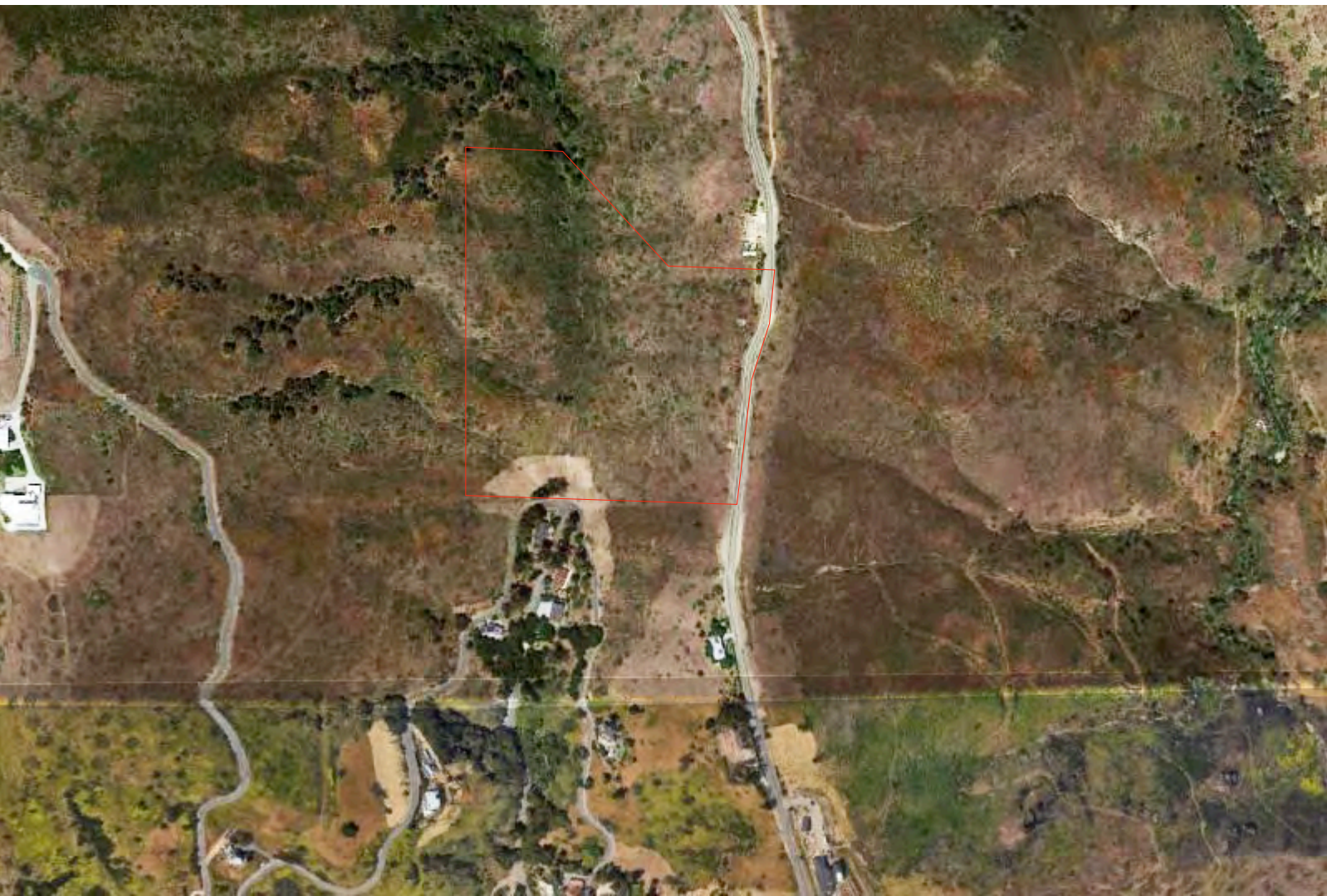


2643 CORRAL CANYON ROAD

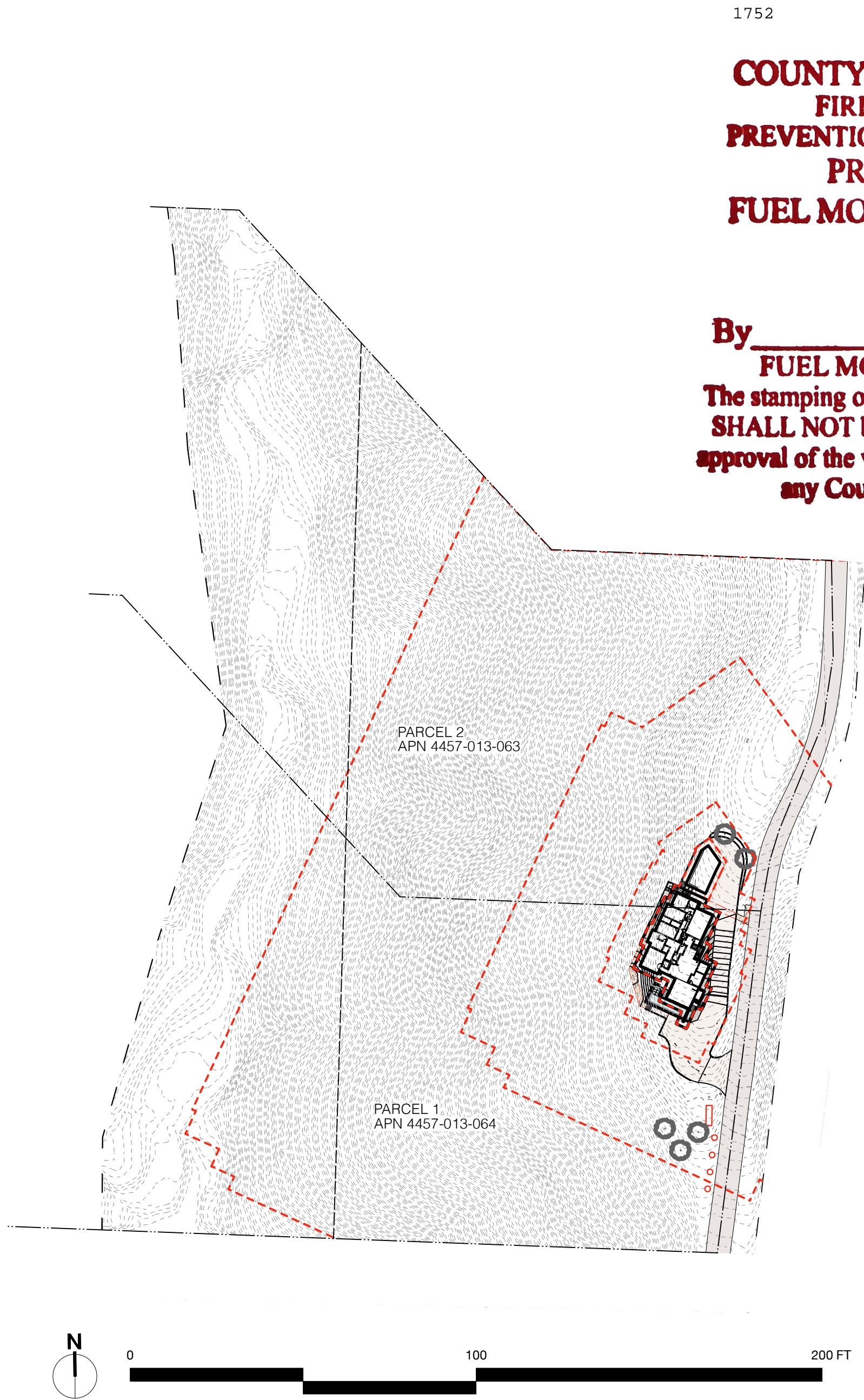
Malibu, CA 90265



vicinity map



project site



Project Description

The proposed project is located at 2643 Corral Canyon Road in Malibu. The scope of work includes a new 2-story single family residence (SFR) 5,897 square foot, 810 square foot detached garage, new Onsite Wastewater Treatment System (OWTS), pool, partially covered deck, 282 foot long FD walk-around, Fire Department hammerhead turnaround, all under 18 feet in height from existing natural grade. Landscaping, including Fuel Modification.

