSCAPE AREA, SEE LANDSCAPE DWGS. FOR PROPOSED PLANTING NEW 12'-0" H. SPLIT FACE CMU WALL, SEE STRUCT. DWG., V.I.F. EXACT LENGTH NEW 12'-0" HIGH PAINTED SMOOTH FACE CMU WALL WITH PAINTED STEEL GATE, SEE DETAIL 11A807 AND STRUCT. DWG., V.I.F. EXACT LENGTH 10'-0" MIN. LANDSCAPE AREA, SEE LANDSCAPE DWGS. NEW CONCRETE LOADING DOCK PLATFORM, SEE STRUCT. DWG. NEW CONCRETE STAIR WITH METAL RAILING. (E) CONC. PATHWAY TO REMAIN, PROTECT IN PLACE NEW 22'-0" W x 8'-0" H, POWERED WROUGHT IRON ROLLING GATE (V.I.F.), PAINTED, GATE TO REMAIN OPEN DURING BUSINESS HOURS - SEE DETAIL 11A807 - INSTALL KNOX BOX PER FIRE DEPARTMENT STANDARD, V.I.F. LENGTH NEW LONG-TERM BICYCLE PARKING LOCKER PER CODE - "BY CYCLE SAFE 24-LOCKER BANKS ONE DOOR WITH 2 KES EACH-PRO-PARK STD. MODEL" NEW DETECTABLE WARNING/TRUNCATED DOMES. NEW CONCRETE WHEEL STOP. FUTURE GUARD HOUSE UNDER SEPARATE SUBMITTAL, PROVIDE POWER AND POWER CONDUIT NEW 40'-0" W x 12'-0" H MOTORIZED WROUGHT IRON ROLLING GATE (V.I.F.) - INSTALL NEW KNOX BOX PER FIRE DEPARTMENT STANDARD - "GATE TO REMAIN OPEN DURING BUSINESS HOURS" NEW 8'-0" H. CHAIN LINK FENCE. NEW SURFACE MOUNTED SHORT-TERM BICYCLE PARKING PER CODE - "U-RACK BY CYCLESAFE" RECONSTRUCT/EXPAND (E) DRIVEWAY & TO MEET AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES. SEE CIVIL DWG. (E) FIRE HYDRANT TO REMAIN, PROTECT IN PLACE WITH (E) PROTECTIVE BOLLARDS WHERE OCCURS NEW PUMP SUMP AND DRAIN, SEE CIVIL DWGS. EXISTING FIRE SPRINKLER RISER, PIV & PROTECTIVE BOLLARDS EXISTING CONCRETE PAVING TO REMAIN NEW CONCRETE RAMP WITH PAINTED METAL RAILING. CLOSED OFF EXISTING DRIVEWAY, PER COUNTY OR CITY DESIGN STANDARD, MODIFY AND REMOVE DRIVEWAY SLOPE TO COMPLY WITH DISABLED PATH OF TRAVEL - SEE CIVIL DWGS. NEW CONCRETE LANDINGS/STEPS/PAVING/WALKWAY, SEE SHT. A801A, CIVIL & LANDSCAPE DWG. NEW PAIR OF 12'-0" x 8'-0" H, PAINTED MOTORIZED STEEL PICKET SWINGING GATE (V.I.F.) NEW LANDSCAPE AREA, SEE LANDSCAPE PLAN 26 FT. WIDE FIRE TRUCK ACCESS, PROVIDE APPROVED SIGNS AOR STRIPPING STATING "NO PARKING - FIRE LANE" & SHALL BE MAINTAINED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE CODE NEW 8' HIGH PAINTED STEEL PICKET FENCE, V.I.F. INSTALL KNOX BOX PER FIRE DEPARTMENT STANDARD NEW RETAINING WALL, UNDER SEPARATE SUBMITTAL, SEE CIVIL DWG. NEW CONCRETE CURB, SEE CIVIL DWG. 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SITE PLAN NOTES	KEYNOTES	
<ol style="list-style-type: none"> SEE GENERAL NOTES FOR ADDITIONAL INFO. ALL DIMENSIONS ARE TO FACE OF CONCRETE CURB, FACE OF CONCRETE PANEL, OR TO GRID-LINE U.N.O. SITE DIMENSIONS ARE FOR REFERENCE ONLY. ALL STANDARD PARKING STALLS SHALL BE STRIPED PER COUNTY STANDARDS. CONTRACTOR SHALL CONFIRM FINAL STRIPING CONFIGURATION WITH CURRENT COUNTY STANDARDS PRIOR TO PAINTING. SEE SPECIFIC DETAILS FOR ACCESSIBLE STALL DIMENSIONS. WALK SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL HAVE A MEDIUM BROOM OR EXPOSED AGGREGATE FINISH WITH A SLIP RESISTANCE EQUAL TO A MED. SALT FINISH U.N.O. WALK SURFACES WITH A SLOPE OF GREATER THAN 6% GRADIENT SHALL BE SLIP RESISTANT PER DISABLED ACCESS STANDARDS. ACCESSIBLE WALK CROSS SURFACE SLOPES SHALL NOT EXCEED 1/4" PER FOOT OR 2%. ANY ABRUPT LEVEL CHANGES SHALL BE LESS THAN OR EQUAL TO 1/2" ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE OF LESS THAN OR EQUAL TO 1:2. LEVEL CHANGES OF 1/4" MAX MAY BE VERTICAL. IF LEVEL CHANGES ARE GREATER THAN 1/2", THEY MUST COMPLY WITH THE REQUIREMENTS OF CURB RAMPS. ALL UNDERGROUND PIPING SUBJECT TO CORROSION SHALL BE WRAPPED WITH PROTECTIVE COATINGS. PROPERTY LINE MEETS & BOUNDS WHICH MAY BE SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. PROVIDE CONCRETE WHEEL STOPS AT ALL STALLS. SEE CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION "PROJECT TO COMPLY WITH APPLICABLE CSD AND GREEN ZONES DEVELOPMENT AND PERFORMANCE STANDARDS. SEE SHEETS G001-003 FOR ADDITIONAL INFORMATION "PERIMETER IDENTIFICATION SIGN" - PROVIDE A PERMANENT SIGN BETWEEN 4 & 9 SQ. FT. TO INCLUDE: <ul style="list-style-type: none"> HOURS OF OPERATION. TELEPHONE NO. OF THE FACILITY REPRESENTATIVE AND EMERGENCY CONTACT INFORMATION FOR REPORTING ANY PROBLEMS WHICH MAY OCCUR RELATED TO THE OPERATION OF THE FACILITY 24 HOURS A DAY, SEVEN DAYS A WEEK. THE BUSINESS NAME UNLESS THE PROPERTY CONTAINS A SEPARATE BUSINESS SIGN THAT IS CLEARLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. THE SIGN SHALL INCLUDE INSTRUCTION FOR REPORTING VIOLATIONS TO REGIONAL PLANNING AND TO AQMD WHERE A USE IS ALSO REGULATED BY AQMD. INFORMATION FOR REPORTING VIOLATIONS SHALL INCLUDE THE FOLLOWING TEXT, OR APPROPRIATE TEXT AS UPDATED. <ol style="list-style-type: none"> TO REPORT A VIOLATION TO THE LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING, CALL 213-974-6455 MONDAY - THURSDAY, 7AM - 6PM, DIAL 2-1-1 AT ANY TIME OR EMAIL ZONINGENFORCEMENT@PLANNING.LACOUNTY.GOV AND TO REPORT A VIOLATION TO SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), CALL 1-800-CUTSMOG, VISIT https://link.edsignplot.com/s/3b5e4da5/aqspgpgwnkyvwdgicrlna7u#http://www.aqmd.gov/ 	<ol style="list-style-type: none"> NEW TRASH ENCLOSURE, UNDER SEPARATE SUBMITTAL & PLAN CHECK. NEW STOREFRONT ENTRY, SEE ENLARGED FLOOR PLAN A102 (E) STREET LIGHT POLE TO REMAIN, PROTECT IN PLACE (E) DRIVEWAY TO REMAIN EXISTING FIRE SPRINKLER RISER, PIV W/ PROTECTIVE BOLLARD, COORDINATE WITH THE CONSTRUCTION OF NEW CONCRETE LOADING DOCK PLATFORM & MOIFY AS REQUIRED NEW PAINTED 6'X3' 4'-0" H. CONC. FILLED STEEL PIPE BOLLARD, SEE (E) POWER POLE TO REMAIN, PROTECT IN PLACE - WITH NEW PROTECTIVE BOLLARDS WHERE OCCURS. NEW TRANSFORMER PROPOSED LOCATION NEW PARKING STALLS, PER COUNTY OR CITY STANDARD - NEW TRAILER STORAGE (E) LANDSCAPE AREA, SEE LANDSCAPE DWGS. FOR PROPOSED PLANTING NEW 12'-0" H. SPLIT FACE CMU WALL, SEE STRUCT. DWG., V.I.F. EXACT LENGTH NEW 12'-0" HIGH PAINTED SMOOTH FACE CMU WALL WITH PAINTED STEEL GATE, SEE DETAIL 11A807 AND STRUCT. DWG., V.I.F. EXACT LENGTH 10'-0" MIN. LANDSCAPE AREA, SEE LANDSCAPE DWGS. NEW CONCRETE LOADING DOCK PLATFORM, SEE STRUCT. DWG. NEW CONCRETE STAIR WITH METAL RAILING. (E) CONC. 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MAXIMUM AREA OF WALL OPENING PER
CBC 2022 TABLE 705.8

LEGEND	
	INDICATES NUMBER OF PARKING STALLS
	EXISTING PROPERTY LINE
	LANDSCAPE AREA SEE LANDSCAPE DWGS.
	PROPOSED TREES SEE LANDSCAPE DWGS.
	NEW CONCRETE PAVING, SEE CIVIL DWGS.
	EXISTING BUILDING FOOTPRINT INCLUDING NEW DOCK HIGH PLATFORM
	EXISTING A.C. PAVING TO REMAIN
	EXISTING CONCRETE PAVING TO REMAIN
	NEW LIGHT FIXTURES SEE ELECTRICAL DWGS.
	PATH OF TRAVEL - EXISTING ACCESSIBLE PATH OF TRAVEL 48" MINIMUM WIDTH (MAX. 1/2" ELEVATION CHANGES, MAX. 1:20 SLOPE, MAX. 1:50 CROSSING TO: V.I.F.

SCALE: 1" = 30'-0"

A horizontal graphic scale bar with tick marks at 0, 30, 60, 90, and 120 feet. The bar is divided into alternating black and white segments. The first 30-foot segment is divided into three 10-foot sub-segments, each further divided into three 3-foot sub-segments. The remaining segments (30-60, 60-90, and 90-120) are each divided into three 10-foot sub-segments.



**Rexford
Industrial**

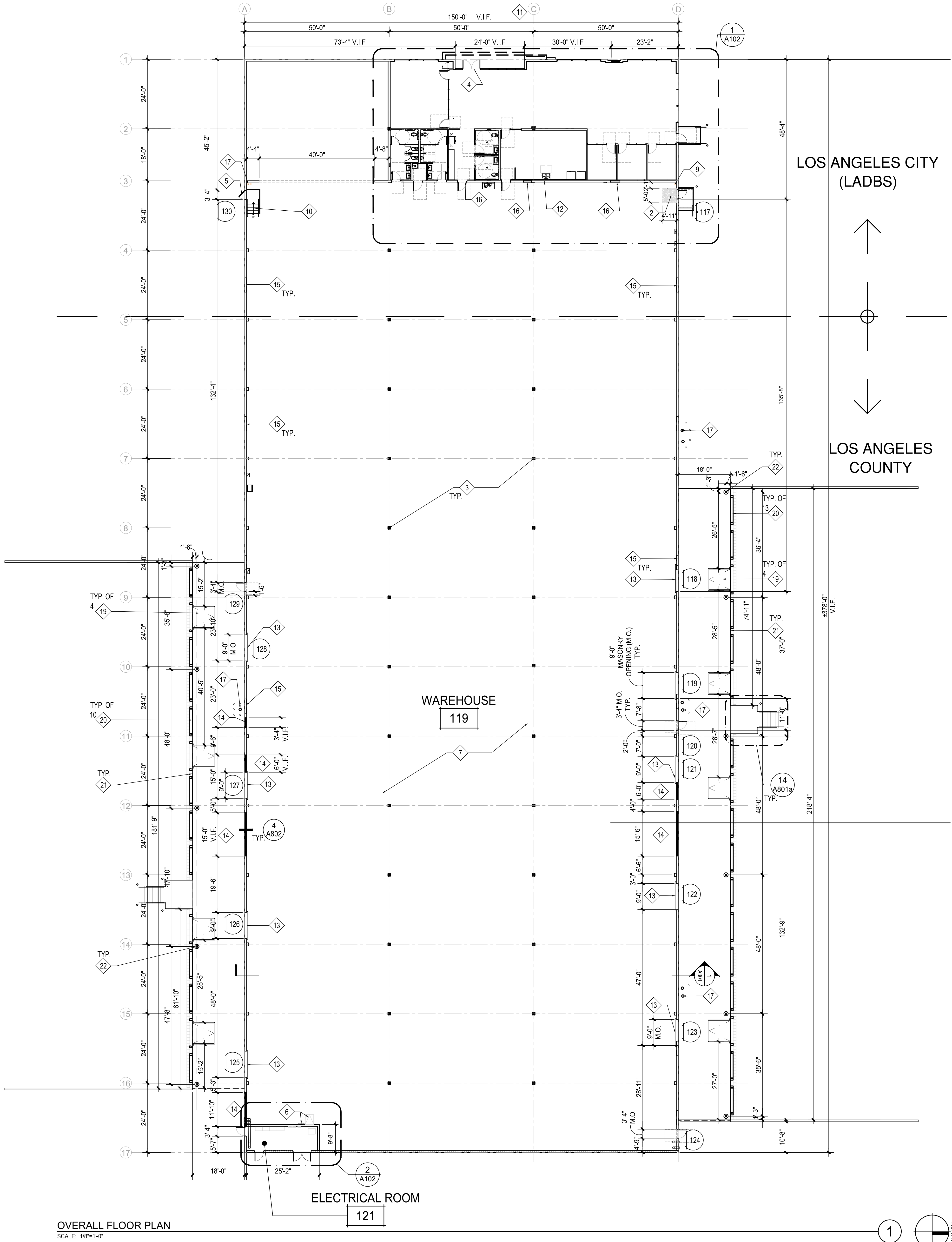
REXFORD INDUS
114400 S FIGUEROA ST.
GARDENA, CA 90248

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



PLANNING RESUBMITTAL 1
03/22/2024

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ACCESSIBILITY NOTES

- PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE WORKING CONDITIONS THOSE FEATURES OF FACILITIES AND EQUIPMENT THAT ARE REQUIRED TO BE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES. ISOLATED OR TEMPORARY INTERRUPTIONS IN SERVICE OR ACCESSIBILITY DUE TO MAINTENANCE OR REPAIRS SHALL BE PERMITTED.
- DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS33538 OF FEDERAL STANDARD 595C (CBC SECTION 11B-705.1.1.3
- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE SURFACE.
- DETECTABLE WARNING SURFACE: ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 1, CHAPTER 5, ARTICLE 2.3, AND 4. (CBC SECTION 11B-705.3)
- TRUNCATED DOMES TO COMPLY WITH CBC SECTION 11B-705.1.1

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS (MECH, ELEC, PLUMBING, SPRINKLER, ETC.) TO BUILDING OWNER AT JOB COMPLETION & PRIOR TO APPLICATION OF PAYMENT.
- PATCH AND REPAIR WALLS WHERE SWITCHES, OUTLETS, T-STATS, ETC. WERE REMOVED
- WHERE EXISTING WALLS, CEILINGS, ETC. ARE DAMAGED DUE TO DEMOLITION , THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.
- VERIFY ALL EXISTING CONDUITS, ROOF DRAINS, WORKING CONDITIONS, REPAIR AS NECESSARY.
- VERIFY THAT ALL EXISTING DOCK DOORS ARE WORKING PROPERLY. IF NOT, FIX/REPAIR AS REQUIRED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT AND/OR ENGINEER IF THERE ARE ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

WALL LEGEND

- EXISTING WALL / PARTITION TO REMAIN. REPAIR AND REPAINT AS REQUIRED. V.I.F
- NEW METAL STUD WALLS WITH GYP. BD. (SEE WALL TYPE LEGEND)
- NEW INFILL AT EXISTING WALL. FINISH TO MATCH EXISTING. ALIGN TO EXISTING FINISH WALL. (SEE WALL TYPE LEGEND)
- NEW 6\"/>

NOTE:

ALL BUILDING CONDITIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.

KEYNOTES

- PROPOSED WALL OPENING
- CONCRETE FILL AT EXISTING PIT. TO BE LEVELED TO ADJACENT CONCRETE SLAB AROUND
- EXISTING COLUMNS TO REMAIN. WAREHOUSE COLUMNS ARE TO BE PAINTED CAUTION YELLOW UP TO 12'-0\"/>

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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
BID SET	03/22/24
BID ADDENDUM 'A'	04/17/24
PLANNING RESUBMITTAL 1	06/20/24

REVISION	DATE
LA LADBS & LA COUNTY CORR.	02.06.24
BID ADDENDUM 'A'	04/15/24
BID ADDENDUM 'B'	04/23/24
BID ADDENDUM 'C'	06/21/24

LADBS STAMP

CLIENT:

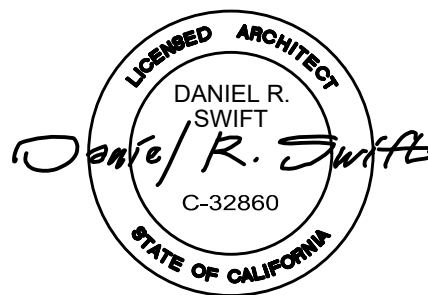


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

OVERALL FLOOR PLAN

SHEET NO.

A101

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

JOB NO. CM220364


SUBMITTAL DATECITY SUBMITTAL 10/25/23

BID SET	03/22/24
BID APPENDUM A1	04/17/24

PLANNING RESUBMITTAL 1	06/20/24
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REVISION	DATE
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PC1 LADBS & LA COUNTY CORR. 02.06.24

 BID ADDENDUM 'A' 04/15/24

B	BID ADDENDUM B	04/23/24
	BID ADDENDUM C	06/21/24

△ BID ADDENDUM 3 05/27/21

LADBS STAMP

CLIENT: [REDACTED]



PROJECT:

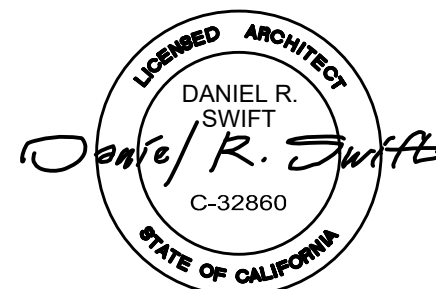
REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT:

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
ENLARGED OFFICE FLOOR PLAN

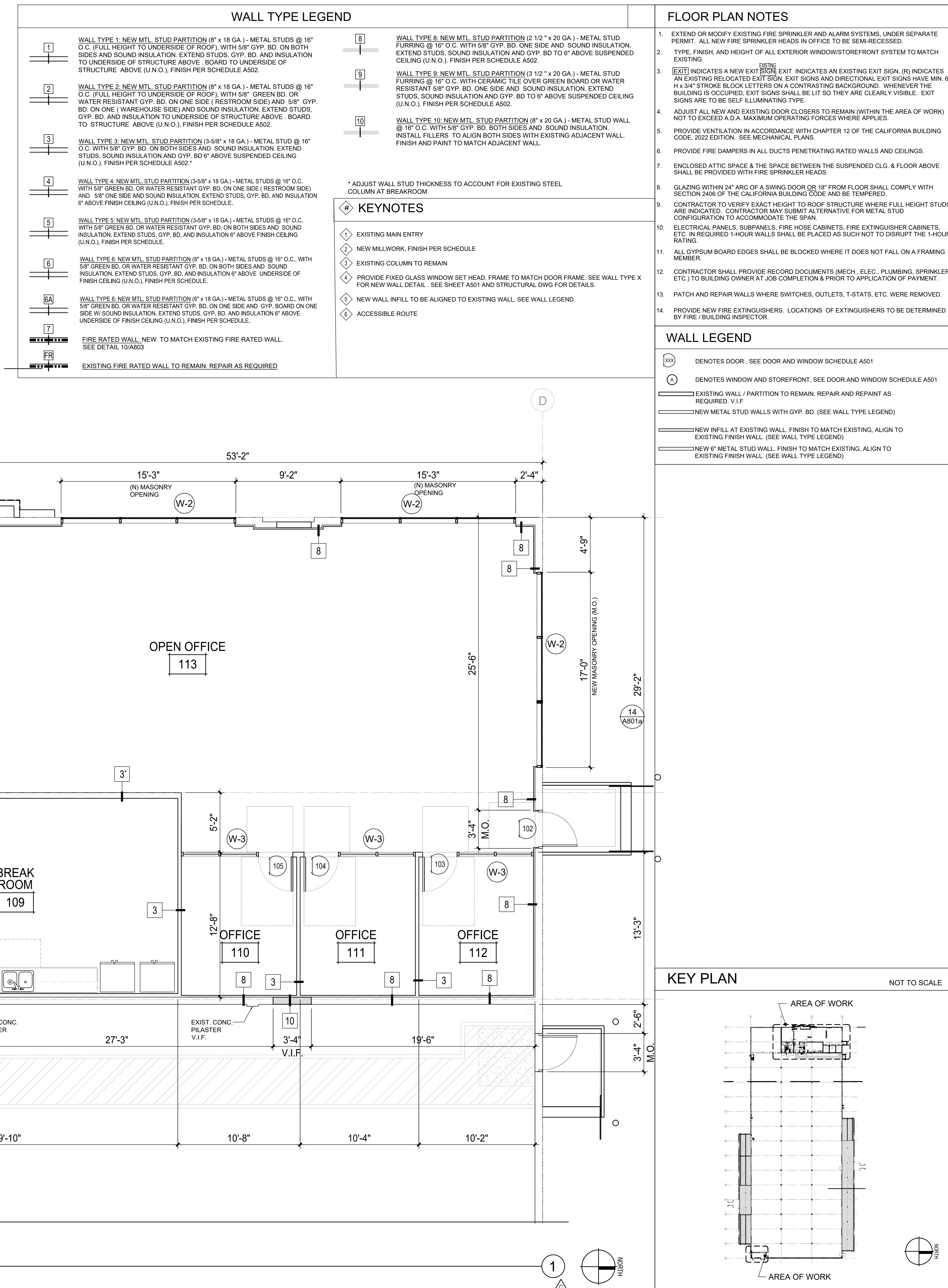
SHEET NO. _____

A102

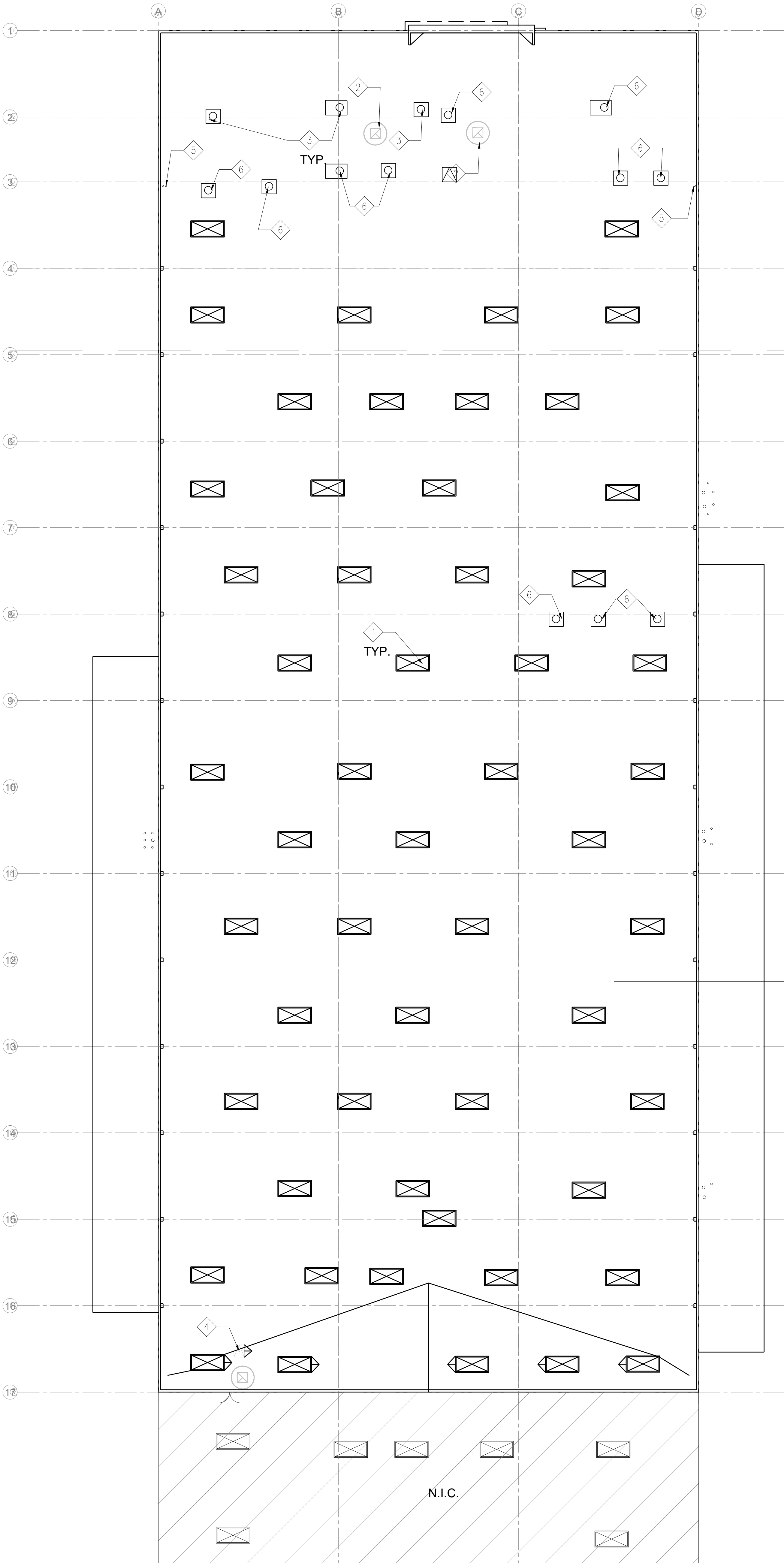
JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

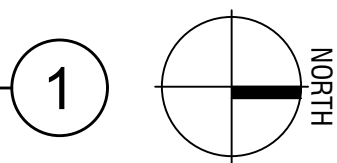
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OFFICE ENLARGED FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/16"=1'-0"



LOS ANGELES CITY
(LADBS)

LOS ANGELES
COUNTY

ROOF PLAN GENERAL NOTES

- MINIMUM ROOF SLOPE TO DRAIN IS 1/4" PER FOOT
- NEW HEAT PUMP UNIT. REFER TO MECHANICAL DRAWINGS
- EXHAUST FAN. REFER TO MECHANICAL DRAWINGS
- WHERE EXISTING ROOF, ETC. ARE DAMAGED DUE TO DEMOLITION OR NEW CONSTRUCTION, THAT AREA SHALL BE REPAIRED TO MATCH EXISTING.
- REMOVE ANY UNNECESSARY OR ABANDONED DUCTWORK, EQUIPMENT, ETC. WITHIN THE AFFECTED PORTIONS OF DEMOLITION.
- PATCH & REPAIR EXISTING ROOF, ROOF PARAPET TO MATCH EXISTING, WHERE OVERFLOW SCUPPER WAS REMOVED AND NEW OVERFLOW DRAIN WERE PROVIDED.
- INFORMATION PROVIDED ARE A RESULT OF LIMITED FIELD VERIFICATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING THE LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO DEMOLITION.
- ALL ROOF ELEVATIONS ARE REFERENCED FROM TOP OF FLOOR SLAB (FIN. FLR. ELEV. OF 0'-0") OR FROM DATUM LINE (0'-0") WHERE OCCURS, SEE BUILDING ELEVATIONS & SECTIONS TO LOCATE DATUM LINE.
- ALL ROOF WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE ROOFING MANUFACTURER'S RECOMMENDATIONS AND APPROVED DETAILS- SEE SPEC'S.
- THE CONTRACTOR SHALL VERIFY THAT ALL AREAS TO RECEIVE SINGLE PLY ROOFING MEMBRANE, ARE PROVIDED W/ POSITIVE DRAINAGE AT 1/4" PER FOOT MINIMUM PRIOR TO ROOFING.
- VERIFY SIZES AND LOCATIONS OF ALL OPENINGS, PLATFORMS, ETC., WITH RESPECTIVE CONTRACTORS.
- ALL CRICKETS/FLASHING SHALL SLOPE A MINIMUM OF 1/2" PER FOOT.
- PROVIDE CRICKETS/FLASHING AROUND ALL CURBED ROOF OPENINGS.
- ALL ROOF DIMENSIONS ARE MEASURED TO THE FACE OF SHEATHING, U.N.O.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL TO RECEIVE PILLOW BLOCKS AS REQUIRED, MAX. 4'-0" APART.
- GENERAL CONTRACTOR TO PROVIDE ROOF JACKS AT ALL EXPOSED ROOF PENETRATIONS. SEE 5/A701
- PAINT ALL EXPOSED GALVANIZED STEEL PIPES, CONDUIT, ETC. VERIFY COLOR WITH ARCHITECT PRIOR TO PROCEEDING.
- ALL ROOF MOUNTED EQUIPMENT (IE HOODS, VENTILATORS, ETC.) SHALL BE PAINTED WITH TWO(2) COATS OF EXTERIOR SEMI-GLOSS PAINT. VERIFY COLOR WITH ARCHITECT PRIOR TO PROCEEDING.
- PRIME AND PAINT ALL MISC. EXPOSED STEEL FABRICATIONS AND G.S. COPINGS, FLASHINGS, ETC., COLOR TO MATCH ADJACENT SURFACE, U.N.O., TYP.
- PRIME AND PAINT INTERIOR (ROOF SIDE) SURFACE OF PLASTERED PARAPETS, TYP. PROVIDE PLASTER CONTROL JOINTS IN ALL PLASTERED PARAPETS AT 10'-0" O.C. MAX. TYP.

ROOF TYPE

ROOF TYPE #1:

GAF THERMOPLASTIC POLYOLEFIN (TPO) ROOF SYSTEM, CLASS 'N' ASSEMBLY. (UL #TGFR1306), WITH MECHANICALLY FASTENED SINGLE PLY GAF EVERGUARD 60 MIL TPO MEMBRANE AND HEAT WELDED SEAMS, OVER A FIRE RESISTANT SLIP SHEET, ON PLYWOOD DECK. SCREW FASTENERS THROUGH BOARDS AND ROOF DECK, SPACED AS REQUIRED FOR FACTORY MUTUAL (FM) 140 WIND UPLIFT MINIMUM (FIELD, PERIMETER, AND CORNERS). PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE SYSTEM. INSTALL PER THE MOST CURRENT 'GAF' GUIDE SPECIFICATION, USING 'GAF' APPROVED ROOFING APPLICATORS. PROVIDE A 20-YEAR STANDARD 'GAF' WARRANTY FOR MATERIALS AND LABOR. SUBMIT DATA ON ROOF ASSEMBLY FOR REVIEW.

EVERGUARD 60 MIL TPO MEMBRANE, MECHANICALLY FASTENED WITH DRILLTEC PLATES. CRRG #0676-0001. SOLAR REFLECTANCE VALUE = 0.76, THERMAL EMITTANCE VALUE = 0.90, SRI = 94, COLOR: "WHITE". MAX. SLOPE SHALL NOT EXCEED 2-1/2 : 12.

WEIGHT = 40# / 100 SF

TWO (2) PLIES OF 'GAF' VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION (OR EQ.), OR ONE (1) PLY OF VERSASHIELD SOLO FIRE RESISTANT SLIP SHEET (OR EQ.), MECHANICALLY FASTENED.

WEIGHT = 10# / 100 SF

TOTAL WEIGHT PER ROOFING SQUARE: = 50# / 100 SF

PROVIDE TAPERED FOAM OR PLYWOOD FRAMED CRICKETS AT HVAC UNITS, WING WALLS AND SIMILAR OBSTRUCTIONS, AS REQUIRED FOR FLOW TO DRAIN.

PROVIDE MISC. FLASHINGS FOR PIPE AND CONDUITS PENETRATIONS PER 'GAF' RECOMMENDATIONS. COORD. WITH ELECT. AND PLUMB. DWGS.

MISC. METAL DETAILS, FABRICATION PRACTICES AND INSTALLATION METHODS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 'SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.' (SMACNA) MANUAL, LATEST ISSUE. ANY METAL COPINGS, FLASHINGS, ETC., OTHER THAN THAT PROVIDED BY 'GAF', ARE NOT COVERED UNDER THE 'GAF' WARRANTY.

ALL COOL ROOF PRODUCTS SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT LISTS THE REFLECTANCE AND EMITTANCE TESTED IN ACCORDANCE WITH CRRG-1.

KEYNOTES

- EXISTING ROOF SKYLIGHT TO BE REPAIRED, RE-PAINTED AS REQUIRED, V.I.F. ADD NEW BURGLAR BARS, PAINT FINISH
- EXISTING EXHAUST FANS/VENTS TO REMAIN, V.I.F. SEE MECHANICAL DRAWINGS.
- EXISTING MECHANICAL UNITS & EQUIPMENT PER MECHANICAL DRAWINGS.
- NEW ROOF ACCESS HATCH, SEE DETAIL 09/A805
- EXISTING ROOF DRAIN TO REMAIN, V.I.F. REPAIR, CLEAN AS REQUIRED
- EXISTING MECHANICAL UNITS TO BE ABANDONED, CAP AND PATCH AS REQUIRED, SEE MECHANICAL DRAWINGS.

JOB NO. CM220364

SUBMITTAL DATE

CITY SUBMITTAL 10/25/23

BID SET 03/22/24

BID ADDENDUM 'A' 04/17/24

PLANNING RESUBMITTAL 1 06/20/24

REVISION

REVISION	DATE
1. LADBS & LA COUNTY CORR.	02.06.24
2. BID ADDENDUM 'A'	04/15/24
3. BID ADDENDUM 'B'	04/23/24
4. BID ADDENDUM 'C'	06/21/24

LADBS STAMP

CLIENT:



**Rexford
Industrial**

PROJECT:

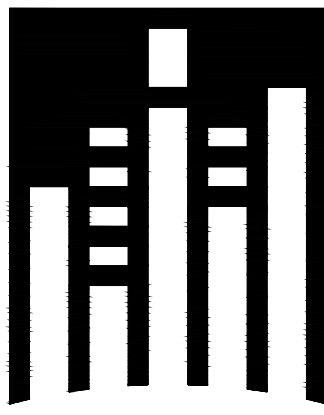
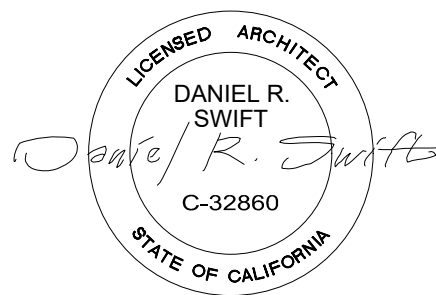
REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT:

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



**BSB
DESIGN**
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SHEET TITLE

ROOF PLAN

SHEET NO.

A131

JUNE 20, 2024

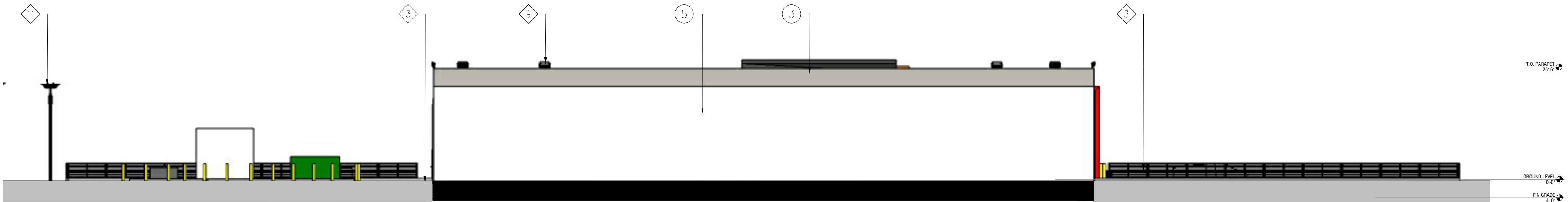
PLANNING RESUBMITTAL 1
03/22/2024

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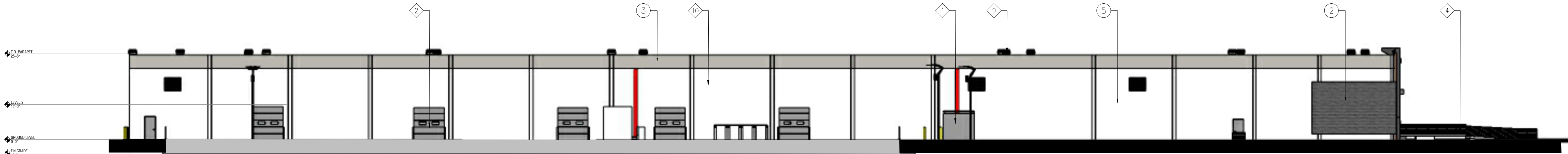
#	MATERIAL/ PAINT CALLOUTS	#	ELEVATIONS KEYNOTES
1	SW 6887 NAVEL	1	PROPOSED TRASH ENCLOSURE
2	EXISTING BRICK FACADE TO BE PAINT SW 7674 PEPPERCORN	2	9'-0" X 10'-0" VERTICAL LIFT DOOR WITH DOCK BUMPERS, TYP.
3	SW 7673 PEWTER CAST	3	LOADING DOCKS
4	SW 7069 IRON ORE	4	PROPOSED RAMP WITH CABLE RAILING
5	SW 7003 TOUQUE WHITE	5	EXISTING ENTRY
		6	NEW ALUCOBOND CANOPY
		7	PROPOSED STOREFRONT WINDOWS
		8	CONCRETE STAIRS
		9	NEW WALL PACKS
		10	FIRE RISER
		11	NEW LIGHT POLES



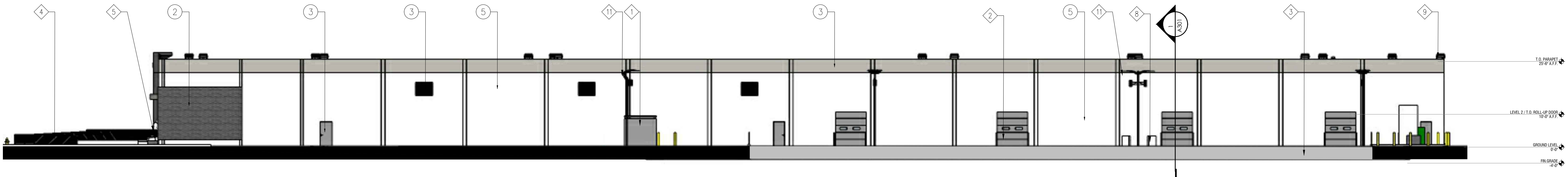
WEST ELEVATION
1/16" = 1'-0" 4



EAST ELEVATION
1/16" = 1'-0" 3



NORTH ELEVATION
1/16" = 1'-0" 2



SOUTH ELEVATION
1/16" = 1'-0" 1

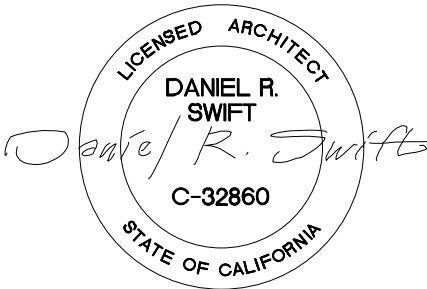
JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE

LADBS STAMP



PROJECT: REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE

RENDERED EXTERIOR ELEVATIONS

SHEET NO.

