

**SUPPLEMENTAL  
REPORT TO THE HEARING OFFICER**

|                         |  |                |
|-------------------------|--|----------------|
| DATE ISSUED:            | December 2, 2024   |                |
| HEARING DATE:           | December 3, 2024   | AGENDA ITEM: 4 |
| PROJECT NUMBER:         | PRJ2023-003960-(1)   |                |
| PERMIT NUMBER(S):       | Oak Tree Permit RPPL2024001753   |                |
| SUPERVISORIAL DISTRICT: | 1  |                |
| PROJECT LOCATION:       | 2907 Rio Lempa Drive Hacienda Heights, CA 91745                                |                |
| OWNER:                  | Ping Wei and Yong Chen   |                |
| APPLICANT:              | Ping Wei and Yong Chen   |                |
| CASE PLANNER:           | Carl Nadela, AICP, Principal Regional Planner<br>cnadela@planning.lacounty.gov |                |

**RECOMMENDATION**

*The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:*

LA County Planning staff (“Staff”) recommends **APPROVAL** of Project Number PRJ2023-003960-(1), Oak Tree Permit “(OTP)” Number RPPL2024001753.

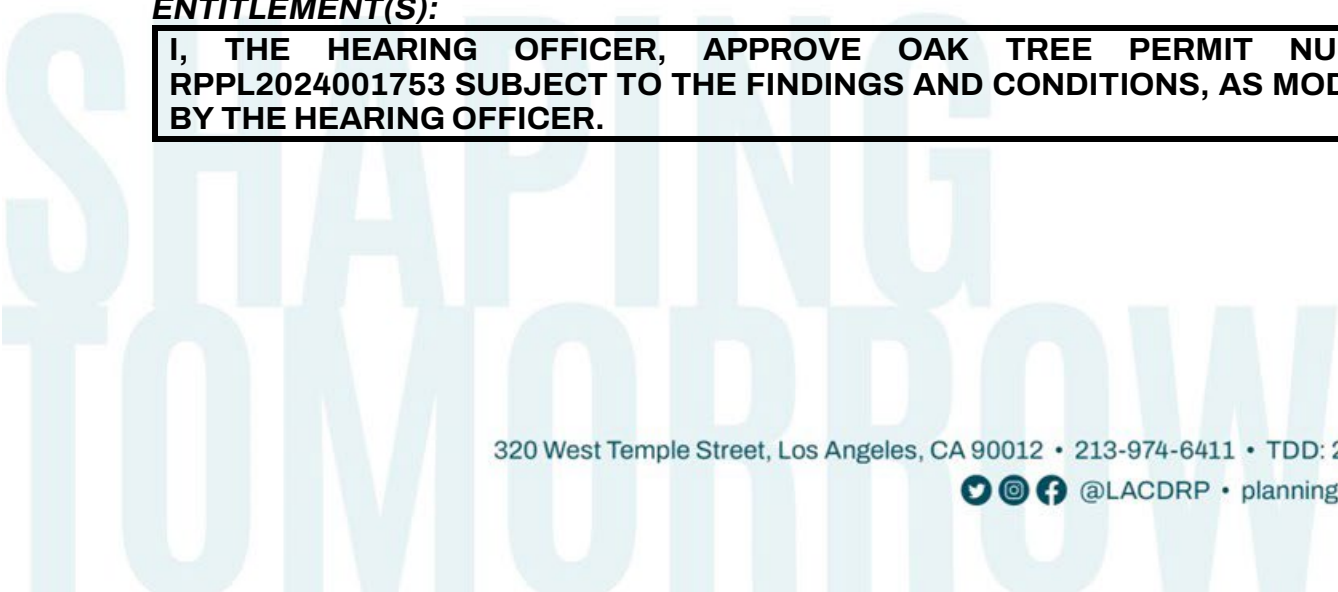
Staff recommends the following motion:

**CEQA:**

**I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.**

**ENTITLEMENT(S):**

**I, THE HEARING OFFICER, APPROVE OAK TREE PERMIT NUMBER RPPL2024001753 SUBJECT TO THE FINDINGS AND CONDITIONS, AS MODIFIED BY THE HEARING OFFICER.**



## **PROJECT DESCRIPTION**

### **A. Entitlement(s) Requested**

OTP for the retroactive and proposed encroachment into the protected zone of two oak trees, including one heritage oak tree, in conjunction with a proposed Accessory Dwelling Unit (“ADU”) and retaining wall at an existing Single-Family Residence (“SFR”) in the R-A-15,000 (Residential Agricultural – 15,000 Square Feet Minimum Required Lot Area) Zone pursuant to County Code Section 22.174.030 (Oak Tree Permit Applicability).

### **B. Project**

The Project is an OTP for the retroactive and proposed encroachment into the protected zone of two oak trees identified as Oak Trees Number 1 and 3 in the associated Oak Tree Plan. The encroachment occurred when grading activities were conducted as part of the construction of a retaining wall in the southern portion of the property. Oak Tree Number 3 is a Heritage Tree, as defined by County Code, whose roots have been damaged by the grading activities. The construction of the retaining wall has been temporarily stopped pending the approval of this OTP. Further encroachment will occur as the construction of the retaining wall is finished. The proposed ADU and retaining walls will be reviewed separately through a ministerial Site Plan Review (“SPR”), which will be filed after the approval of the subject OTP.

### **C. Project Updates**

Since the Project Updates provided to the Hearing Officer through the Supplemental Report dated November 27, 2024, Staff has received the applicant’s responses to the latest Staff comments, as well as an updated Site Plan and Oak Tree Report that incorporated those comments. The updated Site Plan and Oak Tree Report are attached as Attachments 1 and 2 for your review and consideration.

The updated Oak Tree Report was reviewed and accepted by the Los Angeles County Forester (“Forester”) and accordingly, they have sent an updated letter dated November 13, 2024. This updated letter is also attached as Attachment 3 for your review and consideration.

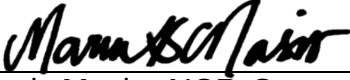
Minor revisions to the draft Conditions of Approval were also made to reflect the latest information regarding the Project. The latest draft Conditions of Approval with tracked changes is also attached as Attachment 4 for your review and consideration.


On November 27, 2024, Staff had email exchanges with the property owner and the property owner’s realtor regarding the hiring of a new consulting arborist and the preparation of a new Oak Tree Report. These email exchanges, as well as the new Oak Tree Report prepared by a different consulting arborist, are also attached as Attachments 5 and 6, respectively, for your review and consideration.

At this time, Staff does not recommend the acceptance of the new Oak Tree Report as this has not been reviewed by our Staff Biologist nor the Forester. Accordingly, Staff has not received a copy of the Forester's review of the new Oak Tree Report, as required by Los Angeles County Code Section 22.174.050. Furthermore, the new Oak Tree Report contains a number of deficiencies and lacks the information that have been requested by the Hearing Officer and Staff, including a description of the past and proposed encroachments on Oak Trees No. 1 and 2, a description of Oak tree No. 5, and a description of a fourth non-ordinance size oak tree that we found at the site, among others.

On the other hand, Staff is of the opinion that the updated Site Plan and Oak Tree Report referenced here as Attachments 1 and 2 are sufficiently responsive to the comments sent to the applicant by the Hearing Officer and Staff. Thus, Staff recommends approval of the Oak Tree Permit based on the revised Site Plan dated November 27, 2024 (see Attachment 1) and the revised Oak Tree Report dated November 21, 2024 (see Attachment 2), and subject to the revised Conditions of Approval referenced here as Attachment 4.

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Report  
Reviewed By:   
Maria Masis, AICP, Supervising Regional Planner

Report  
Approved By:   
Susan Tae, AICP, Assistant Administrator

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Attachments:

1. Updated Site Plan dated November 27, 2024
2. Updated Oak Tree Report dated November 21, 2024
3. Updated Los Angeles County Forester Letter dated November 13, 2024
4. Updated Draft Conditions of Approval
5. Email exchange between Taylor Yang, Ping Wei (Sandy) and Carl Nadela dated November 27, 2024
6. Oak Tree Report prepared by Greg Applegate, Consulting Arborist, dated November 20, 2024



# New Retaining Wall

ATTACHMENT 1



8 Corporate Park # 100  
Irvine, CA 92606  
T 310.634.9065

PROFESSIONAL SEAL:  
  
*Austin Liang*

| NO. | DATE: | DESCRIPTION: |
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PROJECT TITLE  
**2907 Rio Lempa Dr,  
Hacienda Heights, CA 91745**

SHEET NAME  
**TITLE SHEET**

JOB NO: 240722  
DATE ISSUED: 11-27-2024  
DRAWN BY: AL  
CHECK BY: AL

SHEET NO:  
**A-0**

## GENERAL NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
2. CONTRACTOR SHALL SECURE ALL LICENSES AND PERMITS NECESSARY FOR THE COMPLETION OF THIS WORK, AND SHALL PAY ALL COSTS IN CONNECTION THEREWITH. WHERE LOCAL REGULATIONS REQUIRE INSPECTION, THIS CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, SAME, PAYING ALL COSTS, AND SHALL SECURE A CERTIFICATE OF FINAL INSPECTION ANFOR D APPROVAL OF THE WORK, WHICH CERTIFICATE SHALL BE TURNED OVER TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
3. THE CONTRACTOR SHALL VISIT THE PREMISES AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS BEFORE ISSUING BID.
4. CONTRACTOR, ONLY, WILL BE RESPONSIBLE FOR MEASUREMENT CORRECTNESS.
5. THE ARCHITECT WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM DRAWINGS.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL EXISTING CONDITIONS WITH PROPOSED NEW WORK AND SHALL NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT MAY OCCUR BEFORE PROCEEDING WITH THE WORK.
7. DIMENSIONS SHOWING ARE APPROXIMATE. FINAL DIMENSIONS TO BE DETERMINED IN THE FIELD, ACCORDING TO LOCATION OF EXISTING JOISTS, BEAMS, PIPES, ETC.
8. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH MECHANICAL, ELECTRICAL, PLUMBING, ETC., REQUIREMENTS; DISCREPANCIES, AND/OR INTERFERENCE'S SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
9. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND SHALL REPAIR AND REPLACE ANY DAMAGED ITEMS TO APPROVAL BY THE ARCHITECT AND WITHOUT ANY ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR TO INCLUDE ALL NECESSARY WORK AND MATERIAL TO FINISH PROJECT WITHIN THE SAME EXISTING QUALITY.
11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND APPLICABLE FEDERAL, STATE AND LOCAL CODES.
12. GYPSUM WALLBOARD APPLICATIONS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF "AMERICAN STANDARD SPECIFICATION".
13. ALL CONTRACTORS AND THEIR SUBCONTRACTORS SHALL CARRY INSURANCE TO PROTECT THE OWNER FROM CLAIMS OF DAMAGES FOR PERSONAL INJURIES, INCLUDING DEATH, WHICH MAY ARISE IN CONNECTION WITH THE PROJECT.
14. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.

### Drainage Note(s) :

1. Provisions shall be made for contributory drainage at all times.
2. Owner will maintain drainage devices and keep free of debris.
3. An excavation/encroachment permit is required for construction and/or discharge of drainage within public road R/W.
4. No work is allowed within the protected zone of oak tree without an oak tree report and permit.
5. Total Proposed Landscape Area 0 Square Feet
6. No easements on the property.
7. No slopes 3:1 or steeper within 40' of proposed structure.
8. A property line survey, prepared by a CA licensed land surveyor or a civil engineer with a license number below C33966, may be required by the Building Official based upon site conditions in accordance with LACBC Section 108.1.