The development area is 14,588 square feet (sq. ft.)

Project Details

owner:	Jeffrey & Suzanne Lekson
site address:	2643 Corral Canyon Road Malibu, CA 90265
assessors numbers:	4457-013-063 4457-013-064
zoning:	R-C-40
total proposed landscape area:	4,183 SF low water use - med water use - high water use -
total irrigated landscape:	
water supply type:	potable
water municipality:	Las Virgenes Municipal Water District

Consultants

architect:	Burdge & Associates Architects, Inc. 21235 Pacific Coast Highway Malibu, CA 90265 p: 310.456.5905 f: 310.456.2467
landscape:	Barefoot Design 1187 Coast Village Road, #287 Santa Barbara, CA 93108 p: 805.697.7466
planning:	Schmitz and Associates, Inc. 28230 Agoura Road, Suite #200 Agoura Hills, CA 91301 p: 818-338-3636

Sheet Index

sheet #	Title
L0.0	Cover Sheet
L0.1	Site Photos
L0.2	Preliminary Fuel Modification Plan

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PROJECT: **LEKSON RESIDENCE**
2643 CORRAL CANYON ROAD, MALIBU, CA 90265

SHEET CONTENTS	Cover Sheet
DATE	10/6/22
SCALE	1" = 100'-0"
DRAWN	JH
JOB	21-06
SHEET	L0.0
1 OF 3 SHEETS	



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8

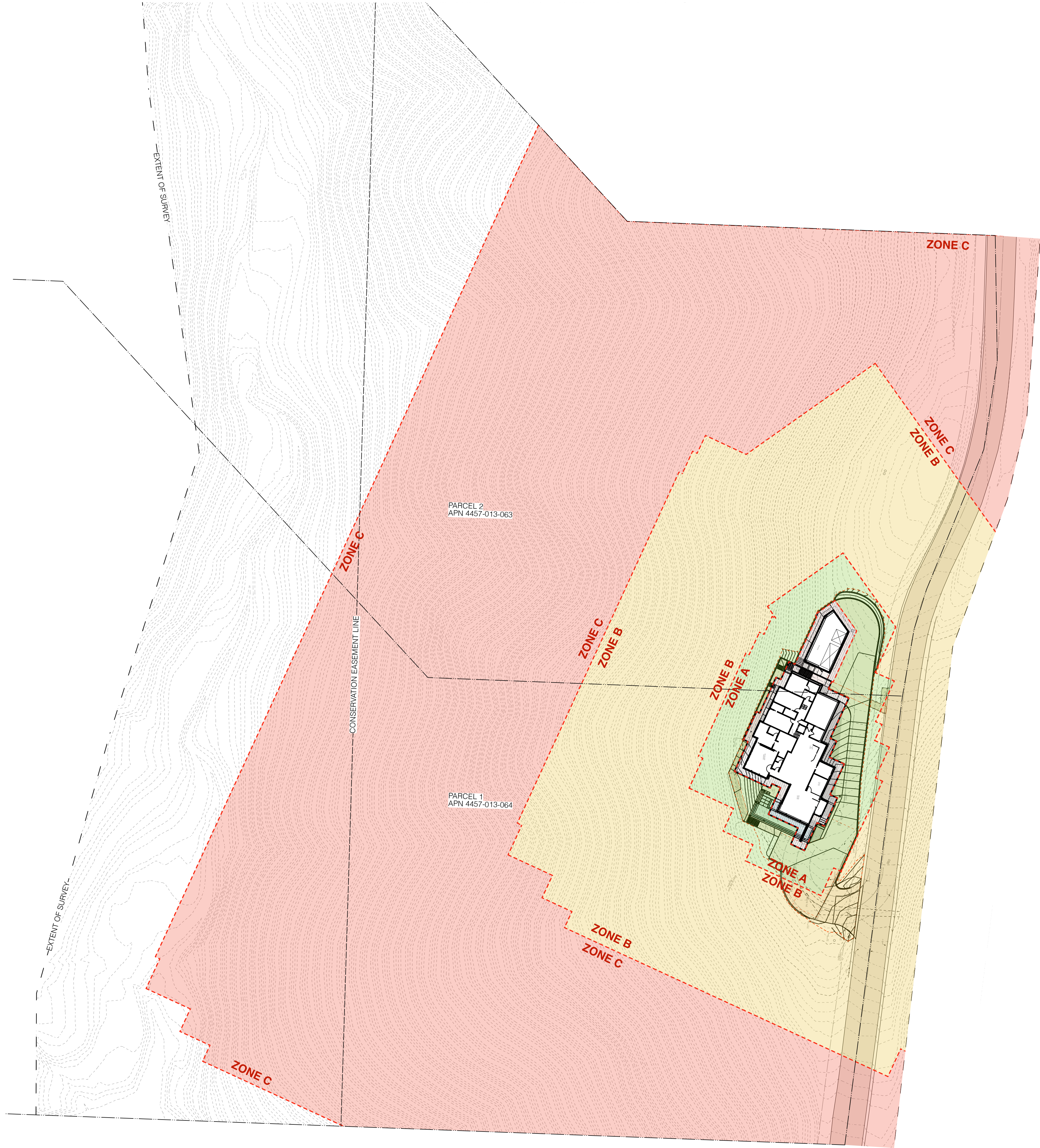
SUBMITTALS

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PROJECT:
LEKSON RESIDENCE
2643 CORRAL CANYON ROAD, MALIBU, CA 90265

SHEET CONTENTS
Site Photos
DATE 10/6/22
SCALE 1" = 40'-0"
DRAWN JH
JOB 21-06
SHEET
L0.1
2 OF 3 SHEETS



Description of Fire Zones

- Fire Zone A:** 0'-5' from Residence
 - area shall be free of materials known to be receptive to flying embers
- Fire Zone A:** 5-30' from Residence
 - Vegetation in this zone is composed of high moisture containing tree's, shrubs, groundcovers (especially succulent species) and lawn and lawn substitutes.
 - All plants will be irrigated by automatic systems to maintain healthy vegetation with a high live fuel moisture and greater fire resistance.
 - Landscaping and vegetation in this zone will consist of primarily green lawns, groundcovers, mulch, adequately spaced small shrubs and hardscape.
 - Plants in Zone A shall be highly fire resistant and selected from the approved plant list.
 - Existing Native vegetation shall be modified by thinning and removal of high risk species.
 - Trees shall be limbed up to at least 6 feet above bare earth and a minimum of 3 times the height of underlying plants.
- Fire Zone B:** 30'-100' from Residence