A201A

February 06, 2024

SUBMITTAL SET

02/06/2024

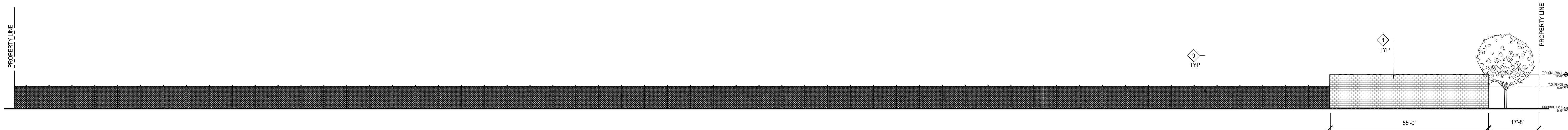
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ELEVATIONS GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF FENCE.
2. SEE STRUCTURAL PLANS FOR MORE INFORMATION.

ELEVATIONS KEYNOTES

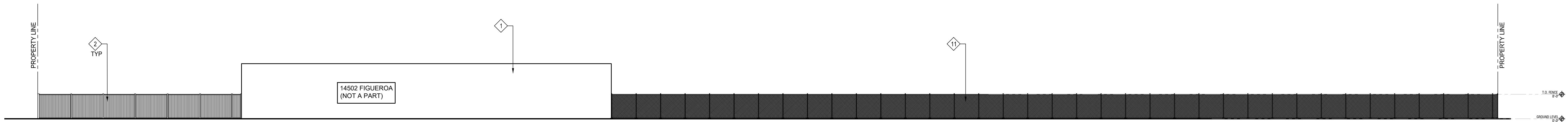
1. EXISTING NEIGHBORING BUILDING
2. NEW PAINTED STEEL PICKET FENCE.
3. NEW PAINTED STEEL PICKET ROLLING GATE WITH AUTOMATIC GATE OPENER
4. NEW PAINTED STEEL PICKET SWINGING GATE WITH AUTOMATIC GATE OPENER
5. NEW PAINTED MAN DOOR WITH PAINTED GALV. PERFORATED METAL PANEL AND ADA COMPLIANT HARDWARE
6. PROVIDE 3'-0" WIDE PAINTED GALV. PERFORATED METAL PANEL ATTACH TO THE FENCE ADJACENT TO THE MAN DOOR LOCKING HARDWARE
7. NEW SPLIT FACE CMU WALL.
8. NEW PRECISION FACE CMU WALL.
9. NEW GALV. CHAIN LINK FENCE.
10. NEW BIKE RACK
11. NEW GALVANIZED CHAIN LINK FENCE W/ SLATS



EAST ELEVATION

SCALE: 1/16"=1'-0"

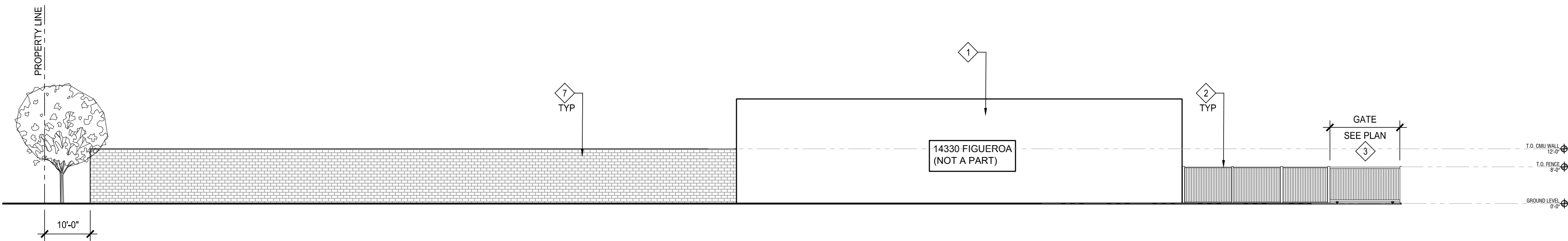
4



SOUTH ELEVATION

SCALE: 1/16"=1'-0"

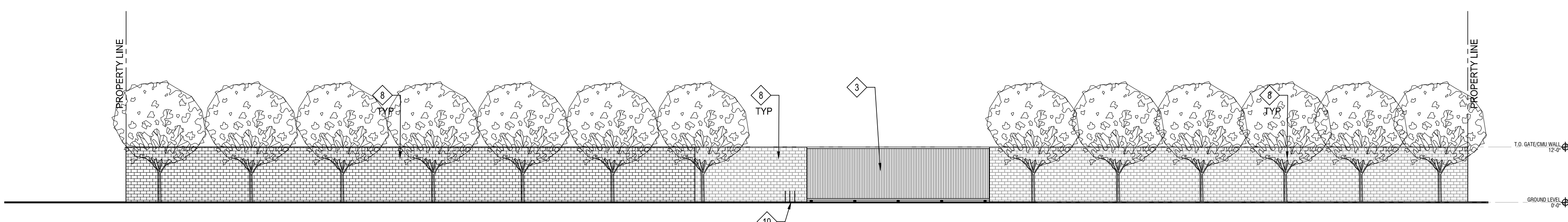
3



WEST ELEVATION

SCALE: 1/16"=1'-0"

2



NORTH ELEVATION

SCALE: 1/16"=1'-0"

1

JOB NO. CM220364

SUBMITTAL DATE

CITY SUBMITTAL 10/26/23

BID SET 03/22/24

BID ADDENDUM 'A' 04/17/24

PLANNING RESUBMITTAL 1 06/20/24

REVISION DATE

1. LADBS & LA COUNTY CORR. 02.06.24

2. BID ADDENDUM 'A' 04/15/24

3. BID ADDENDUM 'B' 04/23/24

4. BID ADDENDUM 'C' 06/21/24

LADBS STAMP

CLIENT:



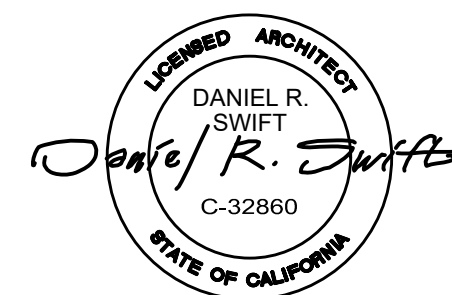
Rexford Industrial

PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



BSB DESIGN
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SHEET TITLE
SITE ELEVATIONS

SHEET NO.

A201B

JUNE 20, 2024

PLANNING RESUBMITTAL 1
03/22/2024

JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/28/23
REVISION	DATE

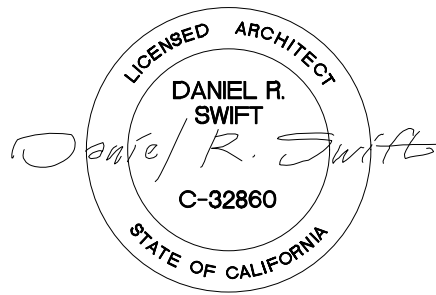
LADBS STAMP

CLIENT:



PROJECT:
REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT:
REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
BUILDING SECTION

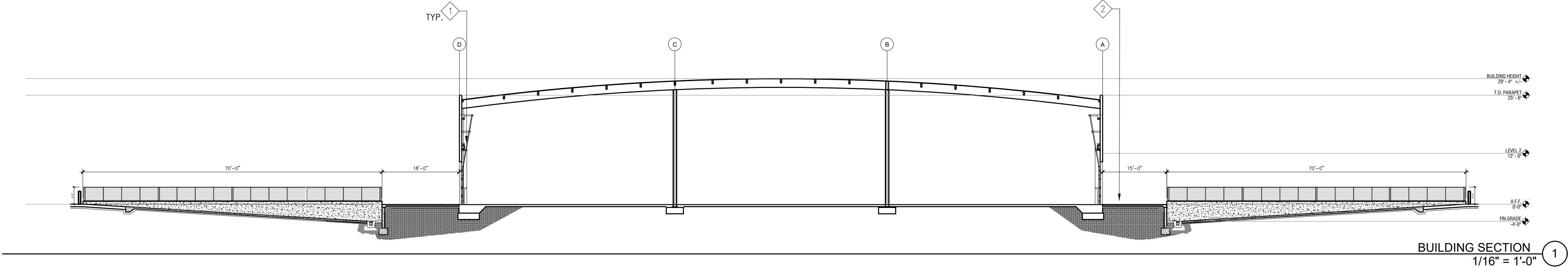
SHEET NO.

A301

February 06, 2024

SUBMITTAL SET
02/06/2024

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#	ELEVATIONS & SECTION KEYNOTES
1	9'-0" X 10'-0" VERTICAL LIFT DOOR WITH DOCK BUMPERS, TYP.
2	LOADING DOCKS

22.84.010 - Purpose.

The Green Zone Districts are established to promote environmental justice in communities that are disproportionately affected by toxic pollutants and contaminants generated from various land uses over time. This Chapter provides regulations and procedures for new and existing land uses to ensure that such land uses will be operated in consideration of the surrounding sensitive uses as defined in [Chapter 22.14](#) (Definitions), minimizing potential adverse health and safety impacts, and promoting clean industrial uses. The Green Zone Districts are identified as the unincorporated communities of Avocado Heights, East Los Angeles, East Rancho Dominguez, Florence-Firestone, South San Jose Hills, West Whittier-Los Nietos, Walnut Park, West Athens-Westmont, Willowbrook, West Carson, and West Rancho Dominguez-Victoria.

([Ord. 2022-0023 § 25, 2022.](#))

22.84.020 - Applicability.

- A. General Applicability. This Chapter applies to uses that are located in permitted zones within the Green Zone Districts, as depicted on Figure 22.84.050-A, and meet all criteria described below:
- Types of uses.
 - New and existing, legally-established uses listed under the Industrial Uses category, except for the airport-related sub-category, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), including airports, heliports, helistops, and landing strips.
 - New and existing, legally-established uses listed under Recycling and Solid Waste Uses category in Table 22.22.030-B (Principal Use Regulations for Industrial Zones).
 - New and existing, legally-established uses listed under the Vehicle-Related Uses, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), except for the vehicle sales and rentals sub-category. Supply stores under the vehicle services sub-category that are within fully enclosed buildings are also not subject to this Chapter.
 - New automobile service stations and new drive-through establishments as defined in [Chapter 22.14](#) (Definitions), listed in Table 22.20.030-B (Principal Use Regulations for Commercial Zones).
 - Location of uses.
 - Any lots, or portion thereof, that contain the uses described in Subsections 1.a, 1.b, 1.c, or 1.d, above, and are located within a 500-foot radius of a lot that contains a sensitive use as defined in [Chapter 22.14](#) (Definitions) as of the effective date of this ordinance, shall comply with the requirements in sections 22.84.030, 22.84.040, and 22.84.050, below.
 - For the purpose of this Chapter, all requirements shall also apply to such lots, or portions thereof, if the sensitive use within a 500-foot radius is located within an incorporated area and is also a residential use.
 - Prohibited uses. The following uses are prohibited within a 500-foot radius of a lot containing a sensitive use in Green Zone Districts, except where noted:
 - Acid manufacture.
 - Anaerobic digestion facility, except as an accessory to a legally-established use that processes waste generated on-site only.
 - Auto dismantling (outdoor operation).
 - Cement, lime, gypsum, or plaster of Paris manufacture.
 - Chipping and grinding.
 - Combustion or non-combustion biomass conversion facility, except for a non-combustion biomass conversion facility that processes waste generated on-site only.
 - Composting facility, except for green waste composting only.
 - Compressed natural gas manufacture.
 - Construction and demolition facility, recycling.
 - Conversion technology facility, recycling, or solid waste.
 - Distillation of bones.
 - Drop hammers.
 - Explosives.
 - Forging works.
 - Fertilizer manufacture, except accessory composting of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Gas manufacture, except accessory anaerobic digestion of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Glue manufacture.
 - Inert Debris landfills.
 - Inert Debris processing facilities, recycling.
 - Materials recovery facilities, new.
 - Metal plating (prohibited within a 1,000-foot radius of a lot containing a sensitive use in Green Zone Districts).
 - Polymer plastics and foam manufacture.
 - scrap metal yards (outdoor operation).
 - Smelting of tin, copper, zinc or iron ores.
 - Solid waste landfills.
 - Tannery or the curing or storage of raw hides.
 - Transfer stations.
 - Schedule for compliance. Existing structures or development for the uses subject to this Chapter shall comply with the applicable provisions of this Chapter, pursuant to [Section 22.84.040](#) (Schedule for Compliance for Existing, Legally-Established Uses), below.
 - Exemption. Notwithstanding Subsection 1.a, above, this Chapter shall not apply to the following:
 - Any existing, legally-established uses that have been operating with an approved discretionary land use permit as provided by this [Title 22](#), until the expiration date of such permit or until a new discretionary permit is required.
 - Any existing, legally-established automobile service station, for which a valid building permit has been issued prior to the effective date of this ordinance.
- B. Exceptions.
- When in conflict with other provisions of [Title 22](#), the more restrictive requirements shall apply.

- Improvements made pursuant to this Chapter shall not be subject to [Chapter 22.172](#) (Nonconforming Uses, Buildings, and Structures).
([Ord. 2022-0023 § 25, 2022.](#))

22.84.030 - Standards and Requirements for Specific Uses.

- A. Application Requirements.
- The following uses shall require a Conditional Use Permit ([Chapter 22.158](#)) within a 500-foot radius of a lot containing a sensitive use in the Green Zone Districts as measured from any lot line.
 - Industrial Uses.
 - Assembly, manufacture, packaging, and storage of finished or prepared materials, including on-site manufacture of raw, natural, or synthesized flammable or toxic chemicals:
 - Earthen products, including ceramics, sand, and stone, but excluding brick, terra cotta, and tile manufacture.
 - Precious and semi-precious metal products, including jewelry and lapidary.
 -
 -
 - Food processing:
 - Breweries.
 - Dairy products depots.
 - Slaughtering, dressing, processing, packing, and sale of poultry, fowl, rabbits, and other similar animals of comparable nature, form, and size.
 - Starch mixing and bottling.
 - Laundries and cleaning services, such as rug and carpet cleaning plants.
 - Manufacturing:
 - Blacksmith shops.
 - Boat building.
 - Concrete batching plants, mixers of one cubic yard capacity or smaller.
 - Engraving, machine metal engraving.
 - Fabricating.
 - Ice manufacturing, distribution, and storage.
 - Lubricating oil canning and packaging, limited to 100 barrels stored aboveground at a time.
 - Lumberyard.
 - Machine shops.
 - Paint mixing, excluding lacquers and synthetic enamels.
 - Presses, hydraulic presses for the molding of plastics.
 - Refrigeration plants.
 - Sand, the washing of sand to be used in sandblasting.
 - Sheet metal shops.
 - Stone, marble and granite; including grinding, dressing, and cutting.
 - Recycling and Solid Waste uses, including auto dismantling/recycling (indoor operation), and scrap metal (indoor operation).
 - Storage:
 -
 - Boat storage.
 - Building materials.
 - Bus storage.
 - Car barns for buses and streetcars.
 - Cold storage plants.
 - Contractor's equipment yards, including farm and building trade equipment.
 - Distributing plants.
 - Draying yards or terminals.
 - Fuel yards.
 - Machinery storage yards.
 - Moving van storage or operating yards.
 - Plaster storage.
 - Produce yards and terminals.
 - Storage and rental of plows, tractors, buses, contractor's equipment, and cement mixers.
 - Truck and RV storage, including container storage.
 - Warehouses, including storage warehouses, which have a gross floor area of 100,000 square feet or greater.
 - Waste hauler vehicle or waste hauler container storage.
 - Wood yards.
 - Tire retreading or recapping.
 - Valves, storage and repair of; including oil well valves.
 - Welding.
- B. Vehicle-Related Uses:
- Automobile washing, automatic car wash.
 - Automobile washing, coin-operated, or hand wash.
 - Vehicle services, automobile body and fender repair, and paint shops.
 - Vehicle services, automobile impound, and tow yards.
 - Vehicle services, automobile painting, and upholstering shops.
 - Vehicle services, any automobile repair garages that have accessory uses.
 -

Assembly, manufacture, packaging, and storage of finished or prepared materials, provided that no manufacturing of raw natural or synthesized materials, including flammable or toxic chemicals, is conducted on-site. Metal products and parts; including the fabricating, engraving, spinning, storing, plating, and finishing of, where the use prohibits snap riveting and any process used in bending or shaping, which produces any audible nuisance or disagreeable noise, is prohibited. Use of perchloric acid is prohibited. Use excludes foundries and forging works.

- Vehicle services, new automobile service stations, including compressed natural gas filling stations.
- Vehicle services, automobile supply stores (outdoor only).
- New development, change of use, or major improvements proposed on a site that is partially or entirely located within a half-mile radius of the boundaries of Superfund Sites, as identified in the Environmental Protection Agency (EPA) National Priorities List. For these uses, an environmental site assessment (Phase 1 Study) shall be submitted.
- Projects that propose grading. Where grading is proposed for a project subject to a Conditional Use Permit, such projects must comply with all federal, State, and local laws with regard to protection of Tribal Cultural Resources.
 - All other types of industrial or vehicle-related uses subject to this Chapter shall require a Ministerial Site Plan Review ([Chapter 22.186](#)) or Minor Conditional Use Permit ([Chapter 22.160](#)) application in compliance with this Section.
 - All uses subject to a Conditional Use Permit may be required to submit a noise evaluation report and control plans for odor, dust, and vibration prepared by a licensed professional at the request of Public Health. Mitigation measures, if required, shall be approved by Public Health prior to the permit being finalized.
- B. Additional Findings. When a Conditional Use Permit ([Chapter 22.158](#)) is required by this Section, or a Minor Conditional Use Permit ([Chapter 22.160](#)) is required by [Title 22](#), the following additional findings must be made in addition to the Conditional Use Permit findings required in Section 22.158.050.B (Findings and Decision) or Minor Conditional Use Permit findings in [Section 22.160.050](#) (Findings and Decision):
- The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property;
 - The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses; and
 - The proposed use and development of land protects public health and safety and promotes environmental sustainability.
- C. Development Standards.
- Development Standards for All Uses Subject to this Chapter.
 - Solid walls.
 - The following uses shall provide solid walls along the street frontage and any other lot lines adjoining a lot containing sensitive uses:
 - Boat storage.
 - Bus storage.
 - Organic waste facilities.
 - Pallet yards.
 - Recycling collection facilities.
 - Recycling processing facilities.
 - Truck and RV storage.
 - Uses that have accessory uses or secondary, related activities other than parking occurring outdoors.
 - Required solid walls shall meet the following standards:
 - Be of a uniform height between eight and 12 feet;
 - Be of a minimum thickness of six inches;
 - Be a neutral color; and
 - Be constructed in workmanlike manner and consist of materials such as concrete masonry unit ("CMU") or masonry, brick, etc.
 - Any type of fencing or wire is prohibited, except that metal gates may be permitted for the purpose of vehicular access.
 - Landscaping on street frontage. Required solid walls along street frontages shall be set back by landscaping of a minimum of five feet in depth, as described below, unless the landscaping encroaches into the required existing parking spaces and associated maneuvering areas, or existing building or structures. The landscaping shall be verified on a landscaping plan submitted to the Department and consist of the following:
 - One 15-gallon tree for every 100 square feet of landscaped area shall be planted and spaced 10 feet apart. The remaining area shall also be landscaped with grass, shrubs, or bushes, etc. All plants provided for required landscaping shall be drought-tolerant and include only non-invasive plant species.
 - The landscaping shall be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Trees shall be planted in locations that maintain the required lines of sight for safe pedestrian and vehicular movement and shall not cause root damage to the sidewalk or other public infrastructure, to the satisfaction of Public Works.
 - Trees planted near buildings or fire lanes shall be placed in locations that do not adversely impact the Fire Department operations or response times, to the satisfaction of the Fire Department.
 - Trees shall be selected from the Tree Species List maintained by the Director.
 - Landscaping equipment used for maintenance, such as lawn mowers and leaf blowers, shall be electric and non-combustion powered.
 - Notwithstanding [Chapter 12.84](#) (Low Impact Development Standards) of the County Code, parcels subject to this [Chapter 22.84](#) (Green Zone Districts) and less than one acre in size shall not be exempt from Low Impact Development requirements.
 - Storage of Materials, Vehicles, or Equipment.
 - Any materials, vehicles, or equipment that are stored outdoors shall not exceed the height of the surrounding wall, shall be fully contained within the property boundaries, and shall not spill over onto public rights-of-way.
 - Stored materials shall be set back at least 10 feet from the wall or the length equal to the wall height, whichever is greater.
 - The area between the stored materials and the wall may be landscaped.
- Enclosures.

- Any area used for storage or handling of hazardous materials, including above-ground storage tanks, shall be within an enclosure and fully screened from the public right-of-way;
 - A completely enclosed building shall be provided for the following, unless another regulatory agency requires natural ventilation as part of the regulatory code:
 - Any area where manufacturing or repair work occurs, such as assembly or disassembly of parts, repairs, processing of materials, or operation of equipment that emits or generates dust, smoke, gas, fumes, cinder, or waste; or
 - Recycling processing facilities, including auto dismantling activity, and scrap metal crushing and shredding.
 - Auto dismantling activity, and scrap metal crushing and shredding, shall be placed furthest away from nearby sensitive uses as possible and be fully enclosed within a building.
 - The garage door or opening of the enclosed building for auto dismantling activity, and scrap metal crushing and shredding, shall face the opposite direction of the nearest sensitive use and may be kept open during operation for ventilation.
- Ancillary operations, storage, and parking, aside from auto dismantling activity, and scrap metal crushing and shredding, may be conducted outdoors, provided that it is fully contained within the property boundaries and no storage or operation occurs on adjacent public rights-of-way or neighboring properties.
- Surfacing. Areas designated for vehicle parking, vehicle circulation, or storage of materials or equipment shall be paved with impervious materials such as an asphalt or an oil and aggregate mixture, use light color pavement, and be maintained to the satisfaction of the Director. Paved areas shall be clustered to maximize pervious area. Alternative paving materials may be permitted to the satisfaction of the Director and Public Works.
 - All areas of broken concrete or asphalt, including, but not limited to, divots, cracks, potholes, and spalling of concrete or asphalt in the raw material receiving area of a recycling processing facility, or any portion of the facility where waste materials are unloaded and touch the ground outside of an enclosure, shall be patched, repaired, or repaved as necessary to prevent standing water or puddles with a surface area greater than one square foot from accumulating.
 - Recycling and Solid Waste Storage. Any trash receptacles or storage areas for recycling and solid waste shall meet the requirements set forth in [Chapter 22.132](#) (Storage Enclosure Requirements for Recycling and Solid Waste).
 - Vehicular access and on-site circulation for cars and trucks. For new uses, driveway entrances and exits shall be located as far away from sensitive uses as feasible, and on-site vehicular circulation and truck loading and unloading areas, including truck loading docks, shall be located in the rear or on the side of structures, or as far away from the nearest sensitive use as feasible, to the satisfaction of the Director. Queuing and check-in points for trucks must be located on-site and furthest away from any property lines that are closest to any nearby sensitive use, when feasible. In cases of infeasibility for uses subject to a Conditional Use Permit, an additional finding must be made to justify why this may not be possible.
 - "No Idling" Sign Required. Where loading spaces are provided, the loading area shall include at least one sign stating that vehicle idling shall be limited to five minutes. Graphics related to the vehicle idle limitation are permitted on said sign. Said sign shall be a minimum size of 12 inches wide by 18 inches in height and shall be prominently displayed and visible from the loading spaces/area. Said sign may contain language such as "5-minute idle limit," "spare the air," "please turn off engine when stopped," or similar language.
 - Accessory Structures and Utilities. A site that contains an outdoor operation with an office shall permanently affix the building to the ground and provide one toilet that is served by public water and sewer, or otherwise approved by the Director, as well as by Public Health and Public Works.
 - Perimeter Identification Signs. In addition to the signs permitted by [Chapter 22.114](#) (Signs), and notwithstanding any contrary provisions in Division 10 (Community Standards Districts) in [Title 22](#), each facility or site shall provide a perimeter identification sign that complies with the following:
 - A perimeter identification sign shall be permanently affixed on a building or wall that is visible, and with text that is legible from the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. Freestanding signs or portable signs are prohibited as a perimeter identification sign.
 - A perimeter identification sign shall have a minimum sign area of four square feet and a maximum of nine square feet. The area for a perimeter identification sign shall not be accounted for in the area permitted for business signs specified in [Chapter 22.114](#) (Signs).
 - The perimeter identification sign shall permanently display hours of operation, telephone number of the facility representative, and emergency contact information for reporting any problems which may occur related to the operation of the facility 24 hours a day, seven days a week. The sign shall also include the business name unless the property also contains a separate business sign that is clearly visible from the public right-of-way. The sign shall also include instructions for reporting violations to the Department and Air Quality Management District (AQMD), where a use is also regulated by AQMD. Information for reporting violations shall include the following text, or as updated by the Department or South Coast Air Quality Management District (SCAQMD):
 - "To report a violation to the Los Angeles County Department of Regional Planning, call 213-974-6453 Monday—Thursday, 7 a.m. - 6 p.m., dial 2-1-1 at any time or email zoningenforcement@planning.lacounty.gov," and
 - "To report a violation to South Coast Air Quality Management District (SCAQMD), call 1-800-CUTSMOG or visit www.aqmd.gov."
 - Multi-tenant buildings or sites may provide one such sign containing the information for all tenants listed in Subsection C.1.iii, above, provided that each tenant has its own business identification sign that is clearly visible from the public right-of-way.
 - Hazardous sites. Any proposed project on a parcel known to be a hazardous property or listed on the Cortese List maintained by the California EPA shall provide appropriate federal, State, or local agency clearance letter for the site. In addition, any parcel known to

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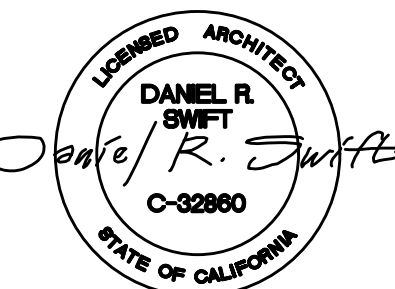


PROJECT: REXFORD INDUSTRIAL REALTY

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GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



GREEN ZONE DEVELOPMENT
STANDARDS

SHEET NO. G001

February 06, 2024

SUBMITTAL SET
02/06/2024

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22.84.010 - Purpose.

The Green Zone Districts are established to promote environmental justice in communities that are disproportionately affected by toxic pollutants and contaminants generated from various land uses over time. This Chapter provides regulations and procedures for new and existing land uses to ensure that such land uses will be operated in consideration of the surrounding sensitive uses as defined in [Chapter 22.14](#) (Definitions), minimizing potential adverse health and safety impacts, and promoting clean industrial uses. The Green Zone Districts are identified as the unincorporated communities of Avocado Heights, East Los Angeles, East Rancho Dominguez, Florence-Firestone, South San Jose Hills, West Whittier-Los Nietos, Walnut Park, West Athens-Westmont, Willowbrook, West Carson, and West Rancho Dominguez-Victoria.

([Ord. 2022-0023 § 25, 2022.](#))

22.84.020 - Applicability.

- A. General Applicability. This Chapter applies to uses that are located in permitted zones within the Green Zone Districts, as depicted on Figure 22.84.050-A, and meet all criteria described below:
- Types of uses.
 - New and existing, legally-established uses listed under the Industrial Uses category, except for the airport-related sub-category, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), including airports, heliports, helistops, and landing strips.
 - New and existing, legally-established uses listed under Recycling and Solid Waste Uses category in Table 22.22.030-B (Principal Use Regulations for Industrial Zones).
 - New and existing, legally-established uses listed under the Vehicle-Related Uses, in Table 22.22.030-B (Principal Use Regulations for Industrial Zones), except for the vehicle sales and rentals sub-category. Supply stores under the vehicle services sub-category that are within fully enclosed buildings are also not subject to this Chapter.
 - New automobile service stations and new drive-through establishments as defined in [Chapter 22.14](#) (Definitions), listed in Table 22.20.030-B (Principal Use Regulations for Commercial Zones).
 - Location of uses.
 - Any lots, or portion thereof, that contain the uses described in Subsections 1.a, 1.b, 1.c, or 1.d, above, and are located within a 500-foot radius of a lot that contains a sensitive use as defined in [Chapter 22.14](#) (Definitions) as of the effective date of this ordinance, shall comply with the requirements in sections 22.84.030, 22.84.040, and 22.84.050, below.
 - For the purpose of this Chapter, all requirements shall also apply to such lots, or portions thereof, if the sensitive use within a 500-foot radius is located within an incorporated area and is also a residential use.
 - Prohibited uses. The following uses are prohibited within a 500-foot radius of a lot containing a sensitive use in Green Zone Districts, except where noted:
 - Acid manufacture.
 - Anaerobic digestion facility, except as an accessory to a legally-established use that processes waste generated on-site only.
 - Auto dismantling (outdoor operation).
 - Cement, lime, gypsum, or plaster of Paris manufacture.
 - Chipping and grinding.
 - Combustion or non-combustion biomass conversion facility, except for a non-combustion biomass conversion facility that processes waste generated on-site only.
 - Composting facility, except for green waste composting only.
 - Compressed natural gas manufacture.
 - Construction and demolition facility, recycling.
 - Conversion technology facility, recycling, or solid waste.
 - Distillation of bones.
 - Drop hammers.
 - Explosives.
 - Forging works.
 - Fertilizer manufacture, except accessory composting of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Gas manufacture, except accessory anaerobic digestion of on-site generated waste associated with a legally-established commercial or agricultural use.
 - Glue manufacture.
 - Inert Debris landfills.
 - Inert Debris processing facilities, recycling.
 - Materials recovery facilities, new.
 - Metal plating (prohibited within a 1,000-foot radius of a lot containing a sensitive use in Green Zone Districts).
 - Polymer plastics and foam manufacture.
 - scrap metal yards (outdoor operation).
 - Smelting of tin, copper, zinc or iron ores.
 - Solid waste landfills.
 - Tannery or the curing or storage of raw hides.
 - Transfer stations.
 - Schedule for compliance. Existing structures or development for the uses subject to this Chapter shall comply with the applicable provisions of this Chapter, pursuant to [Section 22.84.040](#) (Schedule for Compliance for Existing, Legally-Established Uses), below.
 - Exemption. Notwithstanding Subsection 1.a, above, this Chapter shall not apply to the following:
 - Any existing, legally-established uses that have been operating with an approved discretionary land use permit as provided by this [Title 22](#), until the expiration date of such permit or until a new discretionary permit is required.
 - Any existing, legally-established automobile service station, for which a valid building permit has been issued prior to the effective date of this ordinance.
- B. Exceptions.
- When in conflict with other provisions of [Title 22](#), the more restrictive requirements shall apply.

- Improvements made pursuant to this Chapter shall not be subject to [Chapter 22.172](#) (Nonconforming Uses, Buildings, and Structures).
([Ord. 2022-0023 § 25, 2022.](#))

22.84.030 - Standards and Requirements for Specific Uses.

- A. Application Requirements.
- The following uses shall require a Conditional Use Permit ([Chapter 22.158](#)) within a 500-foot radius of a lot containing a sensitive use in the Green Zone Districts as measured from any lot line.
 - Industrial Uses.
 - Assembly, manufacture, packaging, and storage of finished or prepared materials, including on-site manufacture of raw, natural, or synthesized flammable or toxic chemicals:
 - Earthen products, including ceramics, sand, and stone, but excluding brick, terra cotta, and tile manufacture.
 - Precious and semi-precious metal products, including jewelry and lapidary.
 -
 -
 - Food processing:
 - Breweries.
 - Dairy products depots.
 - Slaughtering, dressing, processing, packing, and sale of poultry, fowl, rabbits, and other similar animals of comparable nature, form, and size.
 - Starch mixing and bottling.
 - Laundries and cleaning services, such as rug and carpet cleaning plants.
 - Manufacturing:
 - Blacksmith shops.
 - Boat building.
 - Concrete batching plants, mixers of one cubic yard capacity or smaller.
 - Engraving, machine metal engraving.
 - Fabricating.
 - Ice manufacturing, distribution, and storage.
 - Lubricating oil canning and packaging, limited to 100 barrels stored aboveground at a time.
 - Lumberyard.
 - Machine shops.
 - Paint mixing, excluding lacquers and synthetic enamels.
 - Presses, hydraulic presses for the molding of plastics.
 - Refrigeration plants.
 - Sand, the washing of sand to be used in sandblasting.
 - Sheet metal shops.
 - Stone, marble and granite; including grinding, dressing, and cutting.
 - Recycling and Solid Waste uses, including auto dismantling/recycling (indoor operation), and scrap metal (indoor operation).
 - Storage:
 -
 - Boat storage.
 - Building materials.
 - Bus storage.
 - Car barns for buses and streetcars.
 - Cold storage plants.
 - Contractor's equipment yards, including farm and building trade equipment.
 - Distributing plants.
 - Drying yards or terminals.
 - Fuel yards.
 - Machinery storage yards.
 - Moving van storage or operating yards.
 - Plaster storage.
 - Produce yards and terminals.
 - Storage and rental of plows, tractors, buses, contractor's equipment, and cement mixers.
 - Truck and RV storage, including container storage.
 - Warehouses, including storage warehouses, which have a gross floor area of 100,000 square feet or greater.
 - Waste hauler vehicle or waste hauler container storage.
 - Wood yards.
 - Tire retreading or recapping.
 - Valves, storage and repair of; including oil well valves.
 - Welding.
- B. Vehicle-Related Uses:
- Automobile washing, automatic car wash.
 - Automobile washing, coin-operated, or hand wash.
 - Vehicle services, automobile body and fender repair, and paint shops.
 - Vehicle services, automobile impound, and tow yards.
 - Vehicle services, automobile painting, and upholstering shops.
 - Vehicle services, any automobile repair garages that have accessory uses.
 -

Assembly, manufacture, packaging, and storage of finished or prepared materials, provided that no manufacturing of raw natural or synthesized materials, including flammable or toxic chemicals, is conducted on-site. Metal products and parts; including the fabricating, engraving, spinning, storing, plating, and finishing of, where the use prohibits snap riveting and any process used in bending or shaping, which produces any audible nuisance or disagreeable noise, is prohibited. Use of perchloric acid is prohibited. Use excludes foundries and forging works.

- Vehicle services, new automobile service stations, including compressed natural gas filling stations.
- Vehicle services, automobile supply stores (outdoor only).
 - New development, change of use, or major improvements proposed on a site that is partially or entirely located within a half-mile radius of the boundaries of Superfund Sites, as identified in the Environmental Protection Agency (EPA) National Priorities List. For these uses, an environmental site assessment (Phase 1 Study) shall be submitted.
- Projects that propose grading. Where grading is proposed for a project subject to a Conditional Use Permit, such projects must comply with all federal, State, and local laws with regard to protection of Tribal Cultural Resources.
 - All other types of industrial or vehicle-related uses subject to this Chapter shall require a Ministerial Site Plan Review ([Chapter 22.186](#)) or Minor Conditional Use Permit ([Chapter 22.160](#)) application in compliance with this Section.
 - All uses subject to a Conditional Use Permit may be required to submit a noise evaluation report and control plans for odor, dust, and vibration prepared by a licensed professional at the request of Public Health. Mitigation measures, if required, shall be approved by Public Health prior to the permit being finalized.
- B. Additional Findings. When a Conditional Use Permit ([Chapter 22.158](#)) is required by this Section, or a Minor Conditional Use Permit ([Chapter 22.160](#)) is required by [Title 22](#), the following additional findings must be made in addition to the Conditional Use Permit findings required in [Section 22.158.050.B](#) (Findings and Decision) or Minor Conditional Use Permit findings in [Section 22.160.050](#) (Findings and Decision):
- The proposed use, development of land, and application of development standards are arranged to prevent adverse effects related to odor, noise, aesthetic, soil contamination, and air quality on neighboring property;
 - The proposed use and development of land employ appropriate environmental impact mitigation strategies, such as physical design characteristics, mechanical safeguards, or best practice strategies, including placement of construction equipment as far away from sensitive uses as possible, use of construction equipment that has properly operating and maintained mufflers, use of Zero Emissions construction equipment where feasible, orienting public address systems on-site away from nearby sensitive uses and setting system volume at a level not readily audible past the property line as feasible, and minimizes impacts on nearby sensitive uses; and
 - The proposed use and development of land protects public health and safety and promotes environmental sustainability.
- C. Development Standards.
- Development Standards for All Uses Subject to this Chapter.
 - Solid walls.
 - The following uses shall provide solid walls along the street frontage and any other lot lines adjoining a lot containing sensitive uses:
 - Boat storage.
 - Bus storage.
 - Organic waste facilities.
 - Pallet yards.
 - Recycling collection facilities.
 - Recycling processing facilities.
 - Truck and RV storage.
 - Uses that have accessory uses or secondary, related activities other than parking occurring outdoors.
 - Required solid walls shall meet the following standards:
 - Be of a uniform height between eight and 12 feet;
 - Be of a minimum thickness of six inches;
 - Be a neutral color; and
 - Be constructed in workmanlike manner and consist of materials such as concrete masonry unit ("CMU") or masonry, brick, etc.
 - Any type of fencing or wire is prohibited, except that metal gates may be permitted for the purpose of vehicular access.
 - Landscaping on street frontage. Required solid walls along street frontages shall be set back by landscaping of a minimum of five feet in depth, as described below, unless the landscaping encroaches into the required existing parking spaces and associated maneuvering areas, or existing building or structures. The landscaping shall be verified on a landscaping plan submitted to the Department and consist of the following:
 - One 15-gallon tree for every 100 square feet of landscaped area shall be planted and spaced 10 feet apart. The remaining area shall also be landscaped with grass, shrubs, or bushes, etc. All plants provided for required landscaping shall be drought-tolerant and include only non-invasive plant species.
 - The landscaping shall be maintained in a healthy condition with appropriate watering, pruning, weeding, fertilizing, and litter removal. Trees shall be planted in locations that maintain the required lines of sight for safe pedestrian and vehicular movement and shall not cause root damage to the sidewalk or other public infrastructure, to the satisfaction of Public Works.
 - Trees planted near buildings or fire lanes shall be placed in locations that do not adversely impact the Fire Department operations or response times, to the satisfaction of the Fire Department.
 - Trees shall be selected from the Tree Species List maintained by the Director.
 - Landscaping equipment used for maintenance, such as lawn mowers and leaf blowers, shall be electric and non-combustion powered.
 - Notwithstanding [Chapter 12.84](#) (Low Impact Development Standards) of the County Code, parcels subject to this [Chapter 22.84](#) (Green Zone Districts) and less than one acre in size shall not be exempt from Low Impact Development requirements.
 - Storage of Materials, Vehicles, or Equipment.
 - Any materials, vehicles, or equipment that are stored outdoors shall not exceed the height of the surrounding wall, shall be fully contained within the property boundaries, and shall not spill over onto public rights-of-way.
 - Stored materials shall be set back at least 10 feet from the wall or the length equal to the wall height, whichever is greater.
 - The area between the stored materials and the wall may be landscaped.
- Enclosures.