## PROJECT DATA:

EXISTING BUILDING CONSTRUCTION TYPE: V-B  
EXISTING BUILDING FT: 1,605 SQ.FT.  
LOT SIZE: 15,360 SQ.FT  
APN: 8241-022-055  
OCCUPANCY GROUP: R3/U

## SCOPE OF WORK:

PROPOSE A NEW 6'-6" HEIGHT RETAINING WALL 95'-8" IN LENGTH;

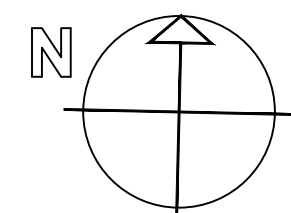
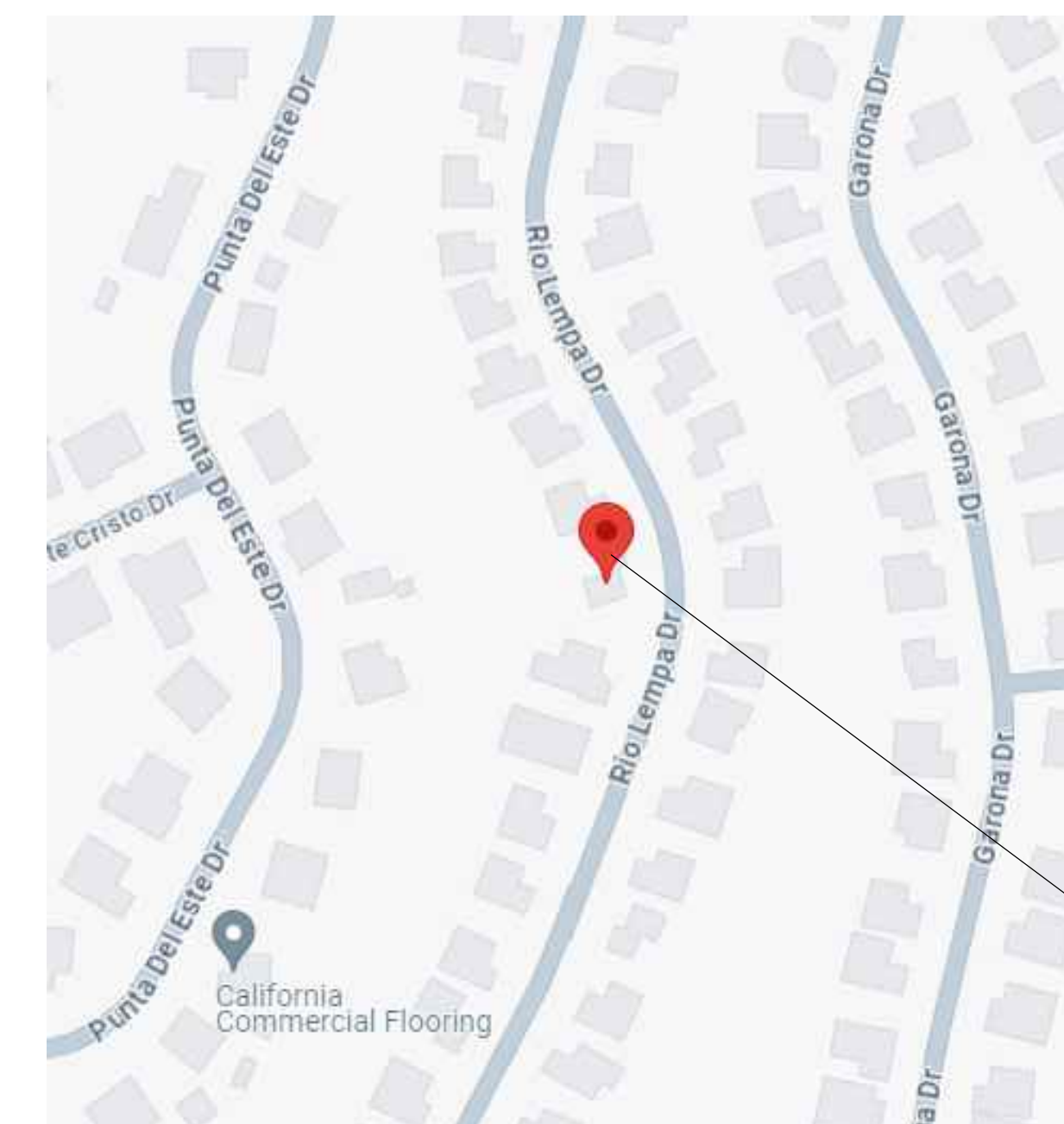
## CODES USED:

2022 California Residential Code  
2022 California Building Code  
2022 California Mechanical Code  
2022 California Plumbing Code  
2022 California Electrical Code  
2022 California Green Building Standard Code  
2022 California Energy Code  
2023 LA COUNTY AMENDMENTS.

## OWNERS INFORMATION:

Ping Wei 626-510-2616

## VICINITY MAP



**PROJECT ADDRESS**

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PROFESSIONAL SEAL:

*Austin Liang*

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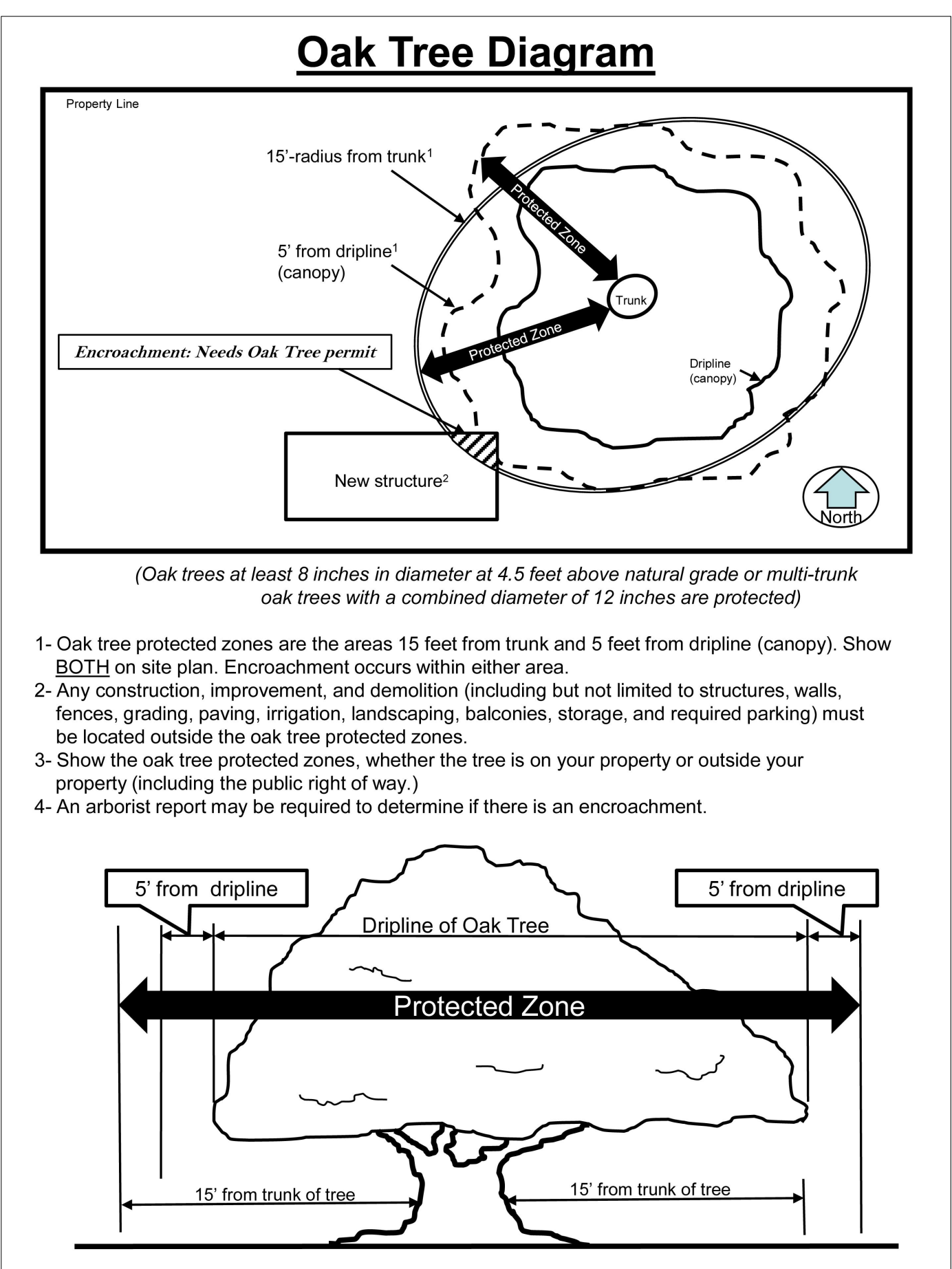
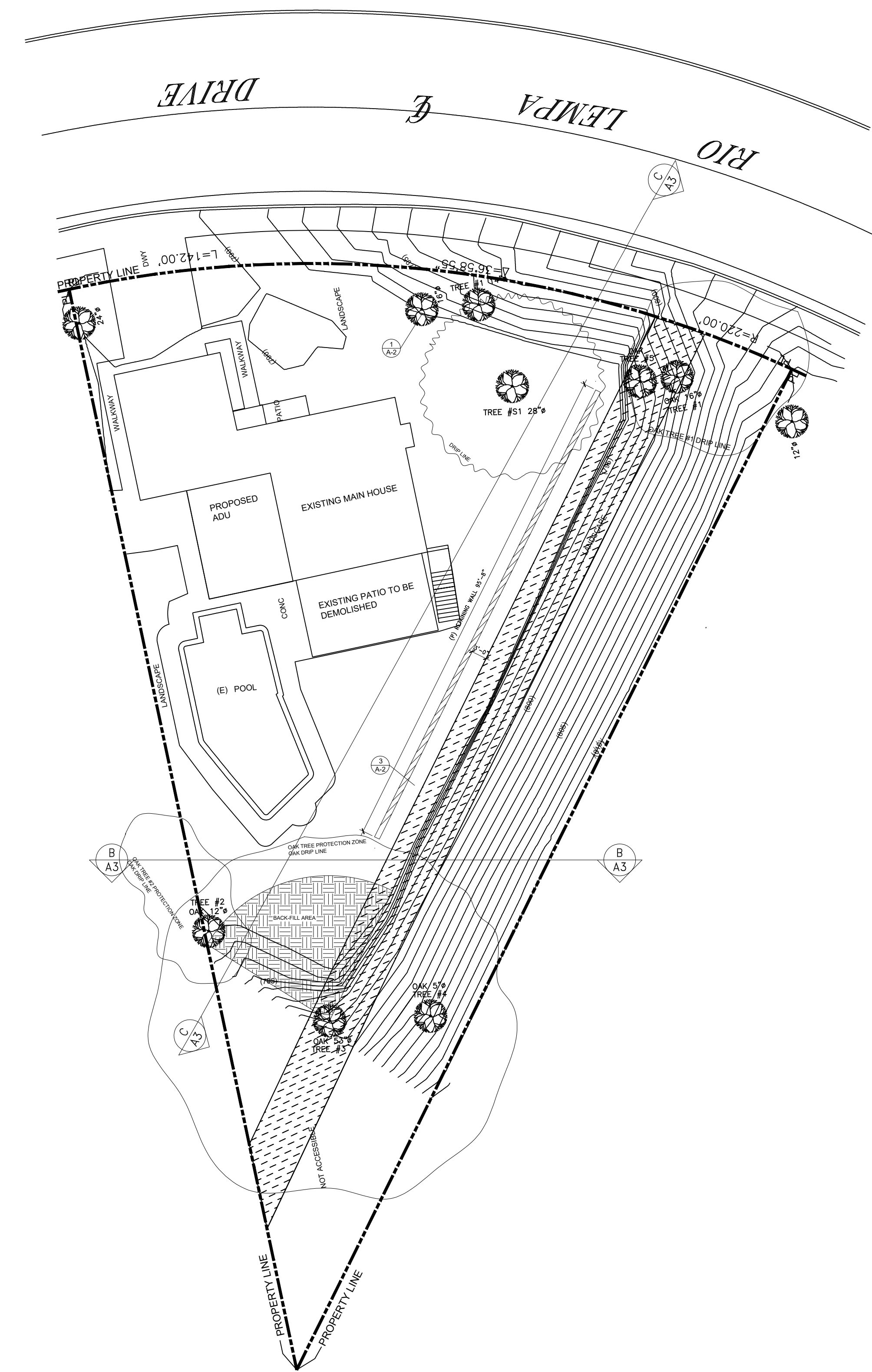
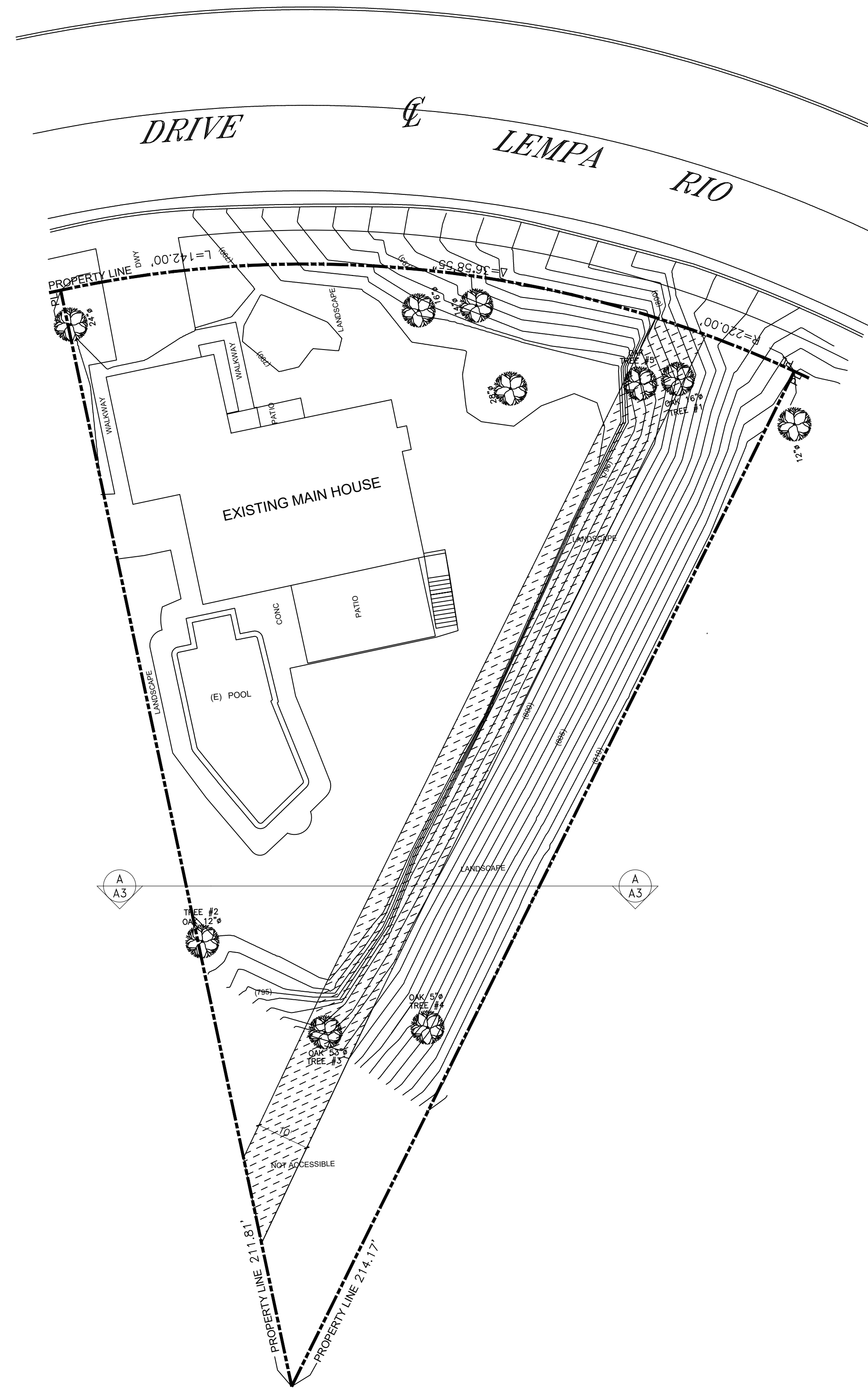
PROJECT TITLE  
**2907 Rio Lempa Dr,  
Hacienda Heights, CA 91745**

