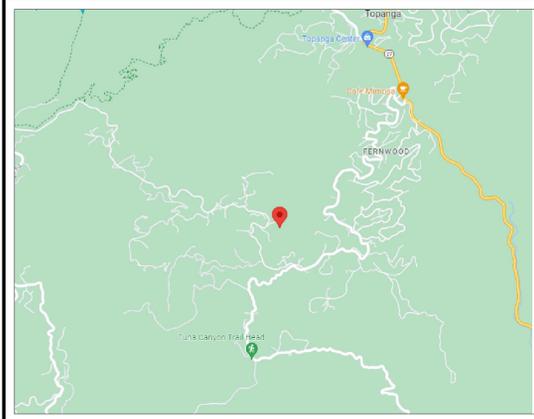


BURNS RESIDENCE: CIVIL PLANS



PROJECT LOCATION
21655 SADDLE PEAK RD
TOPANGA, CA 90290

LEGAL DESCRIPTION
ASSESSOR ID#: 4448-019-049

PROJECT INFORMATION
ZONING: R-C-10
LOT SIZE: 296,777 SQ. FT.

TSUNAMI INUNDATION ZONE: NO
ESA ZONE: NO

OWNER
STEVEN BURNS
21655 SADDLE PEAK RD
MALIBU, CA 90265
STEVENBURNS@ME.COM
312.415.4718

PROJECT DESIGNER/ARCHITECT
RESILIENT DESIGN
562.608.7108
INFO@RESILIENTDESIGNLLC.NET

CIVIL ENGINEER
JAMES TUCHSCHER, P.E.
TEG, INC.
130 PINE AVE, 3RD FLOOR
LONG BEACH, CA 90802
310.613.9980

GEOTECHNICAL ENGINEER
PRELIMINARY GEOLOGIC
OPINION REPORT BY
R.L. SOUSA
14428 HAMLIN ST, #210
VAN NUYS, CA 91401
818.424.1417

SURVEYOR
LARRY D. PEARSON, L.S. 4449

GRADING SUMMARY				
	WITHIN FOOTPRINT	OUTSIDE OF FOOTPRINT	REMOVE AND RECOMPACT	TOTAL
CUT	26.3 CU.YD.	18.4 CU.YD.	0 CU.YD.	44.7 CU.YD.
FILL	6.7 CU.YD.	633.8 CU.YD.	0 CU.YD.	640.5 CU.YD.
			TOTAL	685.2 CU.YD.
			595.8 CU.YD.	IMPORT

SHEET	DESCRIPTION
C-1.0	TITLE SHEET
C-2.0	EXISTING SITE PLAN
C-3.0	GRADING PLAN
C-4.0	DRAINAGE PLAN
C-5.0	CIVIL DETAILS

VICINITY MAP	1	PROJECT DATA	2	PROJECT DIRECTORY	3	GRADING INFORMATION	4	SHEET INDEX	5
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PROJECT GENERAL NOTES

- PROPOSED STARTING DATE:
PROPOSED COMPLETION DATE:
- THIS PLANS CONFORMS TO THE COASTAL DEVELOPMENT PERMIT APPROVED BY THE CITY FOR 21655 SADDLE PEAK RD, TOPANGA, CA 90290
- EXPORTED SOIL FROM A SITE SHALL BE TAKEN TO THE COUNTY LANDFILL OR TO A SITE WITH AN ACTIVE GRADING PERMIT AND THE ABILITY TO ACCEPT THE MATERIAL IN COMPLIANCE WITH THE CITY'S LOCAL IMPLEMENTATION PLAN (LIP).

DESIGN ENGINEER STATEMENT

I HEREBY VERIFY THAT THIS GRADING PLAN WAS PREPARED UNDER MY SUPERVISION IN ACCORDANCE WITH SECTION 3318.1 OF THE MALIBU BUILDING CODE. ALL SOILS ENGINEER AND ENGINEERING GEOLOGY RECOMMENDATIONS WERE INCORPORATED IN THE PLAN.

DESIGN ENGINEER SIGNATURE _____ DATE _____

GENERAL GEOTECHNICAL NOTES

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION.
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS. THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
- FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING IF GEOTECHNICAL REPORT DOES NOT SPECIFY GUIDELINES.