- Any area used for storage or handling of hazardous materials, including above-ground storage tanks, shall be within an enclosure and fully screened from the public right-of-way;
 - A completely enclosed building shall be provided for the following, unless another regulatory agency requires natural ventilation as part of the regulatory code:
 - Any area where manufacturing or repair work occurs, such as assembly or disassembly of parts, repairs, processing of materials, or operation of equipment that emits or generates dust, smoke, gas, fumes, cinder, or waste; or
 - Recycling processing facilities, including auto dismantling activity, and scrap metal crushing and shredding.
 - Auto dismantling activity, and scrap metal crushing and shredding, shall be placed furthest away from nearby sensitive uses as possible and be fully enclosed within a building.
 - The garage door or opening of the enclosed building for auto dismantling activity, and scrap metal crushing and shredding, shall face the opposite direction of the nearest sensitive use and may be kept open during operation for ventilation.
- Ancillary operations, storage, and parking, aside from auto dismantling activity, and scrap metal crushing and shredding, may be conducted outdoors, provided that it is fully contained within the property boundaries and no storage or operation occurs on adjacent public rights-of-way or neighboring properties.
- Surfacing. Areas designated for vehicle parking, vehicle circulation, or storage of materials or equipment shall be paved with impervious materials such as an asphalt or an oil and aggregate mixture, use light color pavement, and be maintained to the satisfaction of the Director. Paved areas shall be clustered to maximize pervious area. Alternative paving materials may be permitted to the satisfaction of the Director and Public Works.
 - All areas of broken concrete or asphalt, including, but not limited to, divots, cracks, potholes, and spalling of concrete or asphalt in the raw material receiving area of a recycling processing facility, or any portion of the facility where waste materials are unloaded and touch the ground outside of an enclosure, shall be patched, repaired, or repaved as necessary to prevent standing water or puddles with a surface area greater than one square foot from accumulating.
 - Recycling and Solid Waste Storage. Any trash receptacles or storage areas for recycling and solid waste shall meet the requirements set forth in [Chapter 22.132](#) (Storage Enclosure Requirements for Recycling and Solid Waste).
 - Vehicular access and on-site circulation for cars and trucks. For new uses, driveway entrances and exits shall be located as far away from sensitive uses as feasible, and on-site vehicular circulation and truck loading and unloading areas, including truck loading docks, shall be located in the rear or on the side of structures, or as far away from the nearest sensitive use as feasible, to the satisfaction of the Director. Queuing and check-in points for trucks must be located on-site and furthest away from any property lines that are closest to any nearby sensitive use, when feasible. In cases of infeasibility for uses subject to a Conditional Use Permit, an additional finding must be made to justify why this may not be possible.
 - "No Idling" Sign Required. Where loading spaces are provided, the loading area shall include at least one sign stating that vehicle idling shall be limited to five minutes. Graphics related to the vehicle idle limitation are permitted on said sign. Said sign shall be a minimum size of 12 inches wide by 18 inches in height and shall be prominently displayed and visible from the loading spaces/area. Said sign may contain language such as "5-minute idle limit," "spare the air," "please turn off engine when stopped," or similar language.
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 - Perimeter Identification Signs. In addition to the signs permitted by [Chapter 22.114](#) (Signs), and notwithstanding any contrary provisions in Division 10 (Community Standards Districts) in [Title 22](#), each facility or site shall provide a perimeter identification sign that complies with the following:
 - A perimeter identification sign shall be permanently affixed on a building or wall that is visible, and with text that is legible from the public right-of-way for pedestrians, and no higher than eight feet from the ground measured vertically from the base of the sign. Freestanding signs or portable signs are prohibited as a perimeter identification sign.
 - A perimeter identification sign shall have a minimum sign area of four square feet and a maximum of nine square feet. The area for a perimeter identification sign shall not be accounted for in the area permitted for business signs specified in [Chapter 22.114](#) (Signs).
 - The perimeter identification sign shall permanently display hours of operation, telephone number of the facility representative, and emergency contact information for reporting any problems which may occur related to the operation of the facility 24 hours a day, seven days a week. The sign shall also include the business name unless the property also contains a separate business sign that is clearly visible from the public right-of-way. The sign shall also include instructions for reporting violations to the Department and Air Quality Management District (AQMD), where a use is also regulated by AQMD. Information for reporting violations shall include the following text, or as updated by the Department or South Coast Air Quality Management District (SCAQMD):
 - "To report a violation to the Los Angeles County Department of Regional Planning, call 213-974-6453 Monday—Thursday, 7 a.m. - 6 p.m., dial 2-1-1 at any time or email zoningenforcement@planning.lacounty.gov," and
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 - Multi-tenant buildings or sites may provide one such sign containing the information for all tenants listed in Subsection C.1.iii, above, provided that each tenant has its own business identification sign that is clearly visible from the public right-of-way.
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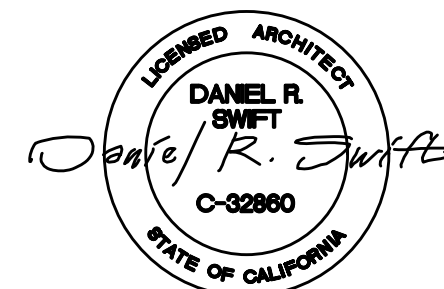


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SHEET TITLE
GREEN ZONE DEVELOPMENT
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SHEET NO. G001

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have a previous use that potentially generated hazardous materials shall demonstrate that the site is clear of contamination with a Phase 1 study.

2. New Development or Proposed Expansions to Existing, Legally-Established Uses Adjacent to Sensitive Uses.
- a. Building setback. A minimum of a 10-foot setback shall be provided along the property lines adjacent to sensitive uses. Any proposed additions above the ground floor of existing, legally-established uses adjacent to sensitive uses shall also be set back 10 feet from the nearest property line.
- b. Building height. Any new building or structures, or any portion proposed for additions, excluding chimneys, rooftop antennas, roof-mounted solar panels, or other rooftop equipment including HVAC units, air purifiers, etc., shall set back the portion of the building or structure one additional foot for every foot above 35 feet in height, up to a maximum height of 45 feet.
3. Standards for Specific Uses. In addition to Subsection C.1 and C.2, above, the following standards shall apply to the uses listed below on the effective date of this ordinance, unless otherwise specified.
- a. Automobile and vehicle repair shops. No open vehicle hood is permitted outside of the building.
- b. New automobile service stations, including compressed natural gas filling stations:
- i. Are exempt from Subsection C.1, above.
- ii. Shall locate the gasoline or fuel dispensing areas at least 50 feet from the nearest sensitive uses.
- c. Warehouses. The following standards apply to new warehouses. The following standards, except for Subsection vi, below, apply to existing warehouses, and shall be met within five years of the effective date of this ordinance.
- i. Utilize electric or alternatively fueled sweepers with HEPA filters.
- ii. Utilize Energy Star heating, cooling, and lighting devices, and appliances.
- iii. Off-road equipment. All off-road equipment (non-street legal), such as forklifts and other machinery, used on-site for warehouse operations shall be powered by alternative fuels, electrical batteries, or other alternative/non-diesel fuels (e.g., propane) that do not emit diesel particulate matter, and that are zero or low-emission.
- iv. Landscaping equipment. All landscaping equipment, such as lawn mowers and leaf blowers used on-site shall be electrically powered.
- v. Zero-emission or near-zero emission trucks. Warehouses with a minimum gross floor area of 100,000 square feet shall comply with AQMD Rule 2305 or current standards.
- vi. New warehouses shall have a minimum 100-foot buffer consisting of office space, employee parking, and/or landscaping between primary operation and lot lines that are closest to nearby sensitive uses.
- d. New drive-through establishments. The following standards shall apply to new drive-through establishments only:
- i. Compliance with the requirements set forth in Subsection C.2.a, above.
- ii. A maintenance plan shall be submitted as part of the Conditional Use Permit application, to the satisfaction of the Director, and the drive-through establishment shall comply with the maintenance plan.
- iii. The location of the drive-through area, including cashier microphone, speakers, and drive-through lane, shall be located at least 20 feet from the property line of any adjoining residentially-zoned lot, and speakers and lighted menus shall be oriented away from such lots.
- iv. Hours of operation for the drive-through area shall be no earlier than 6:00 a.m. and no later than 12:00 a.m.
- v. A buffer, which may include a six-foot solid wall, as depicted on the site plan, shall be provided to reduce noise trespass from the drive-through area to any adjoining residentially-zoned lot.
- vi. The required trash bin shall be enclosed by a decorative wall measuring at least five feet tall, but not more than six feet tall, and shall have solid doors.

D. Modification.

1. A modification may be requested through a Minor Conditional Use Permit (Chapter 22.160) application if the use is subject to a Minor Conditional Use Permit or Site Plan Review (Chapter 22.186), or through a Conditional Use Permit (Chapter 22.158) application if the use requires a Conditional Use Permit, for the development standards listed below:
- a. Solid walls (Subsection C.1.a.ii).
- b. Landscaping (Subsection C.1.b.i).
- c. Accessory Structures and Utilities (Subsection C.1.i).
- d. Signs (Subsection C.1.j.ii).
- e. Warehouses (Subsections C.3.c.iii, iv, v, and vi).
2. When a modification is requested for any development standards listed in Subsection D.1, above, the following findings must be made in addition to the findings required in Subsection B (Additional Findings), above:
- a.

Due to topographic or physical features of the site, strict compliance with all the required development standards would substantially and unreasonably interfere with the establishment of the proposed project or continuation of the existing operation on the subject property; and

- b. The requested modification provides alternative means to prevent adverse effects on environment and public health of the community.

E. Performance Standards for All Uses.

1. Hours of outdoor operation. No outdoor operation or activities shall be conducted between 6:00 p.m. and 8:00 a.m., daily, with the exception of truck loading and unloading into an enclosed building only.
2. Storage of Materials and Waste. All materials or waste shall be stored in designated receptacles, bins, or pallets, and located on a paved impermeable surface on site, or within an enclosed building.
3. Site Maintenance. Other than for the collection or receipt of items related to the principal use, exterior areas of the premises shall be maintained free of garbage, trash, debris, or junk and salvage except as stored in designated trash collection containers and enclosures.
- F. Fees. When a Conditional Use Permit (Chapter 22.158) is required, fees may be assessed to offset the costs associated with the project mitigation, enforcement activities, operational impact mitigation studies, community benefit programs, and other costs related to the Project's impacts

on the surrounding communities.

(Ord. 2022-0023 § 25, 2022.)

22.84.040 - Schedule for Compliance for Existing, Legally-Established Uses.

- A. Existing, legally-established uses that are subject to this Chapter shall be brought into compliance with all applicable requirements of this Chapter according to the schedule identified in Table 22.84.040-A, below, as follows, provided that the number of years to comply is accounted from the effective date of this ordinance:

TABLE 22.84.040-A: SCHEDULE FOR COMPLIANCE FOR EXISTING, LEGALLY-ESTABLISHED USES UP TO 500 FEET FROM A SENSITIVE USE ¹			
Permit Required	3 Years	5 Years	7 Years

Due to topographic or physical features of the site, strict compliance with all the required development standards would substantially and unreasonably interfere with the establishment of the proposed project or continuation of the existing operation on the subject property; and

- b. The requested modification provides alternative means to prevent adverse effects on environment and public health of the community.

E. Performance Standards for All Uses.

1. Hours of outdoor operation. No outdoor operation or activities shall be conducted between 6:00 p.m. and 8:00 a.m., daily, with the exception of truck loading and unloading into an enclosed building only.
2. Storage of Materials and Waste. All materials or waste shall be stored in designated receptacles, bins, or pallets, and located on a paved impermeable surface on site, or within an enclosed building.
3. Site Maintenance. Other than for the collection or receipt of items related to the principal use, exterior areas of the premises shall be maintained free of garbage, trash, debris, or junk and salvage except as stored in designated trash collection containers and enclosures.
- F. Fees. When a Conditional Use Permit (Chapter 22.158) is required, fees may be assessed to offset the costs associated with the project mitigation, enforcement activities, operational impact mitigation studies, community benefit programs, and other costs related to the Project's impacts on the surrounding communities.

(Ord. 2022-0023 § 25, 2022.)

22.84.040 - Schedule for Compliance for Existing, Legally-Established Uses.

- A. Existing, legally-established uses that are subject to this Chapter shall be brought into compliance with all applicable requirements of this Chapter according to the schedule identified in Table 22.84.040-A, below, as follows, provided that the number of years to comply is accounted from the effective date of this ordinance:

TABLE 22.84.040-A: SCHEDULE FOR COMPLIANCE FOR EXISTING, LEGALLY-ESTABLISHED USES UP TO 500 FEET FROM A SENSITIVE USE ¹			
Permit Required	3 Years	5 Years	7 Years
SPR for uses up to 100 feet from a Sensitive Use	Installation of any one or both of the following combined and no other improvements: signage, landscaping	Installation of walls, surfacing, or specific standards for warehouses, along with or without any other improvements combined, if new building enclosure is not required	Installation of building enclosure and any other improvements for SPR
SPR for uses between 101—500 feet from a Sensitive Use	N/A	Installation of any one or all improvements, including specific standards for warehouses, if new building enclosure is not required	Installation of building enclosure and any other improvements for SPR
CUP or MCUP for uses up to 100 feet from a Sensitive Use	N/A	CUP or MCUP attainment and installation of any one or all improvements, if new building enclosure is not required; specific standards for warehouses.	Installation of building enclosure and any other improvements for CUPs or MCUPs
CUP or MCUP for uses between 101—500 feet from a Sensitive Use	N/A	N/A	CUP or MCUP attainment and installation of all improvements
Notes:			
1. Section 24.84.030.E (Performance Standards for all Uses), shall apply to existing, legally-established uses at the time of the compliance schedule deadline for the established use.			

1. Existing uses that are entirely or partially within a 100-foot radius of a lot containing a sensitive use in a permitted zone and:
- a. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.b (Landscaping) or C.1.j (Perimeter Identification Signs) of Section 22.84.030, only and no other improvements required, three years;
- b. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for any one or combination of the requirements specified in Subsections C.1.a through C.1.j of Section 22.84.030, except Subsection C.1.b (Landscaping) or C.1.j (Perimeter Identification Signs) alone or in combination, and except for Subsection C.1.d (Building Enclosure), five years;
- c. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.3.c (Standards for Specific Uses, Warehouses) of Section 22.84.030, five years;
- d. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.d (Building Enclosure) only, or Subsection C.1.d along with any other requirements of Section 22.84.030, seven years;
- e. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter for the requirements specified in Subsections C.1.a (Solid walls), C.1.b (Landscaping on street frontage), C.1.j (Perimeter Identification Signs), or C.3.c (Standards for Specific Uses, Warehouses) only, of Section 22.84.030, five years; or
- f. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter for all other requirements, seven years.
2. Existing uses that are entirely or partially located between a 101-foot radius and a 500-foot radius of any lot containing a sensitive use and:
- a.

Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsections C.1.a through C.1.j, except for C.1.d (Building Enclosure) or subject to Subsection C.3.c (Standards for Specific Uses, Warehouses) of Section 22.84.030, five years;

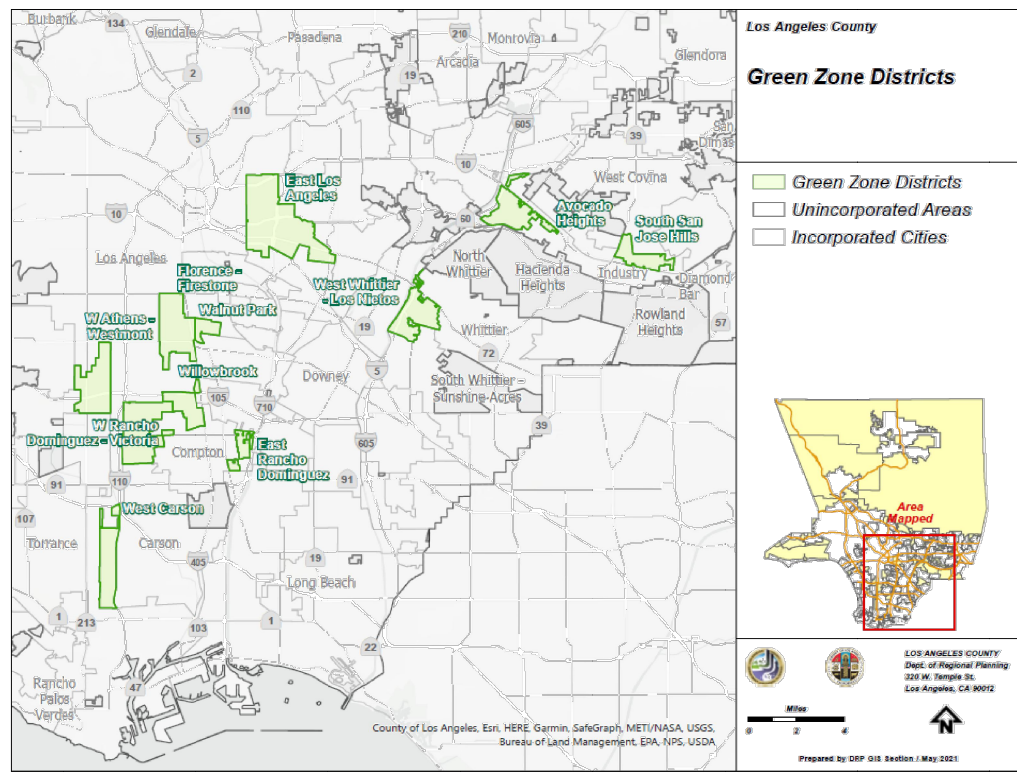
- b. Subject to a Ministerial Site Plan (Chapter 22.186), pursuant to this Chapter for the requirements specified in Subsection C.1.d (Building Enclosure) along with or without any other requirements of Section 22.84.030, seven years; or
- c. Subject to a Conditional Use Permit (Chapter 22.158), pursuant to this Chapter, seven years. Uses that are subject to a Conditional Use Permit, pursuant to this Chapter shall be brought into full compliance with all applicable requirements of this Chapter, no later than no later than seven years from the effective date of the this ordinance, or cease operations.
3. All existing uses that have been operating with an approved discretionary land use permit prior to the effective date of this ordinance, as provided by this Title 22, shall be brought into full compliance with all applicable requirements of this Chapter upon a renewal of such permits or requirement for a new discretionary permit.
4. Compliance shall be defined solely for this Chapter as the implementation and/or construction of all required development standards for uses subject to Chapter 22.84 within the timeframe identified in Table 22.84.040-A. For properties requiring improvements that fall into multiple compliance years, the longer timeline shall apply to all improvements.
5. Prohibited uses shall not be granted any time extension beyond their grant term, and shall not be subject to Chapter 22.172.

(Ord. 2022-0023 § 25, 2022.)

22.84.050 - Green Zone Districts Map.

The boundaries of the Green Zone District communities are shown on Figure 22.84.050-A: Green Zone Districts Boundaries, below.

FIGURE 22.84.050-A: GREEN ZONE DISTRICTS BOUNDARIES



(Ord. 2022-0023 § 25, 2022.)

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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
△	-
LADBS STAMP	

CLIENT:

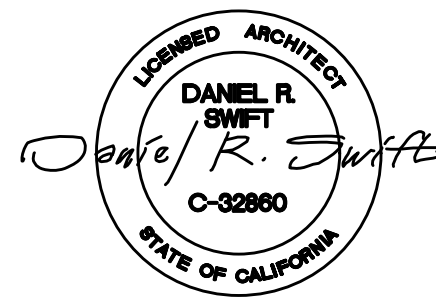


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
GREEN ZONE DEVELOPMENT
STANDARDS

SHEET NO.

G002

February 06, 2024

SUBMITTAL SET
02/06/2024

Chapter 22.350 - WEST RANCHO DOMINGUEZ-VICTORIA COMMUNITY STANDARDS DISTRICT

22.350.010 - Purpose.

The West Rancho Dominguez-Victoria Community Standards District ("CSD") is established to implement the goals and policies of the West Rancho Dominguez-Victoria Land Use Plan and Implementation Program. Furthermore, this Chapter is intended to mitigate potential incompatibilities associated with the close proximity of industrial and residential zoning and land use within this CSD and to enhance the appearance of this CSD by setting forth development and building standards.

(Ord. 2019-0004 § 1, 2019.)

22.350.020 - Definitions.

The following terms are defined solely for this CSD:

Commercial horse stable. A facility used for the business of stabling horses and for services related to the maintenance and care of the horses stabled at the facility.

(Ord. 2019-0004 § 1, 2019.)

22.350.030 - District Map.

The boundaries of this CSD are shown on Figure 22.350-A: West Rancho Dominguez-Victoria CSD Boundary, at the end of this Chapter.

(Ord. 2019-0004 § 1, 2019.)

22.350.040 - Applicability.

(Reserved)

22.350.050 - Application and Review Procedures.

(Reserved)

22.350.060 - Community Wide Development Standards.

A. Graffiti. To encourage the maintenance of exterior walls free from graffiti, the following shall apply to all premises within this CSD:

1. All structures, walls, and fences open to public view shall remain free of graffiti.
- 2.

In the event such graffiti occurs, the property owner, lessee, or agent thereof shall remove such graffiti within 72 hours, weather permitting. Paint utilized in covering such graffiti shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

B. Oil Well Properties. To improve the visual appearance of this CSD, properties containing oil wells where active extraction is taking place shall be fenced and landscaped in accordance with the following requirements:

1. For properties abutting a Residential Zone or a street, a solid masonry wall or solid fence in compliance with Section 22.140.430.C.2 (Fences and Walls) or a fence in compliance with Section 11.48.030 (Fencing Specifications) in Title 11 (Health and Safety) of the County Code shall be erected around each oil well. The wall or fence shall be not less than six feet in height and shall be provided with landscaping in accordance with Section 22.140.430.C.4 (Landscaping Requirements). The required landscaping for any fence erected in compliance with Section 11.48.030 in Title 11 shall be planted so as to completely screen the fence within five years from the date of erection of the fence.

2. All oil well equipment, structures, facilities and sites shall be maintained in good condition and accumulations of trash and debris shall be removed regularly.

C. Commercial Horse Stables.

1. Commercial horse stables and other commercial uses that use horse stables are permitted in Zone M-1.5 and higher. To ensure that these uses are developed and used in a safe and orderly manner and are compatible with existing land use patterns, these uses shall comply with the following:
 - a. Feed Storage Area. The facility shall have a feed storage area sufficient in size to accommodate the feed necessary for all horses kept at the facility and an unblocked, clear path for access to and from such feed storage area;
 - b. Manure Management Area. The facility shall have a manure management area with manure containers stored in a place or direction sufficiently away from the feed storage area and horse stalls to avoid unhealthful conditions for the horses;
 - c. Tack Storage Area. The facility shall have a tack storage area with sufficient space for the storage and maintenance of riding tack for the horses kept at the facility;
 - d. Water Storage Area. Each horse stall in the facility shall have a water storage area with an adequate delivery method of water of sufficient size for the horse kept in that stall;
 - e. Wash Rack Area. The facility shall have a wash rack area sufficient in size to accommodate the number of horses kept at the facility;
 - f. Horse Stall Size and Construction. Each horse stall within the facility shall have a minimum length, height, and width of 12 feet and shall be constructed in a workmanlike manner. The horse stalls shall be constructed of fire-resistant material appropriate for equine

containment facilities. No more than one horse shall be permitted to be stabled in any horse stall;

- g. Horse Stall Access Area. Each horse stall within the facility shall have a minimum access area of 12 feet in width for the ingress and egress and the access area shall be clear and accessible at all times. If the horse stall access area is covered, the cover shall have a minimum height of 12 feet;
- h. Horse Recreation Area.
 - i. For any facility that is not adjacent to a publicly-designated riding area or equestrian trail, the facility shall have a horse recreation area that contains the following:
 - (1) A minimum of one 50-foot diameter round pen for a facility that has a maximum of 25 horse stalls and an additional pen of these dimensions for every additional increment of one to 25 horse stalls at the facility; plus
 - (2) A minimum of one 60-foot by 100-foot riding arena for any facility that has a maximum of 50 horse stalls and an additional riding arena of these dimensions for every additional increment of one to 50 horse stalls at the facility.

- ii. The horse recreation areas shall be for use only by the horses stabled at the facility;
 - iii. Temporary uses within the horse recreation area may be permitted with an approved Special Event Permit (Chapter 22.188);
 - i. Fences or Walls. The facility shall have a perimeter fence or wall with a minimum height of six feet and a maximum height of 10 feet. All fences or walls shall be of uniform height, built in a workmanlike manner, and constructed solely of new materials. No chain link fencing shall be permitted for this purpose; and
 - j. Parking. The facility shall have a minimum of one vehicle parking space, eight and one-half feet in width by 18 feet in depth, plus one vehicle parking space, nine feet in width by 44 feet in depth, for every increment of one to four horse stalls at the facility. Adequate access to these required parking spaces shall also be provided. Other than as specified above, parking spaces shall be developed in accordance with Chapter 22.112 (Parking).
2. Maintenance. The facility shall be neatly maintained and free of junk and salvage, and all structures, including but not limited to the horse stalls, horse recreation areas, and fences or walls, shall be maintained in good condition at all times.
 3. Site Plan Depiction. Compliance with the requirements of Subsection C.1, above, shall be depicted on an approved site plan for the commercial horse stable or other commercial use that uses a horse stable.
 4. Additional Requirements. The requirements in this Subsection C shall be in addition to any other applicable requirements in the County Code related to the uses governed by this Subsection C.

(Ord. 2019-0004 § 1, 2019.)

22.350.070 - Zone Specific Development Standards.

A. Zone R-1.

1. The required front yard shall contain a minimum of 50 percent landscaping.
2. Where the rear yard abuts an Industrial Zone, a three-foot landscaped planter strip containing one 15-gallon tree for each 50 square feet of planter area shall be installed along the rear property line. This provision shall not apply to the section of the rear yard where garages or accessory structure may be erected.

B. Zone R-2. The requirements specified in Zone R-1 of this Section shall apply to Zone R-2.

C. Zone C-2. Vehicle parking requirements for the following uses shall be modified as follows: Markets of less than 5,000 square feet, banks, bookstores, delicatessens, drug stores, and office supply stores shall provide a minimum of one parking space for every 400 square feet of gross floor area. Restaurants of less than 1,000 square feet of gross floor area shall provide a minimum of five parking spaces, and restaurants of at least 1,000 square feet of gross floor area shall be granted a maximum 25 percent reduction of the otherwise required parking.

D. Zone C-3.

1. The vehicle parking requirements specified in Zone C-2 of this Section shall apply to Zone C-3.
2. A building or structure shall not exceed a height of 45 feet above grade, excluding chimneys and rooftop antennas.

E. Zone C-M.

1. Buildings and structures shall be set back a minimum of ten feet from the front property line. The front 10 feet of the setback, not including access, parking, and circulation areas, shall be landscaped.
2. For properties abutting a Residential Zone, a landscaped buffer of at least five feet shall be provided and shall be automatically irrigated by a permanent watering system. One 15-gallon tree for every 50 square feet of landscaped area shall be planted equally spaced within the buffer strip.
3. For properties abutting a Residential Zone, a solid masonry wall or solid fence of at least eight feet in height in compliance with Section 22.140.430.C.2 (Fences and Walls) shall be erected along the property lines separating the two uses.
4. To mitigate noise, all loading docks shall be located as far distant as feasible from adjoining Residential Zones.
5. A building or structure located within 250 feet of a Residential Zone shall not exceed a height of 45 feet above grade, excluding chimneys and rooftop antennas.
6. A building or structure located more than 250 feet from a Residential Zone shall not exceed a height of 90 feet above grade, excluding chimneys and rooftop antennas.
7. The maximum lot coverage shall not exceed 70 percent.
8. All uses except for parking, vending machines, shopping carts, and accessory uses shall be conducted entirely within a building.
9. Outside storage shall not be visible by pedestrians on adjacent residentially zoned streets or by persons on neighboring residentially zoned properties.

F. Zone M-1.

1. The requirements specified in Zone C-M of this Section shall apply to Zone M-1.
2. All activities conducted outside an enclosed structure and located within 500 feet of a Residential Zone, except for parking, vending machines, shopping carts, and accessory uses, shall require a Conditional Use Permit (Chapter 22.158).
3. For properties abutting a Residential Zone, the following uses shall require a Conditional Use Permit (Chapter 22.158):
 - Acetylene, the storage of oxygen and acetylene;
 - Automobile body and fender repair shops;
 - Automobile painting and upholstery;
 - Batteries, the manufacture and rebuilding of batteries;
 - Blacksmith shops;
 - Building materials, storage of;
 - Bus storage;
 - Cannery, except meat or fish;
 - Car barns for buses and street cars;
 - Cellophane, the manufacture of cellophane products;
 - Cesspool pumping, cleaning and draining;

- Concrete batching, provided that the mixer is limited to one cubic yard capacity;
 - Explosives storage;
 - Fuel yard;
 - Generators, the manufacture of electrical generators;
 - Granite, the grinding, cutting, and dressing of;
 - Lumberyards, except the storage of boxes or crates;
 - Marble, the grinding, cutting, and dressing of;
 - Stone, marble, and granite, and grinding, dressing, and cutting of;
 - Tire retreading;
 - Truck storage or rental;
 - Wood yards.
4. Notwithstanding the provisions of Subsection F.3, above, premises in Zone M-1 may be used for the following accessory uses:
 - Acetylene, the storage of oxygen and acetylene;
 - Building materials, storage of;
 - Concrete batching, provided that the mixer is limited to one cubic yard capacity;
 - Truck storage.

5. The minimum lot size shall be 10,000 square feet with a minimum lot width of 75 feet. Lots legally created prior to the effective date of the ordinance establishing this CSD shall not be required to comply with this requirement.

G. Zone M-1.5. The requirements specified in Zones C-M and M-1 of this Section shall apply to Zone M-1.5.

H. Zone M-2.

1. The requirements specified in Zone C-M and Zone M-1 of this Section shall apply to Zone M-2.
2. Automobile dismantling yards, junk salvage yards, and scrap metal processing yards shall not be permitted within 500 feet of a Residential Zone.
3. Automobile dismantling yards, junk and salvage yards, and scrap metal processing yards shall provide a wall or fence of at least eight feet in height in compliance with Section 22.140.430.C.2 (Fences and Walls) along all street frontages. The wall or fence shall be set back at least three feet from property lines having street frontage. The setback area shall be landscaped with shrubs, and one 15-gallon tree for every 50 square feet of landscaped area shall be planted equally spaced within the setback.
4. The minimum lot size shall be 20,000 square feet with a minimum lot width of 100 feet. Lots legally created prior to the effective date of the ordinance establishing this CSD shall not be required to comply with this requirement.

I. Zone B-1.

1. Accessory uses. Premises shall not be used for accessory buildings and structures.
2. Prohibited uses. Premises shall not be used for outside storage or for the parking of vehicles for over 72 continuous hours.

J. Zone B-2. The requirements specified in Zone B-1 of this Section shall apply to Zone B-2.

(Ord. 2021-0010 § 44, 2021; Ord. 2019-0004 § 1, 2019.)

22.350.080 - Area Specific Development Standards.

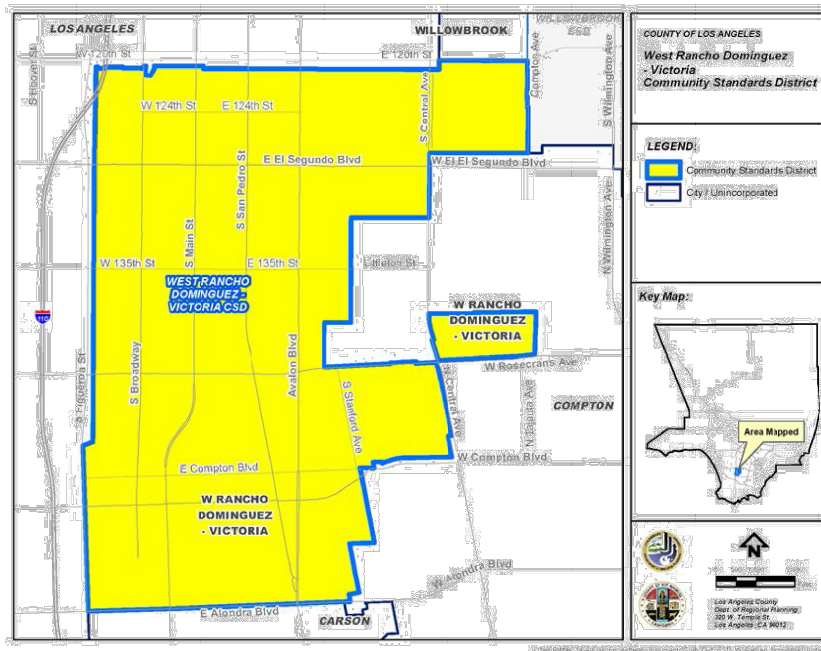
(Reserved)

22.350.090 - Modification of Development Standards.

With the exception of the Section 22.350.060.C.1.j (Parking), any modification from the requirements set forth in Section 22.350.060.C.1 shall require a Conditional Use Permit (Chapter 22.158) application. With respect to the parking requirements in Section 22.350.060.C.1.j (Parking), a modification can be obtained through any applicable method under this Title 22 that authorizes a reduction in required parking.

(Ord. 2019-0004 § 1, 2019.)

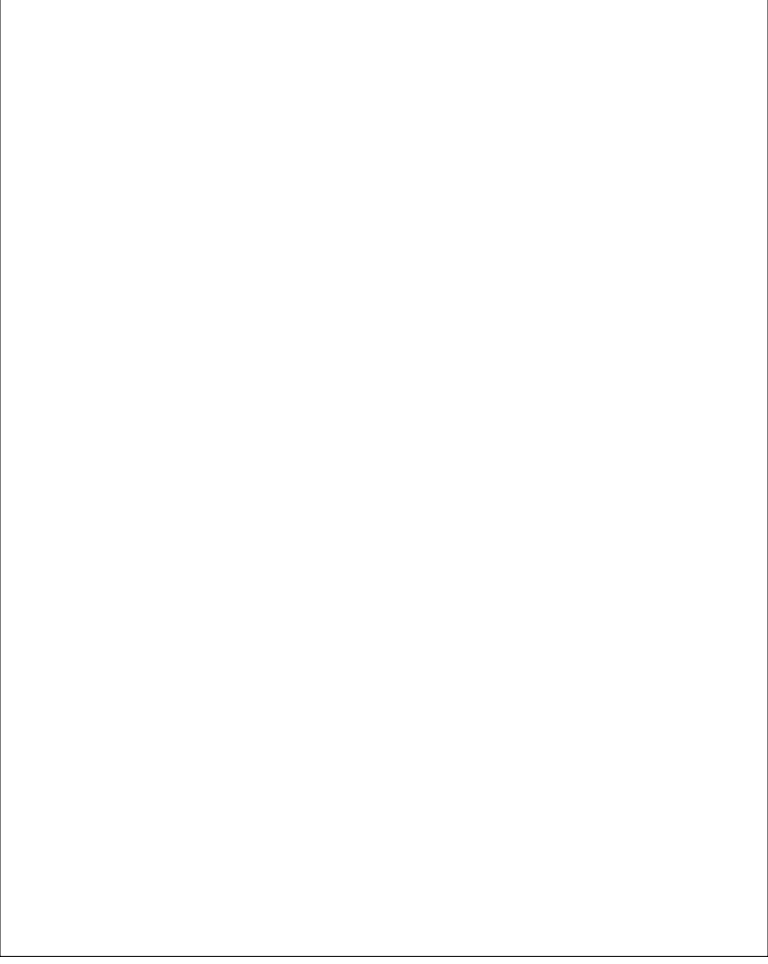
FIGURE 22.350-A: WEST RANCHO DOMINGUEZ-VICTORIA CSD BOUNDARY



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JOB NO.	CM220364
SUBMITTAL	DATE
CITY SUBMITTAL	10/25/23
REVISION	DATE
△	-

LADBS STAMP



CLIENT:

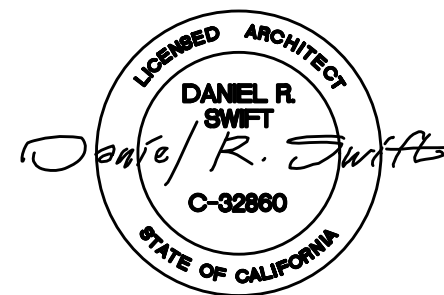


PROJECT: REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

CLIENT: REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024



SHEET TITLE
COMMUNITY STANDARDS
DISTRICT (CSD) NOTES

SHEET NO.