SHEET NAME  
**EXISTING SITE PLAN  
& PROPOSED SITE PLAN**

|              |            |
|--------------|------------|
| JOB NO:      | 240722     |
| DATE ISSUED: | 11-27-2024 |
| DRAWN BY:    | AL         |
| CHECK BY:    | AL         |

SHEET NO:  
**A-1**

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PROFESSIONAL SEAL:

*Austin Liang*

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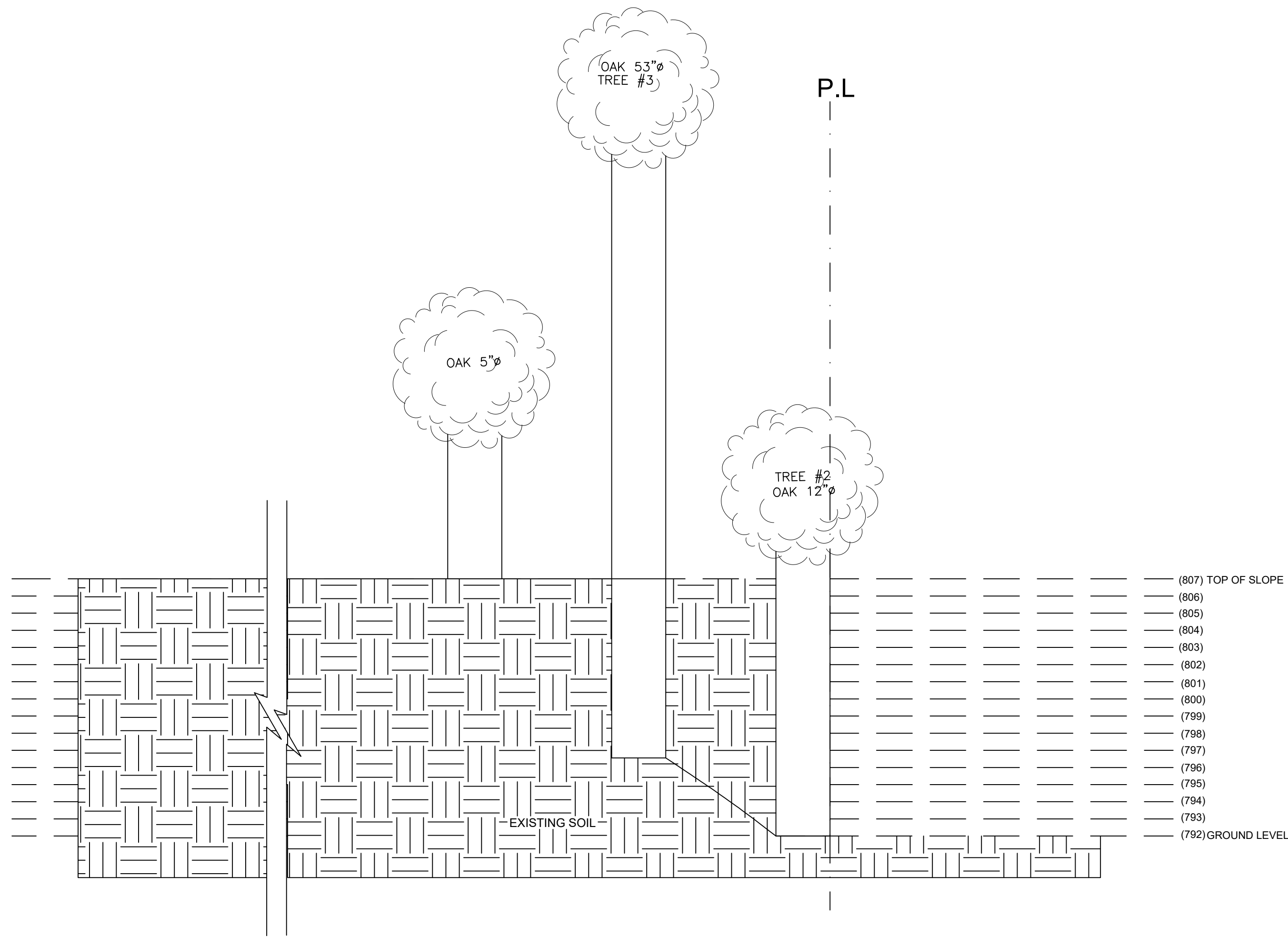
PROJECT TITLE  
**2907 Rio Lempa Dr,  
Hacienda Heights, CA 91745**