 - Landscaping and vegetation in this zone will consist of primarily green lawns, groundcovers, mulch, adequately spaced small shrubs and hardscape.
 - All plants will be irrigated by automatic systems to maintain healthy vegetation with a high live fuel moisture and greater fire resistance.
 - Plants in Zone B shall be fire resistant and selected from the approved plant list.
 - Existing Native vegetation shall be modified by thinning and removal of high risk species.
 - Trees shall be limbed up to at least 6 feet above bare earth and a minimum of 3 times the height of underlying plants.
- Fire Zone C:** 100'-200' from Residence
 - Multicut and remove all dead wood in areas with existing native shrub cover.
 - Remove up to 20% of native vegetation.
 - Remove exotic species.

Fuel Modification Plan Notes

- Ember Resistant Zone**
- Extends 5 feet beyond the edge of any combustible structure, accessory structure, appendage, or projection. The areas beneath eaves, overhangs or parts of structures including attached decks and pergolas shall be included in the ember resistant zone.
 - This area shall be free of materials or landscaping known to be receptive to flying embers.
- Zone A**
- Extends 30 feet beyond the edge of any combustible structure, accessory structure, appendage, or projection. Projections such as eaves, covered entryways, attached pergolas, decks etc. shall be the point at which this distance is measured.
 - Irrigation shall be provided to maintain healthy vegetation and fire resistance.
 - Vegetation in this zone shall consist primarily of mowed grasses, low growing ground covers and adequately spaced shrubs. The overall density and arrangement shall provide adequate defensible space and significantly reduce fire intensity.
 - Plant species selected for Zone A shall possess characteristics which increase fire resistance. Such characteristics are high moisture content, plants producing little leaf litter, slow growing plants and plants that do not require pruning to reduce their size at maturity. Species selection should reference the Fuel Modification Plant List. The list is not a pre-approved plant list. Other species may be used subject to approval after review.
 - Trees are generally **not recommended** except for dwarf varieties or mature trees less than 25' tall and wide at maturity. Trees shall be positioned so their canopies do not extend over the roof of any structure.
 - Vines and climbing plants are not allowed on any combustible structure requiring review.