G003

February 06, 2024

SUBMITTAL SET
02/06/2024



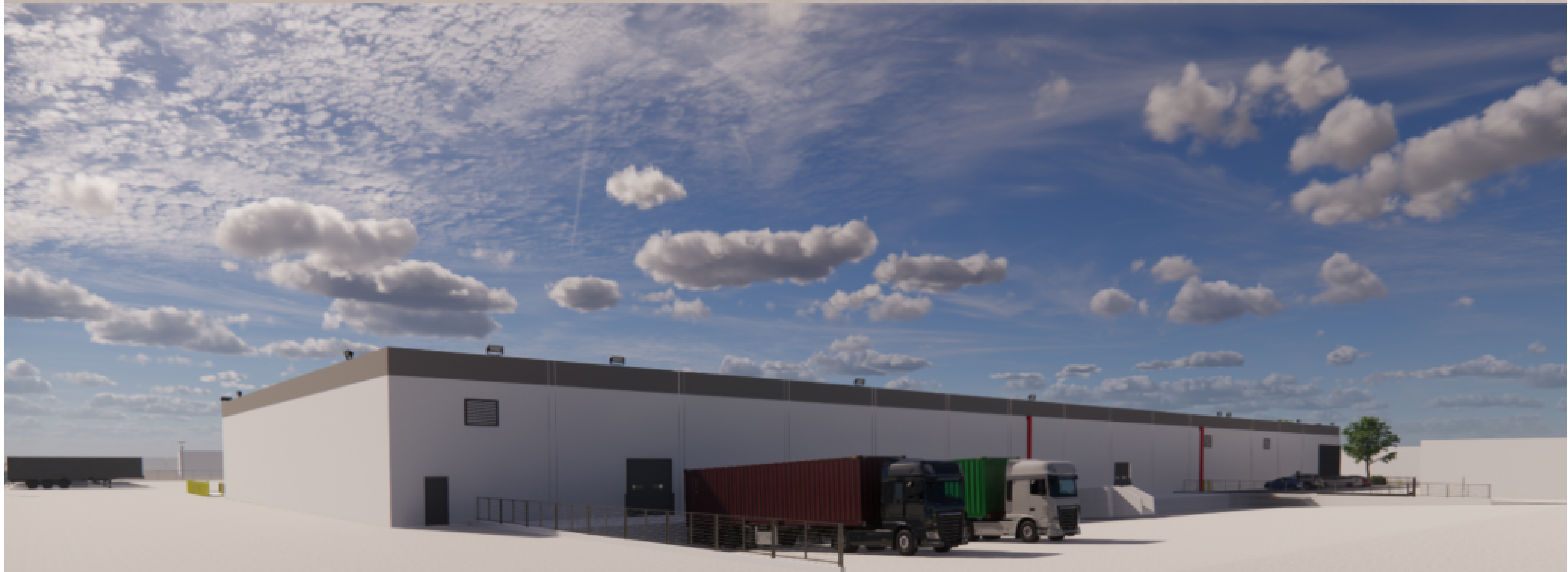
Perspective - View from Rosecrans



Perspective - View from Southwest



Perspective - View from Southeast



Perspective - View from Northeast

TENANT IMPROVEMENT FOR:
14400 S FIGUEROA STREET, GARDENA, CA 90248
REXFORD INDUSTRIAL REALTY
11620 Wilshire Boulevard, Suite 610 Los Angeles, CA 90024

STREET TREES WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE PLANTED PER APPROVED STREET IMPROVEMENT PLANS.
TREE CANOPIES ARE SHOWN IN FULL MATURITY
ALL HARDSCAPE, RETAINING WALL, SWIMMING POOLS, AND / OR BLOCK WALL MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
ALL PLANTS IN IS IN COMPLIANCE WITH THE DROUGHT TOLERANT LANDSCAPE (DTL)
THE TYPE OF SOIL IS SUITABLE FOR ALL THE PROPOSED PLANTS IN THIS LANDSCAPE
CONTRACTOR TO PROTECT AN PRESERVE IN PLACE ALL EXISTING SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A LICENSED LAND SURVEYOR AND THE APPROPRIATE CORNER RECORD MUST BE FILED WITH THE COUNTY OF LOS ANGELES
ALL LANDSCAPE AREAS AND IRRIGATION SHALL BE MAINTAINED BY THE PROPERTY OWNER.
PROPERTY IS NOT LOCATED IN THE VHFHSZ. GERMAN AGUILERA, INSPECTOR 12C, FUEL MODIFICATION UNIT URBAN FORESTRY DIVISION LOS ANGELES COUNTY FIRE DEPT. (562)860-8014
TOTAL LANDSCAPE AREA: 13,191 SQUARE FEET
TREE CANOPIES ARE SHOWN AT FULL MATURITY

WATER AUDIT NOTE:	
THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR, AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.	
THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE.	
1. PLACE FLAGS AT EACH HEAD IN THE ZONE.	
2. MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS.	
3. PLACE WATER MEASURING RECEPTABLES.	
4. TAKE READINGS OF WATER LEVEL IN RECEPTABLES AND RECORD RESULTS.	
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.	
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.	
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT	
THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.	
MAINTENANCE TASK	FREQUENCY
CONTROLLER CABINET-OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY.	QUARTERLY
IRRIGATION SCHEDULE-ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH ADJUST AS NECESSARY.	MONTHLY
POC-VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED.	QUARTERLY
REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.	QUARTERLY
MAINLINE & LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH.	QUARTERLY
SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSING OR CLOGGED HEADS. HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING CLEAN AND FLUSH SCREENS.	MONTHLY
AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.	

MAINTENANCE SCHEDULES:
MAINTENANCE SCHEDULES. A REGULAR MAINTENANCE SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.
LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT, RESETTNG THE AUTOMATIC CONTROLLER, AERATING AND DETATCHING TURF AREAS, REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS.
A LANDSCAPE IRRIGATION AUDIT SCHEDULE AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 MAY BE RECOMMENDED. THE MAXIMUM PERIOD BETWEEN AUDITS SHALL BE FIVE YEARS.
IRRIGATION AUDIT SCHEDULES:
LANDSCAPE IRRIGATION AUDIT SCHEDULES. A SCHEDULE OF LANDSCAPE IRRIGATION AUDITS OF AT LEAST EVERY FIVE YEARS MUST BE ESTABLISHED, FOR ALL BUT SINGLE-FAMILY RESIDENCES, AND OTHER PROJECTS WITH A LANDSCAPE AREA LESS THAN 1 ACRE (0.405 HA) AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 (UTILITIES CODES), AN AUDIT SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.
AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK, PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER CONSERVATION OFFICE, THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY REFERENCE.
THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

LOS ANGELES COUNTY FIRE PREVENTION
FUEL MODIFICATION UNIT
LOS ANGELES COUNTY FIRE DEPARTMENT
(562)860-8014

GOLDEN STATE WATER COMPANY
909-394-2272
STATIC WATER PRESSURE: 50 /110

OWNER INFORMATION	
REXFORD INDUSTRIAL REALTY	
11620 WILSHIRE BLVD Suite 610	
LOS ANGELES, CA 90024	
(424) 440-2565	
NAME: Brian Garcia	bgarcia@refordindustrial.com
CONSULTANT INFORMATION	
ARCHITECT for Shell Building	
BSB DESIGN INC.	
970 W. 190TH STREET SUITE 250	
TORRANCE, CA 90502	
Office (310) 217-8885	
Direct (424) 266-6942	
Contact: Dan Torres	dtorres@bsbdesign.com
LANDSCAPE ENGINEER	
CUMMINGS CURLEY AND ASSOCIATES	
1700 PACIFIC COAST HIGHWAY SUITE C	
SEAL BEACH, CA 90740	
Office (562) 424-8181	
Contact: ROBERT L. CURLEY	robert@cummingscurley.com
CIVIL ENGINEER	
CANNON	
16842 Von Karman Avenue	
Irvine, CA 92608	
Office (949) 681-0255	
Contact: Samuel J. Jacoby	

BUILDING DEPARTMENT
LOS ANGELES COUNTY
COUNTY OF LOS ANGELES
320 W TEMPLE ST. STE 13
LOS ANGELES, CA 90012
Office (213) 974-6411

PROJECT ADDRESS:	14400 S FIGUEROA ST. GARDENA, CA 90248 400 W ROSECRANS AVE. GARDENA, CA 90248
ZONED:	M2-1VL-O (LIGHT MANUFACTURING)
ASSESSOR PARCEL NO. (A.P.N.):	6129-001-029 CITY OF LOS ANGELES JURISDICTION 6129-001-028 COUNTY OF LOS ANGELES JURISDICTION 6129-001-023 COUNTY OF LOS ANGELES JURISDICTION 6129-001-024 COUNTY OF LOS ANGELES JURISDICTION

SCOPE OF WORK:	THE TENANT IMPROVEMENT CONSISTS OF THE FOLLOWING: <ul style="list-style-type: none">DEMOLISHING OF TWO BUILDINGS AND A PORTION OF A BUILDING.DEMOLISHING OF INTERIOR OFFICE SPACES AND MEZZANINE.NEW OFFICE SPACE WITHIN THE EXISTING WAREHOUSE WITH NEW ACCESSIBLE RESTROOMS.NEW SITE CONDITIONS
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AREA OF WORK:	TOTAL LOT AREA: 253,350 SQ. FT.
SITE AREA:	All Parcels: 271,847 sf

SOIL TESTS FOR SOIL MANAGEMENT

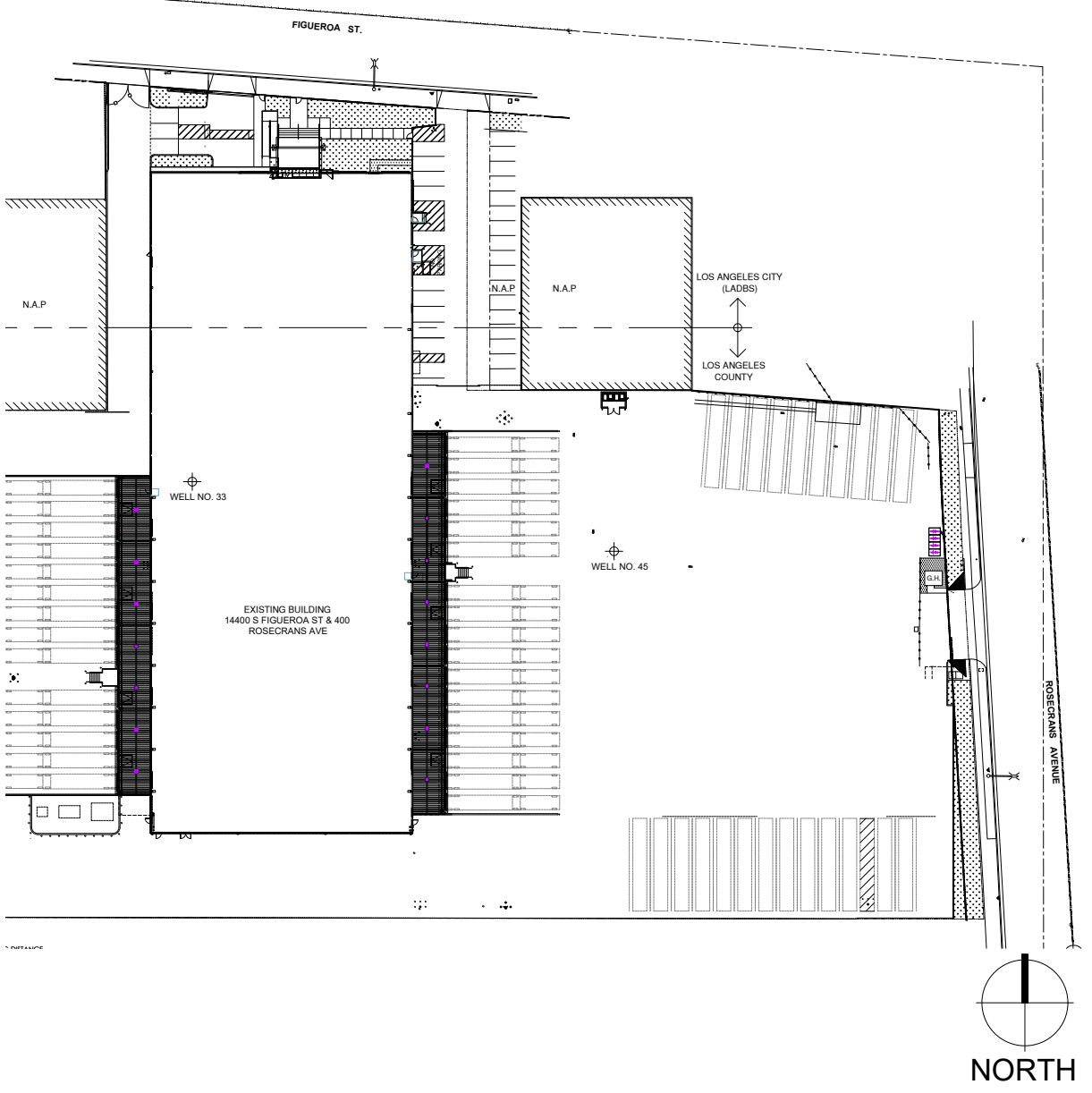
- The Contractor shall be responsible for obtaining soils testing and soil amendment recommendations. Soils testing shall be completed and test results and amendment recommendations submitted to the Owner's Representative a minimum of sixty (60) days before commencement of any planting. The report shall be reviewed approved by the project Landscape Architect and ALL required governing agencies PRIOR to the commencement of any soil amending or planting.
 - The testing laboratory shall be WALLACE LABORATORIES, LLC 365 Coral Circle El Segundo, CA 90245 phone (310) 615-0116 or approved equal as approved by the Owner's Representative. , or approved equal as approved by the Owner's Representative.
 - The testing laboratory for soils analysis shall use the following criteria for soil testing: USDA Agricultural Suitability Test per Handbook 60, to include Boron presence and content; and University of California Soil Fertility Test.
 - Interpretations, fertilization and soil amendment recommendations, and comments regarding these tests are required.
 - Soils test sites shall occur not more than 250 feet on center in the planting areas, unless otherwise noted on plans.
 - Samples of all import soil from each source shall also be submitted to the soils testing laboratory for analysis, interpretation and recommendations prior to placement, blending or back-filling.
 - A copy of the plant schedule shall be provided to the lab for review and comment in relation to the results of the soils tests.
- Provide soil analysis report to the local agency as part of the Certificate of Completion due to mass grading
- Soil analysis shall include
 - Soil texture
 - Infiltration rate
 - pH
 - Total soluble salts
 - Sodium
 - Percent organic matter
 - Recommendations

L000	COVER SHEET
L100	PLANTING PLAN
L101	PLANTING NOTES
L200	IRRIGATION PLAN
L201	IRRIGATION NOTES
L300	LANDSCAPE DETAILS
L301	LANDSCAPE DETAILS
L400	LANDSCAPE SPECIFICATIONS
L401	LANDSCAPE SPECIFICATIONS
L402	LANDSCAPE SPECIFICATIONS

VICINITY MAP:

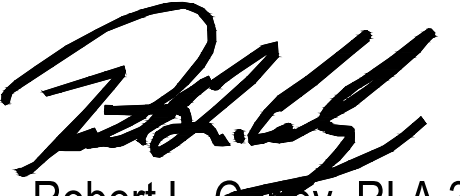


KEY MAP:



PARKING LOT SHADE CALCULATION TABLE										Uncovered Parking Area:		2,550	
Complete white cells only. Grey cells are calculated.										Diameters are in feet and areas are in square feet.		1,275	
Symbol	Species Name		Canopy Diameter	Canopy Area	100% Shade Credit		75% Shade Credit		50% Shade Credit		25% Shade Credit		Provided Shade Area
	Botanical	Common			Quantity	Area	Quantity	Area	Quantity	Area	Quantity	Area	
ia	Lagerstroemia	Crape Myrtle	25.00'	491	0	0	0	0	3	736	0.00	0	736
					0	0	0	0	0	0	0.00	0	-
					0	0	0	0	0	0	0.00	0	-
					0	0	0	0	0	0	0.00	0	-
					0	0	0	0	0	0	0.00	0	-
					0	0	0	0	0	0	0.00	0	-
Total Provided Trees: 3				0	0	0	3	0					
Total Provided Shade Area:												736	
Percent Shade Coverage (50% Minimum):												29%	

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package and I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans


Robert L. Curley, RLA 3583



JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/18/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:



SHEET TITLE
COVER SHEET

SHEET NO.

L000

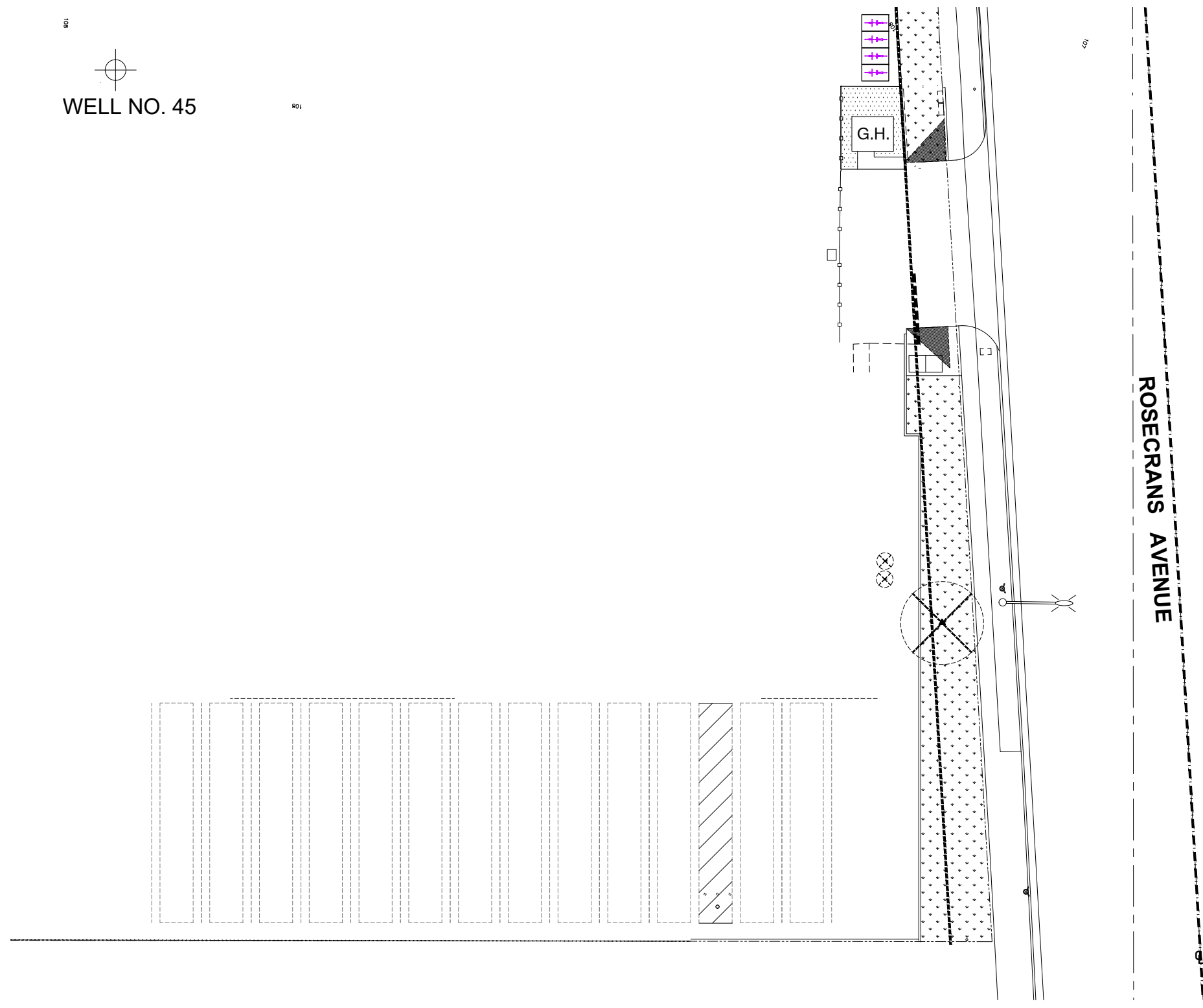
06/21/24

SHEET 1 OF 10

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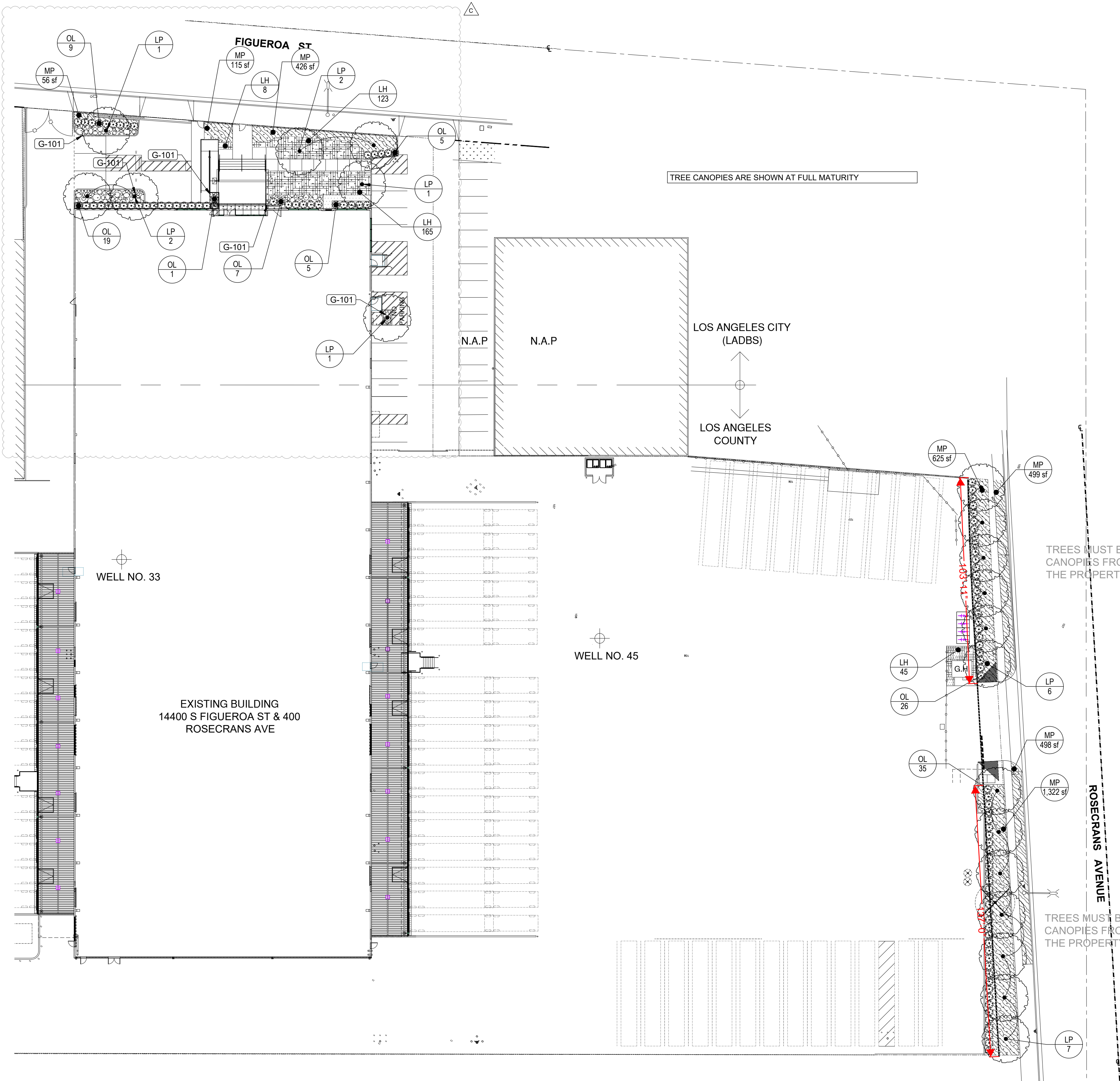
TREE REMOVAL SCHEDULE			
TREE REMOVED	QTY	BOTANICAL / COMMON NAME	CONT. SIZE
	2	Cupressus sempervirens / Italian Cypress	
	1	Olea europaea / Olive Multi-Trunk	

WELL NO. 45



PROPOSED TREE REMOVAL PLAN

1" = 30'-0"



I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package and I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans

Robert L. Coney, RLA 3583

PARKING LOT SHADE CALCULATION TABLE													
Complete white cells only. Grey cells are calculated. Diameters are in feet and areas are in square feet.													
Symbol	Botanical	Common	Canopy Diameter	Canopy Area	100% Shade Credit	75% Shade Credit	50% Shade Credit	25% Shade Credit	Uncovered Parking Area	Required Shade Area	Provided Shade Area		
	Lagerstroemia	Crape Myrtle	25.00	491	0	0	6	1473	0.00	0	1,473		
				0	0	0	0	0.00	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
				0	0	0	0	0	0	-	-		
Total Provided Trees: 6					0	0	6	0		1,473			
										Percent Shade Coverage (50% Minimum):		58%	

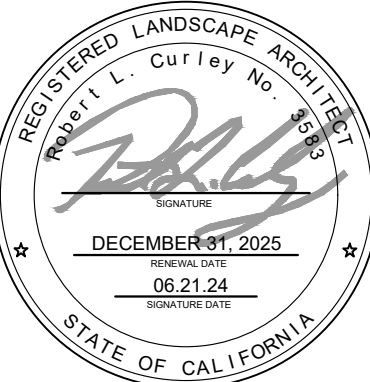
PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	CAL	SPECS.	HZ	WUCOLS
TREES									
	LP	20	Lagerstroemia indica x fauriei 'Tuskegee'	Tuskegee Crape Myrtle	24" Box Standard	2"Cal	7' x 2.5'	2	L 0.2 PF
SHRUBS									
	OL	107	Olea europaea 'Montra'	Little Olive	15 gal	48" oc	1		L 0.2 PF
			Setback from paving 24"						
SHRUB AREAS									
	LH	1,315 sf	Lantana x 'New Gold'	New Gold Lantana	1 gal	24" o.c.	1		L 0.2 PF
			Hold back from paving and walls 18"						
GROUND COVERS									
	MP	75 flats	Myoporum parvifolium 'Putah Creek'	Putah Creek Myoporum	Flats	9" oc	1		L 0.2 PF

NON-LIVING GROUND COVER SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	G-101 Arizona River Rock - 1 1/2 to 3 inch	452 sf

LANDSCAPE AREA CALCULATIONS	
DESCRIPTION	QTY
Landscape Area	5,168 sf
Required 5' Rosecrans Landscape Buffer	1,196 sf
Total Landscape Area	6,364 sf
Combined Lot Area	291,431 sf
Landscape Percentage	2%

PLANTING PLAN

1" = 30'-0"



JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



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REXFORD INDUSTRIAL REALTY

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LOS ANGELES, CA 90024



SHEET TITLE
PLANTING PLAN

SHEET NO.
L100

06/21/24

SHEET 2 OF 10

SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
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PROJECT:



SHEET TITLE

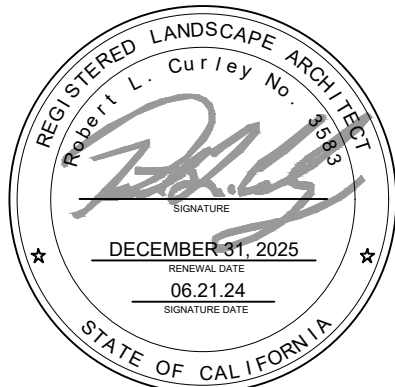
PLANTING NOTES

SHEET NO.

L101

06/21/24

SHEET 3 OF 10



GENERAL PLANTING NOTES

1. Installer shall be responsible for making himself familiar with all underground utilities, pipes and structures. Installer shall take sole responsibility for any cost incurred due to damage of said utilities.
2. The installer shall make himself familiar with all local, regional, County, State and Federal regulations, requirements etc. in affect as to the transport, import, delivery and installation of all plant materials specified on the plans. It is strongly recommended to source plant materials from local nurseries that are also familiar with the requirements for growing, supplying and transporting plants into the area of the project.
3. Installer shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design.
4. Installer shall have soils tested by a qualified agronomy laboratory. Materials and mixing of soil amendments, fertilizers, and back fill for planting pits shall be in accordance with recommendations of the soils agronomy report.
5. The installer shall secure all plant material for the project upon award of contract but in no instances less than 120 days prior to installation.
6. All plant material shall be approved by the Landscape Architect, Owner or Owner's representative prior to installation.
7. Final location of all plant material shall be subject to the approval of the Construction Manager.
8. See details for staking method and plant pit dimensions.
9. If conflicts arise between size of areas and plans, Installer to contact Construction Manager for resolution. Failure to make such conflicts known to the Construction Manager will result in Installer's liability to relocate the materials.
10. All ground covers to be held back 4" from edge of new shrubs typical and 2" from back of curbs or edge of walks at time of planting.
11. Ground covers shall be triangularly spaced per detail.
12. Trees shall be located minimum 4' from walls, overhead, walks, headers and other trees within the project, unless otherwise shown.
13. Place Deep Root Barrier at new trees that are with in 5' of Curbs or paving unless noted otherwise on the plans. Deep Root model UB 24-2 see installation detail.
14. Separate all ground cover and shrub areas from lawn areas with headers as per the installation details.
15. All slopes greater than 3:1 in shrub areas shall be covered jute mesh to prevent soil erosion during plant establishment
16. Remove stakes and trellis from vines and espaliers and secure to walls, fences and posts as per detail
17. In all cases "Root Bound" plant material will not be accepted.
18. No trees are to be planted within or above site storm drain pipes, swales or retention basins.
19. All planting areas including pots irrigated with drip irrigation or low volume irrigation components shall be hand watered by the installer until the plant materials root zones have established enough to effectively access the irrigation water from the drip systems.
20. Planting areas (except lawn and hydroseed areas as well as areas of Decomposed Granite) to be top dressed with 3" (three inch) min, layer of mulch Agromin ES-2 or equal. Agromin (800)247-6646
21. Suitable Soil Import
 - a. General - Topsoil shall be free of roots, clods, stones larger than 1-inch in the greatest dimension, pockets of coarse sand, noxious weeds, sticks, lumber, brush and other litter. It shall not be infested with nematodes or other undesirable disease-causing organisms such as insects and plant pathogens
 - b. Topsoil shall be friable and have sufficient structure in order to give good tilth and aeration to the soil.
 - c. Gradation limits - soil shall be a sandy loam. The definition of soil texture shall be the USDA classification scheme cited below. Gravel over 2 millimeters in diameter shall be less than 20% by weight
 - d. Permeability Rate - Hydraulic conductivity rate shall be not less than one inch per hour nor more than 10 inches per hour when tested in accordance with the USDA Handbook Number 60, method 34b or other approved methods.
 - e. Fertility - The range of the essential elemental concentration in soil shall be as follows for approval of source soil:

Ammonium Bicarbonate/DTPA Extraction parts per million (mg/kilogram dry weight basis	
phosphorus	10 - 40
potassium	100 - 220
iron	5- 35
manganese	0.6 - 6
zinc	1 - 8
copper	0.3 - 5
boron	0.2 - 1
magnesium	50 - 150
sodium	0 - 100
sulfur	25 - 500
molybdenum	0.1 - 2
 - f. Acidity - The soil pH range measured in the saturation extract (Method 21a, USDA Handbook Number 60) shall be 6.0 - 7.9.
 - g. Salinity - The salinity range measured in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 0.5 - 2.5 dS/m.
 - h. Chloride - The maximum concentration of soluble chloride in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 150 mg/l (parts per million).
 - i. Boron - The maximum concentration of soluble boron in the saturation extract (Method 3a, USDA Handbook Number 60) shall be 1 mg/l (parts per million).
 - j. Sodium Adsorption Ratio (SAR) - The maximum SAR shall be 3 measured per Method 20b, USDA Handbook Number 60.
 - k. Aluminum - Available aluminum measured with the Ammonium Bicarbonate/DTPA Extraction shall be less than 3 parts per million.
 - l. Soil Organic Matter Content - Sufficient soil organic matter shall be present to impart good physical soil properties but not be excessive to cause toxicity or cause excessive reduction in the volume of soil due to decomposition of organic matter. The desirable range is 3% to 5%. The carbon:nitrogen ratio should be about 10.
 - m. Calcium Carbonate Content - Free calcium carbonate (limestone) shall not be present for acid-loving plants.
 - n. Heavy Metals - The maximum permissible elemental concentration in the soil shall not exceed the following concentrations:

Ammonium Bicarbonate/DTPA Extraction parts per million (mg/kilogram) dry weight basis	
arsenic	1
cadmium	1
chromium	10
cobalt	2
lead	30
mercury	1
nickel	5
selenium	3
silver	0.5
vanadium	3
 - o. If the soil pH is between 6 and 7, the maximum permissible elemental concentration shall be reduced 50%. If the soil pH is less than 6.0, the maximum permissible elemental concentration shall be reduced 75%. No more than three metals shall be present at 50% or more of the above values.

Phytotoxic constituent, herbicides, hydrocarbons etc. - Germination and growth of monocots and dicots shall not be restricted more than 10% compared to the reference soil. Growth inhibiting constituents must not be present.
20. Organic soil amendment
 - a. Composted aerobic humus compost without presence of decomposition products. The organic matter content shall be at least 50% on dry weight basis. Humus material shall have an acid-soluble ash content of no less than 8% and no more than 20%.
 - b. The pH of the material shall be between 6 and 7.5.
 - c. The salt content shall be less than 6 millimho/cm @ 25° C. (ECe less than 6) in a saturated paste extract.
 - d. Boron content of the saturated extract shall be less than 1.0 part per million.
 - e. Silicon content (acid-insoluble ash) shall be less than 50%.
 - f. Calcium carbonate shall not be present if to be applied on alkaline soils.
 - g. Types of acceptable products are composts, manures, mushroom composts, straw, alfalfa, peat mosses etc. low in salts, low in heavy metals, free from weed seeds, free of pathogens and other deleterious materials.
 - h. Composted wood products are conditionally acceptable [stable humus must be present]. Wood based products are not acceptable which are based on red wood or cedar.
 - i. Sludge-based materials are not acceptable.
 - j. Carbon:nitrogen ratio is between 8.0 and 20:1.
 - k. SAR (sodium adsorption ratio) less than 5.

- a. Seed germination - over 80% germination in saturation extract diluted 1 to 3 in water compared to seeds germinated in deionized water.
 - m. Germination vigor - equal to or better than seed length for seeds germinated in deionized water.
 - n. Maturity and stability - Solvita 5 or higher.
 - o. Molar ratio of ammoniacal nitrogen to nitrate nitrogen less than 2.
 - p. The compost shall be aerobic without malodorous presence of decomposition products.
 - q. The maximum particle size shall be 0.5 inch, 80% or more shall pass a No. 4 screen.
- Maximum total permissible pollutant concentrations in amendment in parts per million on a dry weight basis:
- | | | | | | |
|----------|-----|---------|-----|------------|----|
| arsenic | 12 | copper | 100 | selenium | 20 |
| cadmium | 15 | lead | 100 | silver | 10 |
| chromium | 100 | mercury | 10 | vanadium | 50 |
| cobalt | 50 | zinc | 200 | molybdenum | 20 |
| nickel | 100 | | | | |
20. Decomposed granite (D.G.) - install a 2" (Min.) layer of Decomposed Granite w/ stabilizer continuous, color as per plan, in all planters under all trees and shrubs as indicated. Before placing granite, compact sub-grade to 85% and apply a pre-emergent herbicide to soil. After placing granite: rake smooth, wet to entire depth, allow to dry, then lightly scarify surface with a leaf rake. Apply a secondary application of pre-emergent herbicide to top of granite. Keep top of granite 1" below adjacent walks and curbs. Do not allow granite to touch the trunk of any plant. Install after installation of plant material making note of plant height so they are not buried by D.G..
 21. Cactus / Succulent Mix:
 - Pumice or Perlite (Approximately 40%)
 - Potting Soil Mix (Approximately 15%)
 - Clean Washed River Sand (Approximately 10%)
 - Loosened Coir (Approximately 35%)
 22. All Washingtonia Palms shall be skinned to the green fronds above and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend.
 23. All Phoenix Palms shall be "Pineapple Cut" skinned and shall be as per the brown trunk height (BT) as indicated on the planting plan and legend and matched to be of equal height in each area of use.
 24. Brown Trunk Height "BT" shall mean as measured from the ground line to the base of the heart leaf.
 25. All Palms must be certified disease and pest free by a licensed Arborist. Written documentation must be provided prior to planting.

SOIL TESTS FOR SOIL MANAGEMENT

1. The Contractor shall be responsible for obtaining soils testing and soil amendment recommendations. Soils testing shall be completed and test results and amendment recommendations submitted to the Owner's Representative a minimum of sixty (60) days before commencement of any planting. The report shall be reviewed approved by the project Landscape Architect and ALL required governing agencies PRIOR to the commencement of any soil amending or planting.
2. The testing laboratory shall be WALLACE LABORATORIES, LLC 365 Coral Circle El Segundo, CA 90245 phone (310) 615-0116 or approved equal as approved by the Owner's Representative. , or approved equal as approved by the Owner's Representative.
3. The testing laboratory for soils analysis shall use the following criteria for soil testing: USDA Agricultural Suitability Test per Handbook 60, to include Boron presence and content; and University of California Soil Fertility Test.
4. Interpretations, fertilization and soil amendment recommendations, and comments regarding these tests are required.
5. Infiltration Rate determined by laboratory test or Soil Texture and Infiltration Rate table
6. Soils test sites shall occur not more than 250 feet on center in the planting areas, unless otherwise noted on plans.
7. Samples of all import soil from each source shall also be submitted to the soils testing laboratory for analysis, interpretation and recommendations prior to placement, blending or back-filling.
8. A copy of the plant schedule shall be provided to the lab for review and comment in relation to the results of the soils tests.

PERCOLATION TEST

1. The landscape installer shall dig (as test areas) four (4) plant pits of 24" box size, or larger, at four (4) locations minimum within the job site. Pits are to be filled with water. The results of this test shall be reported to the Landscape Architect and owner 48 hours after initiating. Test pits shall be in actual location of trees as shown on the plan. Failure to carry out this test shall make the landscape installer liable for any and all trees that die due to poor water percolation beyond the agreed guarantee period.
- OPTION 1
Should the water drain out of the test pits at a normal rate indicating good percolation then tree detail "A" and shrub planting detail "A" shall be utilized.
- OPTION 2
In the event any amount of water is left standing in the test pit (per the above procedure) 24 hours after initiating the percolation test then the vertical mulching details for tree detail "B" and shrub detail "B" shall apply to all trees and shrubs regardless of size. These details shall supersede all other planting details. However, the tree staking requirements of tree planting detail "A" shall remain intact in either case.