SHEET NAME  
**EXISTING & PROPOSED  
ELEVATION**

JOB NO: 240722  
DATE ISSUED: 11-27-2024  
DRAWN BY: AL  
CHECK BY: AL

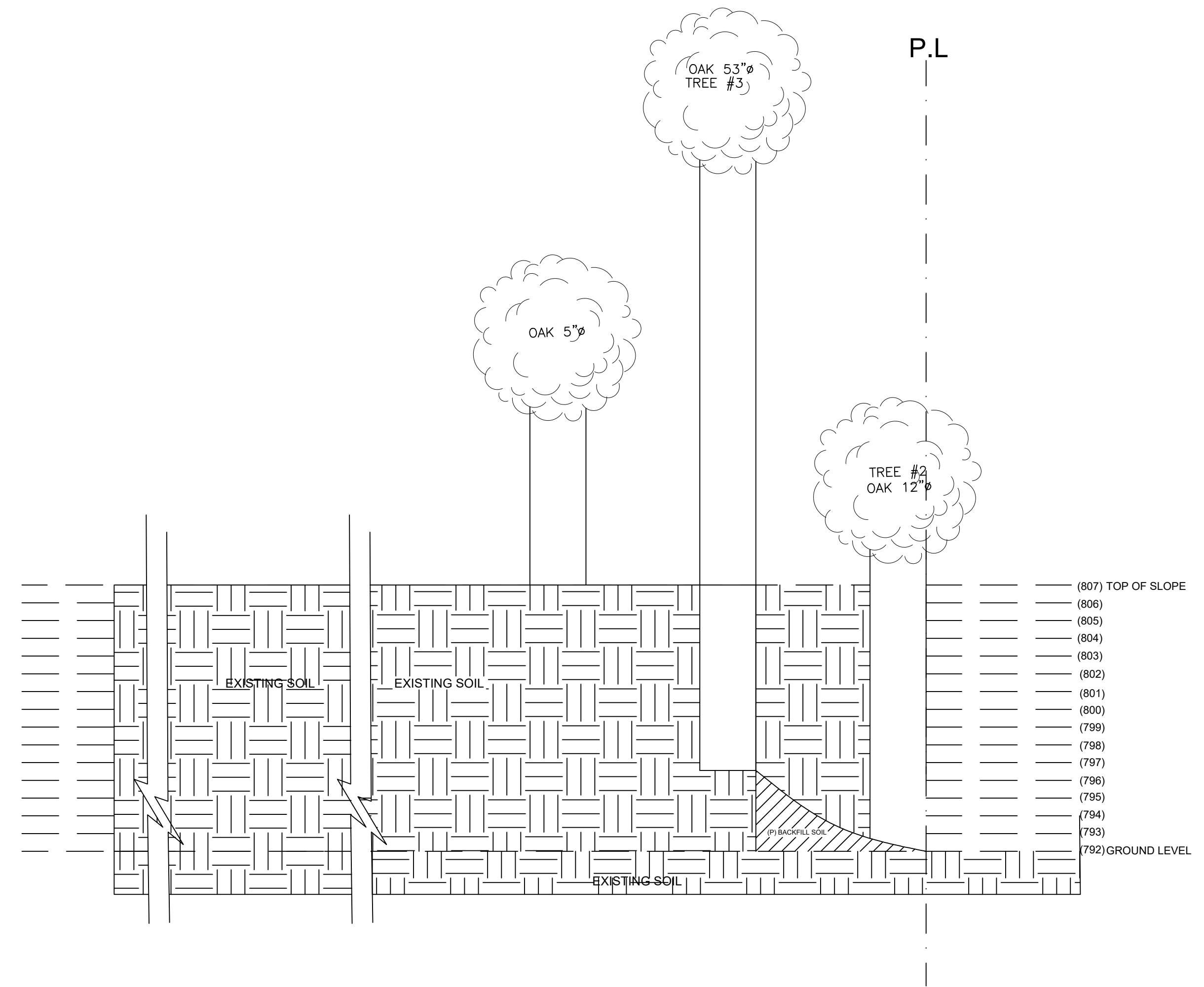
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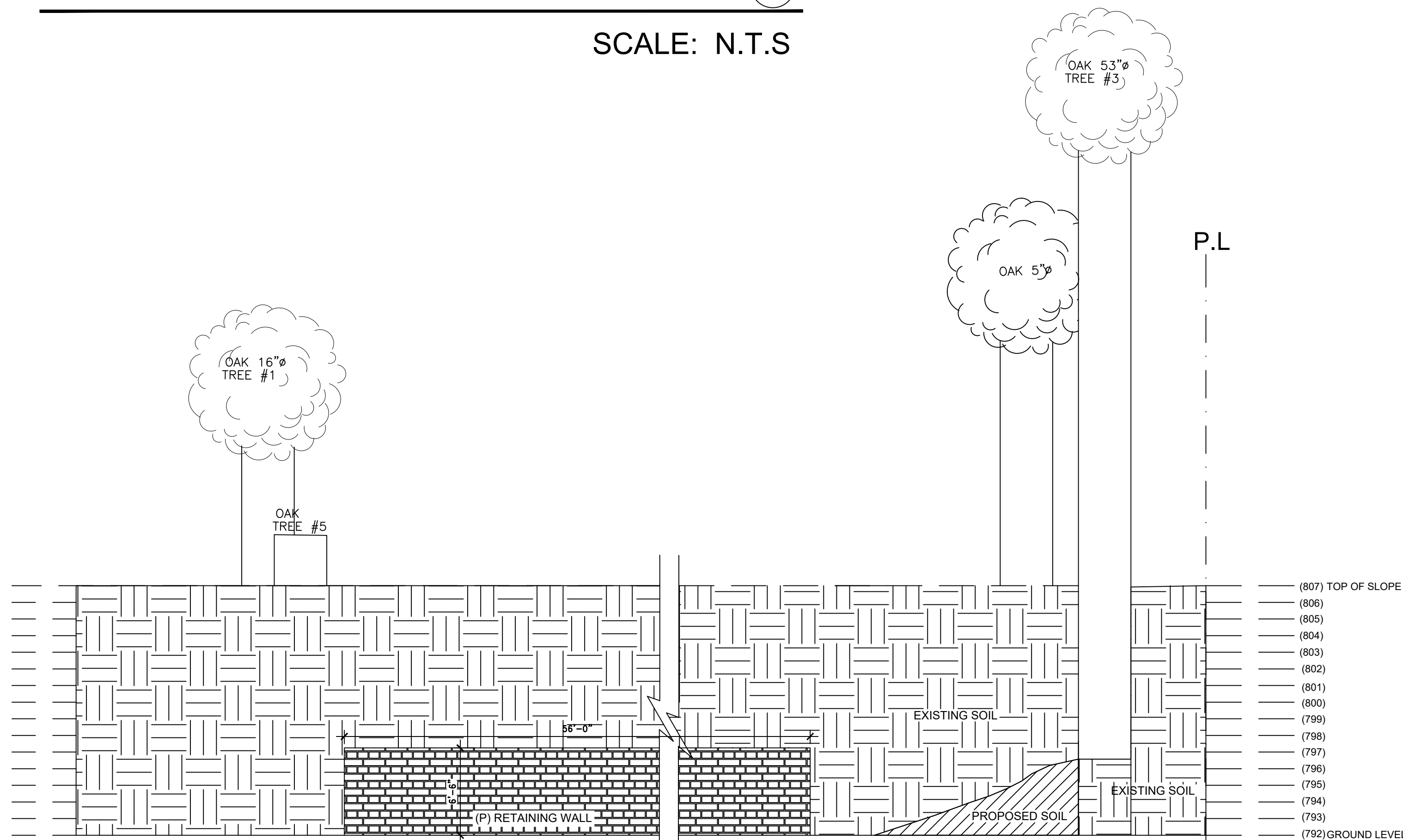
**EXISTING WESTERN ELEVATION A**

SCALE: N.T.S



**PROPOSED WESTERN ELEVATION B**

SCALE: N.T.S



**PROPOSED SOUTHERN ELEVATION C**

SCALE: N.T.S



**Richard W. Veyna**  
ASSOCIATES  
*Horticultural Consultants*

ATTACHMENT 2

# Protected Tree Report

2907 Rio Lempa, Hacienda Heights, Ca

For

PING WEI

November 21, 2024



**Certified Arborist #WE-12195A**  
15188 Carretera Drive, Whittier, CA 90605 [richardveyna@gmail.com](mailto:richardveyna@gmail.com)  
562/322-8039 [rwveyna.com](http://rwveyna.com)







**Richard W. Veyna**  
ASSOCIATES  
*Horticultural Consultants*

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| page 7  | Tree #2 Quercus agrifolia                   |
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**Richard W. Veyna**  
ASSOCIATES  
*Horticultural Consultants*

November 21, 2024  
Ping Wei  
2907 Rio Lempa Dr.  
Hacienda Heights, CA 91745

Ping,

We inspected the property at the above address on 10/15/24 for the presence of trees protected by the County of Los Angeles and the State of California. We found five specimens fitting that description, four Coast Live Oaks (*Quercus agrifolia*) and one California Native Sycamore (*Platanus racemosa*). We observed that there had been extensive grading activity on the property. Only one of the specimens was disturbed in this process. Per your request, we established the boundaries of the Tree Protection Zones of each of the trees, (the dripline plus five feet added to the outside perimeter).

These are our recommendations,

Tree #1, Coast Live Oak, (*Quercus agrifolia*). This tree is located just within the property on the west side. The tree measures approximately thirty-two feet high, twenty feet wide with a twelve-inch dbh. This tree is in good condition. We saw no signs of insect invasion or disease. The tree could use some thinning out to remove deadwood. It has no noticeable “cross branching.” We recommend the ground cover surrounding this tree be cleared three feet away from the trunk to minimize competition for water in the summer months. Any oak leaf litter that falls should be left in place to maintain moisture in the root zone. Previous excavation has already encroached on the root zone this tree. We do not encourage any further encroachment. Should footing be dug for a proposed wall, the guidelines established below, (\*) should be heeded so as not to cause damage to this tree’s root system. The Tree Protection Zone (TPZ) is listed below.

Tree #2, Coast Live Oak, (*Quercus agrifolia*). This tree is located WITHIN the eastern fence line. Apparently, an acorn must have germinated some years ago and literally grew through the existing chain link fence on the property line. The tree measures approximately thirty-seven feet high, twenty-two feet wide, with a twelve-inch dbh. This tree is in good health, with little signs of insect invasion or disease. The tree has a pronounced lean to the north. Although the tree is well rooted, we recommend it be monitored over the next few years to ensure it does not succumb to invasion by insects due to the fact the top bar of the fence is embedded in the trunk and could negatively affect the flow of nutrients and water within the tree. The plans do not appear to be encroaching on the TPZ which is listed below.

Tree #3, Coast Live Oak, (*Quercus agrifolia*). This tree is very prominent in the area as it measures approximately sixty feet high, seventy-five to eighty feet wide, with a forty-four-inch dbh. This tree would be classified as a “Heritage Tree.” This tree is in good condition. We saw no apparent signs of insect damage or disease. It could benefit from pruning to remove deadwood. The form on this tree is free of any noticeable



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“cross branching.” Of major concern to us is the root system on the north side of the tree. Grading has been done in preparation for construction of a retaining wall on the south side of the property.

Encroachment has occurred and a portion of the root system was removed in the process. A radical slope cut was made approximately six feet from the trunk of this tree on the north side. The south side of the root system remains intact and undisturbed. Approximately thirty percent of the root system was either removed or compacted on the north side of this tree.

*Quercus agrifolia* which grow in a steep hillside generally have anchoring roots on the uphill side and most of their feeder roots on the downhill side. At present, this tree has defoliated so some degree due to the loss of part of its root system and the fact that it is beginning to molt. We are concerned that this tree may continue to suffer a loss of foliage if the summer temperatures rise to the level they have in the recent past. Should the tree not be able to draw up enough water due to the loss of a portion of its feeder roots, it may go into stress and will likely defoliate. Should this occur, the dehydration of the tree will be accelerated, and the tree could slowly succumb to insects and disease. Should the tree fail, the residence at 2907 Rio Lempa Drive would likely be one of its potential targets. To prevent this, we suggest remedial measures be taken as soon as possible. These measures include but are not limited to replacing the soil removed from the root zone on the north side of the tree. This area of the root zone needs to be repaired. We have requested that the lost soil be replaced one foot at a time. The first foot has been replaced with clean native (clay) soil from the opposite end of the project. The balance will need to be replaced with a mixture of topsoil and compost, which will need to be imported from an outside source. Soil cannot be imported from other projects without testing for fertility and chemical composition. The actual TPZ is listed below.

The area encroached upon constitutes approximately thirty percent of the root zone. For reference we will refer to it as the “affected area.” In the affected area the soil was compacted with heavy equipment possibly crushing the roots below it. Measures will need to be taken to reduce the compaction so as not to “lock up” the soil preventing the free flow of water and nutrients. The backfill mix should not be compacted beyond 85%. This will need to be done with a manually operated compactor or “jumping jack” as no heavy equipment should enter the TPZ. Sandbags should be placed on the north side of the dripline to sufficient height to prevent erosion. Any footing for walls dug around this tree or any others should be dug OUTSIDE OF THE TPZ. (\*) If any roots are encountered in the process of creating footing, they need to be protected with a plastic barrier when concrete is poured to prevent harmful chemicals from entering the vascular system of the subject “Heritage” Oak or any other Oaks in this survey. We cut any exposed roots we saw on this tree.