CITY OF MALIBU GENERAL NOTES

- ANY MODIFICATIONS OF OR CHANGES IN APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLAN MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE.
- FIELD ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND THE CONTRACTOR SHALL OBTAIN INSPECTION BEFORE POURING.
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. WEEKLY STATUS REPORTS SHALL BE SUBMITTED BY THE FIELD ENGINEER TO THE CITY BUILDING DEPARTMENT.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- SEPARATE PLANS FOR TEMPORARY DRAINAGE AND WET WEATHER EROSION CONTROL MEASURES TO BE USED DURING THE RAINY SEASON MUST BE SUBMITTED PRIOR TO OCTOBER 1. THE EROSION CONTROL DEVICES SHOWN ON SAID PLANS MUST BE INSTALLED BY NOT LATER THAN NOVEMBER 1 AND MAINTAINED IN OPERABLE CONDITION UNTIL APRIL 15.
- THE GRADING CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT VERIFYING THAT THE WORK DONE UNDER HIS DIRECTION WAS PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF CHAPTER 33 OF THE MALIBU BUILDING CODE OR DESCRIBING ALL VARIANCES FROM THE APPROVED PLANS AND REQUIREMENTS OF THE CODE.
- ALL RECOMMENDATIONS INCLUDED IN THE CONSULTANT'S SOIL AND GEOLOGY REPORTS MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC GEOLOGIC INSPECTION WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT.
- THE CONSULTING GEOLOGIST MUST APPROVE ROUGH GRADING BY FINAL REPORT. FINAL REPORT MUST INCLUDE AN AS-BUILT GEOLOGIC MAP.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE REQUIRED BEFORE THE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, GEOLOGIST, GRADING INSPECTOR, AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- FILL SHALL BE BENCHED INTO COMPETENT MATERIAL PER CITY OF MALIBU STANDARD OR SOILS ENGINEER'S DIRECTIONS.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- THE BUILDING OFFICIAL SHALL APPROVE STOCK PILING OF EXCESS MATERIAL PRIOR TO EXCAVATION.
- THE FIELD ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER.

CITY OF MALIBU GENERAL NOTES

- SUB-DRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB-DRAIN CONSTRUCTION AND SURVEY FOR LOCATION. THE AS GRADED PLAN SHALL SHOW ALL SUB-DRAIN LOCATIONS AND ELEVATIONS.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED REMEDIATION TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS, AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. EACH TEST SHALL BE IDENTIFIED WITH THE METHOD OF OBTAINING THE IN PLACE DENSITY, WHETHER SAND CONE OR NUCLEAR GAUGE, AND SHALL BE SO NOTED FOR EACH TEST.
- EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE SHOWN CLEARLY ON APPROVED PLANS.
- THE FIELD ENGINEER SHALL SUBMIT A LETTER OF CERTIFICATION TO THE BUILDING OFFICIAL STATING THAT THE GRADING WAS DONE IN COMPLIANCE WITH THE APPROVED GRADING PLAN.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS, AS APPROVED BY THE CITY OF MALIBU, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN. ALL RECOMMENDATIONS CONTAINED ARE TO BE COMPLIED WITH OR REVISIONS SUBMITTED FOR REVIEW.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. GUTTERS SHALL BE CONNECTED TO NON-EROSIVE PIPING OR OTHER METHOD ACCEPTABLE TO THE BUILDING OFFICIAL.
- ANY EXCAVATIONS ADJACENT TO OTHER PROPERTY OR STRUCTURES ARE SUBJECT TO THE PROVISIONS OF THE CALIFORNIA CIVIL CODE, SECTION 832, AND IS THE RESPONSIBILITY OF THE PERMITTEE AND OR OWNER.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.