VALVE SCHEDULE										
NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
A-1	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	5.41	20	0.63	7.41	28.0	40.6	0.84 in/h
A-2	Rain Bird PEB	1"	Bubbler	7	20	1.57	1.74	23.3	36.9	1.71 in/h
A-3	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	10.78	20	1.05	13.6	34.6	52.4	0.68 in/h

VALVE SCHEDULE										
NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
B1-1	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	7.52	20	0.46	9.52	30.0	43.7	0.69 in/h
B1-2	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	7.23	20	1.52	9.23	30.7	44.3	0.7 in/h
B2-1	Rain Bird PEB	1"	Bubbler	13	20	3.22	2.13	25.4	44.5	1.7 in/h
B2-2	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	10.59	20	0.28	13.2	33.5	50.4	0.53 in/h

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package and I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans


Robert L. Conley, RLA 3583

CRITICAL ANALYSIS	
Generated:	2024-06-19 12:50
P.O.C. NUMBER: 03	
Water Source Information:	Stub off building domestic line before any backflow preventers. Pressure estimated.
FLOW AVAILABLE	
Point of Connection Size:	1 1/2"
Flow Available:	40.32 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	70 PSI
Pressure Available:	70 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	10.78 GPM
Flow Available at POC:	40.32 GPM
Residual Flow Available:	29.54 GPM

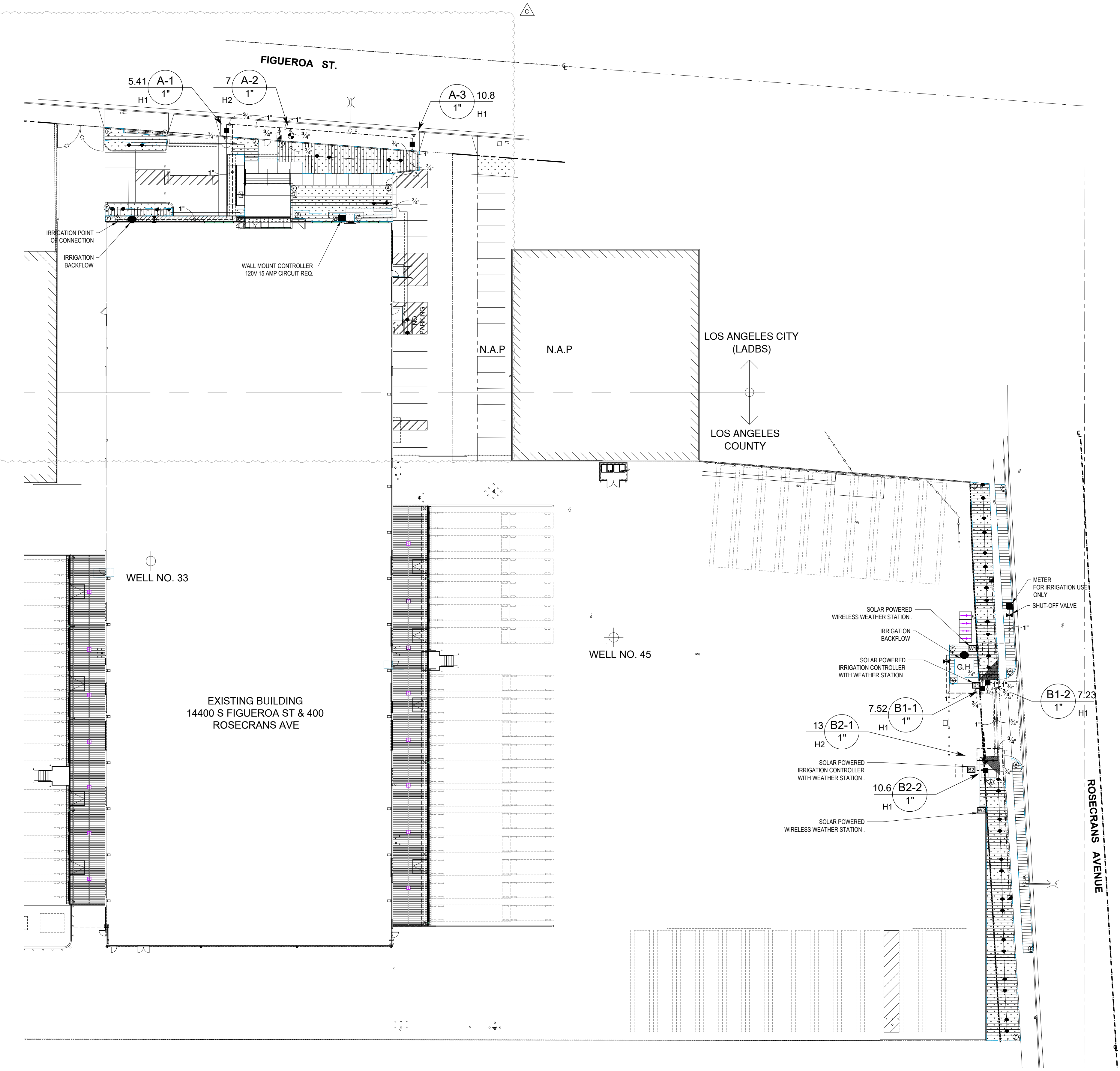
Critical Station:
Design Pressure:
Friction Loss:
Fittings Loss:
Elevation Loss:
Loss through Valve:
Pressure Req. at Critical Station:
Loss for Fittings:
Loss for Main Line:
Loss for POC to Valve Elevation:
Loss for Backflow:
Critical Station Pressure at POC:
Pressure Available:
Residual Pressure Available:





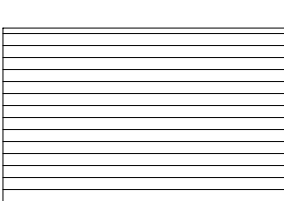















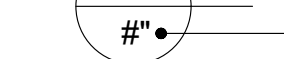

A-3
20 PSI
0.95 PSI
0.1 PSI
0 PSI
13.6 PSI
34.6 PSI
0 PSI
6.14 PSI
0 PSI
11.6 PSI
52.4 PSI
70 PSI
17.6 PSI

CRITICAL ANALYSIS	
Generated:	2023-10-25 07:00
P.O.C. NUMBER: 01	
Water Source Information:	Existing Domestic Meter. 50/110 Per Golden State Water. For irrigation use only
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available:	18.2 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	75 PSI
Elevation Change:	0.00 ft
Service Line Size:	1"
Length of Service Line:	20 ft
Pressure Available:	73 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	12 GPM
Flow Available at POC:	18.2 GPM
Residual Flow Available:	6.2 GPM

Critical Station:
Design Pressure:
Friction Loss:
Fittings Loss:
Elevation Loss:
Loss through Valve:
Pressure Req. at Critical Station:
Loss for Fittings:
Loss for Main Line:
Loss for POC to Valve Elevation:
Loss for Backflow:
Critical Station Pressure at POC:
Pressure Available:
Residual Pressure Available:

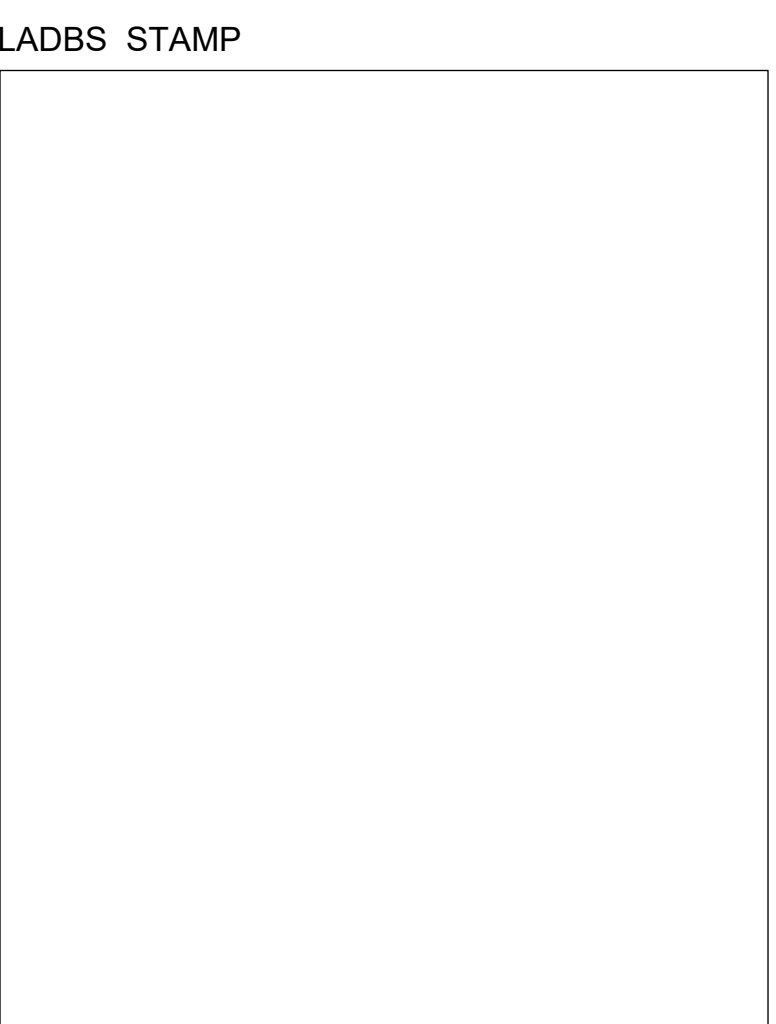
B-3
30 PSI
0.25 PSI
0.03 PSI
0 PSI
13.2 PSI
38.3 PSI
0 PSI
4.52 PSI
0 PSI
11.6 PSI
55.2 PSI
73 PSI
17.8 PSI



IRRIGATION SCHEDULE						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	Rain Bird RWS-B-C 1402 Root Watering System with 4.0" diameter x 36.0" long with locking grate, semi-rigid mesh tube, and check valve. Rain Bird bubbler option as indicated: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	40	360	20	0.5	3'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI			
	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3 GPM-20 GPM	5				
	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet	13				
	Netafim TLAVRV Air/Vacuum relief valve, 1/2" male pipe thread.	8				
	Area to Receive Dripline Rain Bird XFS-06-18 XFS Sub-Surface Pressure Compensating Dripline w/Copper Shield Technology. 0.6 GPH emitters at 18" O.C. Laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	6,575 s.f.	20			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird PEB 1" 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2				
	Rain Bird 33-DRC 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	3				
	Nibco T-FP600A-LF Lead-Free Brass, Two-Piece, Full Port, NPT x NPT	3				
	Zurn 975XL 1" Reduced Pressure Backflow device. Mount in Strong Box SBBC-22CR enclosure. Plumb with 1" pressure reducing valve 500XL set at 50 PSI	1				
	Zurn 975XL 1" Reduced Pressure Backflow device. Mount in Strong Box SBBC-22CR enclosure. Plumb with 1" pressure reducing valve 500XL set at 50 PSI	1				
	DIG Corporation LEIT-2ET Two Station, Weather Based, Ambient Light (Solar) Powered, Wireless Irrigation Controller.	1				
	DIG Corporation LEIT-2ET Two Station, Weather Based, Ambient Light (Solar) Powered, Wireless Irrigation Controller.	1				
	DIG Corporation LEIT-2ET Two Station, Weather Based, Ambient Light (Solar) Powered, Wireless Irrigation Controller.	1				
	DIG Corporation LEIT-2ET Two Station, Weather Based, Ambient Light (Solar) Powered, Wireless Irrigation Controller.	1				
	Hunter HC-6 6 station controller with Wi-Fi connection. Mount in Strong Box LD-16S enclosure	1				
	Hunter MINI-CLK SG-MC Rain Sensor, with stainless steel Sensor Guard protection, mount as noted	1				
	Water Meter 1" Existing Domestic Meter. 50/110 Per Golden State Water. For irrigation use only	1				
	Point of Connection 1 1/2" Stub off building domestic line before any backflow preventers. Pressure estimated.	1				
	Irrigation Lateral Line: PVC Schedule 40	948.3 l.f.				
	Irrigation Mainline: PVC Schedule 40	536.8 l.f.				
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	229.8 l.f.				
	Valve Callout: - Valve Number - Valve Flow - Valve Size					

IRRIGATION PLAN
1" = 30'-0"

JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/19/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24



PROJECT: REXFORD INDUSTRIAL REALTY
14400 S FIGUEROA ST.
GARDENA, CA 90248
CLIENT: REXFORD INDUSTRIAL REALTY
11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

CUMMINGS CURLEY AND ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1100 PACIFIC COAST HIGHWAY, SUITE C
SEAL BEACH, CALIFORNIA 92674
TEL: 562.424.0000
CALIFORNIA 3583 • ARIZONA 30100 • NEVADA 678 • UTAH 377504
COLORADO 1559 • TEXAS 3337 • WASHINGTON 1089 • CLARK 1848



SUBMITTAL	DATE
CLIENT SUBMITTAL	10/18/23
CLIENT RE-SUBMITTAL	02.21.24

REVISION	DATE
△ Bid Addendum 'C'.	06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:



LANDSCAPE DETAILS

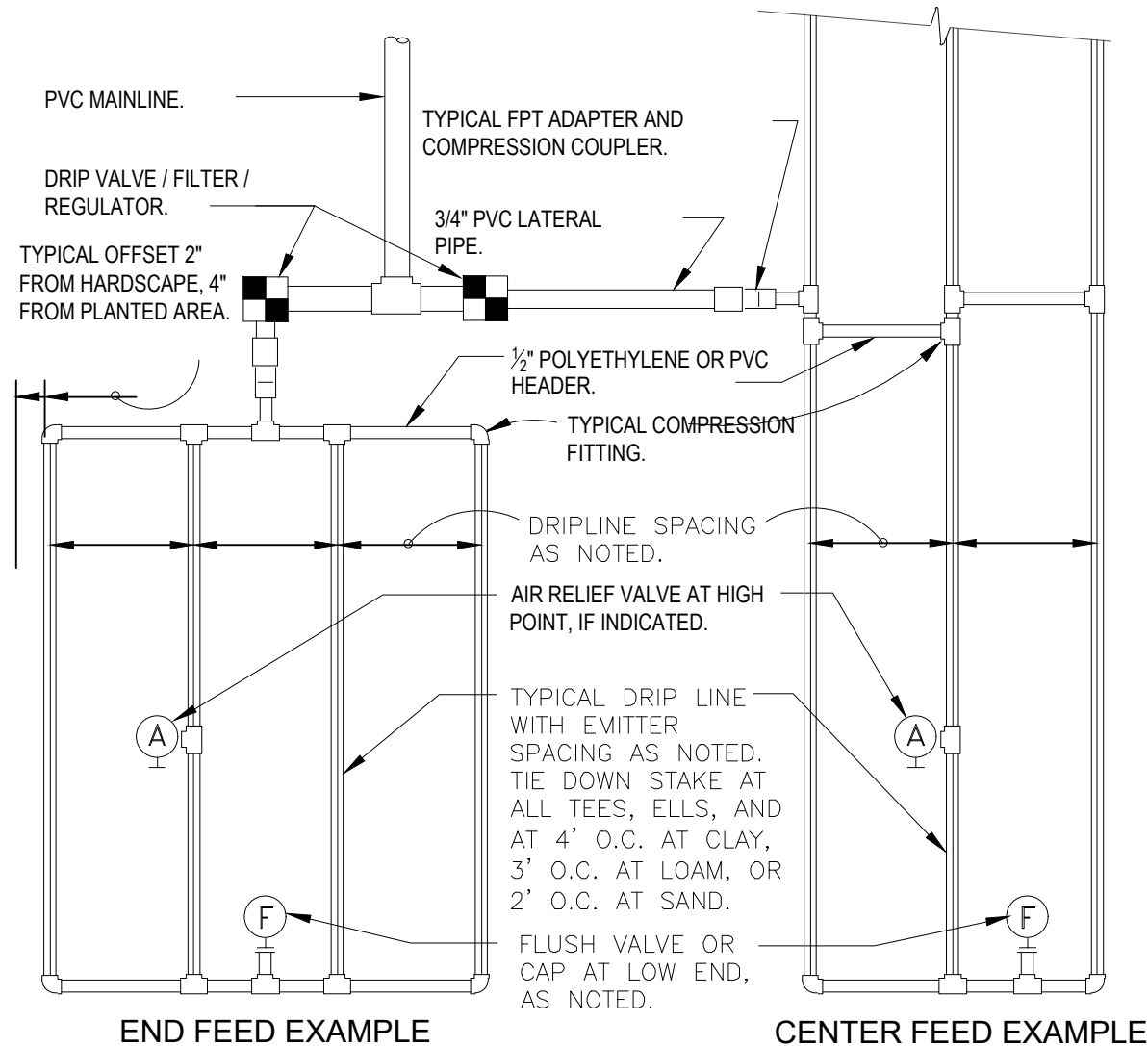
SHEET NO.

L300

06/21/24

SHEET 6 OF 10

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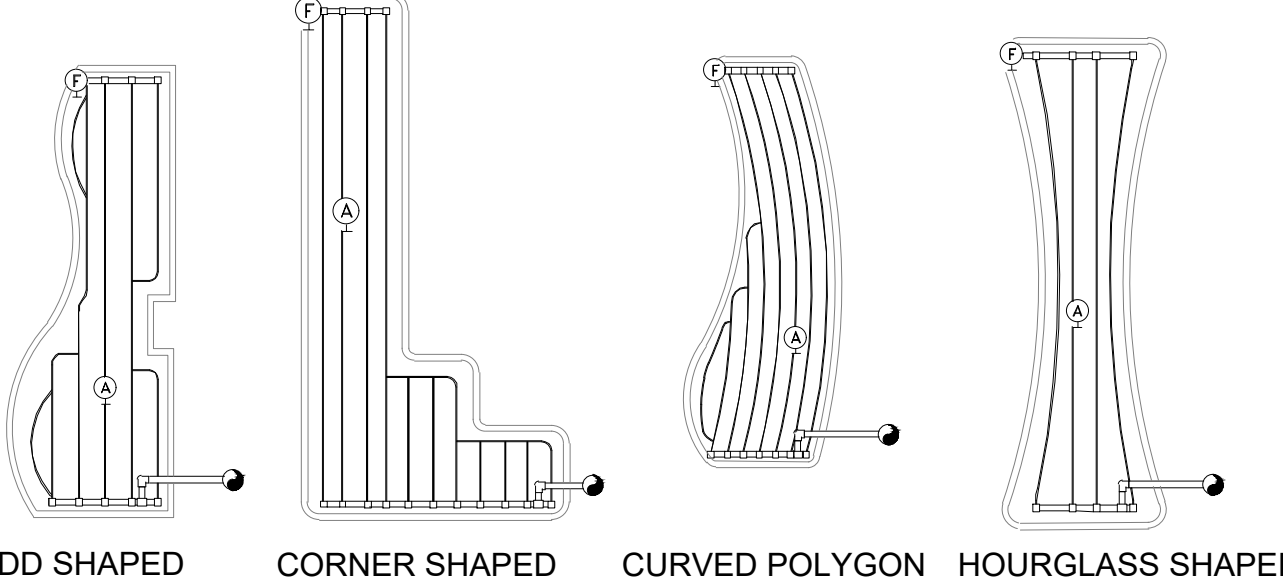
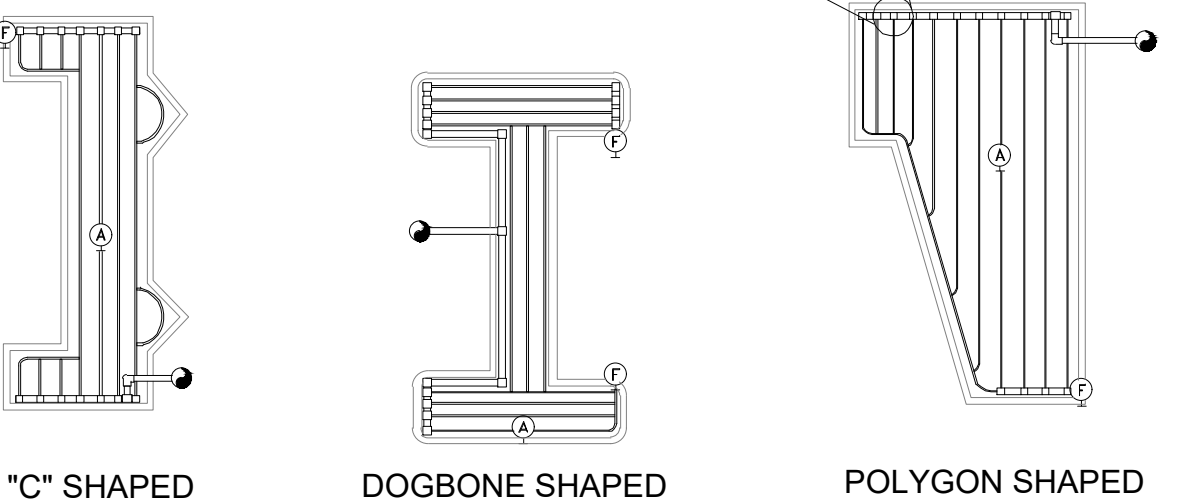
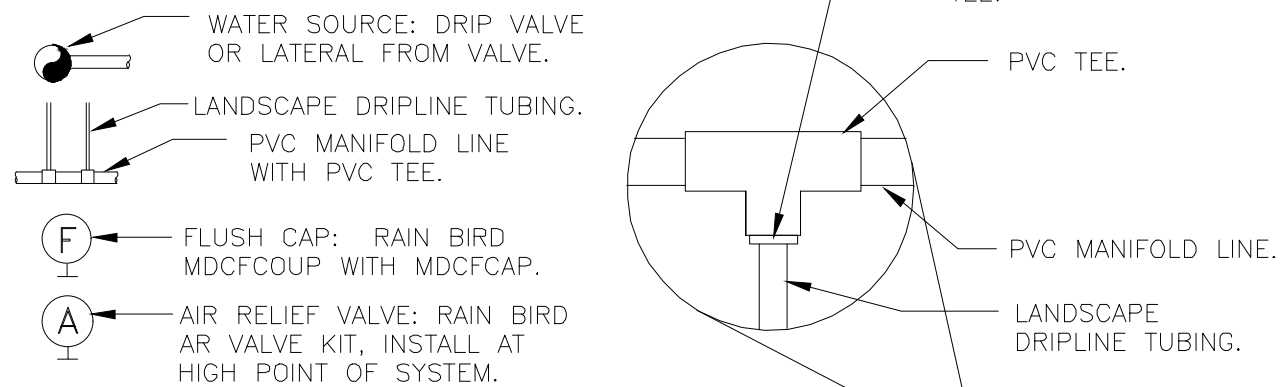


- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
 2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
 3. NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
 4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
 5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

GRID PRECIPITATION RATES (IN/HR)				MAXIMUM FLOW PER ZONE	
EMITTER FLOW RATE		EMITTER LATERAL SPACING		MAX GPM	PSI LOSS
12"	18"	0.6	0.9	0.6	0.9
12	12	0.96	1.44		
18	18	0.69	1.03		
24	24	0.28	0.41		

LATERAL FLOW PER 100 FT (GPM)				POLY PIPE HEADER SIZE	
EMITTER 1/2" 18" 24"		FLOW SPACING		1/2"	3/4"
0.6 GPM	1.0 GPM	0.67 GPM	0.50 GPM	1/2"	3/4"
0.9 GPM	1.5 GPM	1.0 GPM	0.75 GPM	1"	1-1/2"

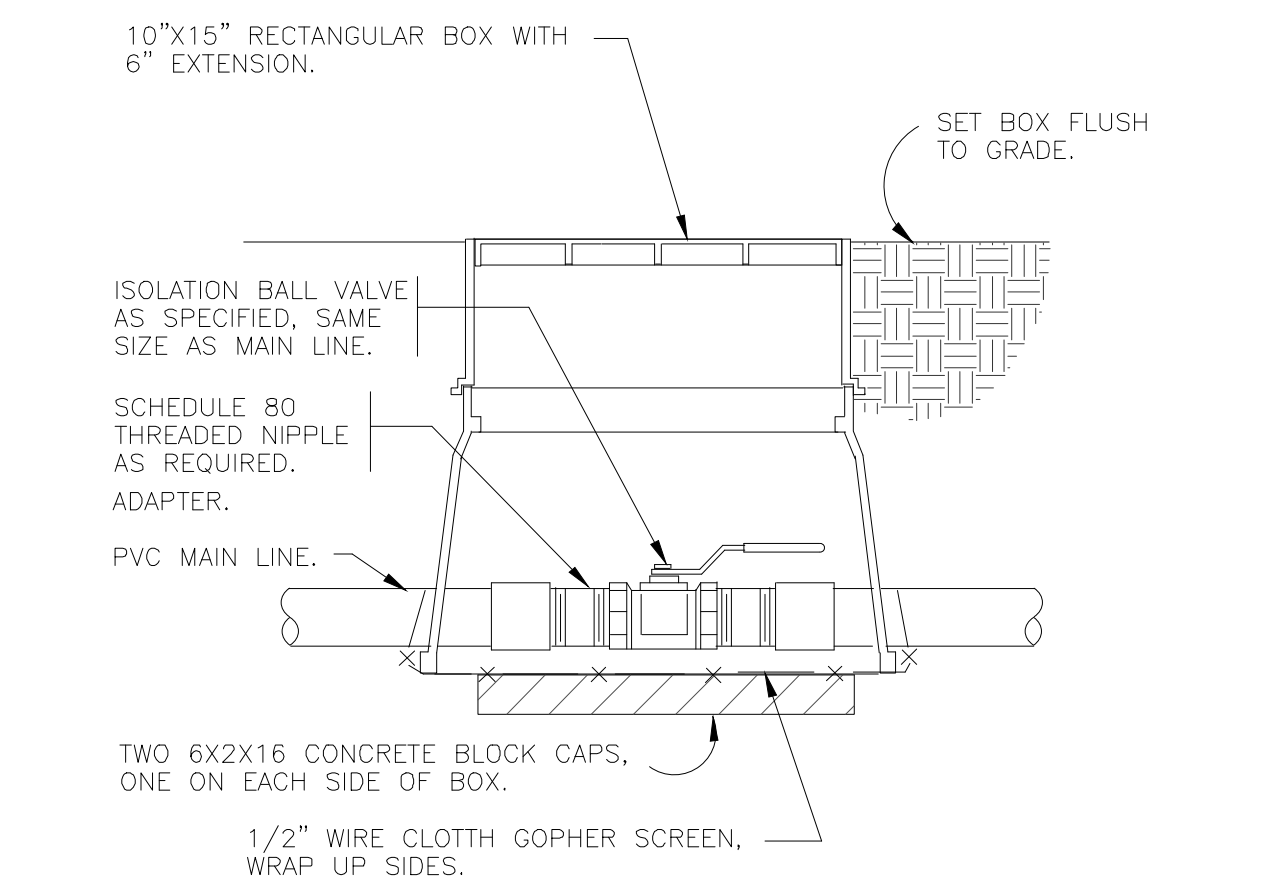
MAXIMUM LATERAL LENGTH (FEET)				EMITTER FLOW RATE GPH	
12" SPACING		18" SPACING		0.6	0.9
10	125	96	175	135	218
20	249	191	350	171	442
30	307	236	434	333	550
40	389	298	495	380	627
50	123	96	175	135	218
60	123	96	175	135	218



9 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS

3" = 1'-0"

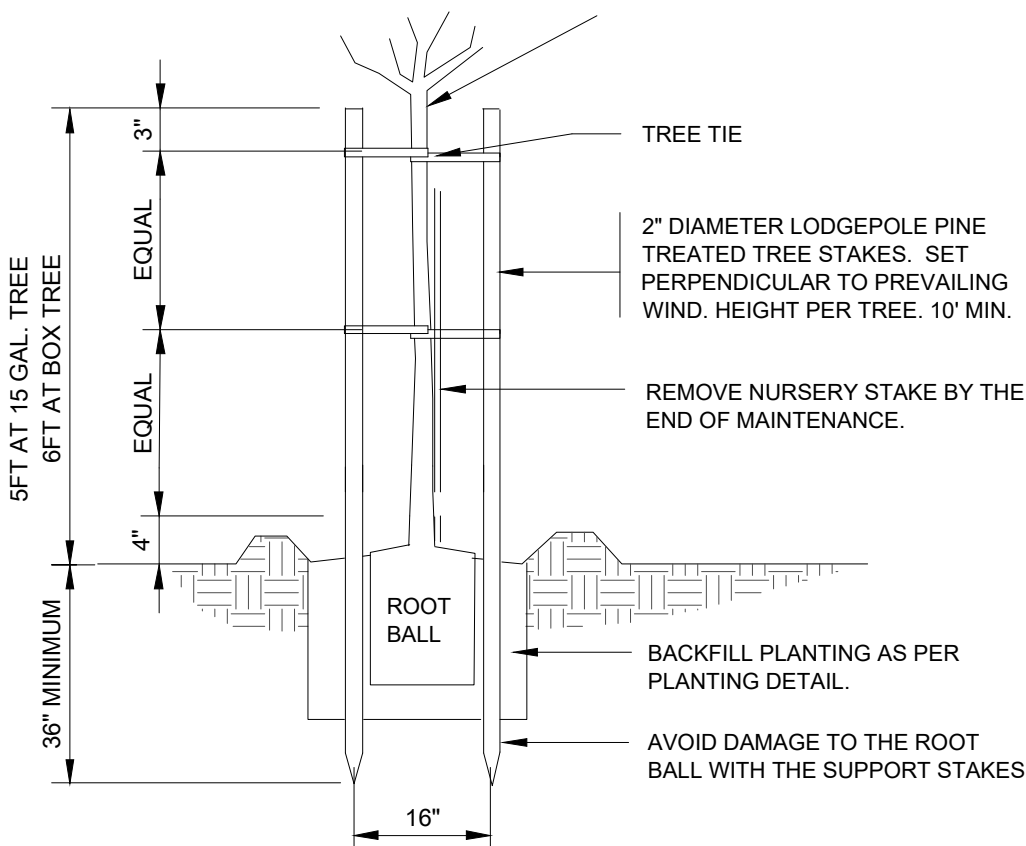
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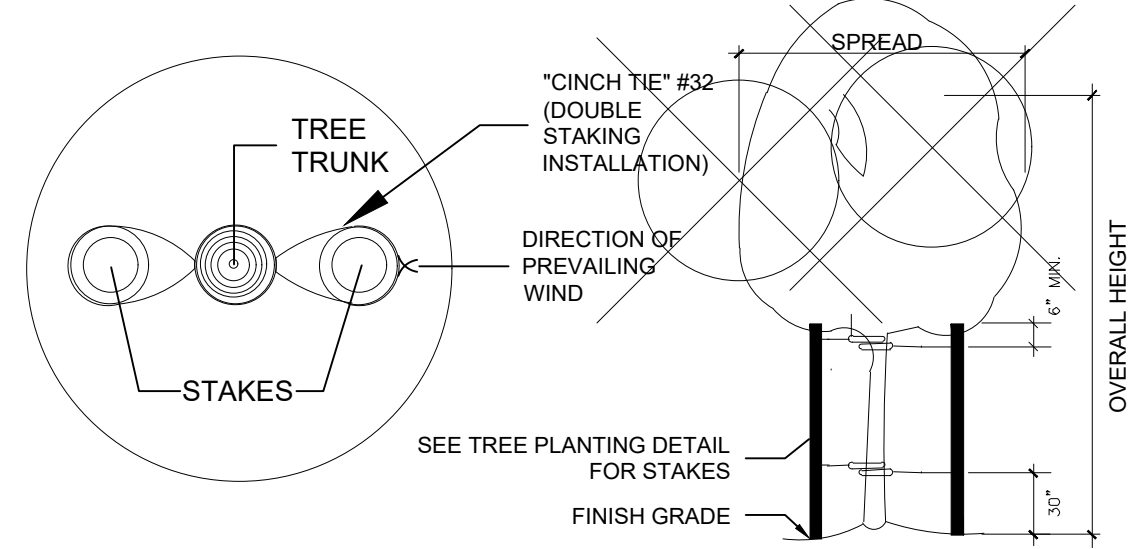
10 BRASS BALL ISOLATION VALVE

1 1/2" = 1'-0"

FX-IR-FX-ISOV-02



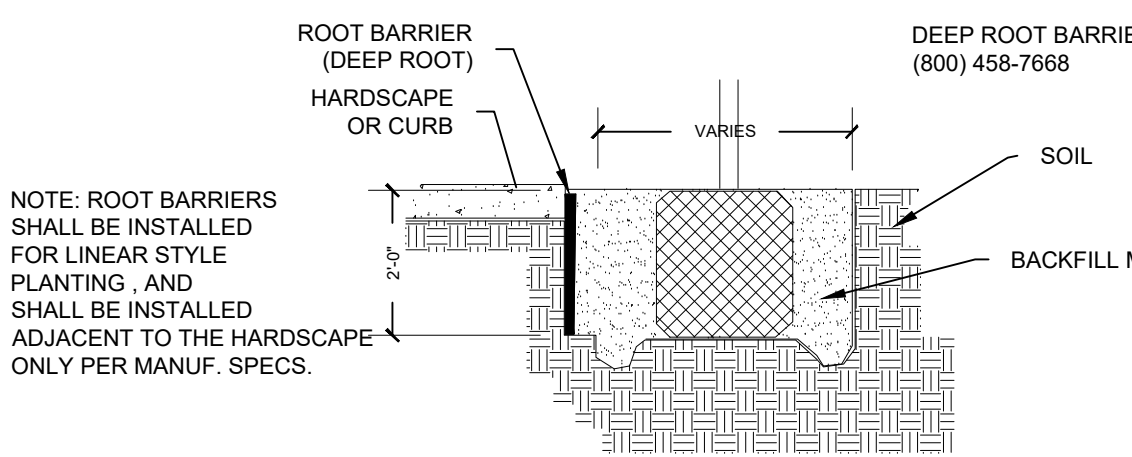
STAKING DETAIL



6 TREE PLANTING DOUBLE STAKE

1" = 1'-0"

CCA-PL-TRE-329343-04



- 1- TREE TRUNK
2- DEEP ROOT- UB 24-2 LINEAR BARRIER
3- EDGE OF HARDSCAPE (CURB, PAVING, PAD, ETC.)

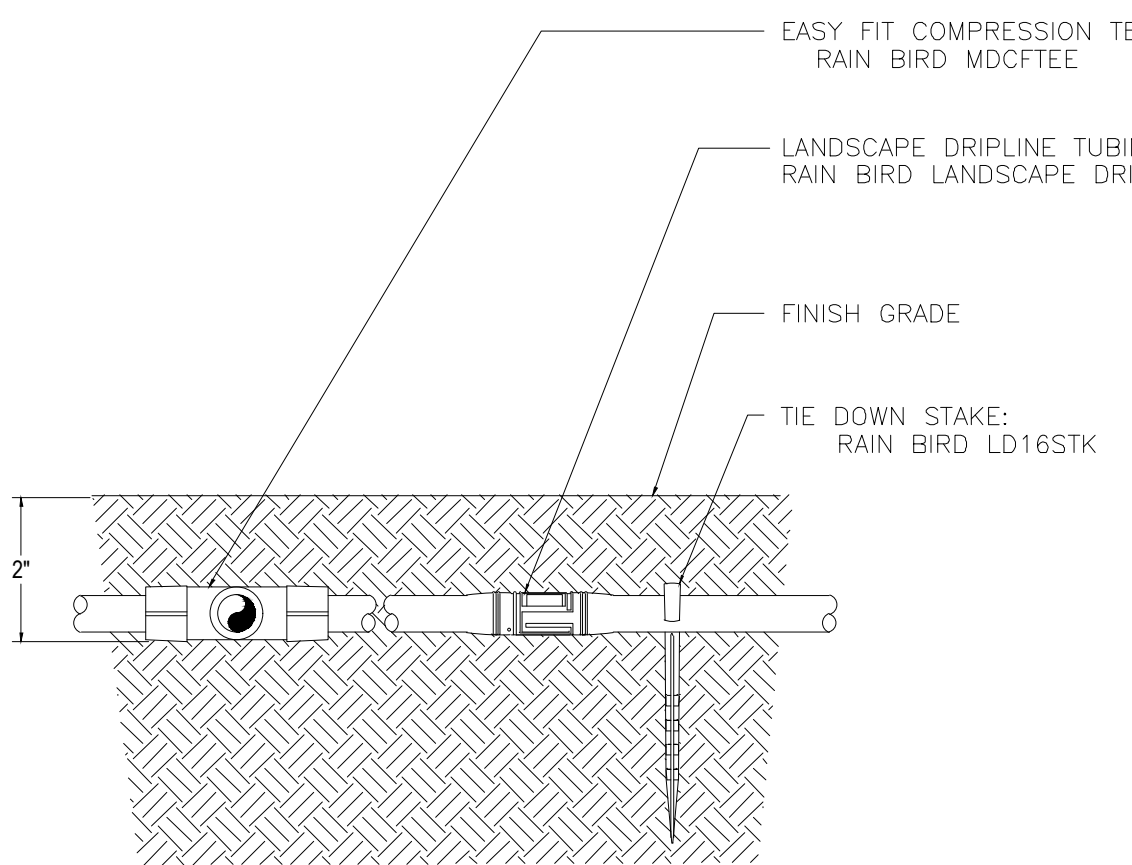
Formula to determine the quantity of panels required for a Linear application use:
Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

Expected Tree Canopy at Maturity	Feet of Barrier	Number of Panels
12' (3.6m) Dia. +2' (61cm) = 14' (4.2m)	7 Panels	
18' (5.5m) Dia. +2' (61cm) = 20' (6.1m)	10 Panels	
24' (7.3m) Dia. +2' (61cm) = 26' (7.9m)	13 Panels	

7 ROOT BARRIER

NTS

CCA-PL-329414-05

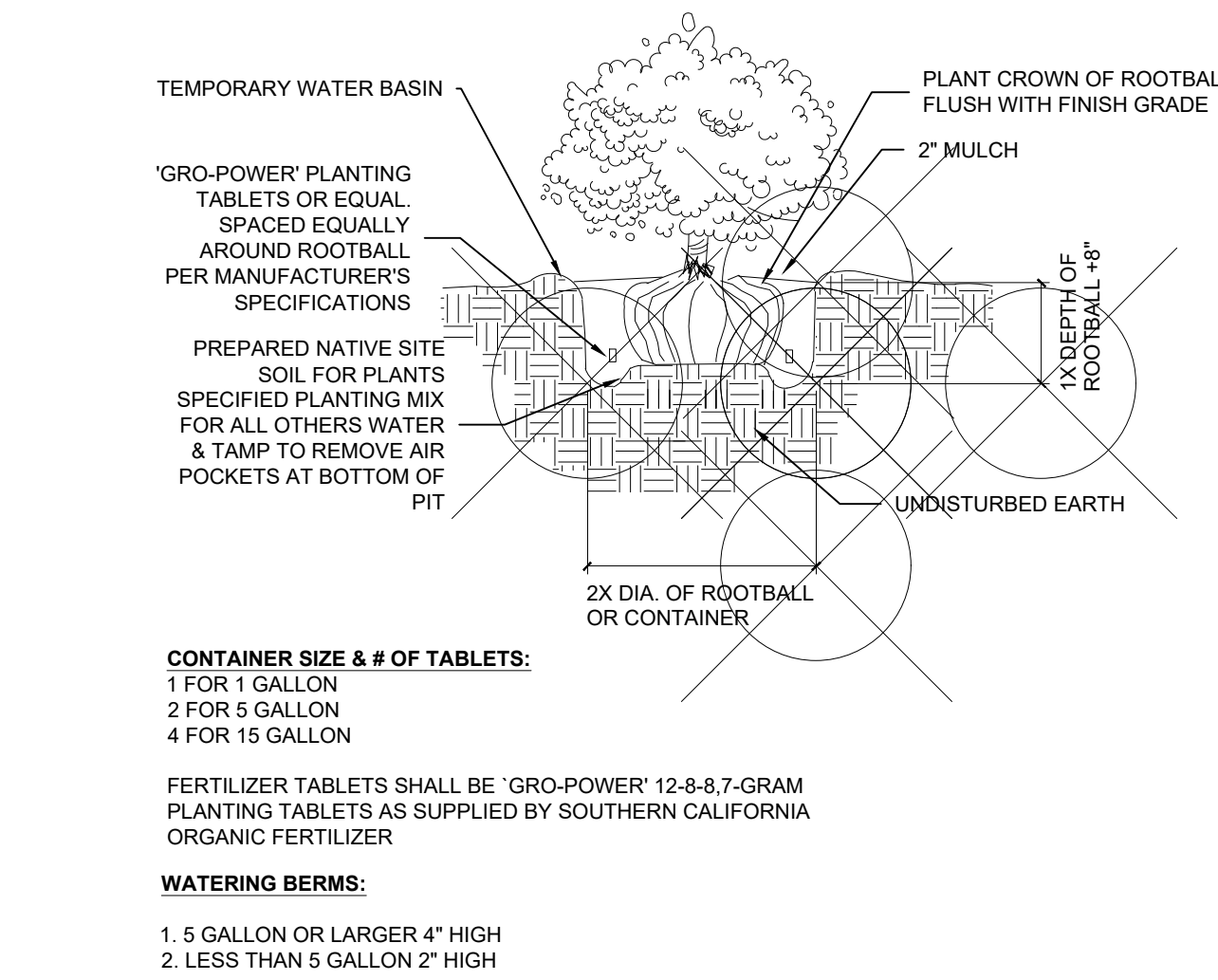


NOTE(S):
IF PUTTING LANDSCAPE DRIPLINE UNDER SOIL, DO NOT BURY MORE THAN 2\"/>

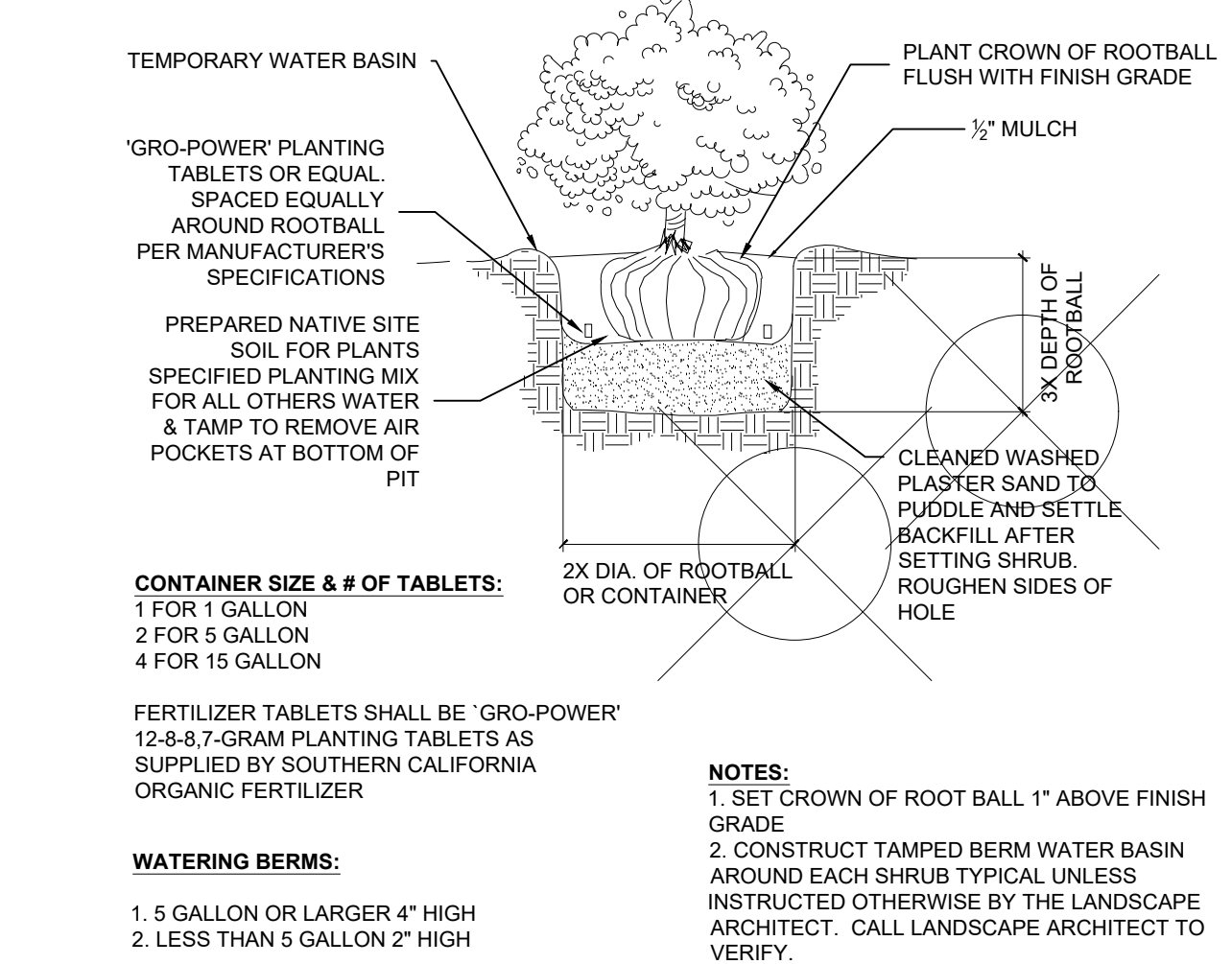
8 DRIPLINE BELOW GRADE

3" = 1'-0"