We suggest the tree be irrigated as needed for a period of two to five years between March and October of each year. The water content within the backfill should be monitored monthly, by a CERTIFIED ARBORIST. The affected area should contain a drainage system created from a three-inch perforated pipe to drain any excess moisture away from the root system. The installation of the drainage system should be done by a licensed landscape contractor.

The aim of the drainage and irrigation system is to establish NEW roots in the area where soil was removed in the affected area. At present no drainage system has been established.



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ASSOCIATES  
*Horticultural Consultants*

Once the soil has been replaced beneath this tree, we recommend a Mycorrhizal treatment be applied in the affected area prior to March of 2025, to encourage the establishment of new roots. After the tree has put out a new root system in the affected area. Irrigation may be halted if the tree has managed to grow on its own without additional irrigation, and monitoring can be reduced to twice per year. The tree should be “weaned” off of manual irrigation after a period of FIVE YEARS. To ensure total recovery it may need to be monitored annually in the late spring to early summer of each year for as long as twenty years. If during that period it shows signs of problems with disease or insects, it can be treated if necessary.

During the monitoring period, quarterly reports can be submitted to the agency responsible for the protection of this tree. That cost of these reports, any necessary inoculation and/or fertilization are not covered by this agreement.

Tree #4 Coast Live Oak (*Quercus agrifolia*) This tree is located above tree #3 and under its canopy. It is good condition. There appears to be free of pest and disease. The tree measures 20’ high, 15 wide, with a 5.5” dbh. Since this tree has a dbh less than 8”, it is not protected and may be considered as a replacement tree if needed.

Tree #5 Coast Live Oak, (*Quercus agrifolia*). This is a stump approximately two feet high. Undisturbed it will grow into a large bush. It appears to be in poor condition. There is no head on this tree, however we measured the base to be fourteen inches in diameter. This would lead us to believe the DBH would be approximately 11” to 12”. The stump lies within the TPZ of tree #1. This tree most likely would have declined and the upper portion may have broken due to natural causes.

Tree #S-1 California Native Sycamore, (*Platanus racemosa*). This tree is not part of an Oak Tree Report but is considered a California native and is protected in some jurisdictions. This tree measures approximately fifty-five feet high, thirty-two feet wide, with a nineteen-inch dbh. It appears to be in good health with no apparent insect damage. Any signs of disease cannot be accurately determined while the tree is dormant. The tree has been “topped” previously. The off shoots resulting from this practice should be selectively pruned to prevent “lion’s tails.” The TPZ is listed below.

There are two Sweetgum Trees (*Liquidambar styraciflua*), between the Native Sycamore and the sidewalk. If excavation is planned in that area the root systems of these trees will be greatly affected and they will become unstable. We recommend the destruction of these trees PRIOR to any excavation in that area. Removal of these trees may facilitate the location of footings further away from the root system of tree #S-1.

THE FOREGOING SUGGESTIONS ARE MEANT TO BE A PLAN TO PROMOTE THE RECOVERY OF THESE TREES AND BY NO MEANS CONSTITUTE ANY WARRANTY OR GUARANTEE OF SUCCESS.

OUR RECOMMENDATIONS ARE NOT MEANT TO SUPERCEED THE DECISIONS OF ANY PUBLIC AGENCY, SUCH AS THE COUNTY OF LOS ANGELES AS TO HOW THE SUBJECT TREE SHOULD BE CARED FOR.



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ASSOCIATES  
*Horticultural Consultants*

Here are the specifications of the six trees,

Tree #1 Coast Live Oak (*Quercus agrifolia*) 32' high by 20' wide with a 12" dbh. The TPZ on this tree is 15' from the trunk or 30' across and is symmetrical

Tree #2 Coast Live Oak (*Quercus agrifolia*) 37' high by 22' wide with a 12" dbh. The TPZ on this tree is 16' from the trunk or 32' across and is symmetrical.

Tree #3 Coast Live Oak (*Quercus agrifolia*) 60' high by 75' wide with a 44" dbh. The TPZ on this tree is 85' across. It is asymmetrical, the TPZ extends 45' to the east, 40' to the west, 45' to the north and 40' to the south from the trunk.

Tree #4 Coast Live Oak (*Quercus agrifolia*) 20' high by 15' wide with a 5.5" dbh. The TPZ on this tree is 15' across. It is asymmetrical. This tree is not protected, as its dbh is less than 8". It may serve as a replacement tree. There is no TPZ for this tree as it lies beneath the canopy of tree #3.

Tree #5 Coast Live Oak (*Quercus agrifolia*) This tree had been cut at 2' above the ground. The diameter at that point was 14". We calculate the dbh to have been 11" to 12". There is no TPZ as it lies beneath the canopy of tree #1. We believe that this tree was reduced to its current dimension as a result of natural causes.

Tree #S1 California Native Sycamore (*Platanus racemosa*) 55' high by 32' wide, with a 19' dbh. The TPZ on this tree is 22' from the trunk or 42' across and is symmetrical.

**Arborist's disclaimer** - Arborists are tree specialists who use their experience, knowledge, training, and education to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk near trees. Clients may choose to accept or disregard the recommendations of the Arborist or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that can fall in ways we can not anticipate or predict. Conditions are often hidden within the tree and/or below the ground level. Arborists cannot guarantee that a tree will be healthy or safe under all conditions, or for a specific period of time. Likewise, remedial treatments, like medicine, cannot guarantee the future health or structural integrity of a tree.

Treatment, pruning and removal of trees may involve conditions beyond the scope of the Arborist's services, (such as property boundaries and ownership, site lines, neighbor disputes, landlord tenant matters, etc.) Arborists cannot take such issues into account unless complete information has been provided to them. The person hiring the Arborist accepts all liability for authorizing the recommended treatment or remedial measures once it has been explained and acknowledges that successful results cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate risk from trees is to eliminate them in the landscape.



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ASSOCIATES  
*Horticultural Consultants*

No warranty is made, expressed or implied, that problems or deficiencies of the tree or the property will not occur in the future, from any cause. The Consultant shall not be liable for damages or injuries caused by tree defects and assume no responsibility for the correction of defects or tree related problems.

Richard W. Veyna, Certified Arborist



**Certified Arborist #WE-12195A**  
15188 Carretera Drive, Whittier, CA 90605 [richardveyna@gmail.com](mailto:richardveyna@gmail.com)  
562/322-8039 [rwveyna.com](http://rwveyna.com)







**Richard W. Veyna**  
ASSOCIATES  
*Horticultural Consultants*

TABLE

|  |                      |
|--|----------------------|
| Tree #1 Coast Live Oak ( <i>Quercus agrifolia</i> )              | 32' X 20' X 12" dbh  |
| Tree #2 Coast Live Oak ( <i>Quercus agrifolia</i> )              | 37' X 27' X 12" dbh  |
| Tree #3 Coast Live Oak ( <i>Quercus agrifolia</i> )              | 60' X 75' X 44" dbh  |
| Tree #4 Coast Live Oak ( <i>Quercus agrifolia</i> )              | 20' X 15' X 5.5" dbh |
| Tree #5 Coast Live Oak ( <i>Quercus agrifolia</i> )              | 2' X 5' X 11" dbh    |
| Tree #S1 California Native Sycamore ( <i>Platanus racemosa</i> ) | 55' X 32' X 19" dbh  |