PUBLIC WORKS NOTES

- ALL WORK ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) "GREEN BOOK."
- CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE DIVISION OF INDUSTRIAL REGULATIONS (CAL-OSHA) SAFETY STANDARDS. IF REQUESTED BY THE INSPECTOR, THE CONTRACTOR SHALL PROVIDE PROOF OF A PERMIT FROM SAID DIVISION.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS INSPECTOR AT (310) 456-2489 EXT. 341 FOR PRE-CONSTRUCTION MEETING PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR GRADING OPERATIONS. CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION AND 24 HOURS IN ADVANCE OF SPECIFIC INSPECTION NEEDS DURING THE COURSE OF THE WORK.
- NO IMPROVEMENTS ARE PROPOSED WITHIN THE PUBLIC RIGHT OF WAY.
- STORAGE OF ANY CONSTRUCTION MATERIALS, CONSTRUCTION TRAILER, AND/OR PARKING AND ANY WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL REQUIRE A CITY ENCROACHMENT PERMIT. CALL THE PUBLIC WORKS INSPECTOR AT (310) 456-2489 EXT. 341 TO APPLY FOR A PERMIT.
- STORAGE OF ANY CONSTRUCTION MATERIALS, CONSTRUCTION TRAILER, AND/OR PARKING AND ANY WORK WITHIN THE CALTRANS PUBLIC RIGHT OF WAY SHALL REQUIRE A CALTRANS ENCROACHMENT PERMIT. SUBMIT A COPY OF THE CALTRANS ENCROACHMENT PERMIT TO THE PUBLIC WORKS DEPARTMENT.
- ALL WORK SHALL BE PERFORMED DURING CITY WORKING HOURS AND IN COMPLIANCE WITH THESE PLANS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL LOCATE, PROTECT, AND SAVE ANY AND ALL SURVEY MONUMENTS THAT WILL BE OR MAY BE DAMAGED OR DESTROYED BY THEIR OPERATIONS. ONCE FOUND, THE CONTRACTOR SHALL THEN NOTIFY BOTH THE DEVELOPER'S SUPERVISING CIVIL ENGINEER AND THE PUBLIC WORKS INSPECTOR. THE SUPERVISING CIVIL ENGINEER SHALL RESET ALL SAID MONUMENTS PER THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC AND PRIVATE PROPERTY INsofar AS IT MAY BE AFFECTED BY THESE OPERATIONS.
- EXISTING TRAFFIC SIGNS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE CITY ENGINEER. AS A MINIMUM, CONSTRUCTION WORK ZONE TRAFFIC SIGNS AND STRIPING SHALL BE FURNISHED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE "WORK AREA TRAFFIC HANDBOOK" (THE "WATCH MANUAL"), PUBLISHED BY BNI BUILDING NEWS, INC. A TRAFFIC CONTROL PLAN, PREPARED BY THE DEVELOPER, MAY BE REQUIRED BY THE CITY.
- DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
- EROSION CONTROL PLANS SHALL BE PROVIDED FOR ALL PROJECTS. GRADING AND CLEARING IS PROHIBITED FROM NOVEMBER 1 TO MARCH 31 FOR ALL DEVELOPMENTS WITHIN OR ADJACENT TO ESAH AND/OR INCLUDING GRADING ON SLOPES GREATER THAN 4:1.
- ALL UNDERGROUND UTILITIES AND SERVICE LATERALS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF CURBS, GUTTERS, SIDEWALKS, AND PAVING UNLESS OTHERWISE PERMITTED BY THE CITY ENGINEER.

PUBLIC WORKS NOTES

- THE DEVELOPER SHALL COMPLY WITH NPDES REQUIREMENTS. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES AND SHALL BE KEPT UPDATED.
- ALL RECOMMENDATIONS MADE BY THE GEOTECHNICAL/SOILS ENGINEER (AND ENGINEERING GEOLOGIST, WHERE EMPLOYED), AND CONTAINED IN THE REPORTS REFERENCED HERON, AS APPROVED OR CONDITIONS BY THE CITY, SHALL BE CONSIDERED A PART OF THE GRADING PLAN.
- ALL STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT OF WAY, AND EASEMENTS SHALL BE REINFORCED CONCRETE PIPE (RCP).
- TERRACE DRAINS, INTERCEPTOR DRAINS, AND DOWN DRAINS SHALL BE CONSTRUCTED OF 3" P.C.C. REINFORCED WITH 6"x6" x #10 W.W.M. AND SHALL BE EITHER SEMICIRCULAR OR TRIANGULAR CROSS SECTION. CONCRETE COLOR SHALL BE "OMAHA TAN" OR APPROVED EQUIVALENT.
- GRADING QUANTITIES:
CUT 44.7 CU.YD. FILL: 640.5 CU.YD.
EXPORT 0 CU.YD. IMPORT: 595.8 CU.YD.
- TOTAL DISTURBED AREA: 15163.3 SQ.FT. (0.35 ACRE)
(INCLUDING GRADING, CLEARING, AND LANDSCAPING AREA)
TOTAL EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.
TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 4857.0 SQ.FT. (0.11 ACRE)
- ALL SLOPES ON PRIVATE PROPERTY ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER PUBLIC FACILITIES SHALL BE GRADED NOT STEEPER THAN 2:1 FOR CUT AND FILL UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER ON RECOMMENDATION OF THE PROJECT'S GEOTECHNICAL/ SOILS CONSULTANT.
- ALL CATCH BASINS AND DRAINAGE INLETS SHALL BE STENCILED WITH THE CITY OF MALIBU STORM DRAIN LOGO.