CCA-PL-TRE-329343-02



A

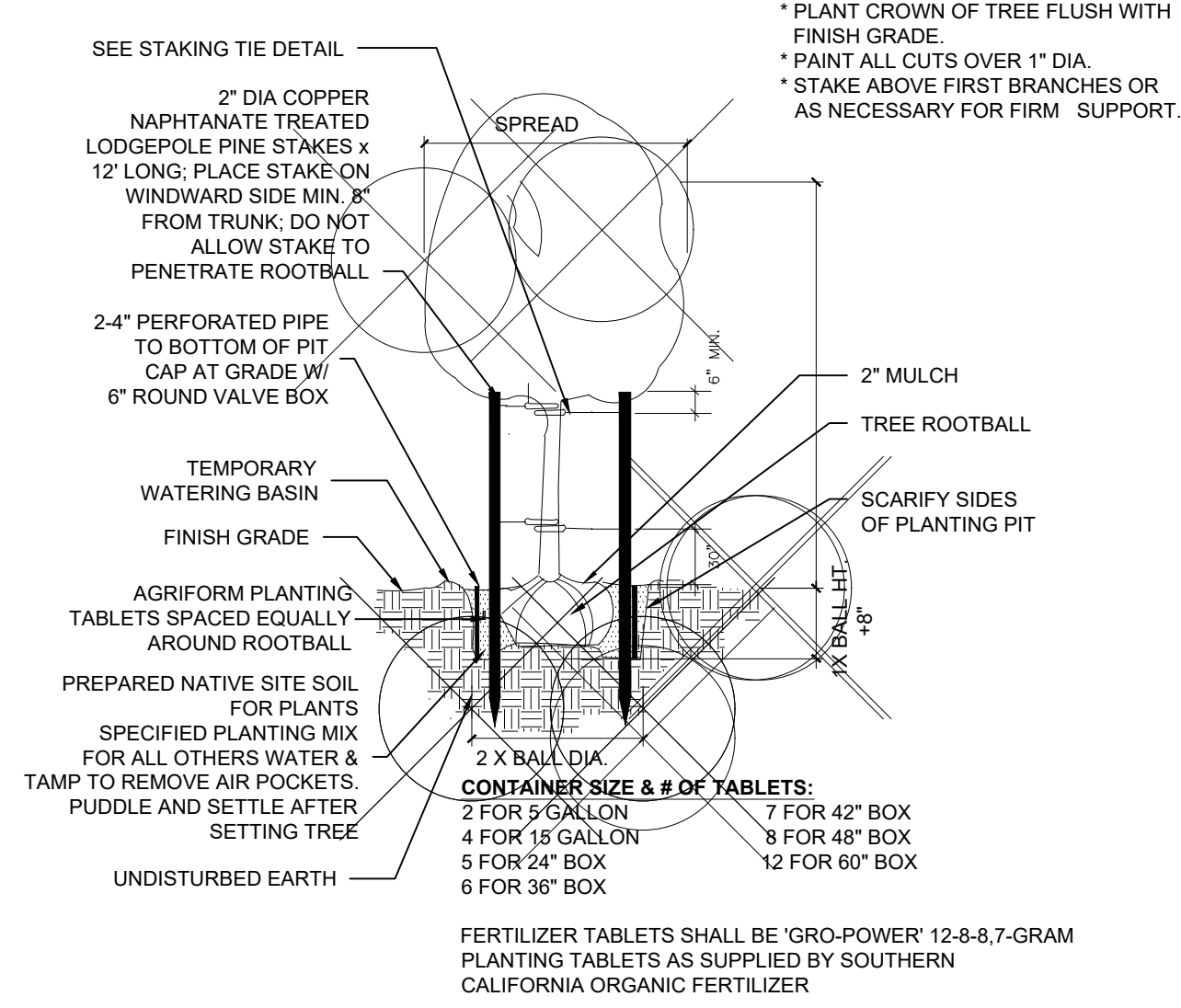


B

4 SHRUB PLANTING

1" = 1'-0"

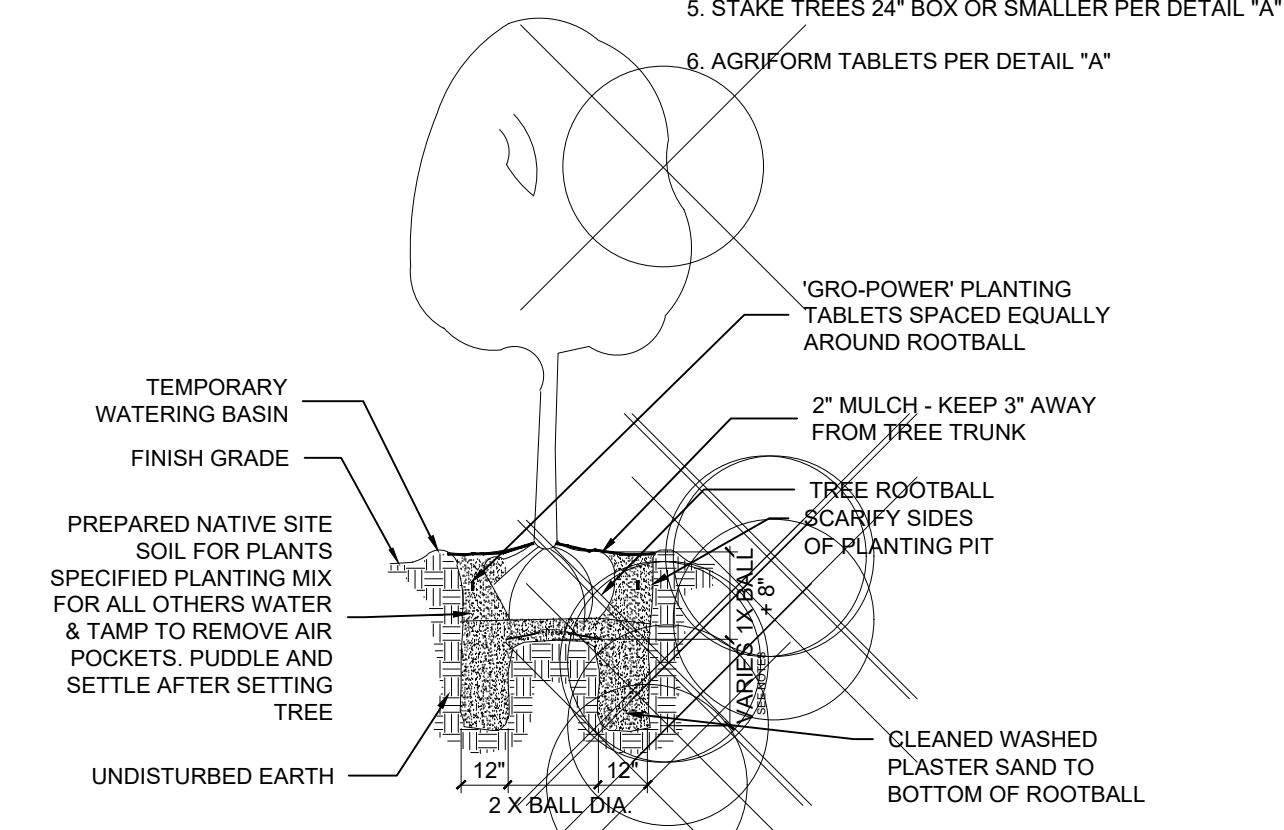
CCA-PL-SHR-329333-02



A

NOTE:	HOLE SCHEDULE:
SUBMIT BID ON A COST PER LINEAL FOR FOR VARIOUS DEPTHS OF: 10, 15 & 20"	5 GAL. -1 HOLE 15 GAL. -1 HOLE 24 BOX -1 HOLE 36\"/>

- NOTES:
1. BORE HOLES @ BOTTOM OF PLANT PIT ACCORDING TO HOLE SCHEDULE. HOLE MUST BREAK THROUGH HARDPAN TO PORUS MATERIAL.
 2. PITCH BOTTOM OF TREE PIT TOWARDS HOLE(S)
 3. FILL HOLES WITH CLEAN WASHED PLASTER SAND
 4. 36\"/>
 5. STAKE TREES 24\"/>
 6. AGRIFORM TABLETS PER DETAIL 'A'

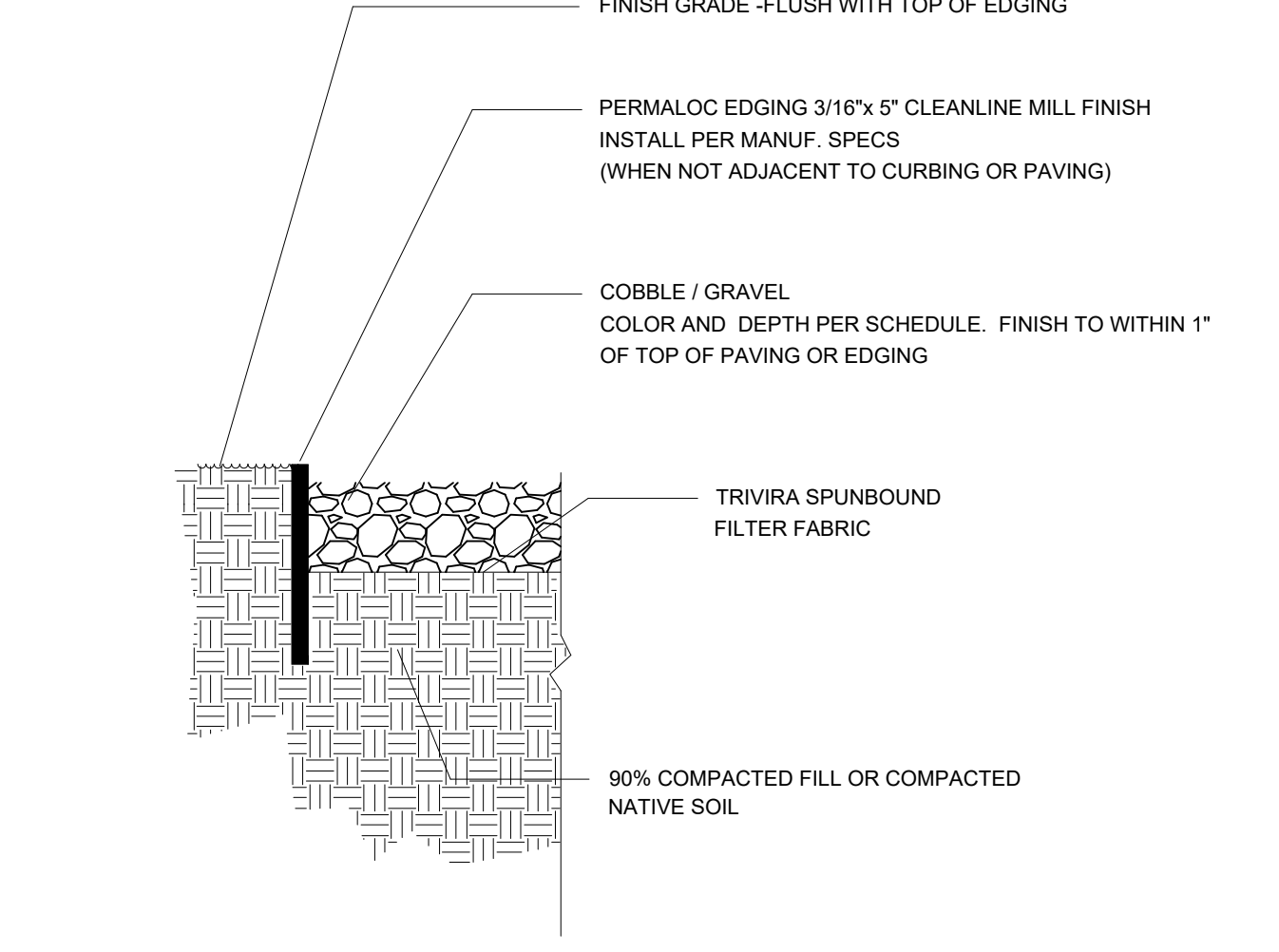


B

5 TREE PLANTING

NTS

CCA-PL-TRE-329343-02



1 COBBLE / GRAVEL

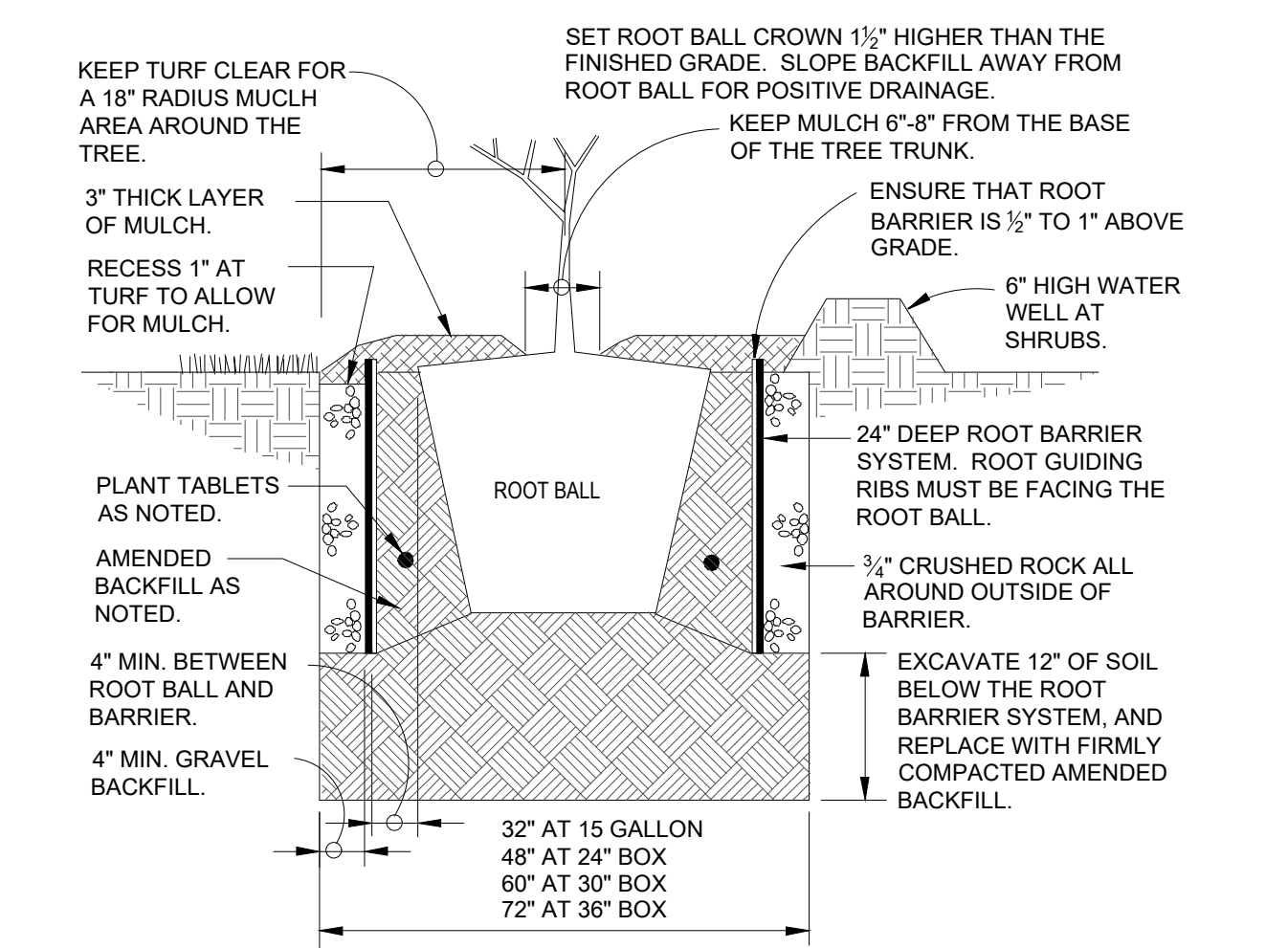
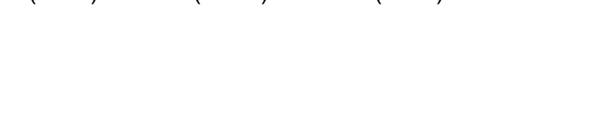
1\"/>

321545-01

Deep Root UB 24-2 Panels

Formula to determine the quantity of panels required for a Linear application use: Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

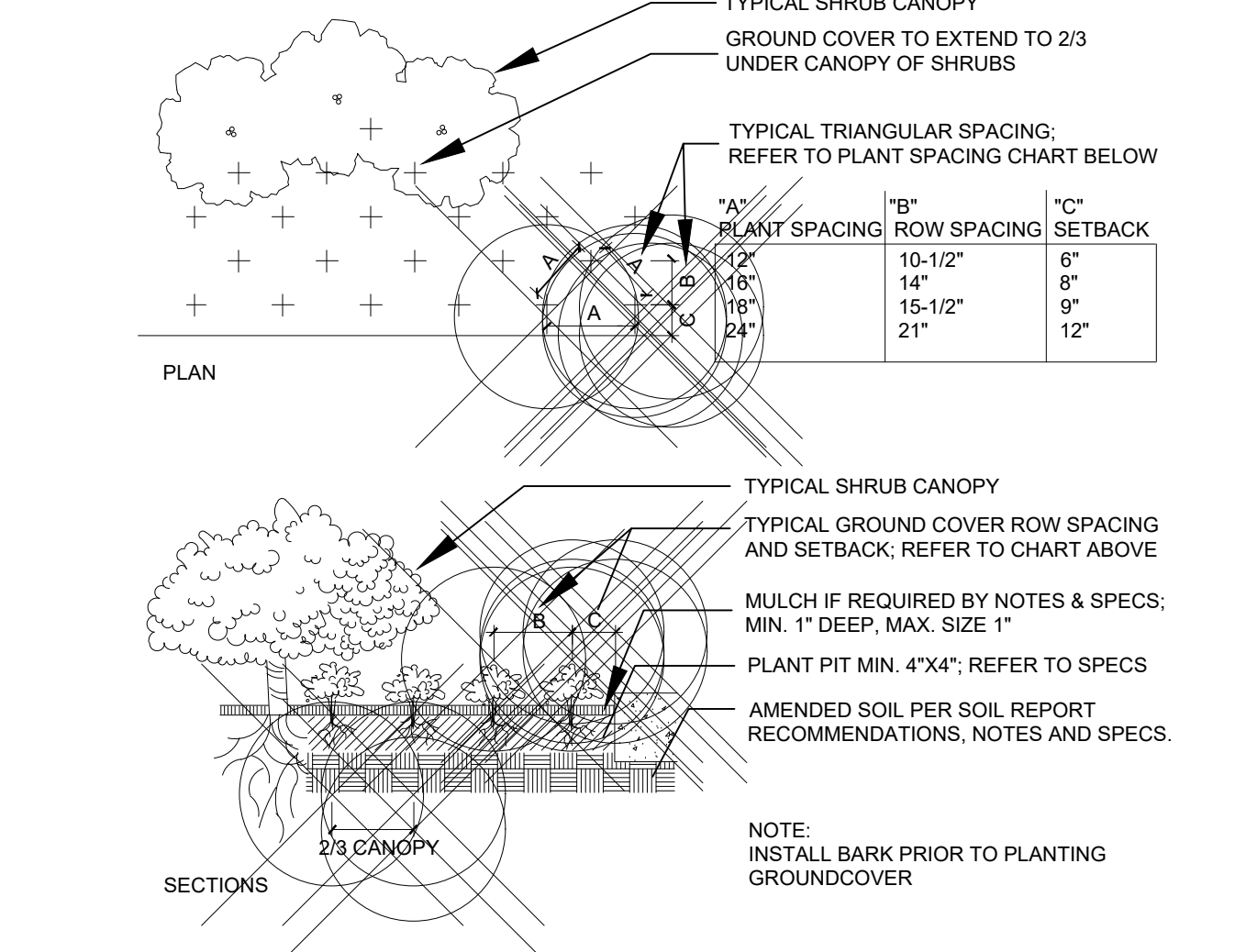
Expected Tree Canopy at Maturity	Feet of Barrier	Number of Panels
12' (3.6m) Dia. +2' (61cm) = 14' (4.2m)	7 Panels	
18' (5.5m) Dia. +2' (61cm) = 20' (6.1m)	10 Panels	
24' (7.3m) Dia. +2' (61cm) = 26' (7.9m)	13 Panels	



2 TREE ROOT BARRIER

1\"/>

329414-01

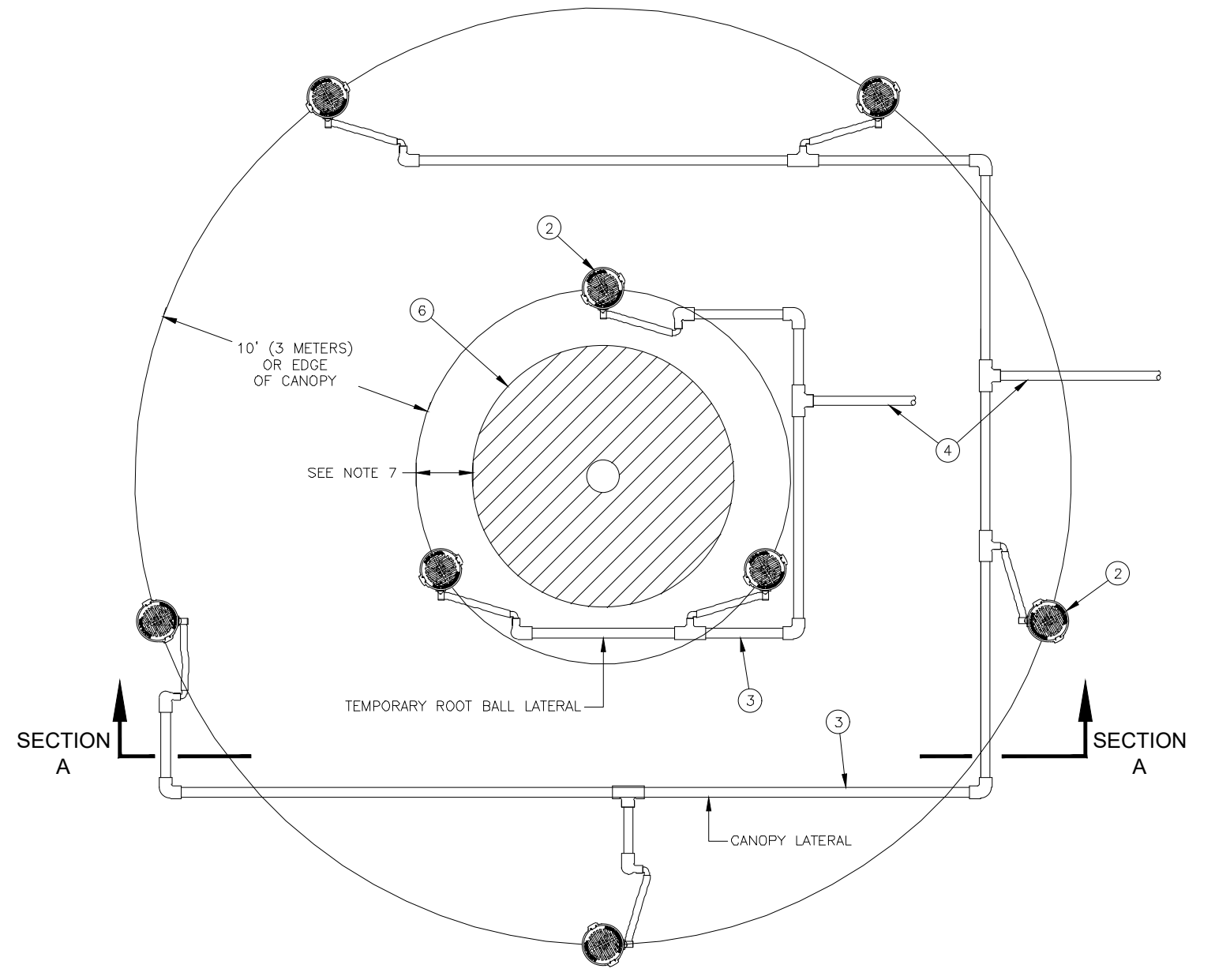


3 GROUND COVER

1\"/>

CCA-PL-01



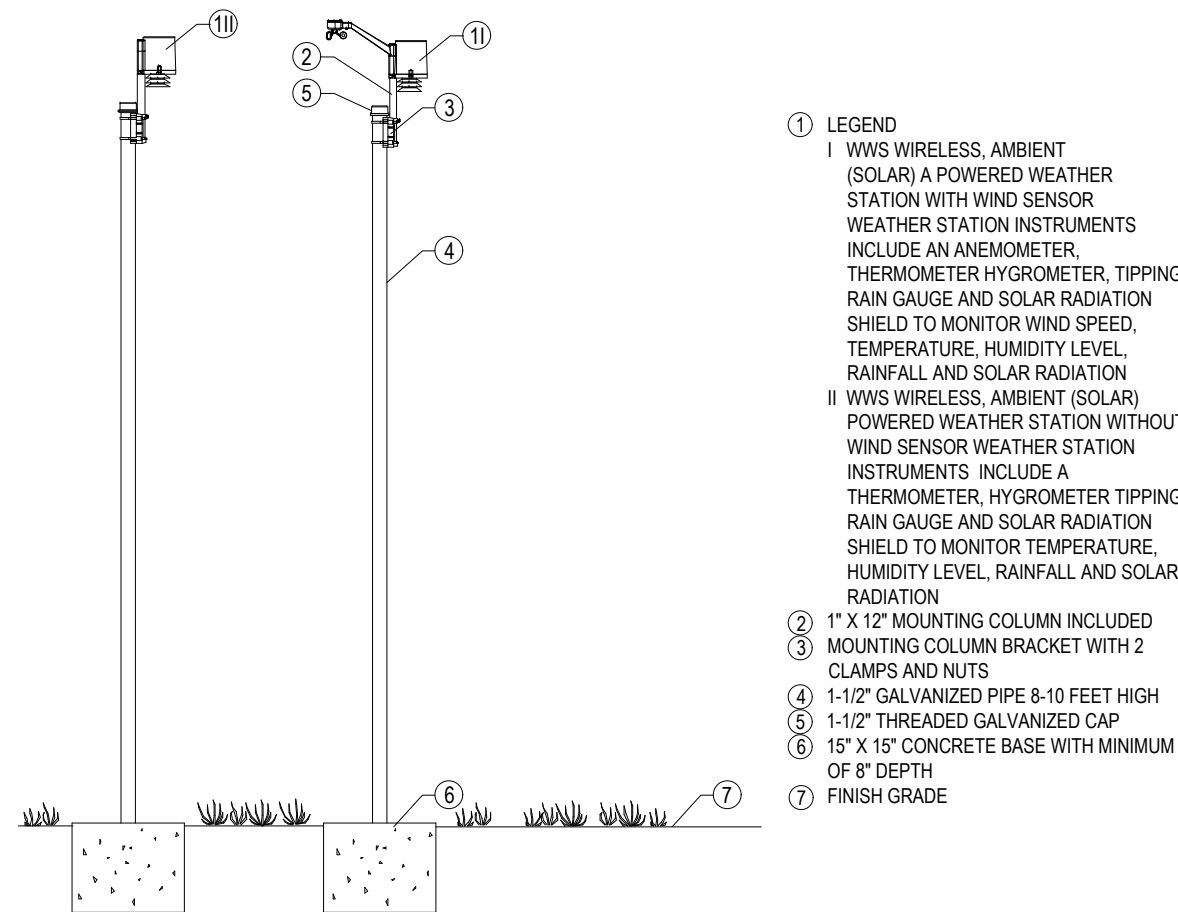


- NOTES:
1. TEMPORARY ROOT BALL LATERAL TO BE ABANDONED AFTER THREE YEARS.
 2. TEMPORARY ROOT BALL LATERAL AND CANOPY LATERAL TO BE VALVED SEPARATELY.
 3. SPACE RWS UNITS EVENLY AROUND TREE AS SHOWN.
 4. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
 5. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 6. ONCE RWS HAS BEEN INSTALLED, FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
 7. FOR NEW TREES, PLACE TEMPORARY ROOT WATERING SYSTEM NEAR ROOT FOR EXISTING TREES, PLACE TEMPORARY ROOT WATERING SYSTEM HALFWAY BETWEEN CANOPY EDGE AND TREE TRUNK.
1. FINISH GRADE/TOP OF MULCH
2. ROOT WATERING SYSTEM: RAIN BIRD RWS
3. PVC OR POLYETHYLENE LATERAL PIPE AND FITTINGS
4. CONNECT THE TWO LATERALS SHOWN TO SEPARATE VALVES
5. OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS
6. PLANT ROOT BALL

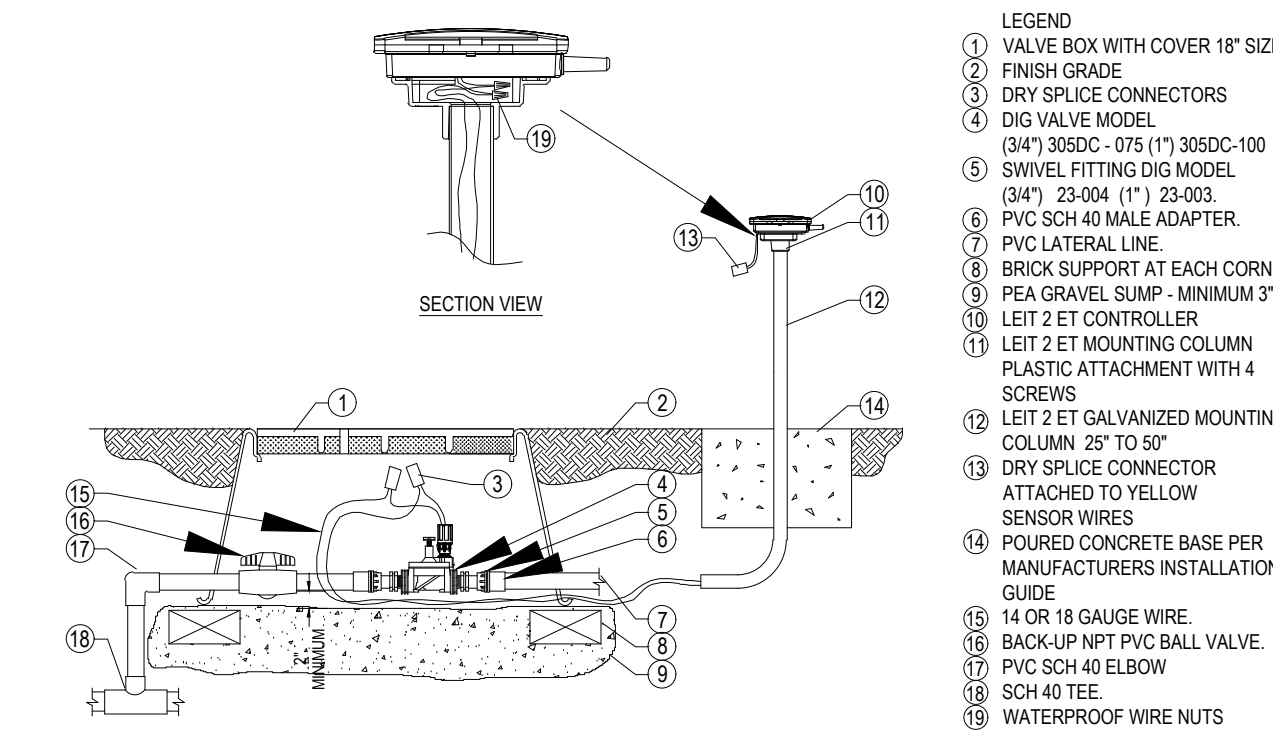
2 A-RWS INSTALLATION WITH DUAL PERIMETER

NOT TO SCALE

FX-IR-RB-DRIP-02



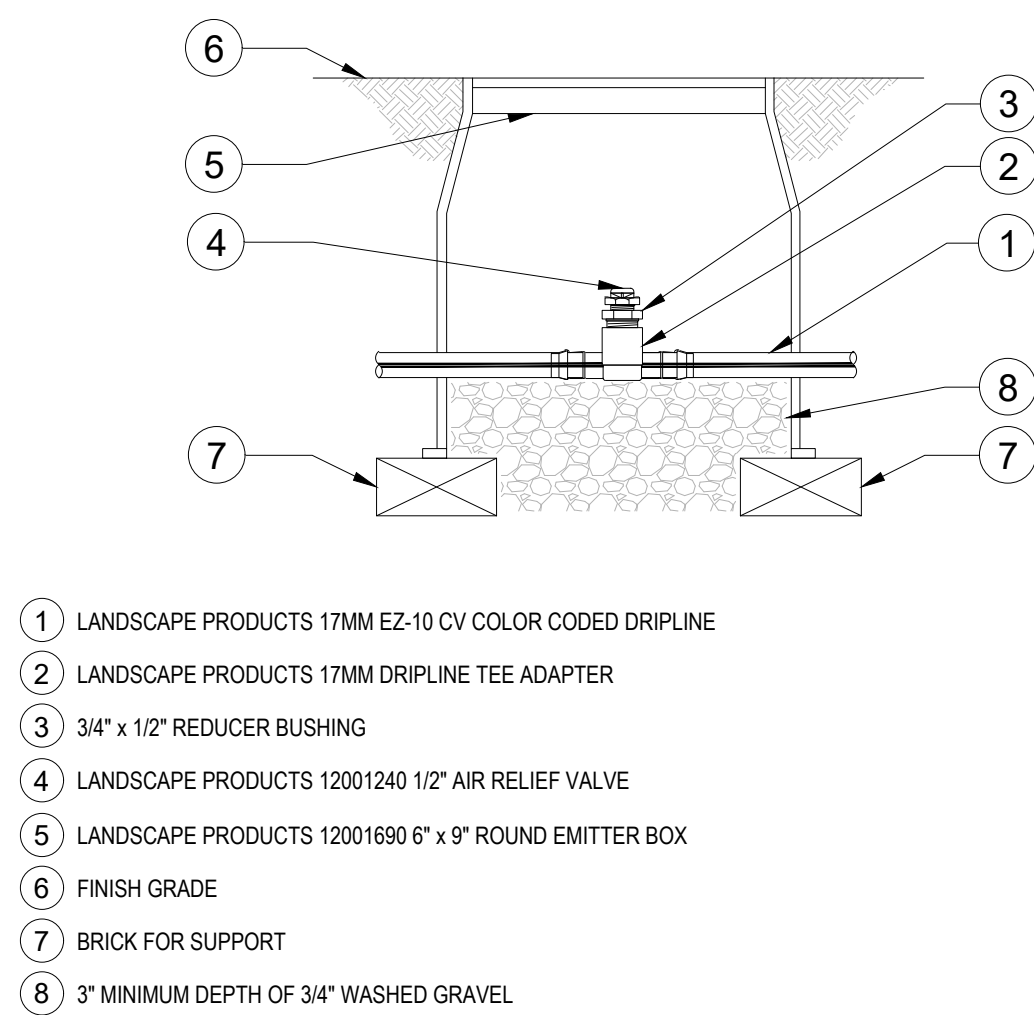
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER.



- NOTES:
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 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER.

12 LEIT-2ET WEATHER BASED, WIRELESS CONTROL

328409-16-01

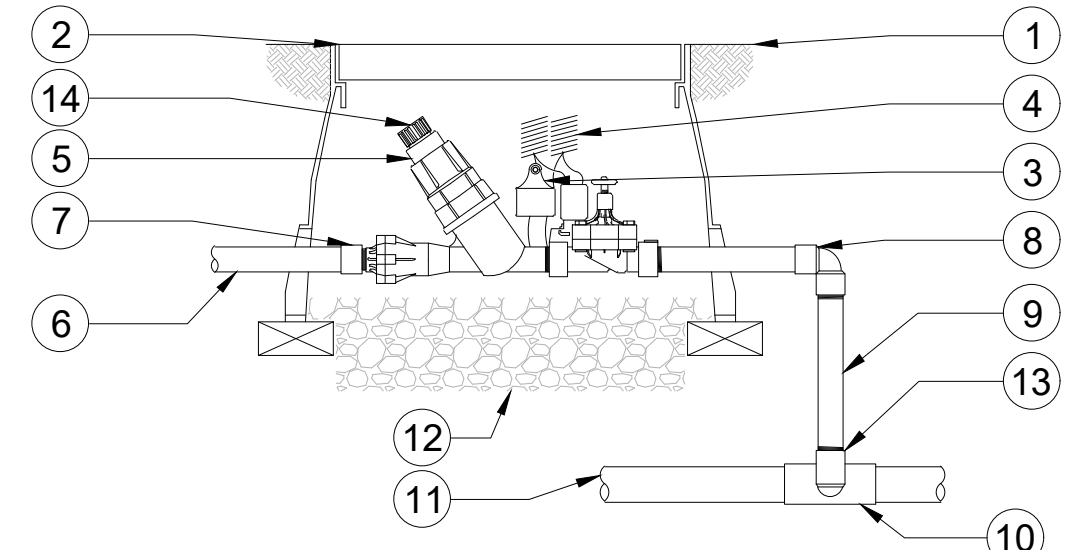


- NOTES:
1. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINTS ON THE DRIPLINE.