- Zone B**
- Extends from the outer edge of Zone A an additional 70 feet for a total of 100 feet from the structure.
 - Irrigation shall be provided to maintain healthy vegetation and fire resistance.
 - Vegetation in this zone shall be arranged in a manner that does not create vertical or horizontal fuel ladders. Vegetation in this zone can be planted at a slightly higher density than Zone A, but the overall density and arrangement shall provide adequate defensible space and significantly reduce fire intensity.
 - Existing California native plants may be approved to remain if determined to be acceptable upon review and are properly spaced and maintained.
 - Plant species selected for Zone B shall possess characteristics which increase fire resistance. Such characteristics are high moisture content, plants producing little leaf litter, slow growing plants and plants that do not require pruning to reduce their size at maturity. Species selection should reference the Fuel Modification Plant List. The list is not a pre-approved plant list. Other species may be used subject to approval after review.
 - Trees in Zone B may be medium to large at maturity provided they are properly positioned and do not create any vertical or horizontal fuel ladders. Tree selections are subject to denial upon review.

- Zone C**
- Extends from the outer edge of Zone B an additional 100 feet for a total of 200 feet from the structure.
 - Maintenance/modification of vegetation exceeding 100 feet but not to exceed 200 feet from structures may be determined necessary. Any required maintenance/modification is to be determined upon on-site inspection (Fire Code 325.2.2).

- Fire Access Road Zone**
- Extends a minimum of 10 feet from the edge of any public or private road, driveways and turnarounds used by firefighting resources.
 - Clear and remove flammable vegetation on each side of access roads (Fire Code 325.10).
 - Fire access roads shall have an unobstructed vertical clearance a minimum width of 20' and vertically clear to the sky (Fire Code 503.2.1).
 - Additional clearance beyond 10 feet may be required upon an on-site inspection.
 - All proposed plantings, unless otherwise approved, shall be positioned so they do not obstruct access at maturity. Pruning will not be considered as an alternative to plant selection.

- Maintenance**
- Routine maintenance shall be regularly performed in all zones. Above all else, regular maintenance is paramount to the fire resistance of a well-planned fire-resistant landscape. Critical items are outlined below. Additional information may be found on our website listed in the header of this document.
- Start with the structure. Remove leaf litter and other combustible debris from roofs, eaves, rain gutters etc.
 - Ensure the ember resistant zone is maintained free of any material known to be receptive to flying embers.
 - Remove any plant or portion of a plant that is dead or dying throughout all zones.
 - Remove downed, accumulated plant litter and dead wood throughout all zones.
 - Prune to reduce the overall amount and continuity of fuels. Eliminate horizontal and vertical fuel ladders throughout all zones.
 - All invasive species and their parts should be removed from the site.
 - Ensure irrigation systems are functioning properly.
 - Compliance with the fire code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of fine fuels between the months of April and June depending on the geographic region each dwelling exists.
 - Inspection for compliance with an approved fuel modification plan may occur at any time.
 - All future planting shall be in accordance with the County of Los Angeles Fire Department Fuel

Modification Guidelines and approved prior to installation. Approval of this Fuel Modification Plan constitutes approval for only those Codes reviewed as part of the Fuel Modification process and does not replace the needed approval of any other office or agency with jurisdiction and review responsibility for those items which may or may not be illustrated on the plan.

SUBMITTALS

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LEKSON RESIDENCE

2643 CORRAL CANYON ROAD, MALIBU, CA 90265

PROJECT:

Preliminary Fuel Modification Plan

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