130 PINE AVE, 3RD FLOOR
LONG BEACH, CA 90802
310.613.9980
www.TEG.us/geotitles.com

T U C H S C H E R E N G I N E E R I N G G R O U P

STAMP

DRAWING

TITLE SHEET

PROJECT

BURNS RESIDENCE
21655 SADDLE PEAK RD
TOPANGA, CA 90290

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JOB #:

23-2609

DATE:

7/25/23

SCALE:

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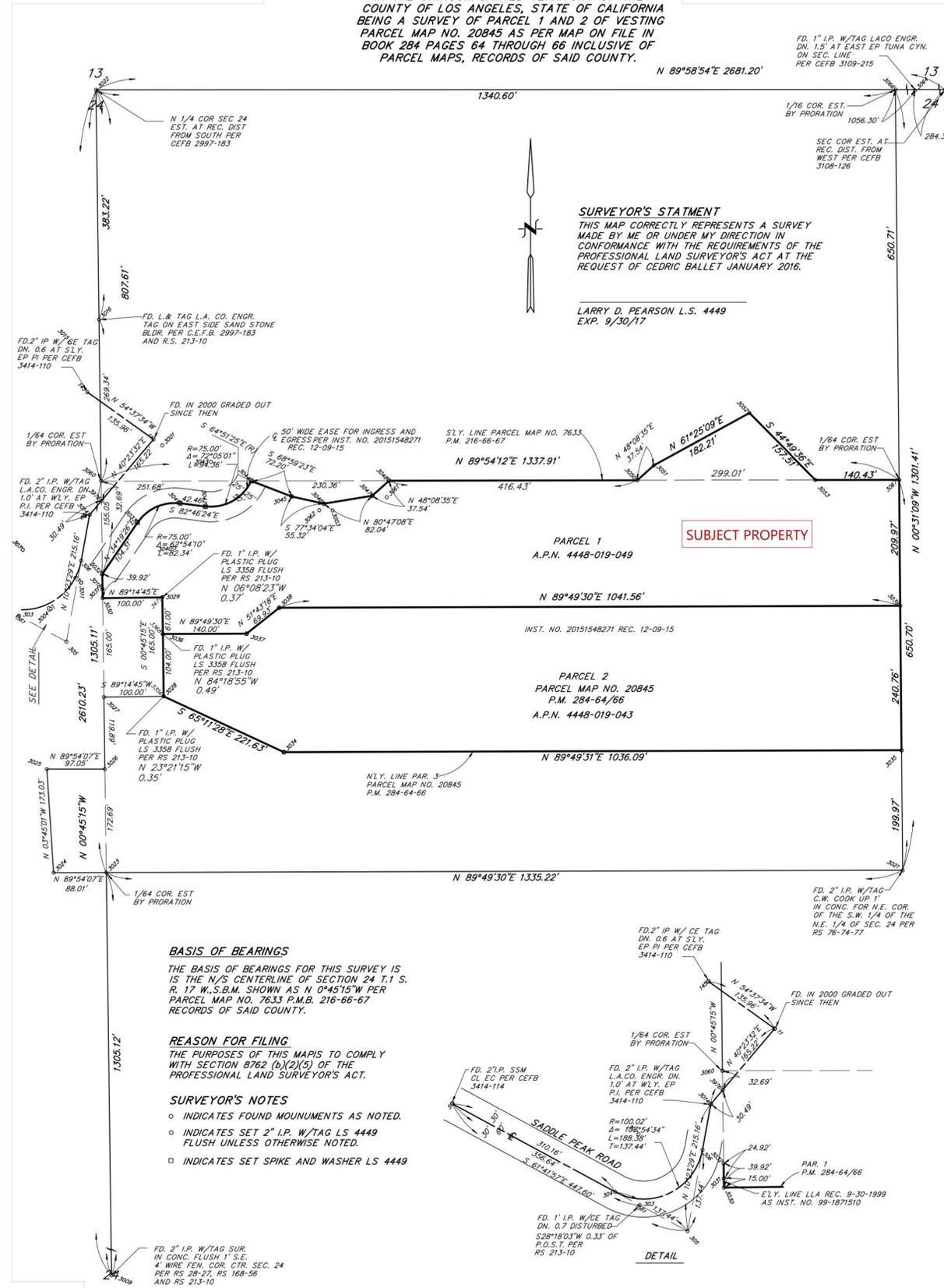
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SHEET 1 OF 5