9 17MM EZ-ID DRIPLINE AIR RELIEF VALVE

NOT TO SCALE

FX-IR-LPI-DRE-01

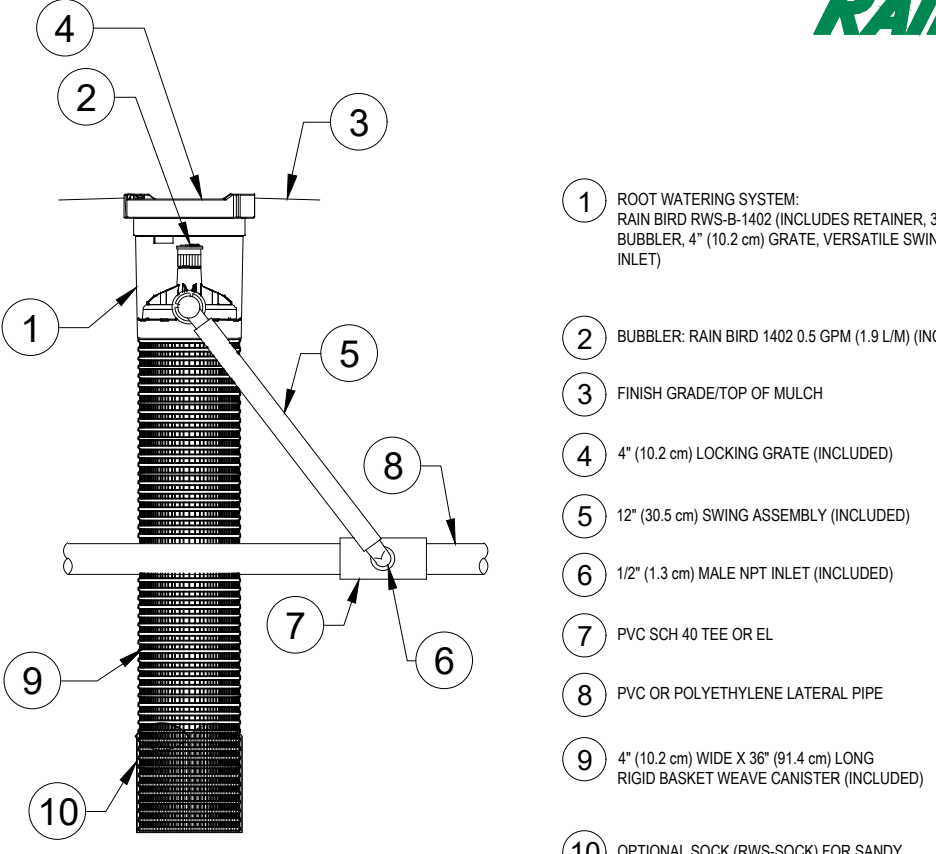


1. FINISH GRADE
2. LANDSCAPE PRODUCTS JUMBO VALVE BOX WITH COVER
3. VALVE ID TAG
4. 30-INCH LENGTH OF COILED WIRE
5. LANDSCAPE PRODUCTS DRIP KIT (INCLUDES VALVE, FILTER & PRESSURE REGULATOR)
6. PVC SUPPLY HEADER TO DRIPLINE
7. PVC SCH 80 FEMALE ADAPTER OR REDUCER
8. PVC SCH 80 ELL
9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
10. PVC SCH 80 TEE OR ELL
11. PVC MAINLINE
12. 3\"/>

10 DRIP ZONE KIT IN VALVE BOX

NOT TO SCALE

FX-IR-LPI-DRE-01

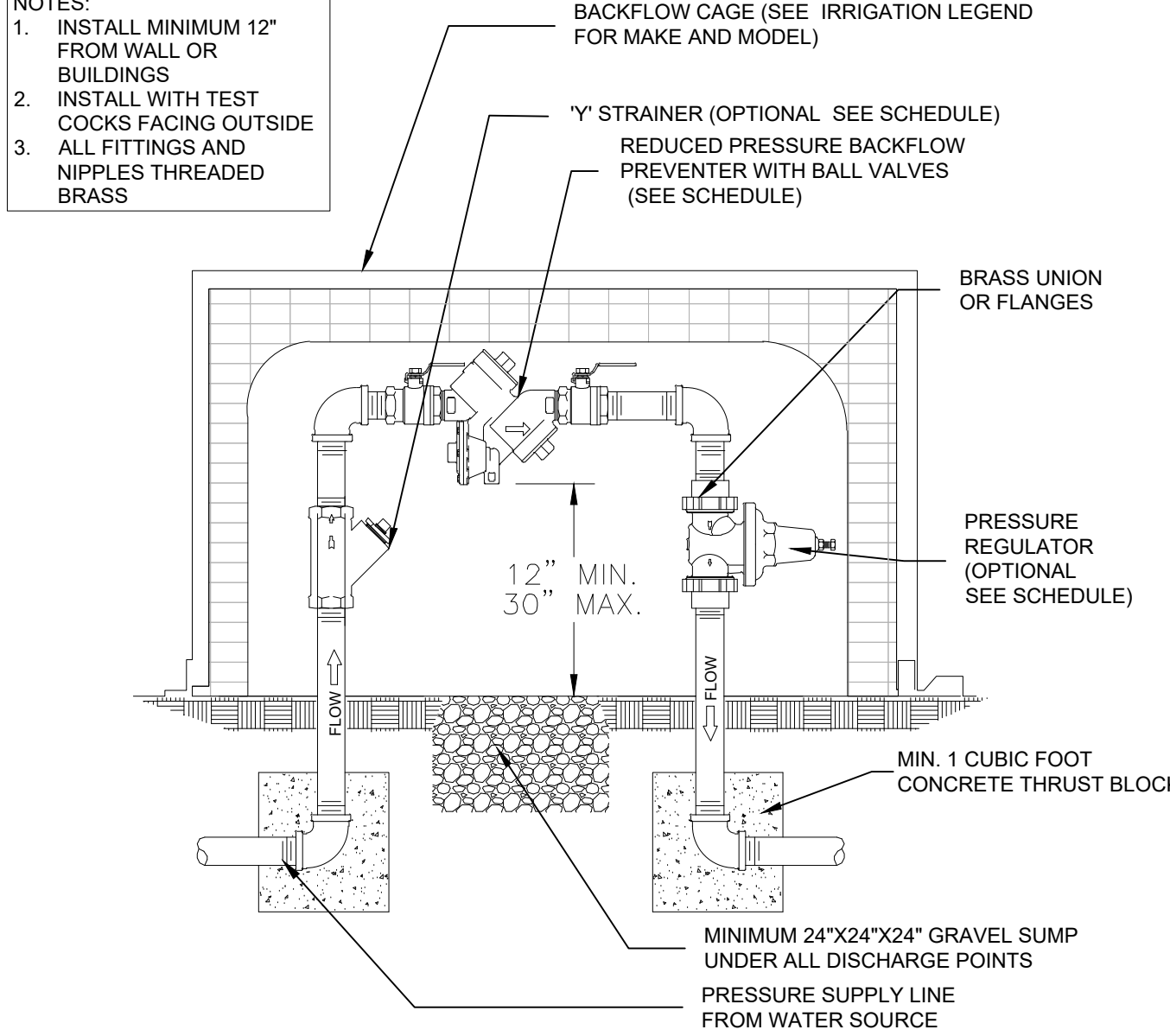


1. ROOT WATERING SYSTEM: RAIN BIRD RWS 1402 (INCLUDES RETAINER, 3/8\"/>

11 ROOT WATERING SYSTEM-RWS-1402

NOT TO SCALE

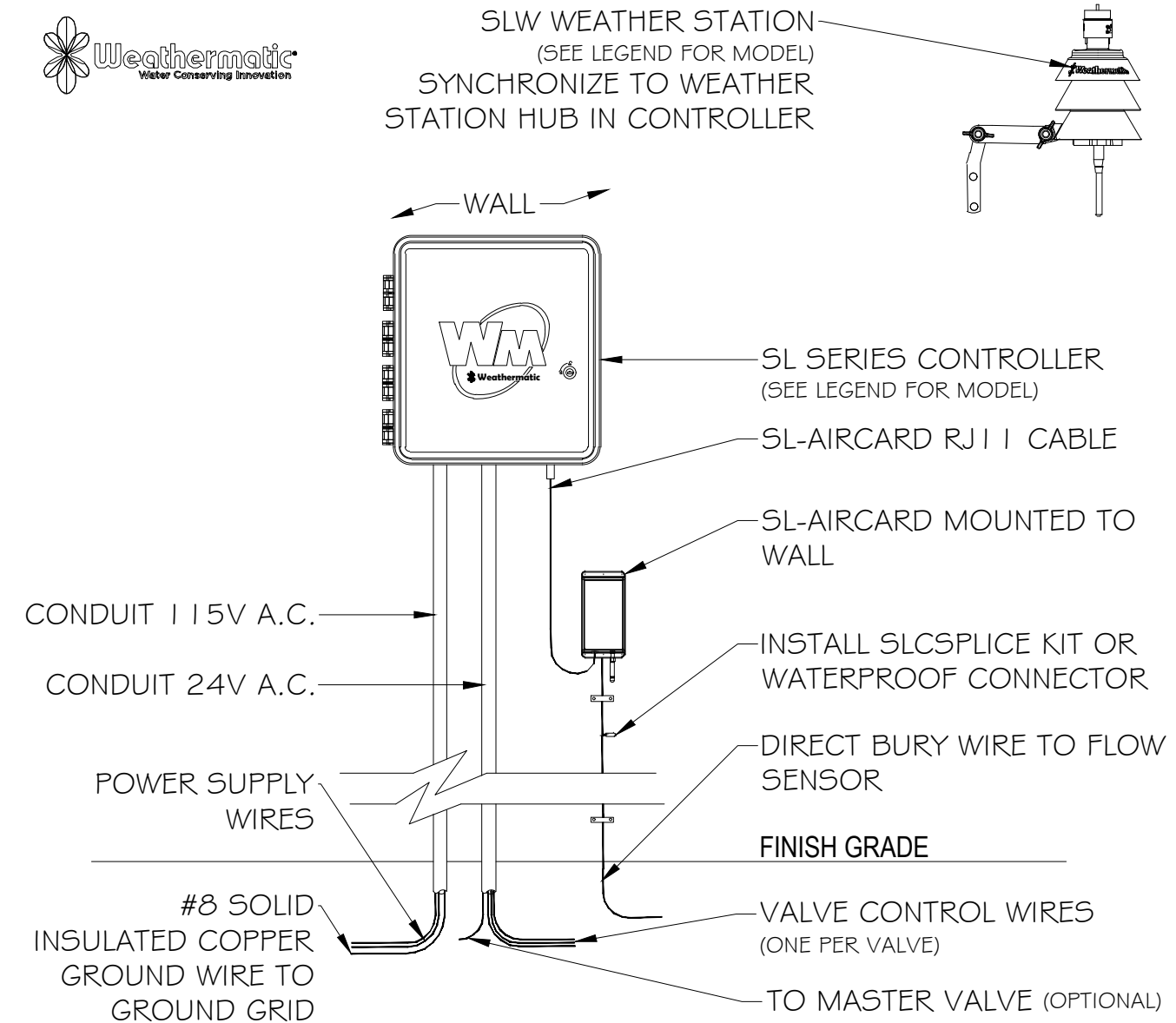
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5 REDUCED PRESSURE BACKFLOW

1 1/2\"/>

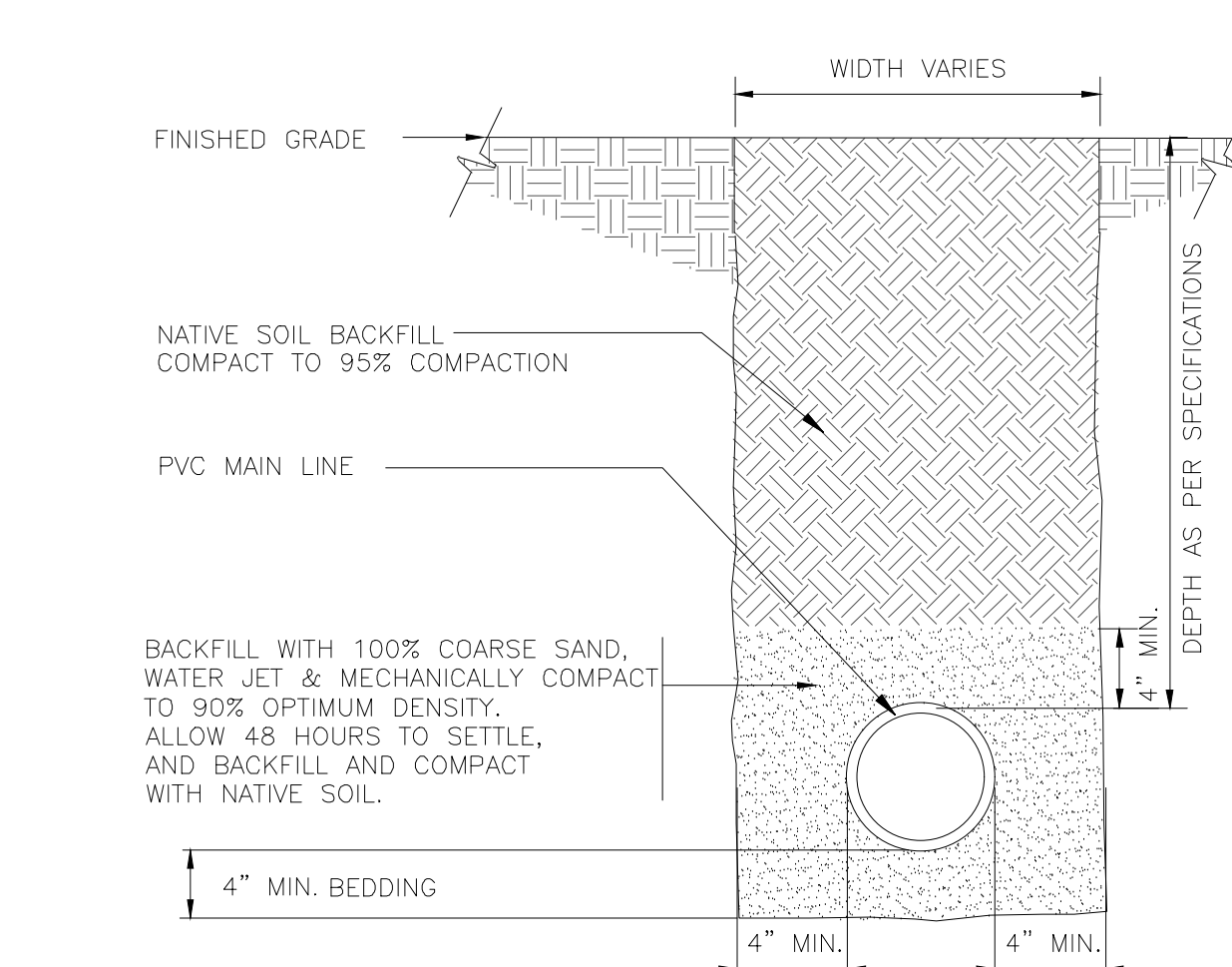
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6 SMARTLINE CONTROLLER WITH SLW

NOT TO SCALE

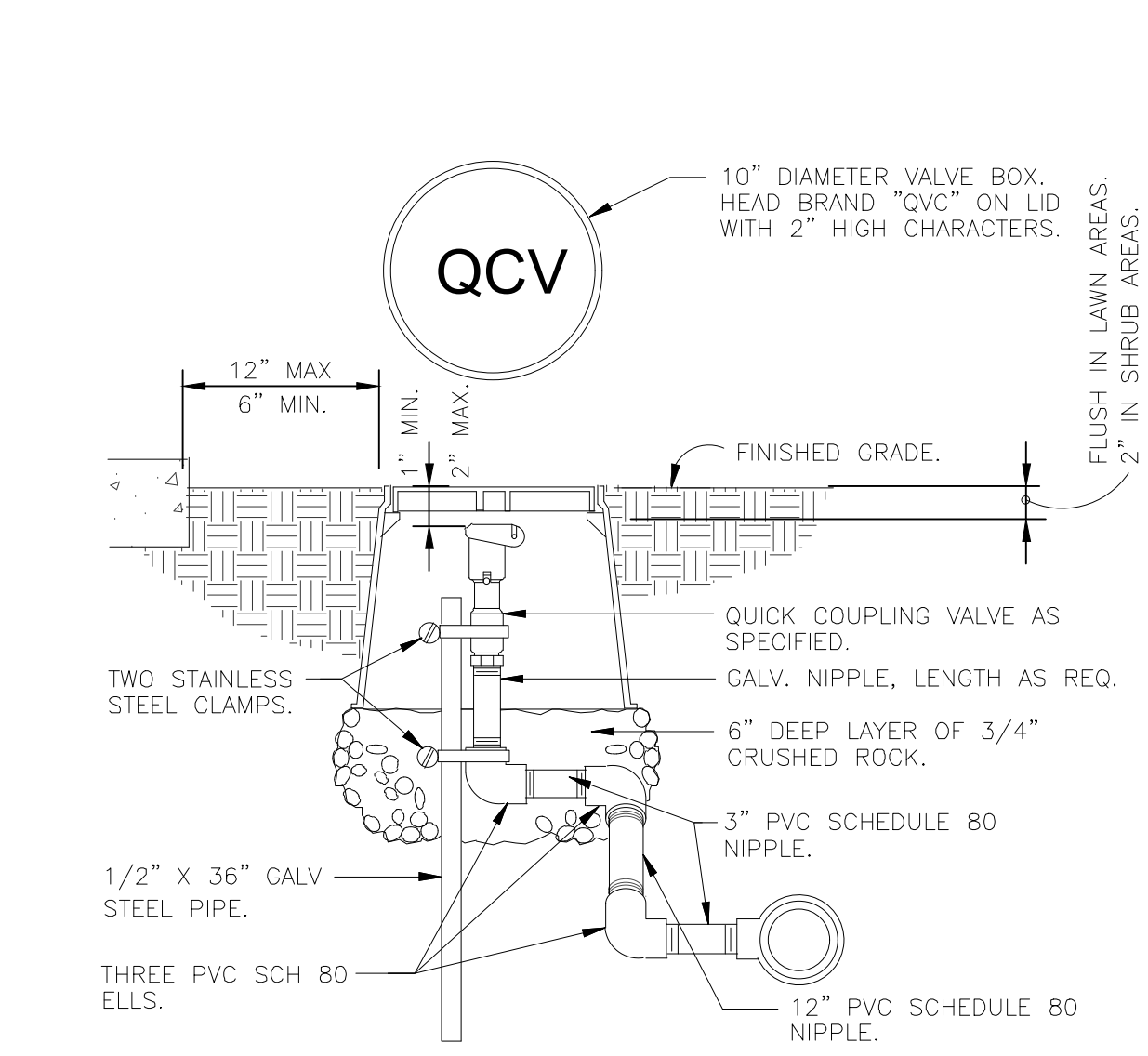
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7 SLEEVE AT ROAD

1 1/2\"/>

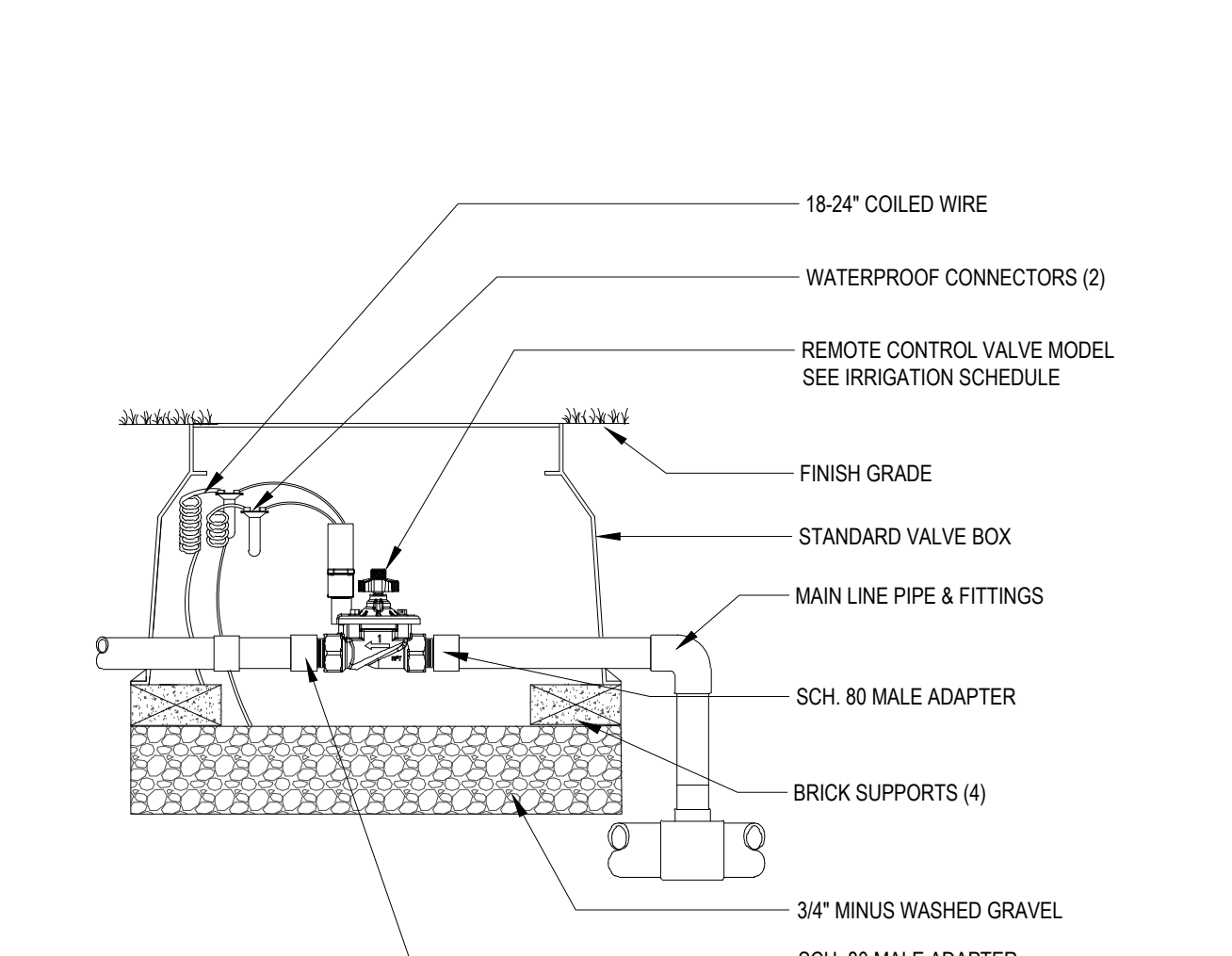
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8 QUICK COUPLING VALVE IN BOX

1 1/2\"/>

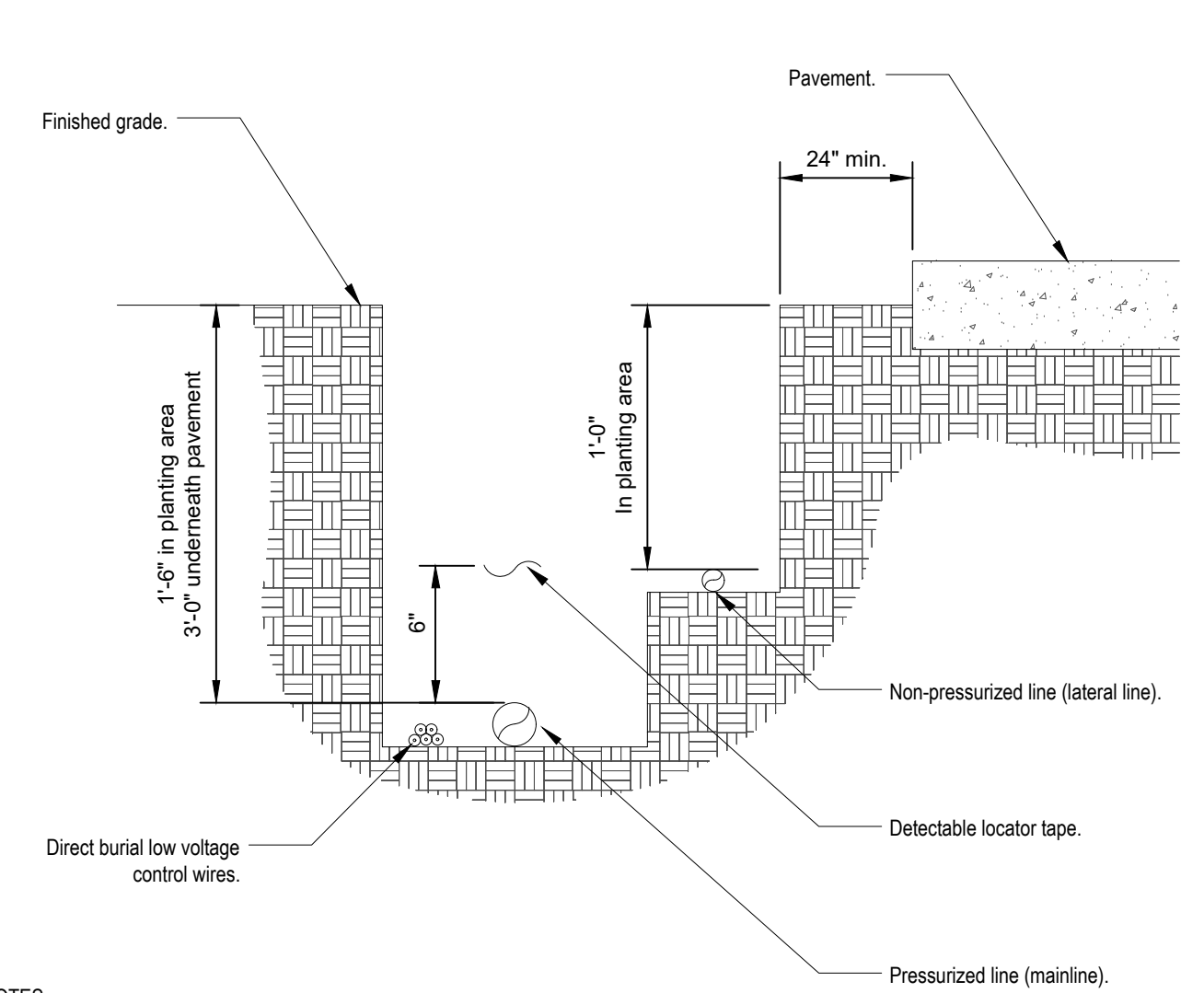
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1 CONTROL VALVE

1 1/2\"/>

CCA-RR-328406-01

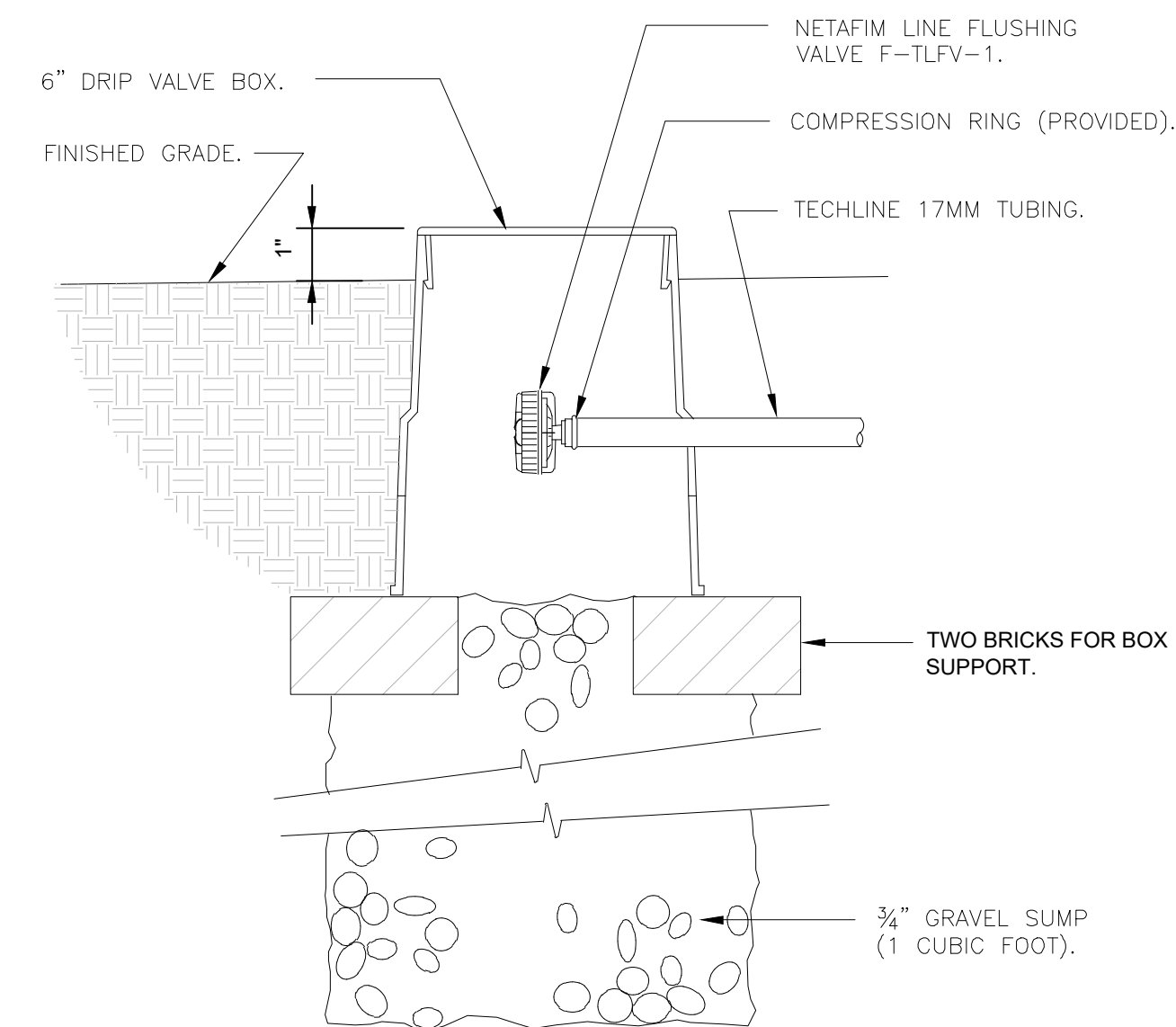


- NOTES:
1. See irrigation legend for mainline and lateral line pipe size and type.
 2. Direct burial control wires shall be installed in Sch. 40 PVC electrical conduit if required.
 3. 2-wire irrigation wire shall be installed in Sch. 40 PVC electrical conduit.
 4. Detectable locator tape shall be located six inches (6\") above the entire mainline run.

2 IRRIGATION TRENCHING

NTS

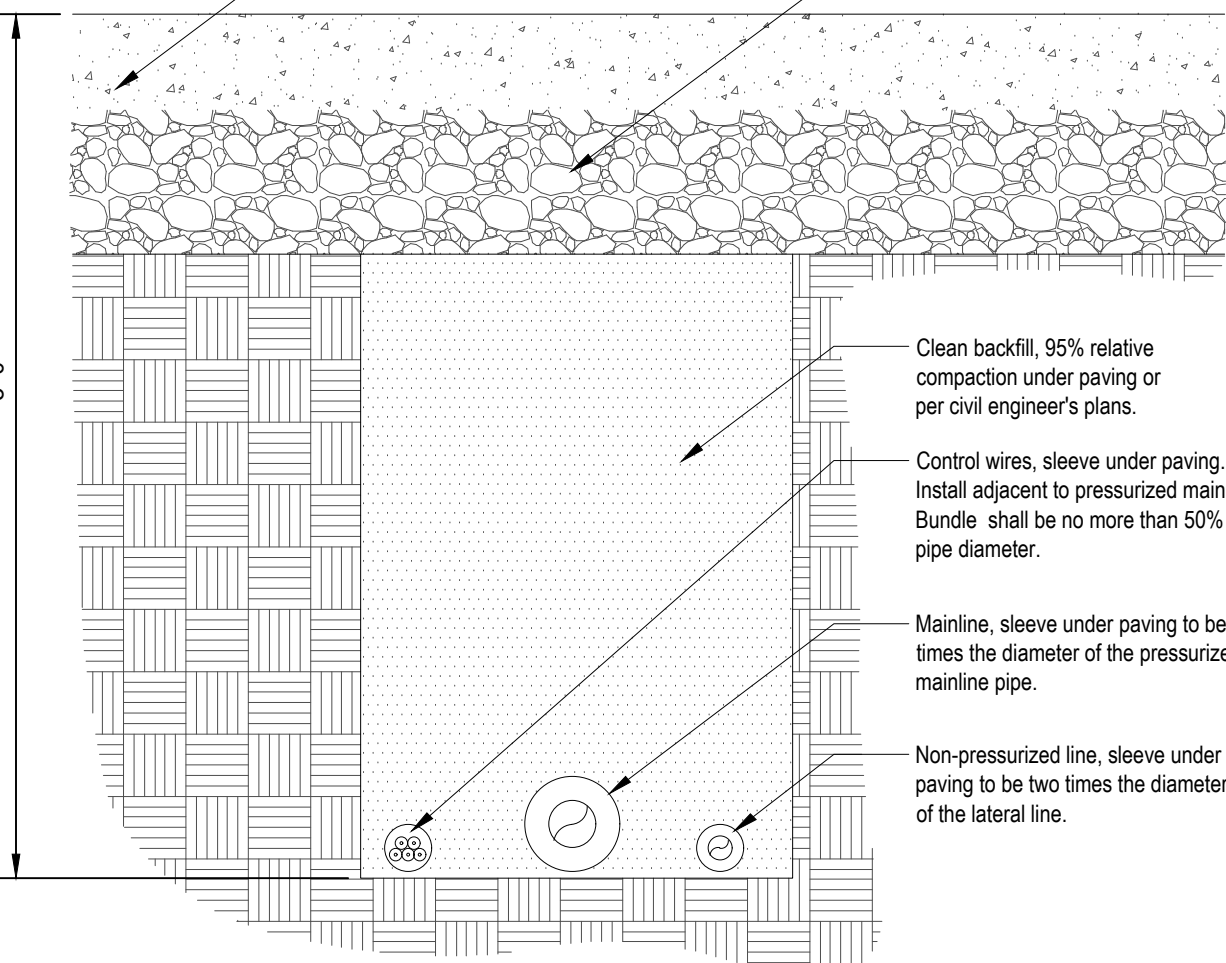
FX-IR-FX-AUXEQ-08



3 NETAFIM TECHLINE FLUSH VALVE

3\"/>

FX-IR-NETA-DRIP-01



- Notes:
1. See irrigation legend for mainline size and type.
 2. All sleeves shall be Sch. 40 PVC pipe.
 3. All sleeves shall extend 12\"/>
 4. End of sleeves shall be located with a wooden stake or PVC pipe. Locators shall run continuously from the end of the sleeve to finished grade.

4 PIPE BENEATH PAVEMENT

NTS

FX-IR-FX-AUXEQ-05

JOB NO. CM220364

SUBMITTAL DATE
CLIENT SUBMITTAL 10/18/23
CLIENT RE-SUBMITTAL 02.21.24

REVISION DATE
A Bid Addendum 'C'. 06.21.24

LADBS STAMP

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

CUMMINGS CURLEY AND ASSOCIATES INC.
LANDSCAPE ARCHITECTS
1100 PACIFIC COAST HIGHWAY, SUITE C
SEAL BEACH, CALIFORNIA 92640
CALIFORNIA 3583 • ARIZONA 30100 • NEVADA 578 • UTAH 377204
COLORADO 1559 • TEXAS 3337 • WASHINGTON 1099 • CLARE 1848



SHEET TITLE

LANDSCAPE DETAILS

SHEET NO.

L301

06/21/24

SHEET 7 OF 10

PART 1 GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes sleeving and irrigation system.
- B. Include a one-year of extended maintenance. Extended maintenance requirements are specified in Division 2 Section "Landscape and Irrigation Maintenance".

1.3 QUALITY ASSURANCE AND REQUIREMENTS

- A. Permits and Fees: Obtain and pay for any and all permits and all inspections as required.
- B. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers of articles used in this Contract furnish directions covering points not shown in the Drawings and Specifications.
- C. Ordinances and Regulations: All local, municipal and state laws, rules, and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these Specifications, and their provisions shall be carried out by the Contractor. Anything contained in these Specifications shall not be construed to conflict with any of the above rules and regulations or requirements of the same. However, when these Specifications and Drawings call for or describe materials, workmanship or construction of a better quality, higher standard, or larger size than is required by the above rules and regulations, the provisions of these Specifications and Drawings shall take precedence.
- D. Explanation of Drawings:

1. Due to the scale of Drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. Carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, utilities and architectural features.
2. All work called for on the Drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the Specifications.
3. Do not willfully install the irrigation system as shown on the Drawings when it is obvious in the field that unknown obstructions, grade differences or discrepancies in area dimensions exist that might not have been considered in engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.

1.4 ACTION SUBMITTALS

- A. Material List:
1. Furnish the articles, equipment, materials, or processes not specified by name in the Drawings and Specifications. No substitutions will be allowed without prior written acceptance by the Landscape Architect.
2. Complete material list shall be submitted prior to performing any work. Material list shall include the manufacturer, model number and description of all materials and equipment to be used.
3. Equipment or materials installed or furnished without prior acceptance of the Landscape Architect shall be rejected and removed from the site at your expense.
4. Review of any item, alternate or substitute indicates only that the product or products apparently meet the requirements of the Drawings and Specifications on the basis of the information or samples submitted.
5. Manufacturer's warranties shall not relieve the Contractor of liability under the guarantee. Such warranties shall only supplement the guarantee.

- B. Record and As-Built Drawings:

1. Provide and keep up to date a complete "as-built" record set of prints which shall be corrected daily and show every change from the original Drawings and Specifications and the exact "as-built" locations, sizes and kinds of equipment. Prints for this purpose may be obtained from the Architect at cost. This set of drawings shall be kept on the site and shall be used only as a record set.
2. These drawings shall also serve as work progress sheets, and the Contractor shall make neat and legible annotations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for review on-site.
3. Before the date of the final review, transfer all information from the as-built prints to a reproducible drawing, procured from the Landscape Architect at cost. All work shall be neat, in ink, and subject to the approval of the Landscape Architect.
4. Dimension from two (2) permanent points of reference, building corners, sidewalk or road intersections, etc., the location of the following items:
- a. Connection to existing water lines.
- b. Connection to existing electrical power.
- c. Gate valves.
- d. Routing of sprinkler pressure lines (dimension maximum 100 feet (30 m) along routing).
- e. Sprinkler control valves.
- f. Routing of control wiring.
- g. Quick coupling valves and drain valves.
- h. Other related equipment as directed by the Landscape Architect.