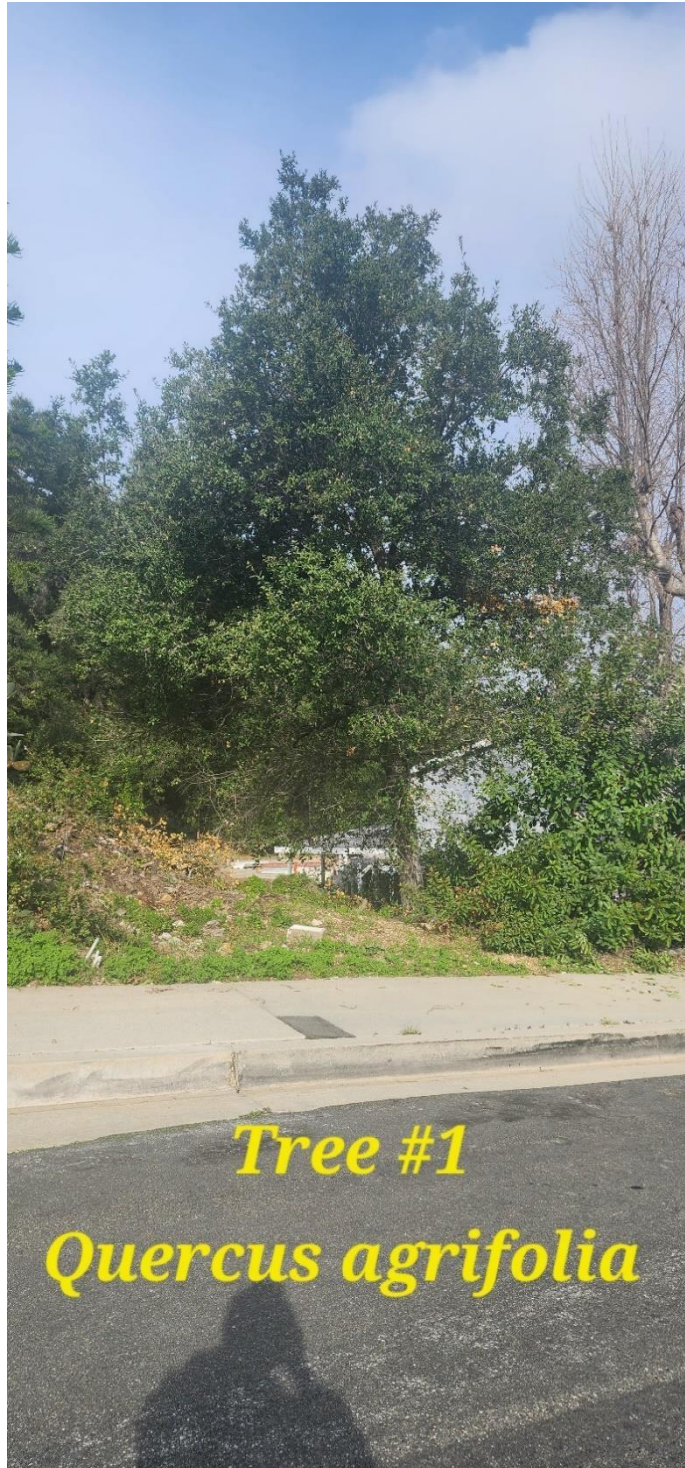


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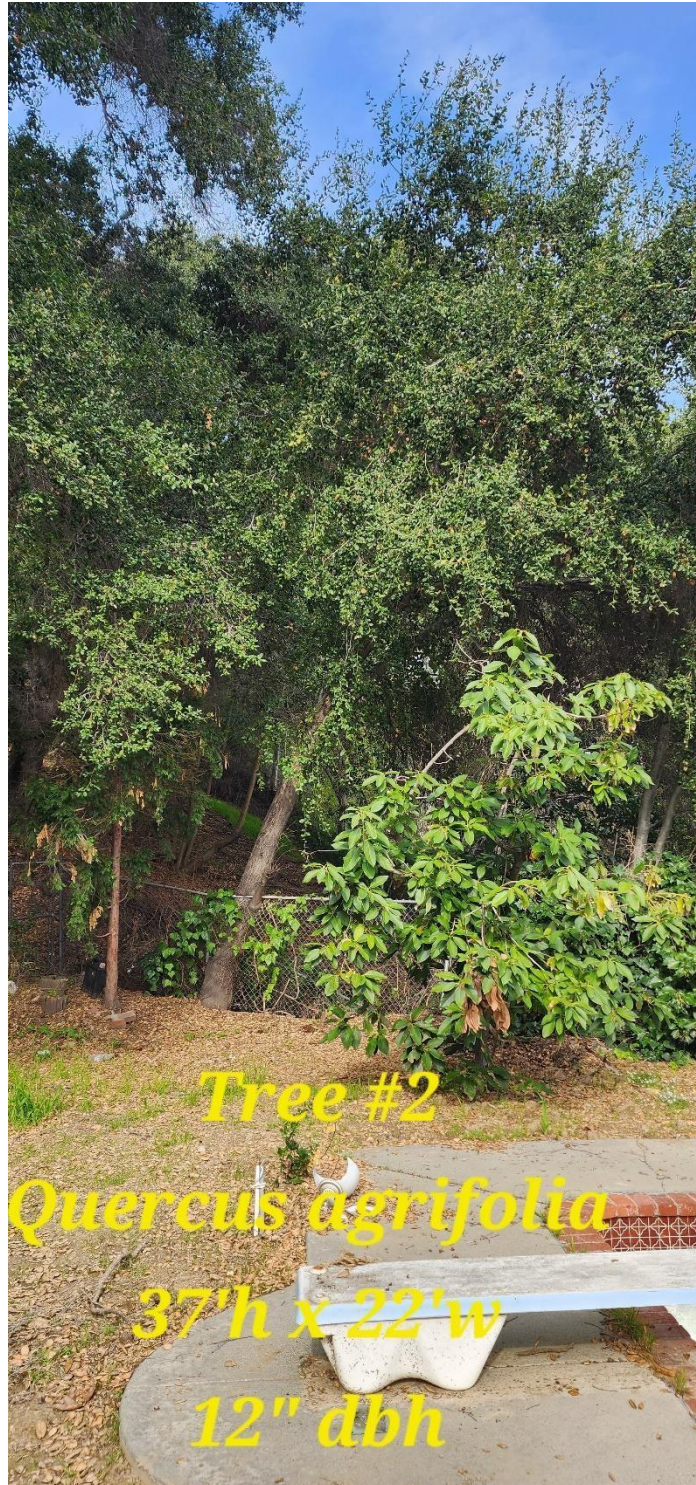
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AREA OF SOIL REMOVAL FROM DRIPLINE OF TREE #3. NOTE THAT TPZ ON THE WESTERLY SIDE IS DEFINED BY THE FENCELINE.



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**Richard W. Veyna**  
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*Root cleanly cut*  
*Tree #3*

R.W. Veyna Assoc.



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**Richard W. Veyna**  
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*Horticultural Consultants*



*Tree #4*  
*Quercus agrifolia*



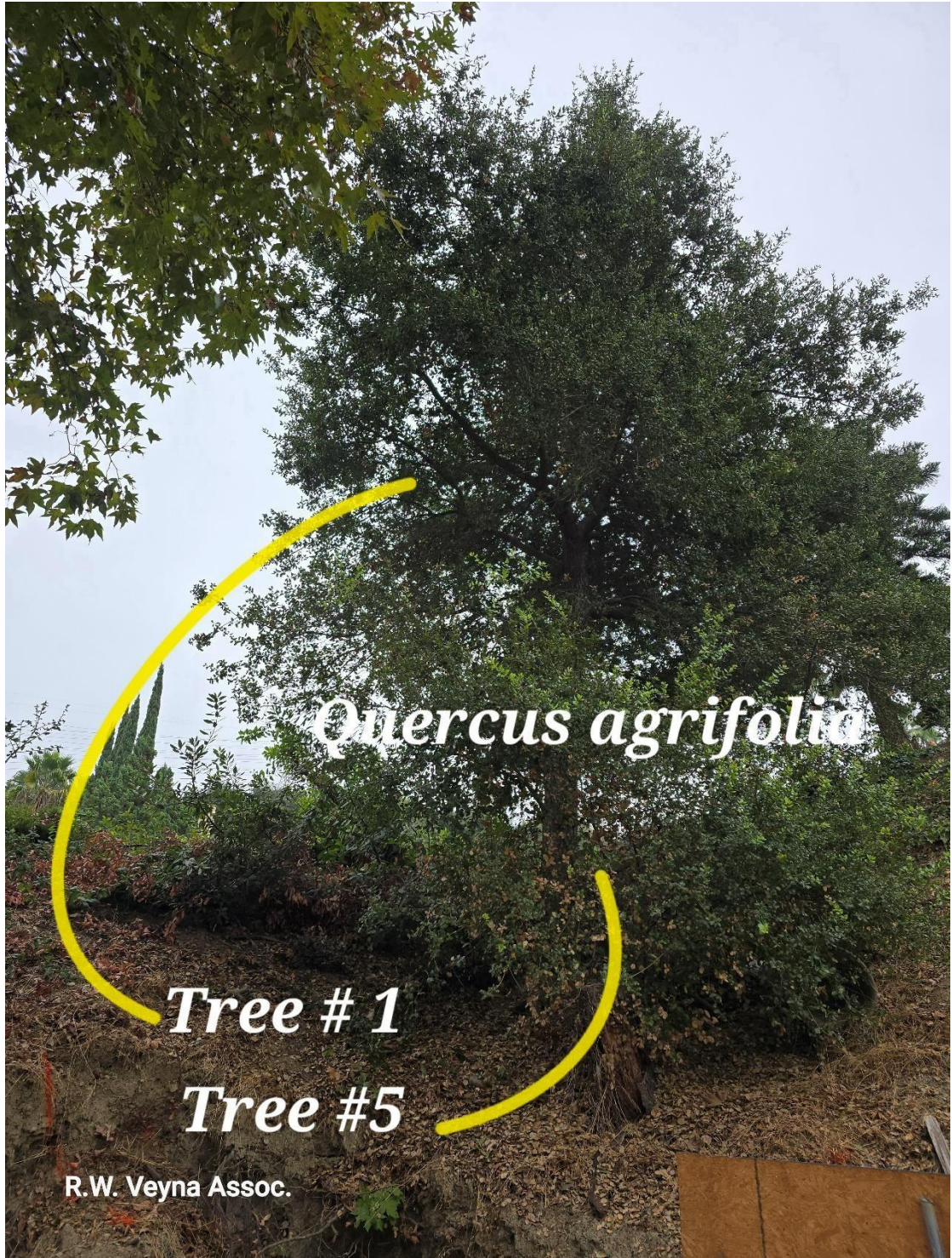
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**Richard W. Veyna**  
ASSOCIATES  
*Horticultural Consultants*



*Tree # S1*

*Platanus racemosa*



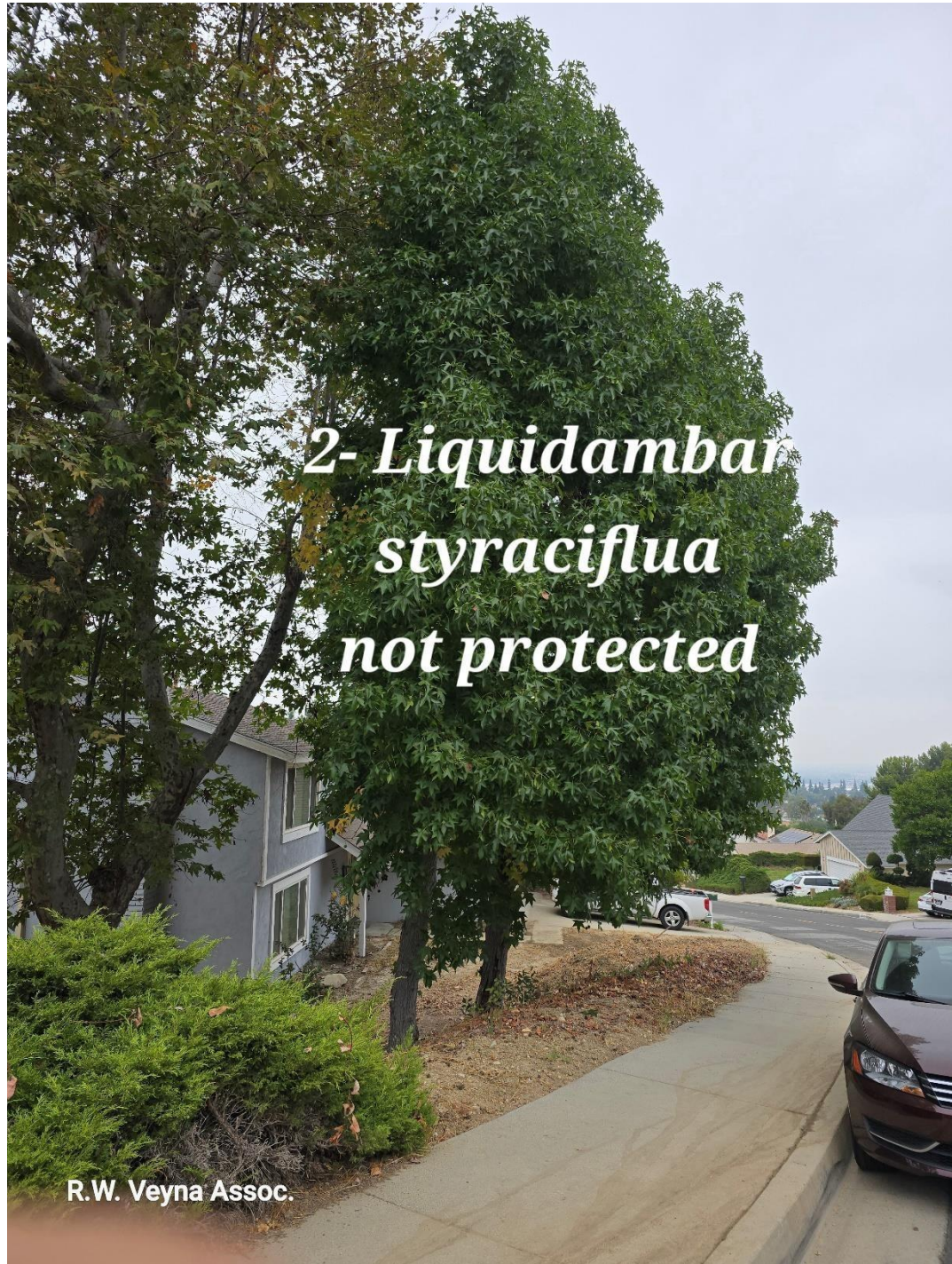
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COUNTY OF LOS ANGELES
FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2401
www.fire.lacounty.gov

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ANTHONY C. MARRONE
FIRE CHIEF
FORESTER & FIRE WARDEN

November 13, 2024

Carl Nadela, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Carl Nadela:

Revised OAK TREE PERMIT NUMBER RPPL2024001753
2907 RIO LEMPA DRIVE, HACIENDA HEIGHTS

We have reviewed the "Request for Oak Tree Permit #RPPL2024001753." The project is located at 2907 Rio Lempa Drive in the unincorporated area of Hacienda Heights. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Richard W. Veyna, the consulting arborist, dated October 17, 2024.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

- 1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, pay the fees invoiced through EPIC-LA to the County of Los Angeles Fire Department. Such fees shall be used to compensate the County Forester per inspection and to cover expenses

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

Table listing various cities and unincorporated areas served by the Fire Department, including Agoura Hills, Artesia, Azusa, Baldwin Park, Bell, Bell Gardens, Bellflower, Bradbury, Calabasas, Carson, Cerritos, Claremont, Commerce, Covina, Cudahy, Diamond Bar, Duarte, El Monte, Gardena, Glendora, Hawaiian Gardens, Hawthorne, Hermosa Beach, Hidden Hills, Huntington Park, Industry, Inglewood, Irwindale, La Canada-Flintridge, La Habra, La Mirada, La Puente, Lakewood, Lancaster, Lawndale, Lomita, Lynwood, Malibu, Maywood, Norwalk, Palmdale, Palos Verdes Estates, Paramount, Pico Rivera, Pomona, Rancho Palos Verdes, Rolling Hills, Rolling Hills Estates, Rosemead, San Dimas, Santa Clarita, Signal Hill, South El Monte, South Gate, Temple City, Vernon, Walnut, West Hollywood, Westlake Village, and Whittier.

incurred while inspecting the project to determine the permittee's compliance with the conditions of approval. These fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

**PERMITTED OAK TREE ENCROACHMENT:**

7. This grant allows encroachment within the protected zone of three (3) trees of the Oak genus identified as Tree Numbers 1, 2 and 3(Heritage) on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20% of the tree canopy of any one tree be removed.