PLANNING SUBMITTAL

RECORD OF SURVEY

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA BEING A SURVEY OF PARCEL 1 AND 2 OF VESTING PARCEL MAP NO. 20845 AS PER MAP ON FILE IN BOOK 284 PAGES 64 THROUGH 66 INCLUSIVE OF PARCEL MAPS, RECORDS OF SAID COUNTY.

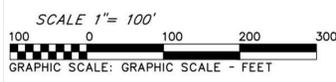


BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE N/S CENTERLINE OF SECTION 24 T.1 S. R. 17 W.S.B.M. SHOWN AS N 0°45'15"W PER PARCEL MAP NO. 7633 P.M.B. 216-66-67 RECORDS OF SAID COUNTY.

REASON FOR FILING
THE PURPOSES OF THIS MAP IS TO COMPLY WITH SECTION 8762 (b)(2)(5) OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

SURVEYOR'S NOTES

- INDICATES FOUND MOUNDMENTS AS NOTED.
- INDICATES SET 2" I.P. W/TAG LS 4449 FLUSH UNLESS OTHERWISE NOTED.
- INDICATES SET SPIKE AND WASHER LS 4449



RESILIENT DESIGN LLC
(562) 608-7108
info@resilientdesignllc.net

DESIGNER
Mr. & Mrs. BURNS
ARCHITECT/CLIBT
SURVEY
LAYOUT NAME

BURNS RESIDENCE

21655 SADDLE PEAK ROAD TOPANGA, CA. 90290

4448-019-049		
APN	0	05/02/2023 DB

NOT FOR CONSTRUCTION

REVISIONS

A-1.1
SHEET 2 OF 18
NO.

T U C H S C H E R E N G I N E E R I N G G R O U P

130 PINE AVE. 3RD FLOOR
LONG BEACH, CA 90802
310.513.9980
www.TEGlosangeles.com

STAMP
STAMP DATE

DRAWING
EXISTING SITE PLAN

PROJECT
BURNS RESIDENCE
21655 SADDLE PEAK RD
TOPANGA, CA 90290

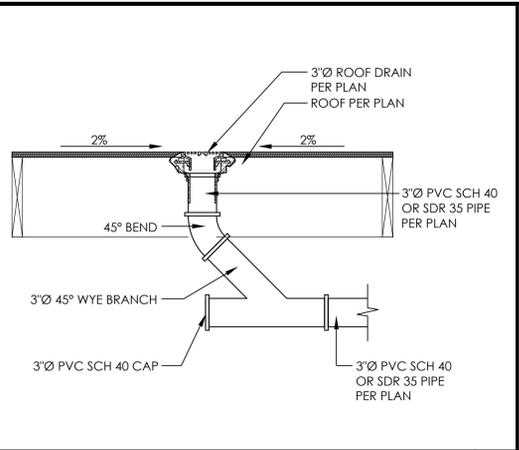
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JOB #: 23-2609
DATE: 7/25/23
SCALE: 1" = 100'-0"
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SHEET 2 OF 5