5. Deliver the corrected and completed as-built reproducible prints to the Landscape Architect thirty (30) days before the date of final review. Delivery of the reproducible prints will not relieve the Contractor of the responsibility of furnishing required information that may be omitted from the prints.

C. Controller Charts:

1. As-built reproducible prints shall be reviewed by the Landscape Architect before controller charts are prepared.
2. Provide one controller chart for each controller supplied.
3. The chart shall show the area controlled by the automatic controller and shall be the maximum size which the controller door will allow.
4. The chart is to be a reduced drawing of the approved as-built reproducible prints. In the event the controller sequence is not legible when the drawing is reduced, it shall be enlarged to a size that will be readable.
5. The chart shall be a reproducible drawing and a different color shall be used to indicate the area of coverage for each station.
6. When completed and approved, the chart shall be hermetically sealed between two pieces of plastic, minimum 6 mil.
7. These charts shall be completed and approved by the Landscape Architect prior to final review of the irrigation system.
8. Controller charts shall be attached to the inside surface of the corresponding controller enclosure prior to final review.

D. Operation and Maintenance Manuals:

1. Prepare and deliver to the Landscape Architect within ten (10) calendar days prior to completion of construction, a cover binder with three rings containing the following information:
- a. Index sheet stating Contractor's address and telephone number, list of equipment with name and addresses of local manufacturer's representatives.
- b. Catalog and parts sheets on every material and equipment installed under this Contract.
- c. Guarantee statement.
- d. Complete operating and maintenance instructions on all major equipment.
- e. Construction details from project.
- f. Complete trouble shooting guide to common irrigation problems.
- g. Winterization and spring start up procedures.
- h. Chart of approximate watering times for spring, summer, fall and winter.

2. In addition to the above-mentioned maintenance manuals, provide the Owner's maintenance personnel with instructions for major equipment and show evidence in writing to the Landscape Architect at the conclusion of the project that this service has been rendered.

E. Maintenance Materials to be Furnished:

1. Supply as a part of this Contract, the following tools:
- a. Two sets of tools required for removing, disassembling and adjusting each type of sprinkler and valve supplied on this project.
- b. Two 5-foot (1500-mm) valve keys for operation of gate valves.
- c. Two keys for each automatic controller.
- d. Three quick coupler keys and matching hose swells for each type of quick coupling valve installed.
- e. Drip line Equipment, including the following --

- 1) One plastic handled punch
- 2) 10 feet (3 m) of dripper tubing for each dripper interval and discharge rate,
- 3) Six barbed couplings
- 4) Six barbed 90 elbows fittings
- 5) Six barbed tee fittings
- 6) Six 180 2-way adapter tees
- 7) Six male adapters with 3/4 inch (19 mm) FPT
- 8) One spare filter element of the mesh size indicated on the irrigation legend.
- 9) One line flushing valve
- 10) Two regulator springs of the colored and regulating pressure indicated on the irrigation legend.
- 11) Six dripper plug rings.

- 12) The above-mentioned equipment shall be turned over to the Owner at the conclusion of the project. Before final review can occur, evidence that the Owner has received material must be shown to the Landscape Architect.

1.5 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Handling of PVC pipe and fittings: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing PVC pipe and fittings. All PVC pipe shall be transported in a vehicle which allows the length of pipe to lie flat so as not to subject it to undue bending or concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded, and, if installed, shall be replaced with new piping.
- B. Provide all equipment called for by the Drawings.

1.6 FIELD QUALITY CONTROL AND SITE VISITS

A. Required Site Visits During Construction:

1. Pre-Installation Conference: Contractor, Installer, Landscape Architect, Owner's Representative, and other pertinent parties to attend Pre-Installation Conference for landscape and irrigation prior to starting work on site.
2. Landscape Architect will make three (3) site visits during construction to review the irrigation system at the following stages:
- a. Prior to pipe cover-up for mainline pressure test and lateral review
- b. After sprinkler head installation
- c. Punch list coverage test.

3. Punch List Review: Landscape Architect will make one site visit to review the completed work. Landscape Architect to obtain Contractor's Punch List prior to visit and to schedule the visit when the work is complete enough to negate the need for additional visits.

B. Required Site Visit After Construction:

1. Landscape Architect will make a one (1) year Guarantee Site Visit.

C. Submit reports of site visits to Architect and Owner.

D. Site Visit Schedule: Contractor shall be responsible for notifying the Landscape Architect and Owner's Representative in advance for the following reviews, according to the time indicated:

1. Pre-Installation Conference: Five (5) business days.
2. Mainline Pressure Test and Lateral Review: Three (3) business days.
3. Sprinkler Head Installation: Three (3) business days.
4. Punch List Review And Coverage Test: Three (3) business days.
5. One-Year Guarantee Site Visit: Ten (10) business days

1.7 GUARANTEE

- A. The guarantee for the irrigation system shall be made in accordance with the attached form. The General Conditions and Supplementary Conditions of these Specifications shall be filed with the Owner or his representative prior to acceptance of the irrigation system.

- B. A copy of the guarantee form shall be included in the operations and maintenance manual.

- C. The guarantee form shall be retyped onto the Contractor's letterhead and contain the following information:

GUARANTEE FOR IRRIGATION SYSTEM

We hereby guarantee that the irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the Drawings and Specifications, ordinary wear and tear and unusual abuse, or neglect excepted. We agree to repair or replace any defects in material or workmanship which may develop during the period of one (1) year from date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at no additional cost to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.

PROJECT: _____
LOCATION: _____

SIGNED: _____
Contractor
ADDRESS: _____

PHONE: _____
DATE OF ACCEPTANCE: _____

PART 2 PRODUCTS

2.1 MATERIALS

- A. General: Use only new materials of brands and types noted on Drawings and specified herein.

B. PVC Pressure Main Line Pipe and Fittings

1. Pressure main line piping shall be PVC Schedule 40.
2. Pipe shall be made from an NSF approved Type I, Grade I, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements as set forth in Federal Specification PS-22-70, with an appropriate standard dimension ratio (S.D.R.). (Solvent-weld pipe).
3. Pipe shall be made from NSF approved Type I, Grade I PVC compound conforming to ASTM resin specification 1785. All pipe must meet requirements as set forth in Federal Specification PS-21.70. (Solvent-weld pipe).
4. PVC solvent-weld fittings shall be Schedule 40, 1-1/2, II NSF approved conforming to ASTM test procedure D2466.
5. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and installation methods prescribed by the manufacturer.
6. All PVC pipe must bear the following markings:

- a. Manufacturer's name
- b. Nominal pipe size
- c. Schedule or class
- d. Pressure rating in P.S.I.
- e. NSF (National Sanitation Foundation) approval
- f. Date of extrusion

7. All fittings shall bear the manufacturer's name or trademark, material designation, size, applicable I.P.S. schedule and NSF seal of approval.

C. PVC Non-Pressure Lateral Line Piping and Sleeving:

1. Non-pressure buried lateral line piping shall be PVC Schedule 40 with solvent-weld joints.
2. Pipe shall be made from NSF approved, Type I, Grade II, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-70 with an appropriate standard dimension ratio (S.D.R.).

- D. Connections between main lines and control valves shall be of Schedule 80 PVC (threaded both ends) nipples and fittings.

- E. All PVC pipe used on the site shall be from the same manufacturer.

- F. Dripper Tubing with Pressure Compensating Emitters: Tubing shall be of nominal sized 1/2-inch (12 mm) low density, ultra-violet-resistant, linear polyethylene tubing with internal pressure-compensating, self-cleaning, integral drippers at a specified interval.

- G. Insert Barbed Fittings: All insert barbed fittings shall be constructed of molded, ultra-violet-resistant, plastic. Each fitting shall have a minimum of two bars per outlet. All fittings shall be of one manufacturer and shall be available in one of the following end configurations:

1. barbed insert fittings
2. male pipe threads (MPT) with barbed insert fittings or
3. female pipe threads (FPT) with barbed insert fittings.

2.2 QUICK COUPLER VALVES

1. Quick coupler valves shall be as listed on the Drawings.

2.3 CONTROLLERS

- A. Controllers shall be as listed on the Drawings.

- B. Provide and install automatic irrigation controller in approximate location shown on Drawings. 120 V.A.C. power and conduit to outside planting area as shown on electrical drawings.

- C. Final electrical hook-up shall be the responsibility of the irrigation contractor.

2.4 LINE FLUSHING VALVE

- A. The line flushing valve shall be constructed of black molded plastic and shall be a normally closed hydraulic valve, which flushes based on volumetric quantities of water. Inlet and outlet configurations shall be of one of the following configurations:

- B. 1/2-inch (12 mm) MPT, or

- C. Insert barbed fitting: The top of the line flushing valve shall be domed-shaped to allow water-transported debris to drain away from one of the eight orifices in the top of the valve. The valve shall be non-serviceable and capable of automatically operating during initial system pressure build-up to discharge one gallon of water per 15 gpm demand at 25 psi maximum or 4 psi minimum.

2.5 REMOTE CONTROL VALVES

- A. Remote control valves shall be as noted on irrigation schedule. Sizes of remote control valves shall be as listed on the Drawings.

2.6 CONTROL WIRE

- A. Control wire shall be individual copper wires with UL approval for direct burial in ground, minimum size #14-(not multi-strand). Common ground wire shall have white insulating jacket; control wire shall have insulating jacket of color other than white; spare wires shall be yellow. Splices shall be made with 3M #3576 Scotchlok seal packs or approved.

2.7 DISC FILTER

- A. The disc filter body shall be molded of black plastic with male pipe threads (MPT) for both the inlet and outlet ports. A threaded cap on one end of the body shall be capable of periodic servicing by unscrewing the cap from the main filter body. On the 3/4-inch (19 mm) model, a manual shut-off valve shall be co-molded to the opposing end of the removable cap as part of the main body. This device shall be capable of closing off the inlet port so the disc element can be removed when the main line is still pressurized.

- B. The filter elements shall be either disc-type or a canister screen filter. The disc-type shall be color-coded in one of four colors denoting filtration of 80, 120, 140, and 200 mesh. The canister-type screen shall be available in three levels of filtration, 80, 120, and 140 mesh.

2.8 BOXES FOR AUTOMATIC CONTROL VALVES

- A. Boxes for remote control valves shall be Carson Model 1419 plastic valve box. Provide extensions as required to flush box with finish grade.

2.9 AIR/VACUUM RELIEF VALVES

- A. Air/vacuum relief valves shall be constructed of grey plastic with an internal sliding poppet valve that is capable of venting air or vacuum to the atmosphere only. The main body shall have a 1/2-inch (12 mm) male pipe thread (MPT).

- B. Operating pressure range for the air/vacuum relief valve shall be 7 psi minimum to 140 psi maximum.

2.10 BACKFLOW PREVENTION UNITS

- A. Backflow prevention units shall be of the size and type shown. Install backflow prevention units in accord with irrigation construction details, with positive drainage and room for servicing.

- B. Wee strainers at backflow prevention units shall have a 125-lb (57 kg) flanged cast iron body with 100 mesh screen.

2.11 BALL VALVES

- A. Ball valves 2 inches and smaller shall 400 psi/27.6 Bar Non-Shock Cold Working Pressure brass ball valve with Threaded - Standard Port - Blowout-Proof Stem - TFE Seats, Nibco or approved.

2.12 DRAIN ROCK

- A. Un-fractured rock, 100 percent passing a 1-1/2-inch (38 mm) square sieve and 0 percent passing a 3/4-inch (19 mm) sieve.

2.13 PROTECTIVE SLEEVES WITH LOCKING CAPS

- A. 2-inch (50 mm) diameter class 200 PVC, length as required. Caps, Rain Bird #63100. Enclose all drain valves in protective sleeves with locking caps.

2.14 SLEEVES FOR PIPING UNDER PAVING

- A. PVC class 200, sizes as noted, depth as required for piping.

- B. Extend piping 12 inches (300 mm) into planter, plug ends and mark at grade with flag label.

2.15 STAINLESS STEEL CLAMPS

- A. Tubing clamps shall be constructed to 304 AISI stainless steel and shall be one "ear" type. This "ear" shall be capable of being pinched with a pinching tool to secure the tubing around the insert barbed fitting.

- B. Interior clamp wall shall be smooth to prevent crimping or pinching of tubing.

2.16 MISCELLANEOUS INSTALLATION MATERIALS

- A. Solvent cement and primers for solvent weld joints shall be of make and type approved by manufacturer(s) of pipe and fittings. Cement shall be maintained at proper consistency throughout use.

2.17 MISCELLANEOUS EQUIPMENT

- A. Provide all equipment called for by the Drawings.

PART 3 EXECUTION

3.1 REVIEW

A. Site Conditions:

1. All scaled dimensions are approximate. The Contractor shall check and verify all size dimensions and receive Landscape Architect's approval prior to proceeding with work under this section.
2. Exercise extreme care in excavating and working near existing utilities. Contractor shall be responsible for damages to utilities which are caused by his operations or neglect. Check existing utilities drawings for existing utility locations.
3. Coordinate installation of sprinkler irrigation materials, including pipe, so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs, and ground cover.
4. The Contractor shall carefully check all grades to satisfy himself that he may safely proceed before starting work on the landscape sprinkler system.
5. Coordinate installation of sleeves with other trades.

3.2 PREPARATION

A. Physical Layout:

1. Prior to installation, stake out all pressure supply lines, routing and location of sprinkler heads. Begin dripper tubing layout 4 to 6 inches (100 to 150 mm) away from both hard surfaces; (i.e., concrete sidewalks, curbs, asphalt, and/or undefined edges; i.e. shovel-out headers). Mark tubing intervals on the ground with flags, paint, or some other markings that can be maintained throughout the installation.
2. Make minor changes to conform to ground conditions and note on as-built drawings.

B. Water Supply:

1. Connect to the water supply at the approximate point of connection as indicated on the Drawings.
2. Contractor is responsible for minor changes caused by actual site conditions.

C. Electrical Supply:

1. Electrical connections for automatic controller shall be made to electrical points of connections as indicated on the Drawings.
2. Contractor is responsible for minor changes caused by actual site conditions.

3.3 EXCAVATING AND TRENCHING

- A. Excavation shall be in all cases ample in size to permit the pipes to be laid at the elevations intended and to permit ample space for joining.

- B. Make trenches for pipelines deep enough to provide minimum cover from finish grade as follows:

1. 24 inches minimum cover over main lines to control valves and quick coupling valves.
2. 24 inches minimum cover over control wires from controller to valves.
3. 18 inches minimum cover over lateral lines to sprinkler heads.
4. All lines shall have a minimum clearance of 6 inches (150 mm) from each other and from lines of other trades. Parallel lines shall not be installed directly adjacent or over one another. Reinstall all rejected piping in accordance with this requirement.

- C. Restore surfaces, existing underground installations, etc., damaged or cut as a result of excavations, to original conditions in manner approved by the Landscape Architect or Owner's Representative.

- D. Where other utilities interfere with irrigation trenching and pipe work, adjust the trench depth as instructed by the Landscape Architect or Owner's Representative.

3.4 DRIPPER TUBING INSTALLATION

- A. Drripper tubing can be installed in one of the following methods:

1. Over-excavation: In small areas, over-excavate the entire area to a depth of 4 inches (100 mm) below finish grade. Plant all specimen trees and shrubs, 15 gallon size and larger, then place tubing at the row spacing interval indicated on the plans.
2. Pipe Pulling: In larger areas where ground disruption is to be minimized, pneumatic tire, pipe pulling machinery shall be used. Pothole at the ends of each run for making connection to supply and exhaust headers of rigid PVC pipe. Maintain 4-inch (100 mm) cover.

- B. Drripper tubing can be installed with the water outlets facing upward or downward. Offset the water outlets to form a triangular pattern throughout the tubing layout. In irregular areas, water outlets too close to fixed improvements shall be capped off with a dripper plug ring.

- C. Barbed Fittings: Connect dripper tubing to barbed fittings by pushing on and over both barbs until the tubing has seated against another piece of tubing or has butted against another portion of the barbed fitting.

- D. Pipe Clamping: When operating pressure exceeds 45 psi, stainless steel pipe clamps shall be used. Slip clamps over tubing before slipping tubing over insert barbed fitting. Place clamp between the first and second ridge of the barbed fittings and crimp the "ear" of the clamp tightly. Crimp the "ear" twice to ensure proper seating.

3.5 BACKFILLING

- A. Backfill only after piping has been tested, reviewed and accepted.

- B. Backfill material shall be the earth excavated from the trenches, free from rocks, concrete chunks, and other foreign or course materials. Carefully select backfill that is to be placed next to plastic pipe to avoid any sharp objects which may damage the pipe. Place shovel fulls of dirt on dripperline tubing to keep them in place and maintain row spacing. If soil is rock-laden, isolate from pipe with minimum 2 inches (50 mm) of clean, coarse sand.

- C. All pipe under asphalt paving shall be backfilled with 4 inches (100 mm) of clean sand on all sides of pipe.

- D. Place backfill materials in 6 inches (150 mm) layers and compact by jettling or tamping to a minimum compaction of 90 percent of original soil density.

- E. Dress off areas to finish grades and remove excess soil, rocks or debris remaining after backfill is completed.

- F. If settlement occurs along trenches, and adjustments in pipes, valves and sprinkler heads, soil sod, or paving to the proper level or the permanent grade, subcontractor, as part of the work under this Contract, shall make all adjustments without extra cost to the Owner.

3.6 PIPING

- A. Use piping as indicated on drawings. Install in accordance with industry standards and manufacturer's recommendations.

- B. Install all PVC piping using two-step solvent weld process only. Cure joints at least 24 hours.

- C. Paint all galvanized pipe below grade with at least one heavy coat of approved paint to prevent corrosion.

- E. Where pipes or control wires pass through sleeves, provide removable non-decaying plug at ends of sleeve to prevent entrance of earth.

3.7 REMOTE CONTROL VALVES

- A. Install where shown and group together in straight lines where practical. Limit one remote control valve per box.

- B. Locate valves no closer than 12 inches (300 mm) from walk edges, building and walls. Install valve box parallel to walk, curb or edge.

- C. Thoroughly flush main line before installing valve.

- D. Install in planting areas where possible.

3.8 DISC FILTER

- A. Install the disc filter, horizontally level, below grade and as indicated in the installation details. the position of the disc filter in the valve box shall be off-center to allow for removal of the disc element for periodic servicing.

3.9 AIR/VACUUM RELIEF

- A. Install the air/vacuum relief valve below grade and at the highest elevation within each zone. Depending on the site conditions and tubing layout, multiple air/vacuum relief valves will be required. Place the valve within a round valve box with a locking cover and a 1 cu. ft., 3/4-inch (19 mm) gravel sump as noted on the details.

- B. Interconnect tubing with an air/vacuum relief lateral perpendicular to other tubing laterals for systems that are located on mounds or berms with more than a 3-foot (900 mm) elevation differential.

3.10 LINE FLUSHING VALVE

- A. Install the line flushing valve horizontally level and below grade at each exhaust header. Locate in a valve box with the dome-shape of the valve facing upward. Include a minimum of 1 cu. ft. of 3/4-inch (19 mm) gravel in the bottom of the valve box.

3.11 AUTOMATIC CONTROL WIRING

- A. Run lines along mains wherever practical. Tie wires in bundles with pipe wrapping tape at 10-foot (3-meter) intervals and allow slack for contraction between strappings.

- B. Loop a minimum of 3 feet (900 mm) of extra wire in each valve box; for control wire, spares and ground wire.

- C. Connections shall be made by crimping bare wires with brass connectors and sealing with epoxy resin sealer packs.

- D. Splicing will be permitted only on runs exceeding 500 feet (150 m). Locate all splices at valve locations within valve boxes. All splicing shall be made with Scotch-Lok #3576 connector sealing packs or approved. Field splices between the automatic controller and electrical control valves will not be allowed without prior approval of the Landscape Architect or Owner's Representative.

- E. Where control wires lines pass under paving, they shall pass through PVC class 200 sleeves.

- F. Provide two complete spare wire runs from controller through every valve box for future use. Test for continuity at punch list. Provide an extra 3 feet (900 mm) (in each valve box and permanently label "Spare".

3.12 AUTOMATIC CONTROLLER

- A. Connect control lines to controller in sequential arrangement according to assigned identification number of valve. Control lines shall be labeled at controller with permanent non-fading labels indicated identification number of valve controlled.

3.13 FLUSHING OF SYSTEM

- A. After all new sprinkler pipe lines and risers are in place and connected, all necessary diversion work has been completed, and prior to installation of sprinkler heads, open control valves and use a full head of water to flush out the system.

- B. Install sprinkler heads only after flushing of system has been accomplished and approved by the Landscape Architect or Owner's Representative.

3.14 SPRINKLER HEADS AND QUICK COUPLER VALVES

- A. Thoroughly flush lines before installing heads or QCV's.
- B. Locate heads and QCV's as shown in the Drawings and details.
- C. Adjust sprinkler heads for proper distribution and trim. In no case shall spacing exceed maximum recommended by the manufacturer and as listed on the Drawings.

3.15 EXISTING TREES

- A. Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees and tree roots.
- B. Excavation in areas where 2 inches (50 mm) and larger roots occur shall be done by hand.
- C. All roots 2 inches (50 mm) and larger in diameter directly in the path of pipe or conduit, shall be tunneled under and shall be heavily wrapped with burlap, to prevent scarring or excessive drying.
- D. Where a ditching machine is run close to trees having roots smaller than 2 inches (50 mm) in diameter, the wall of the trench adjacent to the tree shall be hand trimmed, making clean cuts through.
- E. Trenches adjacent to trees shall be closed within 24 hours; and, where this is not possible, the side of the adjacent to the trees shall be kept shaded with burlap or canvas.

3.16 FIELD QUALITY CONTROL

- A. Adjustment of the System:

PART 1 GENERAL

1.1 RELATED DOCUMENTS

A.Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A.The work described herein may be performed as part of the Extended Maintenance requirements of separate Landscape Planting Section, the Irrigation Section, or as part of work contracted separately subsequent to completion of the Extended Maintenance requirements of the construction contract.

B.Work includes all labor, tools, specialized equipment, materials, qualified supervision and transportation to perform complete grounds maintenance work including landscape, irrigation, and seasonal color and to maintain the landscape in a healthy and attractive condition as described herein. All work in this specification is required to be performed as a part of this contract whether described in an active tense or not.

C.Provide regular maintenance services as outlined in these Landscape Maintenance Specifications and submit attached Maintenance Task Matrix to the Designated Representative for record.

D.Examine the landscape and irrigation during each required visit, looking for problems or potential problems.

E.Provide at your own risk and expense all labor, materials, tools, equipment, insurance, transportation, hauling, dumping, and all other items needed to provide the services outlined in this Specification.

F.Make minor replacements and repairs to the landscape and irrigation items as part of the required maintenance work. Report major items needing replacement or repair to the Designated Representative within one week of occurrence. A minor item is something that takes less than one hour to repair by skilled workmen, using replacement parts with a total value of less than US\$30. A major item requires more than one hour to repair and/or requires replacement parts with value in excess of US\$30. Be available to perform major items related to the landscape and irrigation maintenance as may be authorized in writing by the Designated Representative.

1.2 PRE QUALIFICATION

A.To be eligible to perform the work described herein, Landscape Contractor shall have a wide range of knowledge and minimum 5 years industry experience in landscape maintenance with a high standard of workmanship and performance.

B.Proof of relevant experience shall be provided in the form of a record of minimum of 5 recent landscape maintenance projects including:

1. Project name and description
2. Contract type and scope of work
3. Client contact information
4. Contract sum
5. Dates of work

C.Also provide names of state licensed Herbicide/Pesticide applicators employed by the Landscape Contractor who are anticipated to perform the work specified herein.

1.3 PROTECTION

A.Take all reasonable precautions required to protect plants from abnormal temperatures. Confine work to areas designated.

B.Take care to prevent damage to adjacent property.

C.Store materials or equipment in a safe manner in conformance with all applicable codes and requirements only in areas designated by the Warehouse Manager.

1.4 ACTION SUBMITTALS

A.Submit samples and information sheets to the Designated Representative for approval, for any proposed substitution(s) and for materials not specified by manufacturers, and as noted herein.

B.Required submittals include the following -

1. Fertilizer,
2. Herbicides,
3. Seed Mixes,
4. Pesticides,
5. Pesticide Application Records,
6. Maintenance Schedule and Maintenance Task Matrix.

1.5 MAINTENANCE TASK MATRIX

A.The Maintenance Task Matrix shall be updated after each site visit.

B.Weeks in which visits do not occur or tasks that are not completed should be noted on the Matrix.

C.The Matrix should be available for review by Designated Representative at any time.

D.A completed Maintenance Task Matrix is to be submitted at the end of each quarter to the Designated Representative for his/her review and record.

E.The Landscape Contractor should retain a record copy of all completed Matrixes.

1.6 OWNER NOTIFICATION

A.Review site during each site visit to determine presence of any conditions hazardous to health, safety, or welfare. Notify the Designated Representative immediately of any such hazardous conditions.

1.7 REPAIR

A.Prune plant material to repair minor damage caused by vandalism, traffic, acts of nature, or other causes.

B.To the satisfaction of the Designated Representative, repair any damage caused by contractor's work to irrigation system, walls, planting or lawns, curbs, utilities, lighting or paving, including any damage caused by the improper application of fertilizers, pesticides and herbicides (including burning, brownout, death).

C.Remove and dispose of damaged or broken plant material off-site and in a legal manner.

1.8 REPLACEMENT

A.Inventory each site during each visit and provide the Designated Representative with list of plants that require replacement. Photograph dead plant material and notify the Designated Representative.

1. Do not remove plant material prior to the Designated Representative's approval.

B.Replacement of plant materials lost through vandalism, vehicle damage, or acts of nature is the responsibility of the Owner.

C.Contractor is responsible for replacement of plant material damaged by Contractor's work, including any damage caused by the improper application of fertilizers, pesticides and herbicides, and physical damage.

D.Replace with sod or reseed any lawn areas damaged by improper fertilizer application.

1.9 TIMING OF WORK

A.All maintenance work provided under this contract shall be provided during hours when the warehouse is closed.

1. Confirm hours with the Warehouse Manager.
2. No work shall be performed during business hours unless specifically approved in advance in rare instances where evening or weekend hours cannot be used to accomplish the purpose.

1.10 VISIT FREQUENCY

A.Perform general maintenance at each site a minimum of once per week during the growing season.

1. Growing season is defined as the average frost-free season as substantiated by the National Climatic Data Center (90 percent probability of temperatures above 28 deg F (-2 deg C)).

B.Visits during the four weeks before and after the frost-free season shall occur at a minimum of once every two weeks. Visit frequency during the remainder of the year shall be a minimum of once monthly.

C.In severely cold climates, specific winter visits may be eliminated with prior approval of the Designated Representative.

D.Required minimum maintenance visits may be in addition to, or in conjunction with, other visits that are required to perform the tasks outlined in the following Specifications.

E.Provide the Designated Representative with a Maintenance Schedule indicating the average growing season for the Warehouse location, proposed days of visits, names of supervisor, and contact person.

F.Submit this schedule on a yearly basis at the beginning of the contract year and revise as needed.

1.11 INSPECTION OF WORK

A.The Designated Representative will regularly inspect all maintenance performed under this contract.

B.The Designated Representative may at any time request correction or improvement of maintenance practices if they fall below contract standards.

C.Contractor is expected to make necessary corrections within 72 hours of receipt of such request.

D.These requests may be made in writing, email, by telephone, facsimile or in person, and may be given to you or your on-site representative.

1.12 CONTACT PERSON

A.Provide the Designated Representative with a phone number and an email address where a message can be left for the contractor 24 hours a day. An answering machine connected to the contractor's normal phone line is an acceptable method of meeting this requirement. Check for messages every 24 hours or less.

1.13 EXISTING CONDITIONS / EXAMINATION OF SITE

A.Within two weeks of the starting date for work under this contract, make a thorough examination of the current conditions at the site.

1. As part of this examination, confirm that the existing plantings in each planter meet or exceed those shown on construction plans or any more current plant inventories.
2. Make a list of all landscape items at the site that you believe are broken, missing, not healthy, or are otherwise not in compliance with these specifications.
3. Give a copy of this list, along with an additional itemized quote for correcting each item, to the Designated Representative.
4. Upon confirmation of each item, the Designated Representative will either give you written authorization to make the correction, or a written release from responsibility for the item.

B.By submitting a bid on this work, you are considered to have examined the landscape, irrigation and these specifications, and to have thoroughly familiarized yourself with the scope of the required work.

1.14 DEFINITIONS

A.Landscape Contractor or Contractor: The person, partnership, corporation, or agency that will perform the landscape maintenance work.

B.Designated Representative: The person, partnership, corporation, or agency that contracted for the performance of the landscape maintenance work.

1. The designated representative may be the Owner, , client, project manager, Landscape Architect, or the General Contractor. Referred to as "Owner Client"

C.The landscape contractor is responsible for obtaining confirmation of who the Designated Representative is for the contracted work.

D.Excluded damage:

1. Damage caused by vandalism, pedestrians, vehicles, animals, or other unusual factors.
2. This term does not include damage caused by the contractor's actions, lack of reasonable care, insects or rodents, diseases, or plant loss due to lack of water or over watering caused by an irrigation system programming error, irrigation system breakage, or irrigation malfunction, or lack of a timely repair to irrigation system.

1.15 SERVICE AGREEMENT

A.The intent of this maintenance specification is to integrate with any contractual agreement the Contractor has with "Owner or Client" for landscape maintenance.

B.In bidding the landscape and irrigation and maintenance work, contractor agrees to sign and abide by the terms of the contractual agreement with "Owner or Client" which may include requirements for indemnification and insurance.

C.Landscape Contractor's agreement shall be the prevailing agreement and no requirement of this specification shall be construed to override that agreement.

PART 2 MATERIALS AND PRODUCTS

2.1 FERTILIZER

A.Approved high quality balanced organic fertilizer (N, P, K, pH) designed for region and local soils conforming to applicable state fertilizer laws.

1. Uniform in composition, dry, free flowing, delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed analysis.
2. Fertilizer composition shall be based upon the required yearly soil test.

B.Submit product literature for approval by the Designated Representative.

2.2 PESTICIDES

A.Pesticides approved by the Environmental Protection Agency and local jurisdiction. Submit product literature for approval by the Designated Representative.

1. Apply at rate recommended by manufacturer.

2.3 HERBICIDES

A.Post- and pre-emergent herbicides approved by the Environmental Protection Agency and local jurisdiction.

B.Submit product literature for approval by the Designated Representative. Apply at rate recommended by manufacturer.

2.4 BARK MULCH

A.Product matching existing mulch or if not available, medium - fine ground bark with a maximum twenty (20%) percent fines.

B.Other Mulches: Match existing mulches such as decomposed granite and gravel in color and size.

2.5 COMPOST

A.Approved organic compost as available from local sources.

PART 3 MAINTENANCE

3.1 GENERAL MAINTENANCE

A.Soil Testing: Test soil once per year beginning one-year post construction.

1. Test one sample from planting areas and one sample from lawn areas for N, P, and K trace minerals, salinity, pH, and percent organic matter.
2. Samples should be soil combined from multiple sample sites.
3. Contact soil-testing lab for specific sampling guidelines.
4. Contractor shall request specific recommendations for amendments based on whether lawn or planting area soil is being tested.

B.Provide copy of lab test results and recommendations to the Warehouse Manager for his/her record.

C.Leaf Collection: Collect fallen leaves from planting and paved areas, including all drives, and remove them from site. Inspect each site and remove any leaf accumulation at each site visit.

D.Clean Up and Litter Removal:

1. Sweep or blow-off all walks and curbs at each site visit. Parking lots will be swept by others.
 - a. Do not use blowers prior to 6:00 A.M. or after 10:00 P.M. or at any other hours restricted by law.
 - b. Do not use blowers around parked vehicles to avoid scratching vehicle paint with blowing sand and debris.
 - c. Where use of blowers is prohibited by law, use alternate methods.

E.Remove all litter from sidewalks, gutters, and all planted areas at each site visit. In no case shall trash, litter, or leaves be blown or swept onto the property of others.

F.Collect all trash, litter, leaves, etc., haul away, and dispose off site in a legal manner.

G.Small amounts of grass clippings may be swept or blown back into lawn areas.

3.2 IRRIGATION

A.Water Application & Scheduling:

1. Hand water as needed to supplement natural rainfall and irrigation system, and to maintain plantings in a healthy, stress-free condition. Make sure plants receive adequate water regardless of weather conditions.
2. Conserve water and ensure that all watering rules and regulations are followed. Any penalties, fines, or citations for watering ordinance violations shall be paid by the contractor.
3. Utilize the permanent irrigation system, and supplement with hand watering as needed. Failure of the irrigation system to provide full and proper coverage does not relieve Contractor of the responsibility to provide adequate irrigation.
4. Contractor is responsible for the complete operation and maintenance of the irrigation systems, except as noted below. Examine the irrigation system for damage during required visits and report damage or malfunction to the Designated Representative in writing. If contractor fails to report the broken or malfunctioning irrigation system components within one week of the breakage or malfunction, contractor will be responsible for all damages resulting from the broken irrigation system component.
5. Adjust watering times each month and respond to weather changes. Do not over-water plantings. Use multiple-start times and short run times to prevent run-off. Do not allow run-off from any irrigation.
6. When breakdowns or malfunctions exist, hand water, if necessary, to maintain all plant material in a healthy condition. If the irrigation repairs are major and not the fault of the contractor, they may be billed as additional work. Do not wait for approval to begin hand watering if required to save the plantings.

B.Irrigation System Scheduled Maintenance:

1. During each required site visit complete the following:

- a. Check the entire irrigation system when the system is pressurized for items such as dry spots and missing or malfunctioning irrigation components. Check for leaking or damaged valves, water running across sidewalks, water standing in puddles, or any other condition which hampers the correct operation of the system or the public safety. Immediately repair deficiencies.
- b. Check for exposed piping paying particular attention to shallow drip tubing. Bury any exposed piping to originally specified depths.
- c. Carefully observe plant materials for signs of wilting that may indicate an irrigation system problem. Plants which die due to irrigation failure will be considered to have died due to the contractor's negligence and shall be replaced at the contractor's expense.
- d. Eliminate any puddling or excessive run-off of water from the irrigation system onto any paved areas. Immediately shut down the irrigation system and make adjustments, repairs, or replacements as soon as possible to correct the source of the run-off.

2. Maintain the irrigation system, including cleaning of filter screens yearly or more often as needed, and flushing pipes, as part of this contract.

C.Irrigation System Repair:

1. Replace or repair, at contractor's expense, minor irrigation damage, unless due to excluded damage. Make repairs within one week of the day the damage occurred.
2. If the damage was due to excluded damage or determined to be a major item, the irrigation repairs will be paid for as additional work.
 - a. Make notification of needed repairs within two (2) weeks of the day the damage occurred as noted in the General Requirements section of these specifications.
 - b. Regardless of the cause of damage, take immediate action to prevent further damage by shutting off the damaged part of the irrigation system and commencing with hand watering as needed.
 - c. Make repairs as soon as possible after receiving written or verbal authorization to proceed.

END OF SECTION

LANDSCAPE MODIFICATIONS

PART 1 GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A. This Section includes removal of existing landscaping plant materials at areas shown on the drawings, then reinstall them at the new locations noted.

1.3 ACTION SUBMITTALS

- A. Submit product certificates.
- B. Submit Planting Schedule indicating anticipated dates and locations for each type of planting.

1.4 QUALITY ASSURANCE

A. Where reusing the existing landscape plants is not economically viable, provide new trees, shrubs, ground covers, and plants of quality, size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."

1.5 SPECIAL WARRANTY

A. Warrant new trees and shrubs for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents which are beyond Contractor's control.

B. For purposes of bidding this project, base the bid on the assumption that all existing plant materials shown or scheduled to be relocated (removed, stored, then replanted), will remain viable in the new locations and will not require replacement.

C. Where relocated existing plants need replacement due to death or unsatisfactory growth, remove and replace with new trees and shrubs of the same species and similar size. This will be considered additional work, beyond the scope of the original bid and contract, except where replacement is due to lack of adequate maintenance, neglect, or abuse by the Contractor while the plantings were in the Contractor's control.

1.6 MAINTAIN TREES AND SHRUBS

A. As required to establish healthy, viable plantings for 12 months following Substantial Completion.

1.7 MAINTAIN GROUND COVER AND PLANTS

A. As required to establish healthy, viable plantings for 3 months following Substantial Completion.

PART 2 PRODUCTS

2.1 NEW TREES AND SHRUBS

A. Where relocated plants remain unhealthy or become dead, remove and replace with well-shaped, fully branched, healthy, vigorous nursery-grown stock of sizes and grades indicated, free of disease, insects, eggs, larvae, and defects, conforming to ANSI Z60.1.

2.2 NEW GROUND COVERS AND PLANTS

A. Established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

2.3 TOPSOIL

A. Amend existing soil with compost.

2.4 LIME

A. ASTM C 602, Class T, agricultural limestone.

2.5 COMPOST

A. minus, fully composted vegetative material.

2.6 MULCH

A. Ground bark free of weeds, seed or other contaminants. Size range: 1/2 to 1-1/4 inches (12 to 32 inches).

2.7 BONE MEAL

A. Commercial, raw, finely ground; minimum of four (4%) percent nitrogen and twenty (20%) percent phosphoric acid.

2.8 SUPERPHOSPHATE

A. Commercial, phosphate mixture, soluble; minimum of twenty (20%) percent available phosphoric acid.

2.9 COMMERCIAL FERTILIZER

A. Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, fifty (50%) percent derived from natural organic sources of urea-form, phosphorous, and potassium in the following composition:

2.10 WEED-CONTROL BARRIER

A. Polypropylene or polyester non-woven fabric, 3 oz. per sq. yd. (100 g per sq. m) minimum.

PART 3 EXECUTION

3.1 PLANT BED PREPARATION

A. Loosen sub-grade of planting bed areas to a minimum depth of 6 inches (150 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials. Mix in 2-inch (50 mm) depth of compost into top 6 inches (150 mm) of soil.

3.2 EXCAVATION FOR TREES AND SHRUBS

A. Excavate pits with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Excavate approximately 1-1/2 times as wide as ball diameter. Loosen hard subsoil in bottom of excavation.

3.3 PLANTING TREES AND SHRUBS

A. Set stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades. Fertilize at manufacturer's recommended rate.

3.4 TREE AND SHRUB PRUNING

A. Prune, thin, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut tree leaders; remove only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.

3.5 PLANTING GROUND COVER

A. Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow spreading of roots. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Fertilize at manufacturer's rate. Water thoroughly after planting, taking care not to cover plant crowns with wet soil.

END OF SECTION

JOB NO.	CM220364
SUBMITTAL	DATE
CLIENT SUBMITTAL	10/18/23
CLIENT RE-SUBMITTAL	02.21.24
REVISION	DATE
△ Bid Addendum 'C'.	06.21.24
LADBS STAMP	

CLIENT:



REXFORD INDUSTRIAL REALTY

14400 S FIGUEROA ST.
GARDENA, CA 90248

REXFORD INDUSTRIAL REALTY

11620 WILSHIRE BOULEVARD, Suite 610
LOS ANGELES, CA 90024

PROJECT:



SHEET TITLE

LANDSCAPE SPECIFICATIONS

SHEET NO.

L402

06/21/24

SHEET 10 OF 10