9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

**MITIGATION TREES:**

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above or ten to one (10:1) for heritage trees that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of Quercus agrifolia, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted on site or within the same community if approved by the County Forester. If mitigation trees are deemed impossible by the County Forester, only then a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

**NON-PERMITTED ACTIONS AND VIOLATIONS:**

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5719.

Very truly yours,



KIEN TAN, DEPUTY FORESTER, FORESTRY DIVISION  
PREVENTION SERVICES BUREAU

KT:jl

Enclosure



LOS ANGELES COUNTY  
DEPARTMENT OF REGIONAL PLANNING

DRAFT CONDITIONS OF APPROVAL  
PROJECT NO. PRJ2023-003960-(1)  
OAK TREE PERMIT NO. RPPL2024001753

## **PROJECT DESCRIPTION**

The project is the past and proposed encroachment into the protected zone of three oak trees in conjunction with a proposed Accessory Dwelling Unit and retaining wall at an existing single-family residence subject to the following conditions of approval:

## **GENERAL CONDITIONS**

1. Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“LA County Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
3. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The Permittee shall deposit with the County the sum **\$2,205.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the Permittee's compliance with the conditions of this grant. The fund provides for **five (5)** inspections. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be **\$441.00** per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the



public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.

10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
13. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
14. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

**PERMIT-SPECIFIC CONDITIONS – OAK TREE PERMIT**

15. The permittee shall comply with all conditions and requirements contained in the County Forester and Fire Warden ("County Forester"), Forestry Division letter dated November 13, 2024 (attached hereto), to the satisfaction of said Division, except as otherwise required by said Division.
16. The permittee shall plant one healthy acorn of the same species of oak (*Quercus sp.*) as any tree that may die as a result of the encroachments for each mitigation tree planted. The acorns shall be planted at the same time as and within the watering zone of each mitigation tree.
17. All replacement trees that may be necessary shall be planted on native undisturbed soil and shall be the same species of oak (*Quercus sp.*) as a removed tree. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

18. If site constraints dictate that replacement trees must be planted on disturbed soil or not in the vicinity of the same species of oak (*Quercus sp.*) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
19. The permittee shall provide a licensed arborist to supervise all excavation, grading and development proposed within the protected zones and to further supervise, monitor and certify to the County Forester the implementation of all conditions imposed in connection with this Oak Tree Permit.
20. Any excavation or grading allowed within the protected zone or within 15 feet of the trunk of a tree, whichever distance is greater, be limited to hand tools or small hand-power equipment.
21. At the start of grading operations and throughout the entire period of development, no person shall perform any work for which an oak tree permit is required unless a copy of the oak tree report, location map, fencing plans, and approved oak tree permit and conditions are in the possession of a responsible person and also available at the site.
22. Within 60 days of the approval of the OTP, corrective measures shall be taken for trees noted on the Oak Tree Report dated February 21, 2024, as requiring remedial action, including the following:
  - a. Replace the soil removed from the root zone of on the north side of the trees within the affected area indicated in the Oak Tree Plan (Exhibit "A").
  - b. Soil replacement shall be done by hand.
  - c. Prior to backfilling, two-inch-wide holes shall be bored to a depth of 12 inches, three feet on center, within the affected area indicated in the Oak Tree Plan (Exhibit "A").
  - d. Replacement soil shall be native soil mixed with 25% oak mulch.
  - e. The backfill mix shall not be compacted beyond 15%.
  - f. The placement of sandbags along the northern perimeter of the backfilled area may be required to prevent the erosion of the backfilled soil. The sandbags shall be placed within three business days of instruction by LA County Planning Staff or the County Forester and according to their directions.
  - g. Any roots encountered in the process of creating the footing of the retaining wall shall be protected with a plastic barrier to prevent harmful chemicals from entering the vascular system of the tree.



- h. Prior to the backfilling of the affected area, all exposed roots shall be cut under the supervision of a certified arborist.
- i. The trees shall be irrigated as need for a period of two to five years between March and October of each year. The water content of the backfill shall be monitored monthly by a certified arborist.
- j. The affected area shall contain a drainage system created from a three-inch perforated pipe to drain any excess moisture away from the root system. The installation of the drainage and irrigation system shall be done by a licensed landscape contractor.
- k. Mycorrhizal treatment shall be applied in the affected area.

23. The Oak Trees depicted on the associated Oak Tree Plan (Exhibit "A") shall be physically identified by number on a tag affixed to the north side of the tree in a manner preserving the health and viability of the tree. The tag shall be composed of a noncorrosive all-weather material and shall be permanently affixed to the tree. The tree shall be similarly designated on the Exhibit "A".

Attachments:

Oak Tree Report dated November 21, 2024  
County Forester Letter dated November 13, 2024  
Oak Trees: Care and Maintenance Guide

# ATTACHMENT 5

**From:** [Taylor Yang](#)  
**To:** [Carl Nadela](#)  
**Subject:** Re: FW: FW: Memos from HO Natoli RE 12/3 meeting  
**Date:** Wednesday, November 27, 2024 1:44:27 PM  
**Attachments:** [image001.png](#)

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**CAUTION: External Email. Proceed Responsibly.**

By the way they want to everything to be solved legitimate. They already paid their lesson, which is lack of knowledge. And things just out of their control. Hopefully there will be treat as fair as other citizens. Then you can get what you want; what's the LA County wants.

On Wed, Nov 27, 2024 at 1:33 PM Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)> wrote:

They made a very hard decision to change arborist at this point. Again lost a lot of money. They want to solve problem indeed. Everyone will be happy. Who ever work on this case will have consequences too. Here is owner's email. I believe you can get owner's email either from Sophia or Eric or Richard. You don't have to add me. Eventually it's their house, they have rights to know what happened to their house. If that will be my house, without my knowing to do anything, I will be mad at him too.

[weisandy2017@gmail.com](mailto:weisandy2017@gmail.com)

On Wed, Nov 27, 2024 at 12:30 PM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

Got it. Sounds good! Yes, I agree, they do have the right to choose their arborist, but they will have to also deal with the implications and consequences of their decisions.

Anyway, I have also informed Claire, Sophia and Eric from RCD about how I need something in writing from the property owners to confirm their decision to change arborists at this point. Hopefully, the message gets to the property owners somehow.

I wish you a happy Thanksgiving as well!

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

**PRINCIPAL REGIONAL PLANNER, Puente Whittier Development Services**

Office: (213) 974-6411 • Direct: (213) 893-7010

Email: [cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)



Los Angeles County Department of Regional Planning  
[320 West Temple Street](https://www.planning.lacounty.gov), 13<sup>th</sup> Floor, Los Angeles, CA 90012  
[planning.lacounty.gov](https://www.planning.lacounty.gov)



*Our [field offices](https://www.planning.lacounty.gov) are currently open to the public. Please visit [planning.lacounty.gov](https://www.planning.lacounty.gov) for information about available services, public meeting schedules, and planning projects.*

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**From:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>  
**Sent:** Wednesday, November 27, 2024 12:27 PM  
**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>  
**Subject:** Re: FW: FW: Memos from HO Natoli RE 12/3 meeting

**CAUTION:** External Email. Proceed Responsibly.

Of course I did present all the emails to the owner. Besides it's their civil rights to hiring any arborist to solve the problem. It seems nobody is happy at this case. I don't know the whole story. I just do their a favor to help them. I'm out of town. But I'll try my best to respond. Wish you the best Thanksgiving!

On Wed, Nov 27, 2024 at 12:15 PM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

By the way, just to be clear, I will be continuing to work on this Project based on what we discussed at the site on November 12, including working with the official arborist associated with the Project, **until I get written confirmation from the property owner to do otherwise.**

Regards,

CARL VINCENT NADELA, AICP (he/him/his)

**PRINCIPAL REGIONAL PLANNER, Puente Whittier Development Services**

Office: (213) 974-6411 • Direct: (213) 893-7010

Email: [cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)

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**From:** Carl Nadela

**Sent:** Wednesday, November 27, 2024 12:08 PM

**To:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>

**Subject:** RE: FW: FW: Memos from HO Natoli RE 12/3 meeting

I see. Can you please ask them to send me a letter or email indicating that they are hiring a new consulting arborist and the reasons why they are doing so at this point? Please let them also read my email below so that they know of the implications of their decision.

Regards,

CARL VINCENT NADELA, AICP (he/him/his)



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**From:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>

**Sent:** Wednesday, November 27, 2024 12:03 PM

**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>

**Subject:** Re: FW: FW: Memos from HO Natoli RE 12/3 meeting

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About the back fill it's 6 feet as new arborist which is Greg's instruction. I don't know why they have changed arborist. They are the boss, paying money, make their decisions. But they do complained about Richard doing things without their knowledge and charge unreasonable money.

Also was bigoted and racist. After he talked to labor worker they all gone, never come back to work. The forestry was ware of that they want to change another arborist as I know, which is last time we all meet.

On Wed, Nov 27, 2024 at 11:49 AM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

Hi Taylor,

Unfortunately, I cannot accept the revised Oak Tree Report at this point since this has not been reviewed and cleared by the Forestry. It also does not contain many of the information that we had asked for and discussed at the site with Forestry, including a table of all the oak trees and detailed discussions of the encroachments into Oak Trees No.1 and 2.

Also, just to clarify, did you say that the backfilling work is done? In the picture your provided (attached), it looks like only a very small layer of dirt was added. I believe the intent is for the backfilled soil to reach all the way back to the original grade before the unpermitted grading took place. Based on the attached picture, it looks like there is still about 4-5 feet of backfilling that needs to be done.

What is the reason why the owners got a new arborist at this point? I'm not sure if they are fully aware of the gravity of their situation with their pending Zoning Enforcement case, but this change will negatively affect the proceedings for the Oak Tree Permit and makes it likely for them to get cited again by Zoning Enforcement.

Anyway, please let me know if you want me to proceed with the information you sent me or if you want me to disregard this and proceed as we originally planned when we met at the site on November 12, 2024. In the end, it's up to the property owners to decide. All I can do is explain the implications of their decisions.

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

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**From:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>  
**Sent:** Wednesday, November 27, 2024 11:02 AM  
**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>  
**Subject:** Re: FW: Memos from HO Natoli RE 12/3 meeting

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Good morning Carl,

Here is the full report of 2907 Rio Lempa.

And answer your No.1 question here is attachment below. As I know the owner found another arborist. They followed his instruction all done backfill.

Best regards

Taylor

On Tue, Nov 26, 2024 at 5:54 PM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

Great! Thanks!

If possible, please send them to me before noon tomorrow so that I have time to prepare my Staff Report.

Thanks!