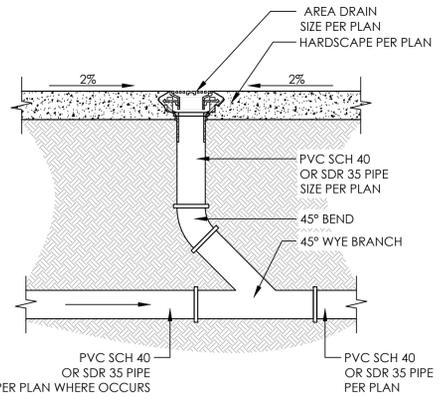
DRAIN STENCIL

1



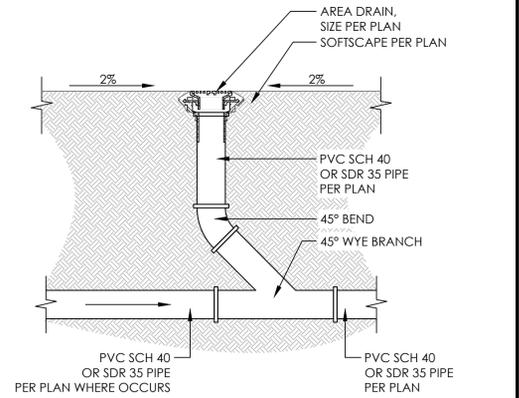
ROOF DRAIN DETAIL

3



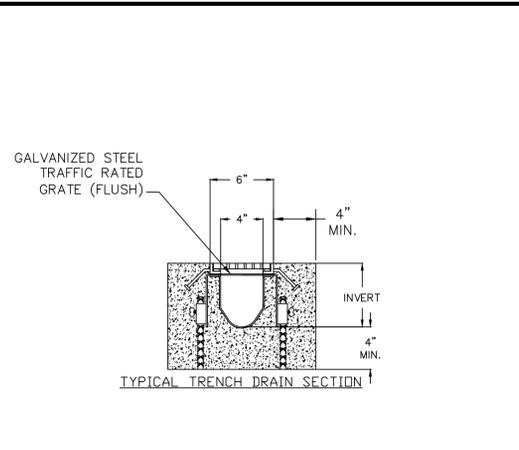
AREA DRAIN DETAIL

2

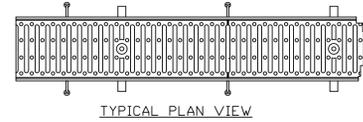


AREA DRAIN DETAIL

4



TYPICAL TRENCH DRAIN SECTION



TYPICAL PLAN VIEW



TYPICAL ELEVATION

TRENCH DRAIN DETAIL

5

ALTERNATE SIZES					
Vault Size	Dim. A (in)	Dim. B (in)	Media (CY)	Underdrain Size (in)	Minimum Height (in)
4X8	48	96	1.33	6	47
4X10	48	120	2.22	8	49
6X6	72	72	1.33	8	49
6X8	72	96	1.78	8	49
6X10	72	120	2.67	12	53
8X8	96	96	2.67	12	53
8X10	96	120	4.44	15	56
8X18.5	96	222	6.88	18	59

COMMENTS:
 1. STRUCTURE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
 2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION.
 3. FILTER MEDIA SUPPLIED BY HYDRO INTERNATIONAL.
 4. ALTERNATE CONFIGURATIONS AVAILABLE UPON REQUEST.
 5. NON-TREE GRATE FRAME AND COVER OPTIONS AVAILABLE.

PROJECTION

IF IN DOUBT ASK

DATE: 3/10/2021 SCALE: 1:25
 DRAWN BY: EHR CHECKED BY: APPROVED BY:
 WEIGHT: MATERIAL:
 STOCK NUMBER:
 DRAWING NO. HYDRO-INT-002021 HYDRO INTERNATIONAL
 PROJECT NO. STORMSCAPE BYPASS GA
 SHEET NO. 1 OF 1

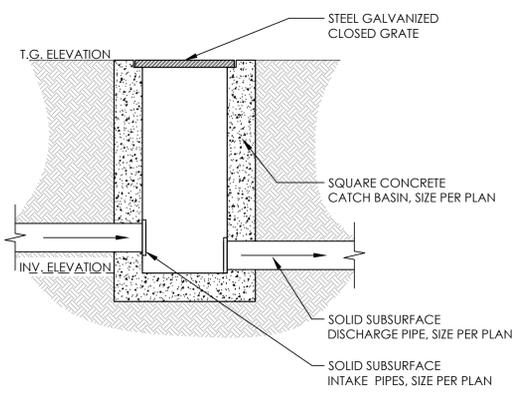
Hydro International
 hydro-int.com
 ©2021 HYDRO INTERNATIONAL

HYDRO FRAME AND COVER (INCLUDED)
 GRADE RINGS BY OTHERS AS REQUIRED

ITEM	PART NUMBER
1	STORMSCAPE VAULT
2	MEDIA
3	BAFFLE
4	TREE GRATE (36X36)
5	TRENCH GRATE (12X20)
6	FRAME AND COVER (24 in)
7	GRAVEL (SUPPLIED BY OTHERS)
8	UNDERDRAIN (SUPPLIED BY OTHERS)
9	PLANT (SUPPLIED BY OTHERS)
10	MULCH (SUPPLIED BY OTHERS)

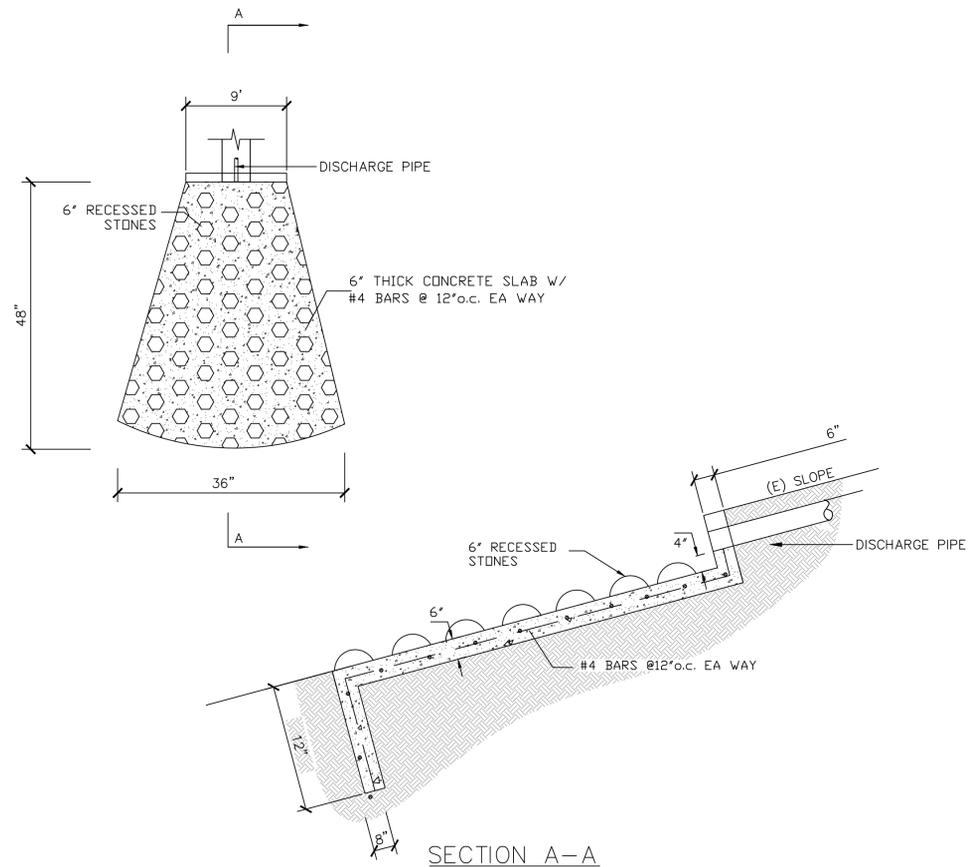
HYDRO STORMSCAPE PLANTER DETAIL

6



CATCH BASIN DETAIL

7



SECTION A-A

RIP-RAP DETAIL

8

130 PINE AVE, 3RD FLOOR
 LONG BEACH, CA 90802
 310.413.9980
 www.tegusa.com

TEG

T U C H S C H E R
 E N G I N E E R I N G
 G R O U P

STAMP

STAMP DATE

DRAWING GRADING SECTIONS

PROJECT
 BURNS RESIDENCE
 21655 SADDLE PEAK RD
 TOPANGA, CA 90290

REVISIONS	BY
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JOB #: 23-2609
 DATE: 7/25/23
 SCALE: NTS

C-5.0
 SHEET 5 OF 5

PLANNING SUBMITTAL