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

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**From:** Richard Veyna <[richardveyna@gmail.com](mailto:richardveyna@gmail.com)>

**Sent:** Tuesday, November 26, 2024 5:44 PM

**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>

**Cc:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>; info <[info@rcd-partners.net](mailto:info@rcd-partners.net)>; [heraredc1@gmail.com](mailto:heraredc1@gmail.com); Sophia Shao <[sshao@rcd-partners.net](mailto:sshao@rcd-partners.net)>

**Subject:** Re: FW: Memos from HO Natoli RE 12/3 meeting

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I'll make that change.

Richard Veyna,  
Certified Arborist  
[rwveyna.com](http://rwveyna.com)  
562/322-8039

On Tue, Nov 26, 2024, 5:24 PM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

Hi Richard,

Quick comment on the revised Oak Tree Report. It looks like you forgot to incorporate into the Oak Tree Report the language that we discussed with Forestry about Oak Tree #5 having been removed due to natural causes, or something to that effect. Please see below.

Do you think you can quickly add that into the report and send me a revised version?

Thanks!

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

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**From:** Carl Nadela

**Sent:** Tuesday, November 26, 2024 3:42 PM

**To:** Richard Veyna <[richardveyna@gmail.com](mailto:richardveyna@gmail.com)>

**Cc:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>; info <[info@rcd-partners.net](mailto:info@rcd-partners.net)>;  
[heraredc1@gmail.com](mailto:heraredc1@gmail.com); Sophia Shao <[sshao@rcd-partners.net](mailto:sshao@rcd-partners.net)>

**Subject:** RE: FW: Memos from HO Natoli RE 12/3 meeting

Sounds good! Thanks!

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

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---

**From:** Richard Veyna <[richardveyna@gmail.com](mailto:richardveyna@gmail.com)>  
**Sent:** Tuesday, November 26, 2024 3:36 PM  
**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>  
**Cc:** Taylor Yang <[taylor8yang@gmail.com](mailto:taylor8yang@gmail.com)>; info <[info@rcd-partners.net](mailto:info@rcd-partners.net)>; [heraredc1@gmail.com](mailto:heraredc1@gmail.com); Sophia Shao <[sshao@rcd-partners.net](mailto:sshao@rcd-partners.net)>  
**Subject:** Re: FW: Memos from HO Natoli RE 12/3 meeting

**CAUTION:** External Email. Proceed Responsibly.

I will inspect the property as soon as possible and get back to you.

Richard Veyna,  
Certified Arborist  
[rwveyna.com](http://rwveyna.com)  
562/322-8039

On Tue, Nov 26, 2024, 2:52 PM Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)> wrote:

Hi Taylor, Richard,

I think the two of you are the best persons to provide this info. Can you please provide a response to Question No. 1 in the attached Memo from the Hearing Officer? If you can provide the latest pictures, that would be great!

Thanks!

Regards,

**CARL VINCENT NADELA, AICP** (he/him/his)

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**From:** Elida Luna <[ELuna@planning.lacounty.gov](mailto:ELuna@planning.lacounty.gov)>

**Sent:** Tuesday, November 26, 2024 2:18 PM

**To:** Carl Nadela <[cnadela@planning.lacounty.gov](mailto:cnadela@planning.lacounty.gov)>

**Cc:** Elida Luna <[ELuna@planning.lacounty.gov](mailto:ELuna@planning.lacounty.gov)>; Rafael Andrade <[RAndrade@planning.lacounty.gov](mailto:RAndrade@planning.lacounty.gov)>

**Subject:** Memos from HO Natoli RE 12/3 meeting

Hi Carl,

These memos are from HO Natoli regarding your items for the HO meeting of December 3.

Thank you,

**ELIDA LUNA**

(she/her/hers)



**COMMISSION SECRETARY, Operations & Major Projects (OMP)**

Direct: (213) 974-6409

Email: [eluna@planning.lacounty.gov](mailto:eluna@planning.lacounty.gov)

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**From:** [We rock this planet](#)  
**To:** [Carl Nadela](#)  
**Subject:** 2907 rio lempa dr Hacienda Heights  
**Date:** Wednesday, November 27, 2024 7:13:20 PM

---

**CAUTION: External Email. Proceed Responsibly.**

Hi Carl,

This is Sandy, the owner of 2907 rio lempa dr Hacienda Heights.

We made a very hard decision to change arborist at this point. Sorry for the inconvenience. It's hard for me to communicate with previous arborist.

He did some work, it just doesn't work out with me. He charged unreasonable prices. Doing things without my knowing.

When I asked him last week when he could give me the report, He said couldn't give it to me for the time being. I was worried that it would be too late for the next hearing,so I made a very difficult decision to hire a new arborist. Even I need to paid double for this.

When I informed Richard that we going to terminate his employment, I was told that he had submitted a report to you, I haven't seen the report before he presented to you. That's very disrespectful and unprofessional.

Therefore, we found another experience and professional arborist who can help us save the tree immediately. Here is his contact information below.All I want it's solve the problem.

Let's focus on the report before the next hearing. Thank you!

Arborist Greg: [greg@arborgate.occoxmail.com](mailto:greg@arborgate.occoxmail.com)

Best regards

Sandy



November 20, 2024

Wei Ping & Yong Chen  
2907 Rio Lempa Drive  
Hacienda Heights, CA 91745

Re: Oak Preservation at 2907 Rio Lempa Drive, Hacienda Heights

Dear Ping & Yong:

Thank you for asking Arborsgate Consulting to examine these oaks, review the previous report by Richard Veyna, and update and amend his report as appropriate. Mr. Veyna's report is dated October 17, 2024. This consultant examined the trees on November 18, 2024.

## Observations

The trees had numbered tags for positive identification and cross reference to the Veyna report. The primary focus is on oak number 3. The other oaks are either smaller than need reporting or are outside planned grading, paving or construction. All the oaks are coast live oaks, *Quercus agrifolia*, and all are in good health. None are planned for removal.

Trees number 1 and 2 are about 12 inches in trunk diameter (DBH). Number 2 is at the edge of the property and at the edge of tree number 3's dripline, and it leans away as a result of the crowding. Tree number 1 is at the front of the property and has a healthy and symmetrical canopy. There are several oaks on the adjoining properties. One is next to tree number 2, but on the neighbor's side. It has two small trunks about 4 and 5 inches in diameter. Another is behind oak number 3, and has a trunk about 17-inches in diameter. None of the neighboring oaks are at risk. The slope behind oak #3 is outside the scope of this report, but a word of warning is given here that the large field of poison oak there is spreading.

Tree number 4 is a California sycamore, *Platanus racemosa*. It was topped significantly in the past, but is outside the scope of this report and is not a protected species.

Tree number 3, the focus of this report, had a small amount of grading within what would be a normal protection zone. It has a trunk diameter about 44-inches in diameter. The dripline has radius of about 36 feet. Being on a moderate slope and the edge of this property, it appears the attempt was made to provide more flat and useable space behind the pool deck. In examining the

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cut slope around that corner of the lot, only one significant root was found to be cut, and that at about 10 feet from the trunk. It was a little less than four inches in diameter, and only a few other roots, about one inch in diameter, were also cut. See the photographs below.

None of the trees had signs of drought stress, with cut roots (including #3) or not. There were no indications of recent pruning, and no indications of insect pests. They all had some level of old dead branches, but no other significant defects were visible that could lead to limb or trunk failure.

## Analysis

Oaks are one of only a few long-lived native trees in southern California. Sycamores, cottonwoods, elderberry, redbud, and dogwoods seldom last half as long. This is to say they are well worth protecting and preserving for future generations. Of these native trees, coast live oak is one of the most tolerant of root disturbance.

The International Society of Arboriculture guide called "Trees and Development" by Matheny and Clark, lists it in the top group for tolerance of root disturbance. They provide an objective formula for determining a root protection zone (pg. 74) based on the age/health, trunk diameter and species. For a mature, but not senescent, oak they recommend a protection radius of 0.75 feet per inch of caliper, or  $44" \times 0.75 = 33'$  protection zone radius.

The dripline of the tree is about 36 feet, so in this case the two standards are close. However, dripline-based standards do not protect the most important roots to protect. Many oaks are leaning or one-sided, such as oak number 2. The roots opposite a leaning canopy are the most important for support, and would not be protected by a dripline-based standard. Even adding five feet, like the County Ordinance does, to a dripline standard is not sufficient protection.

Other standards have been developed for protecting enough roots to maintain stability. The predominant one, by Bartlett Tree Research, recommends a 3 to 5 times trunk diameter radius. However, the research this is based on, studied much smaller trees than this number 3 oak. The small amount of root cutting here has made no impact on stability.

The root system of oaks is designed to draw water from large areas of soil. In one study done near Thousand Oaks, roots were physically traced out and followed. In most cases they extended 100 to 200 feet past the canopy for trees the size of number 3. Even if only the dripline were considered, the amount of root space impacted is less than 20% of 4070 square feet, but if the whole root zone, with a 100-foot extension past dripline is considered, its less than 0.4% of the root zone impacted. In short, the subject root disturbance is very minor.

## Recommendations

There are no plans for paving or structure in the impacted area. The only plan is to restore the original grade and provide a suitable root habitat for roots to grow back into.

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The soil that was initially removed was top soil, and as such would contain spores of mycorrhizal fungi. None need to be added. That soil, and any commercial topsoil, should be brought back in by a track-mounted Bobcat. The object is to minimize soil compaction and track-mounted equipment would cause less compaction than foot traffic and wheelbarrows. The unamended and uncompacted topsoil will be a good base for the final restored slope. A top-dressing of commercially provided and amended topsoil will provide an ideal initial root habitat. This soil profile will compact naturally over time, so mound it about 4 to 6 inches to allow for settling. It will matter little if it ends up slightly concave. The final layer will be a 4-inch layer of coarse mulch, e.g. tree chips fresh off a tree service chip truck. Natural oak leaf litter is good and will be added naturally without further effort, but if it starts to blow into the pool, just use a commercial coarse mulch, e.g. Aginaga Forest Flood 1/2 to 2".

A retaining wall was recommended by Mr. Veyna. I do not concur, especially if it is the type needing a footing. If a retaining wall is desired to contain the mulch or mounded soil, use header boards or a Loffelstein type wall. Do not do any further excavation in this area for a retaining wall or other purpose.

Pruning should only be done by a properly licensed and insured tree service, directly supervised by a certified arborist or registered consulting arborist. Remove no internal branching. Cut no limb greater than 2" diameter. Any essential cut over 2" diameter must be cut under the supervision of a registered consulting arborist. No heading, thinning or topping is allowed. Remove no more than 10% foliage. All cuts should be properly made according to ANSI A300, part 1 and the ISA Best Management Practices booklet on pruning. The main areas of focus are removing dead wood and lightly shortening overly long end-heavy limbs.

This consultant is available as necessary to testify to these facts and opinions if requested.

Respectfully submitted,



Arbrogate Consulting, Inc.  
Greg Applegate, ASCA, ASLA emeritus  
Registered Consulting Arborist #365  
Tree Risk Assessment Qualified  
Certified arborist WE-0180a

Enclosures, photos

see attached site plan

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Oak #3

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Oak #2 – note lean

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#1 oak in the front.

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A small oak in the neighbor's yard with 4" and 5" trunks.



Poison "oak" on the property behind oak #3.



Coast live oak on neighbor's property behind oak #3

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Cut slope at the south edge of the subject property.



Cut slope at the south edge of the subject property. Oak #3 behind the worker at right.

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One significant root cut.



All other roots found were about one inch or less.



Other finer roots were exposed.

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